

## GENERAL NOTES

1. TAKE CAREFUL NOTE OF ALL REQUIREMENTS UNDER DIVISION 1 - GENERAL REQUIREMENTS THAT ARE MADE A PART OF THE CONTRACT, INCLUDING PROJECT REQUIREMENTS, GENERAL REQUIREMENTS, PROJECTION AND SPECIAL PRECAUTIONS, AND THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSSCHECK DETAILS AND DIMENSIONS ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FLOOR OPENINGS, SLEEVES AND OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
3. ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDINGS LAWS. REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS AND PLANS, EXCEPT WHERE EXCEEDED HEREIN.
4. ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATION OF PLANS SHALL BE REFERRED BY THE CONTRACTOR TO THE ARCHITECT, IN THE EVENT SUCH MATTERS ARE NOT ADEQUATELY COVERED IN PLANS.
5. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES ARE TO BE CALLED TO THE ATTENTION OF THE ARCHITECT.
6. NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED.
7. THE CONTRACTOR SHALL FURNISH WATER, SEWER, GAS AND ELECTRIC SERVICE TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR AS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL VERIFY LOCATION OF AFFECTED EXISTING MECHANICAL DUCTS AND ELECTRICAL SYSTEMS.
9. ALL SUBSTITUTIONS OF PRODUCTS SPECIFIED OR DEVIATIONS TO THE DRAWINGS OR SPECIFICATIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
10. VERIFY EXACT LOCATION OF CEILING ACCESS PANELS WITH MECHANICAL CONTRACTOR. PROVIDE ACCESS PANELS WHERE REQUIRED.
11. PATCHING AND REPAIR SHALL BE PERFORMED TO CREATE A CONTINUOUS AND UNIFORM SURFACE WHERE REQUIRED.
12. CEILING HEIGHTS SHOWN ON REFLECTED CEILING PLANS ARE FROM FINISH FLOOR TO FINISH CEILING.
13. PROVIDE DRYWALL, SCREED OR PLASTER GROUND ON ALL END WALL CONDITIONS AND MAINTAIN SEPARATION FROM NON-COMPATIBLE MATERIAL. INFORM ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
14. EXCEPT AS OTHERWISE NOTED ON THE DRAWINGS, PARTITIONS SHALL BE 2X4 WOOD STUDS AT 16" O.C. WITH SILL AND PLATES AS SHOWN IN THE APPLICABLE DETAILS, OR AS REQUIRED BY LOCAL GOVERNING REGULATIONS.
15. ALL DRYWALL SHALL BE 5/8" THICK GYPSUM BOARD, EXCEPT WHERE NOTED OTHERWISE.
16. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENTS OF THE CITY OF GLENDALE, BUILDING AND SAFETY AND 2013 GBC AND CBC.
17. FIRE EXTINGUISHERS (WHEN REQUIRED) SHALL BE RECESSED IN LOCATIONS APPROVED BY THE CITY OF GLENDALE FIRE DEPARTMENT. ONLY APPROVED TYPE FIRE EXTINGUISHERS SHALL BE USED.
18. CONTRACTOR WARRANTS THAT ALL WORK AND MATERIALS SHALL CONFORM TO THE CONTRACT DOCUMENTS AND NO SUBSTITUTION SHALL BE PERMITTED UNLESS SUBMITTED TO THE ARCHITECT IN WRITING WITH THREE COPIES OF LITERATURE AND SPECIFICATIONS AND FORMALLY APPROVED BY THE ARCHITECT AND OWNER.
19. IF THE CONTRACTOR ENCOUNTERS ASBESTOS OR OTHER TOXIC MATERIALS, THE WORK SHALL IMMEDIATELY CEASE AND THE OWNER AND ARCHITECT SHALL BE INFORMED OF THE PRESENCE OF THESE MATERIALS FOR IMMEDIATE ACTION.
20. LEVERS AND LