CONSULTANTS PROJECT SUMMARY

PROJECT DESCRIPTION: NEW PROPOSED THREE STORY 14-UNIT APARTMENT / CONDOMINIUM OVER SEMI-SUBTERRANEAN PARKING GARAGE W/ FIRST

FLOOR RETAIL AND PARKING STRUCTURE

PROJECT DATA:

LEGAL DESCRIPTIONS: SPARR HEIGHTS LOTS 9 AND LOT 10 BLK 8 SPARR HEIGHTS LOTS 11,12 AND LOT 13 BLK 8 SPARR HEIGHTS LOT 14 BLK 8

APN: 5613-006-004 APN: 5613-006-005 APN: 5613-006-006

TOTAL LOT AREA = 18,000 S.F.

ZONE = C3-I

ALLOWABLE NUMBER OF UNITS = 18,000 S.F./1,250 S.F. = 14.4 UNITSPROPOSED NUMBER OF UNITS = 14

ALLOWABLE HEIGHT =

36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41' PROPOSED MAXIMUM BUILDING HEIGHT = 41'

UNIT NO.	LOBBY	101	102	201	202	203	204	205	206	207	301	302	303	304	305	306	307	TOTAL COMMERCIAL	TOTAL RESIDENTIAL	
BEDROOMS	-	-	-	2	3	3	2	2	3	3	3	4	4	3	3	4	4			
FIRST FLOOR	436	1762	1000	-	-	-	-	-	-	-	-	-	-	-	-	-	-	2762 s.f.	436 s.f.	
SECOND FLOOR.	-	-	-	78	1323	1348	1106	1106	1348	1323	-	-	-	-	-	-	-	-	8732 s.f.	
THIRD FLOOR	-	-	-	-	-	-	-	-	-	-	78	1217	1208	1106	1106	1208	1217	-	8240 s.f.	
LOFT											236	212	191	184	184	191	212	-	1410 s.f.	
TOTAL	436	1762	1000	78	1323	1348	1106	1106	1348	1323	4 4	1429	1399	1290	1290	1399	1429	2762 s.f.	18818 s.f.	2158
PRIVATE OPEN SPACE				332	613	240	40	40	240	649	40	347	364	243	243	416	347		4154	

FLASHING FLOOR(ING) FLUORESCENT FOUNDATION FACE OF CONCRETE FRAME(D)(ING) FOOT,FEET FURR(ED)(ING) FOOTING GAUGE GARBAGE DISPOSAL GLASS,GLAZING GYPSUM BOARD	MECH MFR MIN MISC MRB MTFR MTL MULL NOM NIC NTS OC OPP	MECHANIC(AL) MANUFACTURE(R) MINIMUM MISCELLANEOUS MARBLE METAL FURRING METAL MULLION NOMINAL NOT IN CONTRACT NOT TO SCALE ON CENTER OPPOSITE	SC SD SECT SIM SPEC SQ ST STD STOR STR SUSP
GRADE, GRADING GRANITE	PG	PLATE GLASS	T TC
GYPSUM	PL PLAM	PLATE PLASTER LAMINATE	TEL TEXT
HOSE BIB HEIGHT HEATING HEATING, VENTILATION, AIR COND.	PLAS PLYWD PNL PNT PT PTN PNN	PLASTER PLYWOOD PANEL POINT PAINT PARTITION	THK THR TOSL TOST TOW TOP
INSULATE(D)(TION) INTERIOR	PVMT	PACEMENT	TV TYP
JOIST	R RA RAD	RISER RETURN AIR RADIUS	UNO
LAMINATE(D) LAVATORY LAG BOLT LEFT HAND	RD REF REFR REINF	ROOF DRAIN REFERENCE REFRIGERATOR	VENT VERT VT
LIGHT WEIGHT LIGHT WEIGHT CONCRETE	REINF REQ RET REV	REINFORCE(D)(ING) REQUIRED RETURN REVISION, REVISED	WC WG WM
MATERIAL MAXIMUM	RH RM	RIGHT HAND ROOM	WP

APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE 4.

WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.5. FIRE PERMITS:

PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE ENTIRE HOUSE AND DETACHED FIRE SPRINKLER GARAGE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS 6. REQUIRE FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE LISTED BELOW. FOR ALL INSPECTIONS CALL OF THE GLENDALE FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF

SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO

THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER ALARMS. CARBON MONOXIDE DETECTORS:

SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC R315

THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT:

8|8-548-48|0

FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH (BEFORE COVERING ANY PIPING) FIRE SPRINKLER FINAL

FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTOR, FUEL MODIFICATION, ETC)

LOT COVERAGE:

ALLOWABLE LOT COVERAGE = 50% X 18,000 s.f. = 9,000 s.f. REQUIRED RESIDENTIAL PARKING: PROPOSED LOT COVERAGE = 13,895 s.f. = 77.2%

FLOOR AREA:

ALLOWABLE FLOOR AREA = 1.2(18,000) = 21,600 s.f.PROPOSED RESIDENTIAL FLOOR AREA = 18,818 s.f. RESIDENTIAL CIRCULATION/EXIT CORRIDOR = 1,000 s.f. PROPOSED COMMERCIAL FLOOR AREA = 2,762 s.f. =22,580 s.f. TOTAL PROPOSED FLOOR AREA

PARKING:

2 CAR/2BR UNIT+2.5 CARS/3BR UNIT+3 CAR/4BR UNIT+0.25/UNIT (GUEST) 2 (3) + 2.5 (7) + 3 (4) + 0.25 (14) (GUEST) = 39 SPACES PROPOSED RESIDENTIAL PARKING:

STANDARD = 37HANDICPPED = 2TOTAL = 39

PROPOSED COMMERCIAL PARKING: STANDARD = 9

HANDICPPED = 1 TOTAL = 10

PROPOSED COMMERCIAL USE	REQUIRED PARKING RATIO
GENERAL OFFICE	2.7 / 1000 s.f.
RETAIL (Sales and services)	4 / 1000 s.f.
Beauty Supply	4 / 1000 s.f.
Nail / Hair Salon	4 / 1000 s.f.

OUTDOOR SPACE:

REQUIRED COMMON OUTDOOR SPACE = 200 s.f./UNIT = 2,800 s.f.PROPOSED COMMON OUTDOOR SPACE = 2,809 s.f. REQUIRED PRIVATE OUTDOOR SPACE = 40 s.f. / UNIT PROPOSED PRIVATE OPEN SPACE = 40 s.f. / UNIT MIN.

PERMANENT LANDSCAPED OPEN SPACE: MIN. OF TOTAL LOT AREA TO BE PERMANENTLY PERMANENT LANDSCAPED OPEN SPACE = 25% (18,000 s.f.)

= 4,500 s.f. PROPOSED PERMANENT LANDSCAPED OPEN SPACE = 4,575 s.f.

GRADE = (1178.48 + 1171.84)/2 = 1175.16

ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 1175.16 + 3 = 1178.16 NO EASEMENT ON S PROPOSED SEMI-SUBTERRANEAN GARAGE DECK EL. = 1178

PERIMETER FENCE WALLS:

MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE ABOVE ADJACENT GROUND LEVEL = 6.5' LOWEST ADJACENT GROUND LEVEL = ||70' MAX. ALLOWABLE TOP OF SOLID FENCE WALL = ||76.5'

NOTES:

- A SEPARATE APPLIC I . RETAINING WA 2. FIRE SPRINKLE 3. ELECTRICAL, N 4. DEMOLITION
- 5. GRADING WOR
- 6. SHORING
- 7. SIGNS 8. FIRE ALARM
- 9. GATES
- NO OAK, BAY OR S'

20' OF PROPERTY

- NO PROPOSED OR NO SLOPES 3:1 OR
- WORK AREA
- PROJECT B 2014 GLENDALE BU
- 2013 CALIFORNIA G
- 2013 CALIFORNIA B 2013 CALIFORNIA E
- 2013 CALIFORNIA P
- 2013 CALIFORNIA N 2013 CALIFORNIA F

SECTION

SHEET

SIMILAR

SQUARE

STANDARD

STORAGE

TREAD

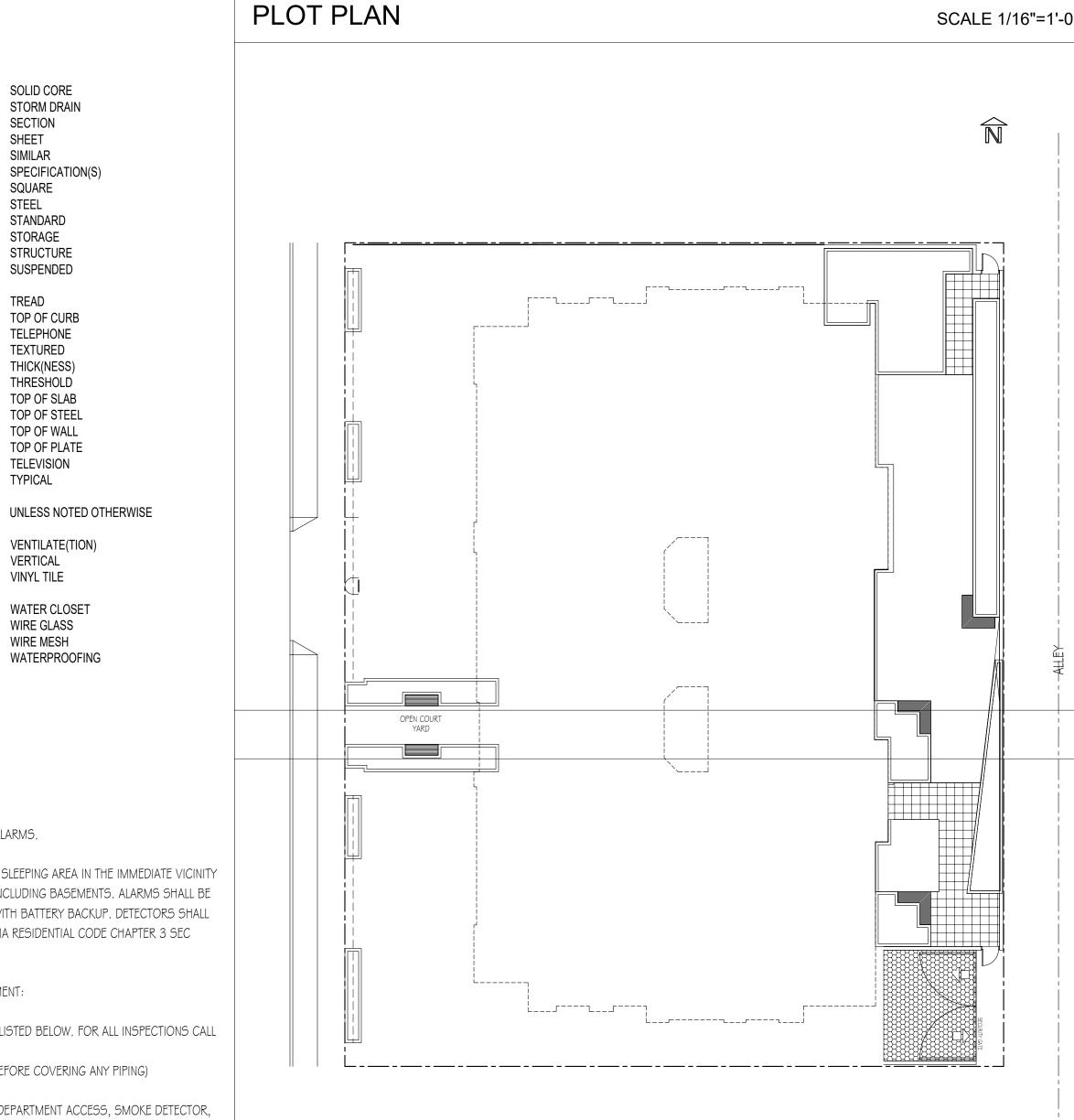
TEXTURED

TYPICAL

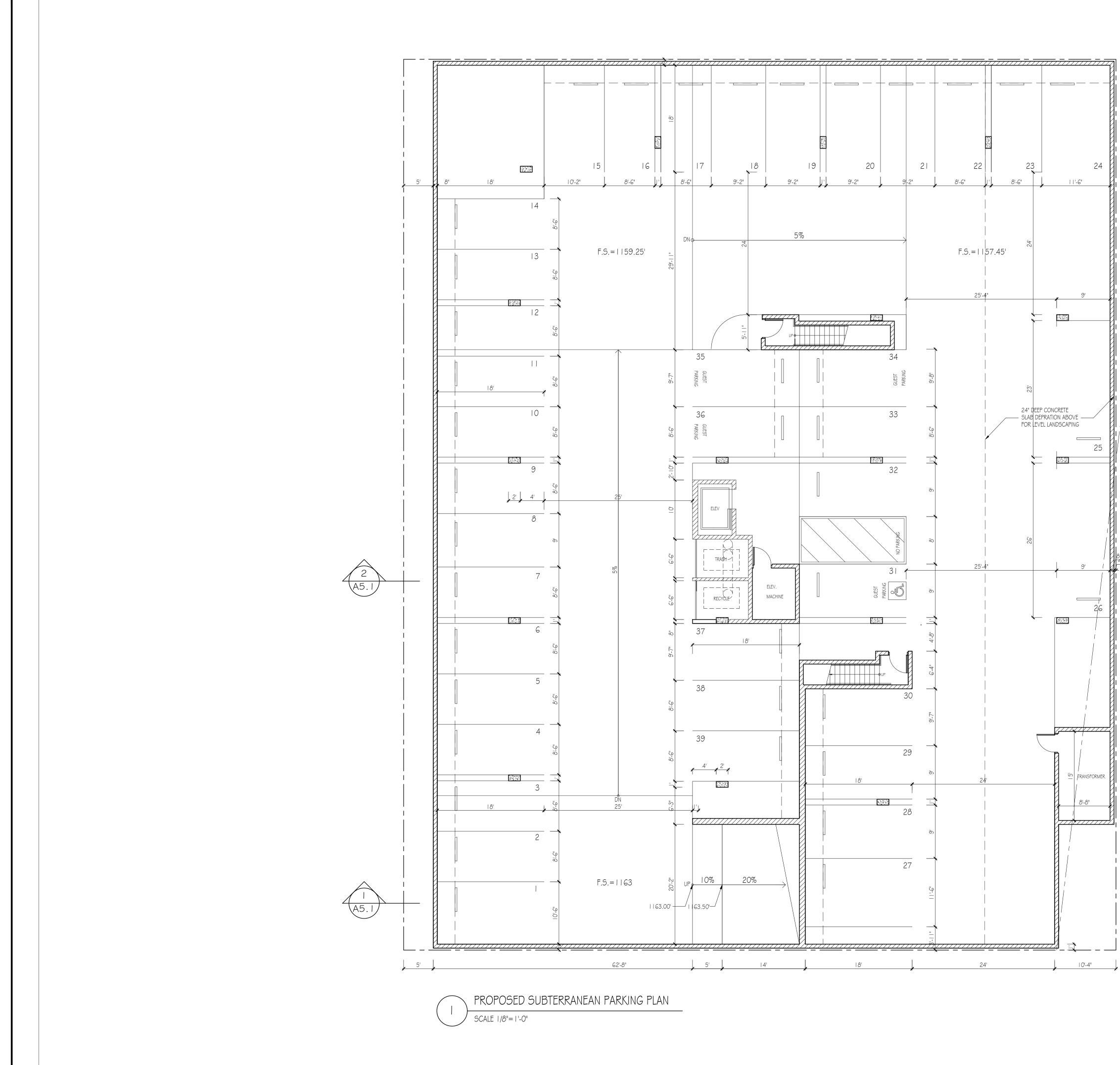
VERTICAL

VINYL TILE

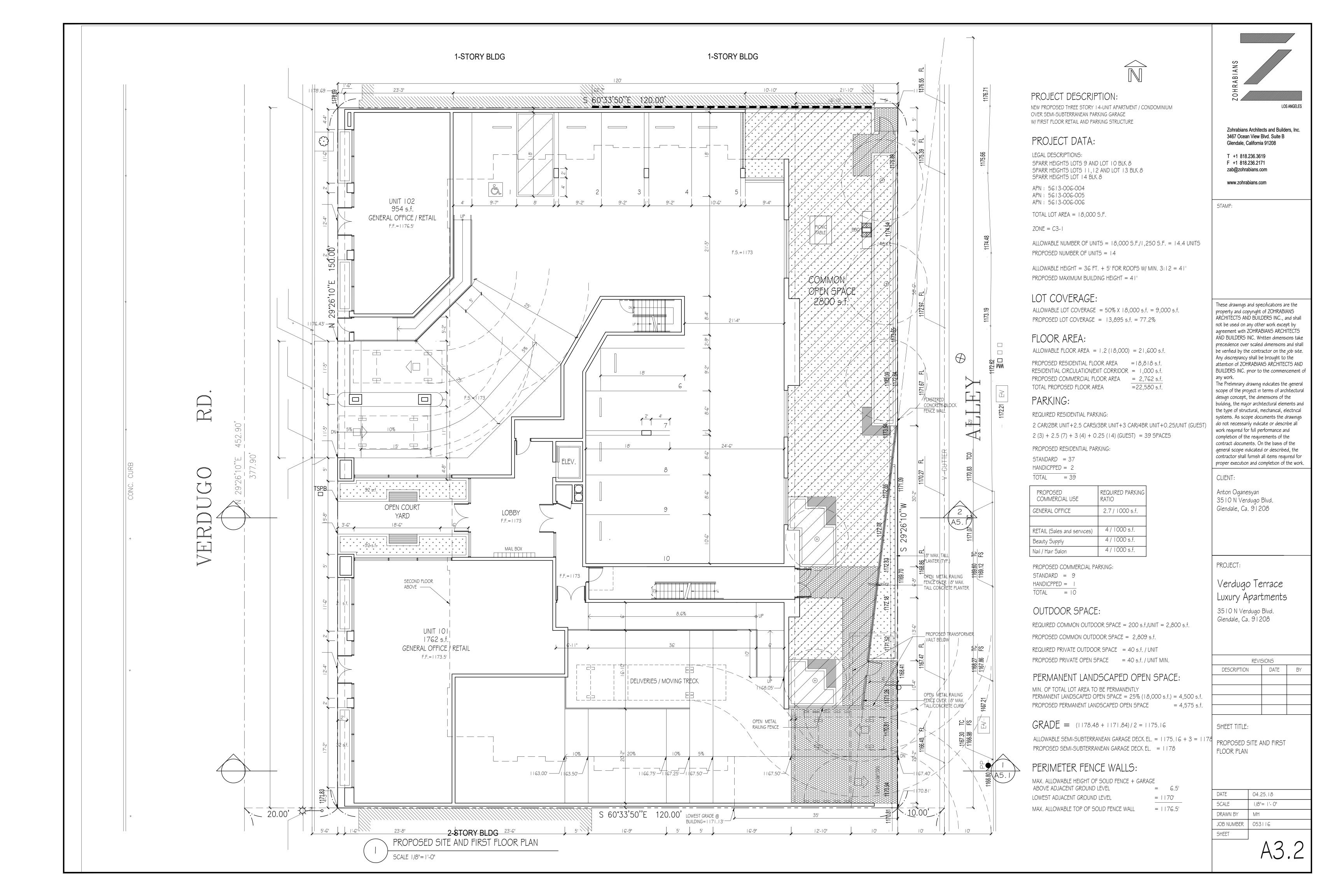
STEEL

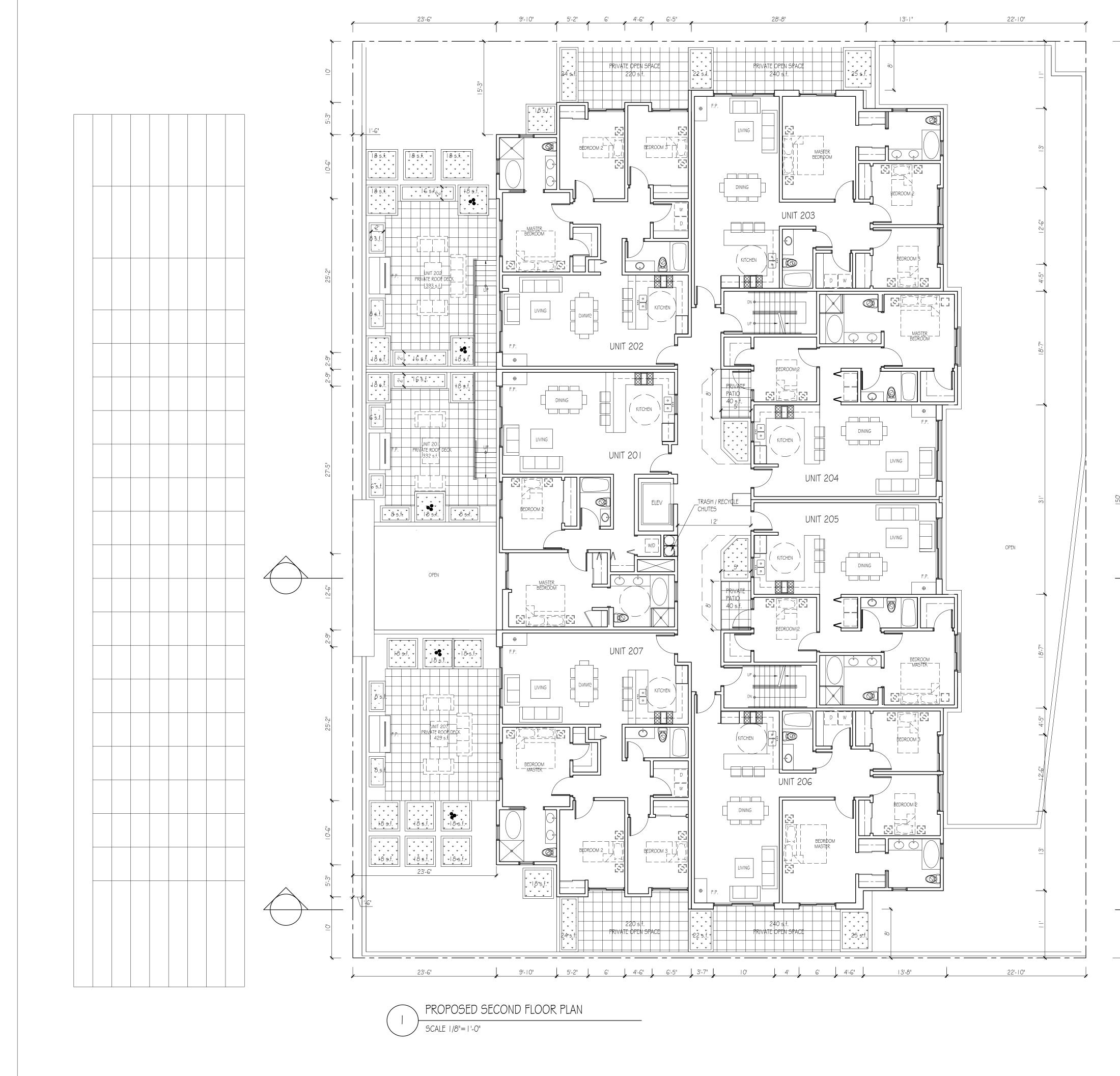


CATION AND PERMIT IS REQUIRED FOR: ALLS OR BLOCK FENCE WALLS ER SYSTEM MECHANICAL, PLUMBING WORK RK YCAMORE TREES ON SITE OR WITHIN BITE EXISTING POOL OR SPA ON SITE & STEEPER WITHIN 40' OF PROPOSED UILDING CODE OR SPA ON SITE STEEPER WITHIN 40' OF PROPOSED UILDING CODE (CBC) GREEN BUIDLING CODE (CBGC) BUILDING CODE (CBC) SULDLING CODE (CBC)	 A SMART IRRIGATION CONTROLLER SHALL BE INSTALLED FOR ALL LANDSCAPING THE PROJECT SHALL BE DESIGNED TO ACHIEVE AT LEAST 15% MORE ENERGY EFFICIENCY THAN THE 2008 CALIFORNIA ENERGY EFFICIENCY STANDARDS, TITLE 24, PART 6 (SECTION 22.52.2130.C.1). THE PROJECT SHALL RECYCLE AND/OR SALVAGE THE MINIM AMOUNT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS (SECTION 22.52.2130.C.4) AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE DEPARTMENT OF PUBLIC WORKS, ENVIRONMENTAL PROGRAMS DIVISION. THE PROJECT SHALL COMPLY WITH THE REQUIREMENT THAT TANK-TYPE TOILETS BE HIGH-EFFICIENCY TOILETS (MAXIMUM 1.28 GALLONS/FLUSH) (SECTION 22.52.2130.C.3). LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS, CHAPTER 22.52, PART 22. 	STAMP:			
PLUMBING CODE (CPC) MECHANICAL CODE (CMC) FIRE CODE (CFC)	 NOTES: PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY 2013 CALIFORNIA BUILDING COD, CHAPTER 33. AS DEFINED IN CHAPTER 11A, ALL REQUIRED CARBON MONOXIDE ALARMS SHALL BE CAPABLE OF SUPPORTING VISIBLE ALARM NOTIFICATION APPLIANCES PER NFPA 720 AND CHAPTER 11B. THE CONTRACTOR MUST PROVIDE PUBLIC PROTECTION IN ACCORDANCE WITH CBC SECTION 330G FOR WORK ON ANY BUILDING AND STRUCTURE ADJACENT TO THE PUBLIC WAY. (330G) 	These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site.			
(19) (19) (19) (10) (11)	 WOOD FRAMED EXTERIOR WALL I" CEMENT PLASTER OVER PAPER BACKED METAL LATH ON THE EXTERIOR SIDE AND 5/8" TYPE "X" GYPSUM BOARD ON INTERIOR SIDE OF 2 X G @ 1 G" O.C. PROVIDE R-13 INSULATION IN STUD SPACE WOOD FRAMED INTERIOR WALL ONE LAYER OF TYPE "X" GYPSUM BOARD ON EACH SIDE OF 2 X G @ 1 G" O.C. PROVIDE R-13 INSULATION IN PLUMBING WALL STUD SPACE CONCRETE BLOCK WALL I-HR RATED WOOD FRAMED FIRE BARRIER TWO LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE OF DOUBLE 2XG @ 1 G" O.C. WITH SOUND INSULATION IN STUD SPACE TYPICAL FOR ALL WALLS SEPARATING APARTMENT UNITS FROM EACH OTHER I-HR RATED STEEL FRAMED WALL ONE LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE OF 2 1/2 STEEL STUD @ 24" O.C. TYPICAL FOR ALL GARAGE STORAGE WALLS 	Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT: Anton Oganesyan 3510 N Verdugo Blvd. Glendale, Ca. 91208			
(4,8)	SMOKE DETECTOR (HARD WIRED W/ BATTERY BACK-UP) CARBON MONOXIDE ALARM (HARD WIRED W/ BATTERY BACK-UP) (ALL CARBON MONOXIDE ALARMS SHALL BE CAPABLE OF SUPPORTING VISIBLE ALARM NOTIFICATION APPLIANCES PER NFPA 720 AND CHAPTER 11B) EXHAUST FAN (50 CFM) WHOLE HOUSE VENTILATION FAN (50 CFM)	PROJECT: Verdugo Terrace Luxury Apartments 3510 N Verdugo Blvd. Glendale, Ca. 91208			
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	SOHRABIANS
	Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208 T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com www.zohrabians.com
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2 A5.1	CLIENT: Anton Oganesyan 3510 N Verdugo Blvd. Glendale, Ca. 91208
	PROJECT: Verdugo Terrace Luxury Apartments 3510 N Verdugo Blvd. Glendale, Ca. 91208
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	DATE 04.25.18 SCALE 1/8"= 1'- 0" DRAWN BY MH JOB NUMBER 053116 SHEET A3.1



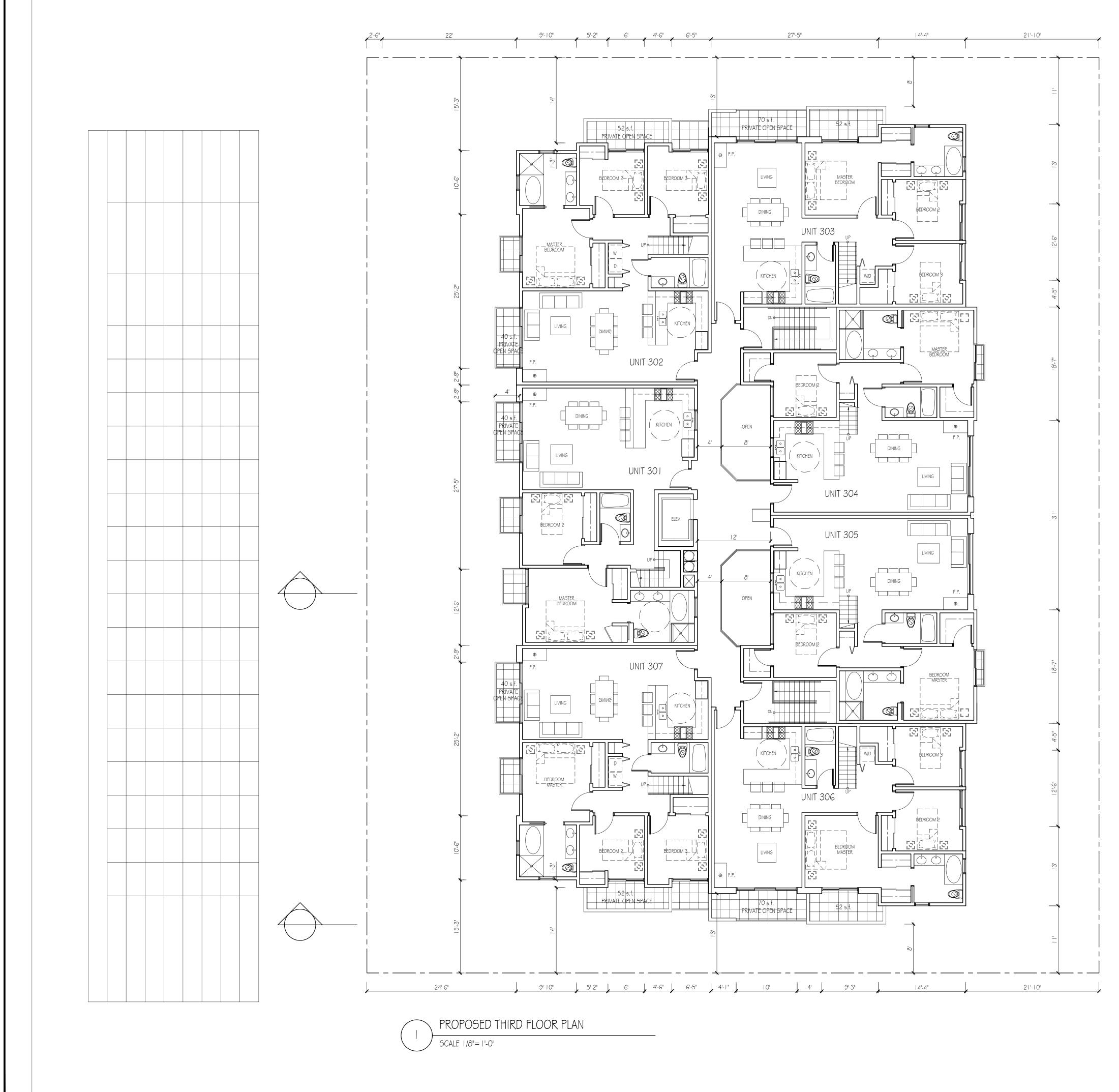


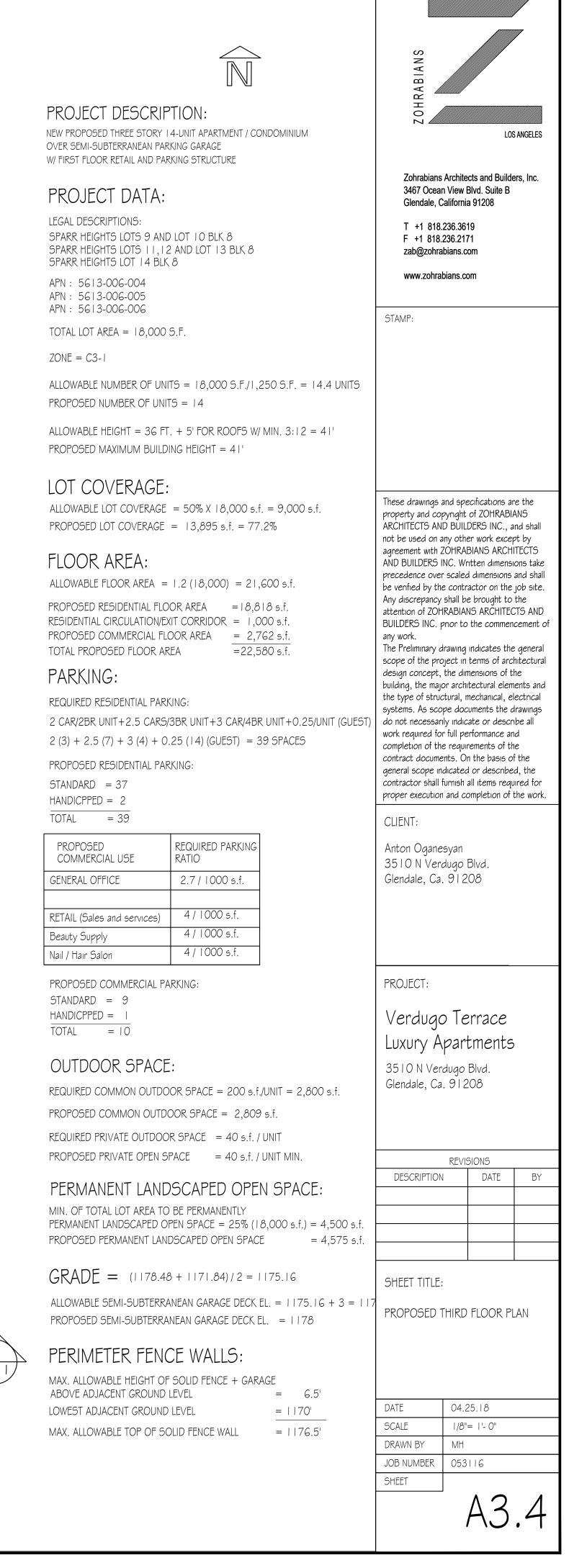
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APN : 5613-006-004 APN : 5613-006-005 APN : 5613-006-006 TOTAL LOT AREA = 18,000 S.1 ZONE = C3-1 ALLOWABLE NUMBER OF UNITS PROPOSED NUMBER OF UNITS	5 = 18,000 S.F./1,250 S.F. = 14.4 UNITS	STAMP:	
PROPOSED MAXIMUM BUILDING	= 50% X 18,000 s.f. = 9,000 s.f.	property and copyri ARCHITECTS AND B not be used on any agreement with ZOH AND BUILDERS INC.	specifications are the ght of ZOHRABIANS SUILDERS INC., and shall other work except by IRABIANS ARCHITECTS . Written dimensions take
ALLOWABLE FLOOR AREA = 1. PROPOSED RESIDENTIAL FLOOR RESIDENTIAL CIRCULATION/EXIT PROPOSED COMMERCIAL FLOO TOTAL PROPOSED FLOOR AREA PARKING: REQUIRED RESIDENTIAL PARKIN 2 CAR/2BR UNIT+2.5 CARS/3E 2 (3) + 2.5 (7) + 3 (4) + 0.25 PROPOSED RESIDENTIAL PARKIN STANDARD = 37 HANDICPPED = 2	R AREA = $ 8,8 8 \text{ s.f.}$ CORRIDOR = $,000 \text{ s.f.}$ DR AREA = $2,762 \text{ s.f.}$ = 22,580 s.f. IG: BR UNIT+3 CAR/4BR UNIT+0.25/UNIT (GUEST) 5 (14) (GUEST) = 39 SPACES	be venified by the co Any discrepancy sha attention of ZOHRAI BUILDERS INC. prio any work. The Preliminary draw scope of the projec design concept, the building, the major a the type of structur systems. As scope do not necessarily in work required for ful completion of the re contract documents general scope indica contractor shall furn	BIANS ARCHITECTS AND r to the commencement of rung indicates the general t in terms of architectural e dimensions of the rchitectural elements and al, mechanical, electrical documents the drawings indicate or describe all I performance and
COMMERCIAL USE R GENERAL OFFICE RETAIL (Sales and services) Beauty Supply	REQUIRED PARKING 2.7 / 1000 s.f. 4 / 1000 s.f. 4 / 1000 s.f. 4 / 1000 s.f.	CLIENT: Anton Oganesya 35 I O N Verduq Glendale, Ca. 9	jo Blvd.
Nail / Hair Salon PROPOSED COMMERCIAL PARK		PROJECT:	
STANDARD = 9 <u>HANDICPPED = 1</u> TOTAL = 10 OUTDOOR SPACE: REQUIRED COMMON OUTDOOR PROPOSED COMMON OUTDOOR REQUIRED PRIVATE OUTDOOR SPACE	R SPACE = 200 s.f./UNIT = 2,800 s.f. DR SPACE = 2,809 s.f. SPACE = 40 s.f. / UNIT ICE = 40 s.f. / UNIT MIN.	Verdugo Luxury Apa 3510 N Verdua Glendale, Ca. 9	artments go Blvd.
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PROPOSED SEMI-SUBTERRANE	EAN GARAGE DECK EL. $= 1178$	PROPOSED SEC	COND FLOOR
A5.1 PERIMETER FENCE MAX. ALLOWABLE HEIGHT OF SO ABOVE ADJACENT GROUND LEV LOWEST ADJACENT GROUND LE MAX. ALLOWABLE TOP OF SOLI	OLID FENCE + GARAGE VEL = $6.5'$ EVEL = $1170'$	SCALE I DRAWN BY N	04.25.18 1/8"= 1'- 0" //H 053116 A3.3
			MJ.J

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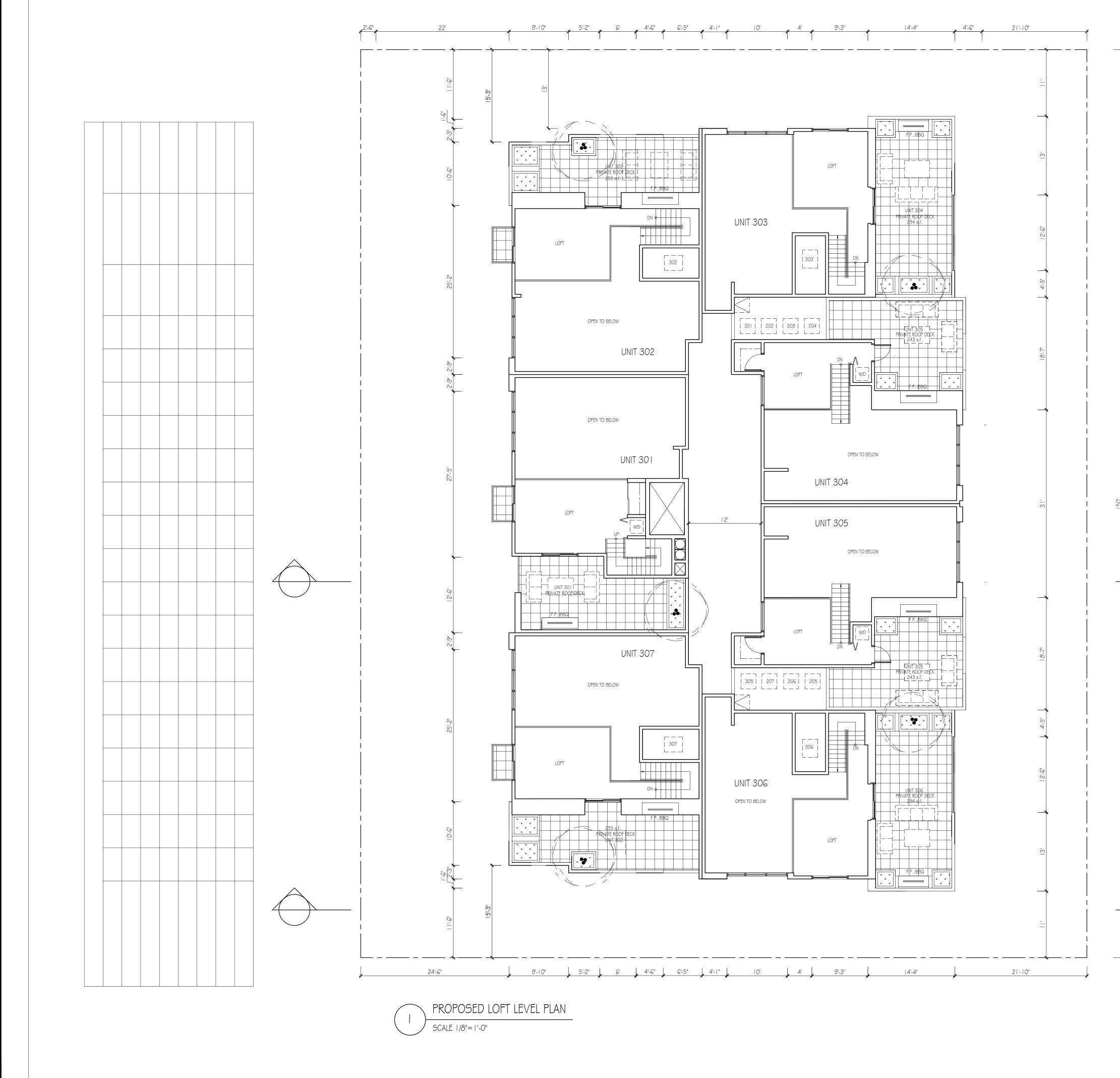




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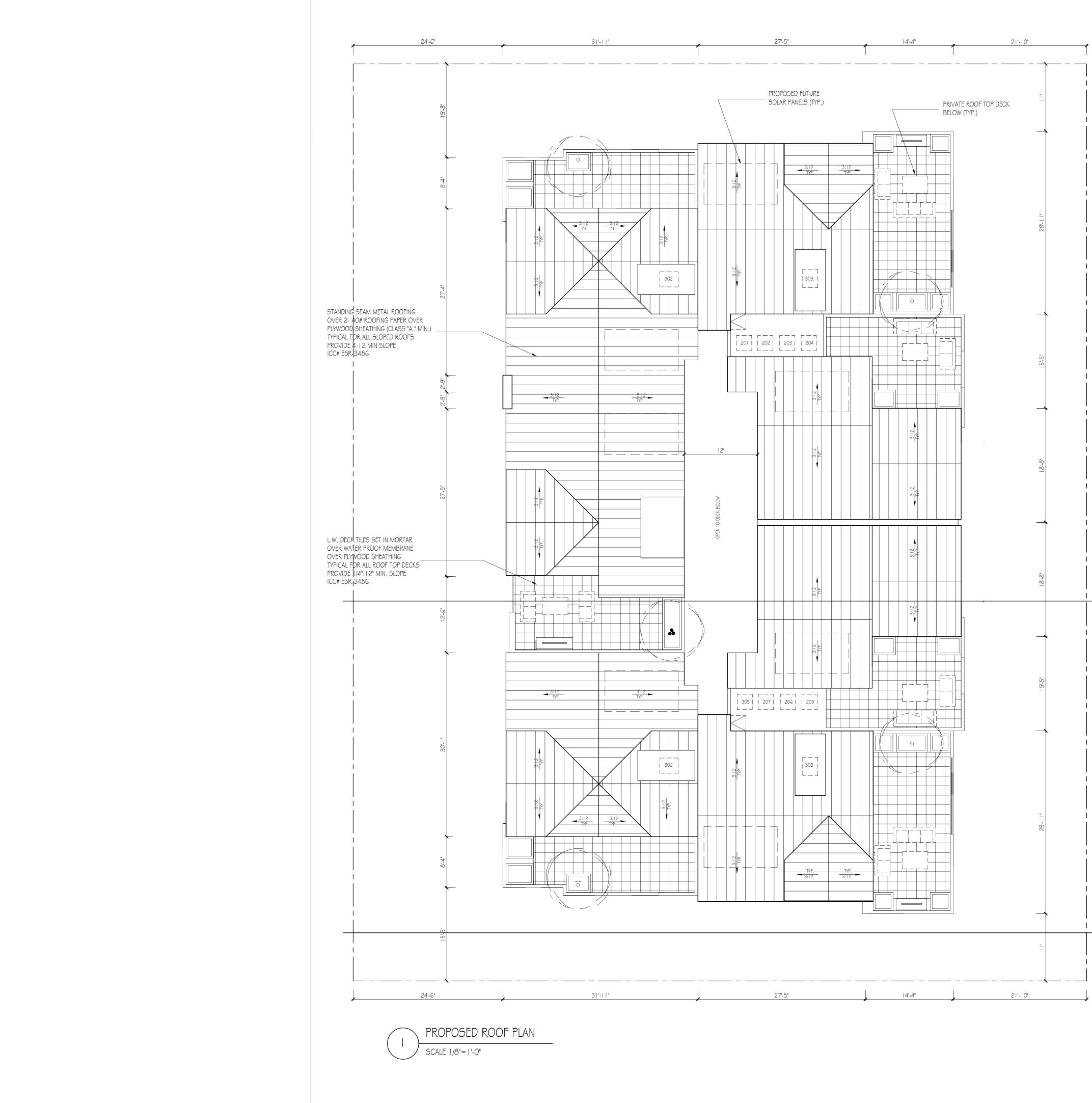


DECISION OF THE STORY I A-UNIT APARTMENT / CONDOMINIUM OVER SEMI-SUBTERRANEAN PARNING GARAGE WI PIRST FLOOR RETAIL AND PARKING STRUCTURE DECISION RETAIL AND PARKING STRUCTURE DECISION RETAIL AND PARKING STRUCTURE SPARR HEIGHTS LOTS 9 AND LOT I 0 BLK 8 SPARR HEIGHTS LOTS 9 AND LOT I 0 BLK 8 SPARR HEIGHTS LOTS 9 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 STARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 14, 10, 10 BLK 8 SPARR HEIGHTS LOTS 11, 12 AND LOT I 3 BLK 8 SPARR HEIGHTS LOTS 14, 10, 10 BLK 8 SPARR HEIGHTS 10, 000 S, F, 11, 250 S, F, 14, 4 UNITS 10, 10, 10, 10, 10, 10, 10, 10, 10, 10,	SUPUPD Image: Constraint of the second s
ALLOWABLE HEIGHT = 36 FT. + 5 FOR ROOFS W/ MIN. 3:12 = 41° PROPOSED MAXIMUM BUILDING HEIGHT = 41′ LOT COVERAGE = 50% X 18,000 s.f. = 9,000 s.f. PROPOSED LOT COVERAGE = 50% X 18,000 s.f. = 9,000 s.f. PROPOSED LOT COVERAGE = 13,895 s.f. = 77.2% FLOOR AREA: ALLOWABLE FLOOR AREA = 1.2 (18,000) = 21,600 s.f. PROPOSED RESIDENTIAL FLOOR AREA = 18,818 s.f. RESIDENTIAL CIRCULATION/EXIT CORRIDOR = 1,000 s.f. PROPOSED COMMERCIAL FLOOR AREA = 2,762 s.f. TOTAL PROPOSED FLOOR AREA = 22,580 s.f. PARKING: REQUIRED RESIDENTIAL PARKING: 2 CAR/2BR UNIT+2.5 CARS/3BR UNIT+3 CAR/4BR UNIT+0.25/UNIT (GUEST) 2 (3) + 2.5 (7) + 3 (4) + 0.25 (14) (GUEST) = 39 SPACE5 PROPOSED RESIDENTIAL PARKING: STANDARD = 37 HANDICPPED = 2 TOTAL = 39 $\frac{PROPOSED}{COMMERCIAL USE} \frac{REQUIRED PARKING}{RATIO}$ $\frac{RETAIL (Sales and services) 4 / 1000 s.f.}{Beauty Supply 4 / 1000 s.f.}$	These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be venfied by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT: Anton Oganesyan 3510 N Verdugo Blvd. Glendale, Ca. 91208
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LOS ANGELES Zohrabians Architects and Builders, Inc. 3467 Ocean View Blvd. Suite B Glendale, California 91208 T +1 818.236.3619 F +1 818.236.2171 zab@zohrabians.com www.zohrabians.com STAMP: These drawings and specifications are the property and copyright of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT: Anton Oganesyan 3510 N Verdugo Blvd. Glendale, Ca. 91208 PROJECT: Verdugo Terrace Luxury Apartments 3510 N Verdugo Blvd. Glendale, Ca. 91208 REVISIONS DATE BY DESCRIPTION SHEET TITLE: PROPOSED ROOF PLAN DATE 04.25.18 SCALE |/8"= |'- 0" DRAWN BY MH JOB NUMBER 053116 SHEET A3.6

SOLAR SYSTEM REQUIRED AREA FOR FUTURE SOLAR INSTALLATION = 250 S.F. MIN.SOLAR PANELS = $|2' \times 6' - 8'' = 80$ S.F.

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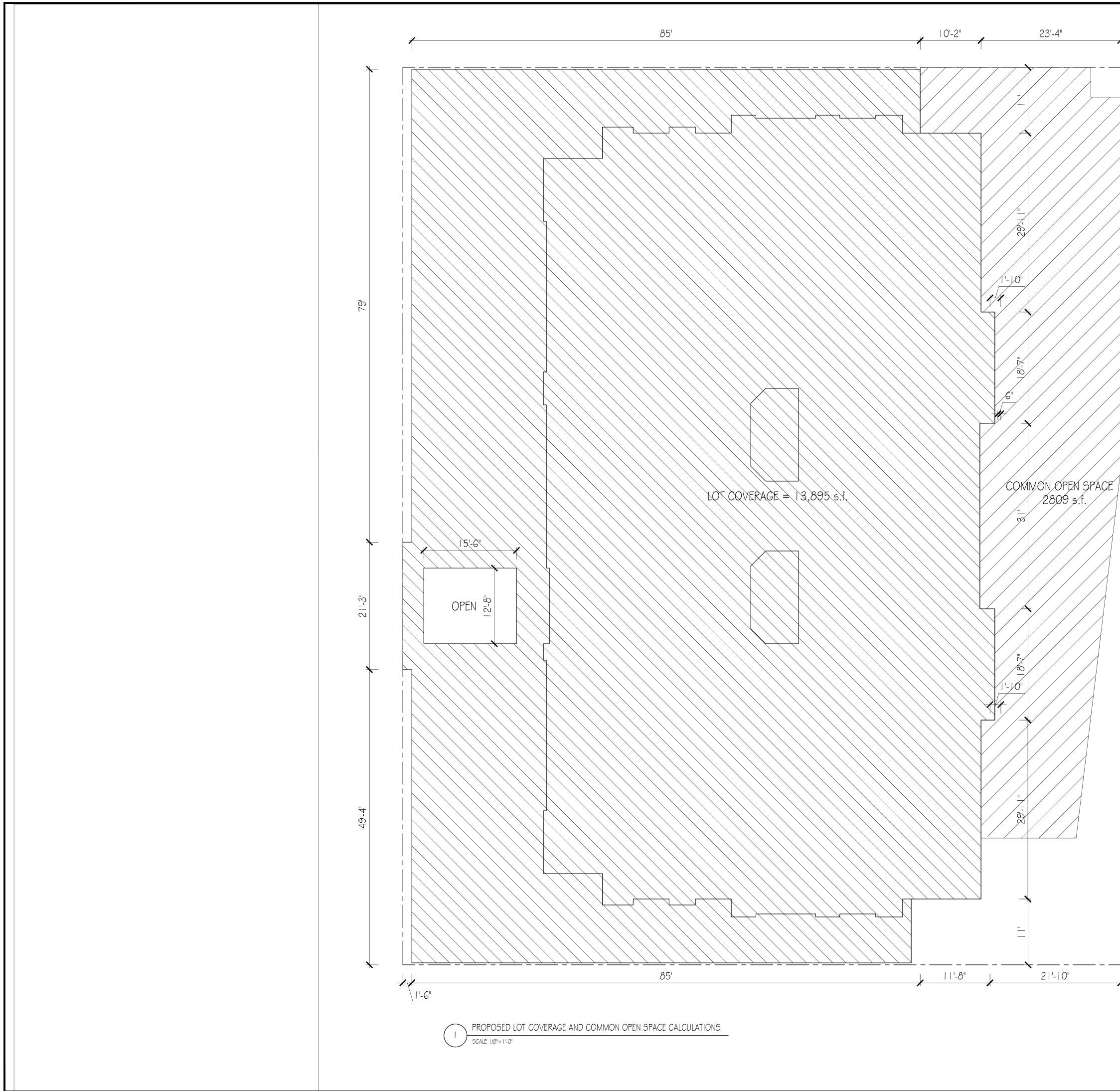
TOTAL AREA (4) 80 S.F. = 320 S.F. > 250 S.F.

FUTURE ACCESS FOR SOLAR SYSTEM PROVIDE FUTURE ACCESS FOR SOLAR SYSTEM. PROVIDE A MINIMUM OF ONE-INCH ELECTRICAL CONDUIT FROM THE ELECTRICAL SERVICE EQUIPMENT TO AN ACCESSIBLE LOCATION IN THE ATTIC OR OTHER APPROVED LOCATIONS

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	Stamp: Stamp:
128-10"	These drawings and specifications are the property and copyinght of ZOHRABIANS ARCHITECTS AND BUILDERS INC., and shall not be used on any other work except by agreement with ZOHRABIANS ARCHITECTS AND BUILDERS INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of ZOHRABIANS ARCHITECTS AND BUILDERS INC. prior to the commencement of any work. The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessanly indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT: Anton Oganesyan 3510 N Verdugo Blvd. Glendale, Ca. 91208
	PROJECT: Verdugo Terrace Luxury Apartments 3510 N Verdugo Blvd. Glendale, Ca. 91208 REVISIONS DESCRIPTION DATE BY
21-2	SHEET TITLE: PROPOSED LOT COVERAGE AND COMMON OPEN SPACE AREA CALCULATIONS DATE 04.25.18 SCALE 1/8"= 1'- 0" DRAWN BY MH JOB NUMBER 053116 SHEET A33.8



- I. I " SMOOTH FINISHED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE
- 2. STONE TILES CEMENTED OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE COLOR: DARK BROWN
- 3. HARDIEPLANK LAP SIDING WIDTH 8.25", EXPOSURE 7"

5. PRE-PAINTED METAL GUTTER AND DOWN SPOUT COLOR: DARK BRONZE

- 8. FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED WINDOW COLOR: DARK BRONZE
- 9. FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED DOOR COLOR: DARK BRONZE

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LOS ANGELES
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F +1 818.236.2171 zab@zohrabians.com
www.zohrabians.com
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general scope indicated or described, the contractor shall furnish all items required for
proper execution and completion of the work.
Anton Oganesyan
3510 N Verdugo Blvd. Glendale, Ca. 91208
PROJECT:
Verdugo Terrace
Luxury Apartments
3510 N Verdugo Blvd. Glendale, Ca. 91208
REVISIONS
DESCRIPTION DATE BY
SHEET TITLE:
PROPOSED BUILDING WEST AND SOUTH ELEVATIONS
WEST MAD SOUTH LLEVATIONS
DATE 04.25.18 SCALE 1/8"= 1'- 0"
DRAWN BY MH
JOB NUMBER 053116 SHEET
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FINISH KEY NOTES:

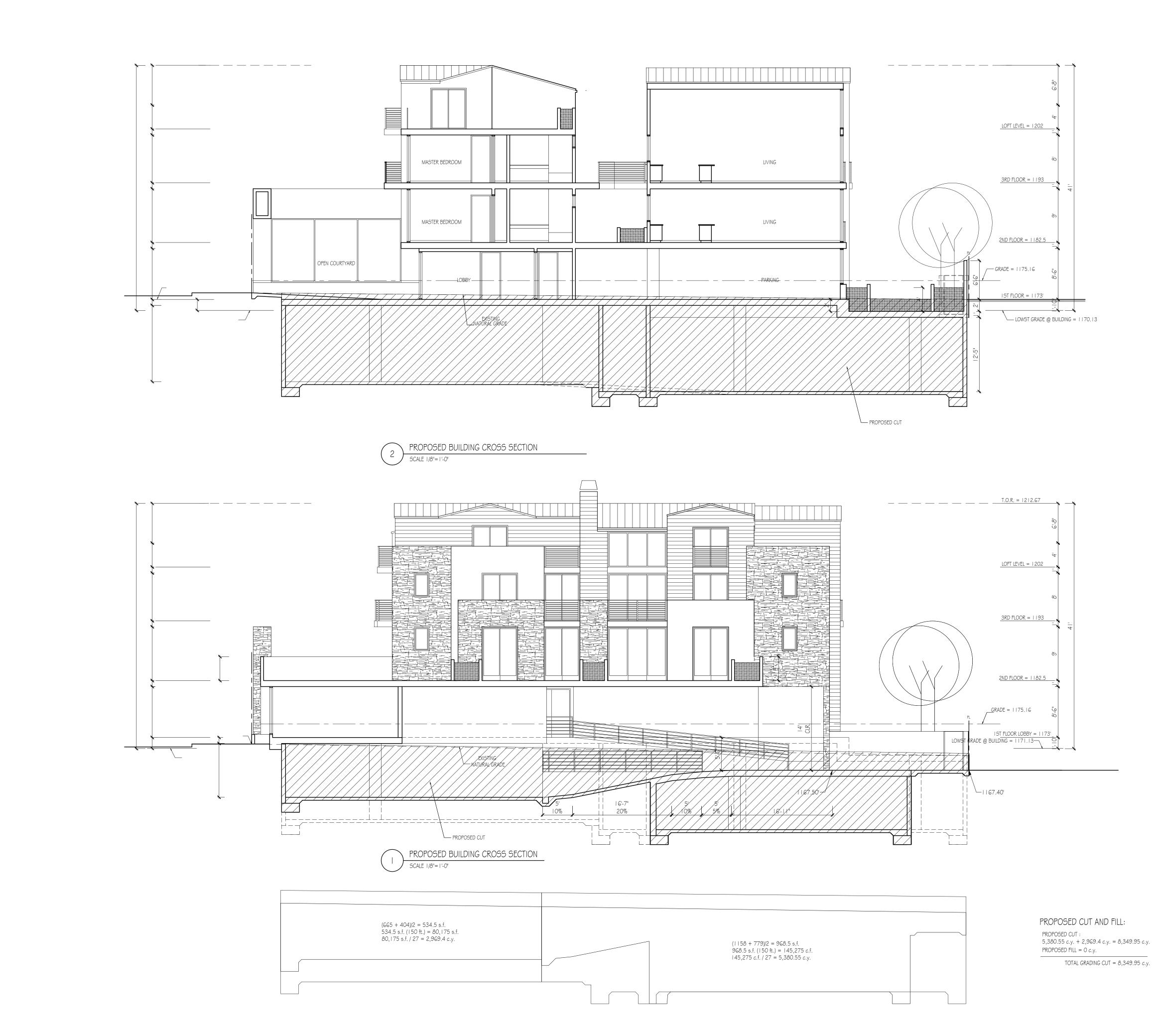
- I. I " SMOOTH FINISHED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE
- 2. STONE TILES CEMENTED OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 @ 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE
- 3. HARDIEPLANK LAP SIDING WIDTH 8.25", EXPOSURE 7" COLOR: DARK GREY

COLOR: TO MATCH WINDOW FRAME 4. STANDING SEAM METAL ROOF COVERING

- 5. PRE-PAINTED METAL GUTTER AND DOWN SPOUT COLOR: DARK BRONZE
- 7. PAINTED METAL CHIMNEY CAP
- 8. FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED WINDOW COLOR: DARK BRONZE
- 9. FIBERGLASS CLAD WOOD FRAMED DUAL GLAZED DOOR COLOR: DARK BRONZE

- COBOR: PAARIE BROWNIGING METAL GATE

		n View I California 236.36 236.217 bians.c	cts and Build Blvd. Suite B a 91208 19 71 om	S ANGELES ers, Inc.
	These drawings a property and cop ARCHITECTS AN not be used on a agreement with 2 AND BUILDERS I precedence over be verified by the Any discrepancy attention of ZOH BUILDERS INC. p any work. The Preliminary d scope of the pro- design concept, building, the major the type of struct systems. As sco do not necessari work required for completion of the contract docume general scope in contractor shall f proper execution CLIENT: Anton Ogane 35 I O N Vero Glendale, Ca.	ayright D BUILI any othe 20HRAI NC. Wr scaled contr shall be RABIAI prior to arawing opect in the dim prior to arawing opect in the dim or archi ctural, r pe doc ly indic r full pe e requirents. Or dicated furnish a and co syan dugo	of ZOHRABI DERS INC., a er work exce BIANS ARCH Inten dimensions actor on the e brought to NS ARCHITED the commer indicates the terms of arc nensions of t tectural elen nechanical, e uments the d ate or describe all items req ompletion of BIVd.	ANS and shall pt by ITECTS ions take and shall job site. the CTS AND incement of e general chitectural chitectural che nents and electrical drawings nube all ind ne of the ed, the uired for
	PROJECT: Verdugo Luxury A 3510 N Ver Glendale, Ca	part dugo	tments ^{Blvd} .	5
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-	DESCRIPTION		DATE	BY
	SHEET TITLE: PROPOSED E EAST AND NO	BUILD)NS
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	SCALE DRAWN BY	I/8" MH	= '- 0"	
	JOB NUMBER SHEET	053	116	
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SNVI BY HOZ Zohrabians 3467 Ocear Glendale, O T +1 818. F +1 818. zab@zohra www.zohra	n View Blv California 9 236.3619 236.2171 bians.com	s and Builders d. Suite B 1208	wigeles s, Inc.
These drawings a property and co ARCHITECTS AN not be used on a agreement with 2 AND BUILDERS I precedence over be verified by the Any discrepancy attention of ZOH BUILDERS INC. p any work. The Preliminary of scope of the pro- design concept, building, the major the type of struct systems. As sco do not necessar work required fo completion of the contract docume general scope in contractor shall proper execution CLIENT: Anton Ogane 35 I O N Vero Glendale, Ca	pyright of D BUILDE any other ZOHRABIA NC. Writt scaled a e contrac shall be to RABIANS prior to the RABIANS prior to the rawing independent or archite ctural, men pe docum ily indicate r full perfor e requirer ents. On to dicated o furnish all a and com	ZOHRABIAN RS INC., and work except ANS ARCHIT en dimensions an tor on the jo prought to the ARCHITECT he commence dicates the dra chanical, eleme chanical, eleme chanical discribed in described items requir pletion of the vd.	VS d shall : by ECTS ns take nd shall ob site. ne S AND ement of general tectural ents and ctrical awings e all the , the ed for
PROJECT: Verdugo Luxury A 35 I O N Ver Glendale, Ca DESCRIPTION	partr dugo Bl . 9 20 REVISIO	nents ^{vd.} 8	BY
SHEET TITLE: PROPOSED E SECTIONS		G	
DATE SCALE DRAWN BY JOB NUMBER SHEET	04.25 /8"= MH 053	'- 0"	

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PALO VERDE MULTI. TRUNK	24" BX. 15 GAL.	
	5 GAL. 5 GAL.	4 2

SIZE	QTY.	SPACING
24" BX.	2	-
24" BX.	I	-
I 5 GAL.	I	-
5 GAL.	40	5' O.C.
5 GAL.	23	4' O.C.
5 GAL.	18	-
1 5 GAL.	42	RANDOM
5 GAL.	50	RANDOM
5 GAL.	30	"
5 GAL.	3	RANDOM
SOD	-	-
FLATS	AS NEEDED	I 2" O.C.

15 GAL.		
5 GAL.	40	
5 GAL.	23	
5 GAL.	18	
15 GAL.	42	
5 GAL.	50	
5 GAL.	30	
5 GAL.	3	
SOD	-	
FLATS	AS NEEDED	

	5 Si	GAL. GAL. OD _ATS	

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- PROPOSED GROUND OVER

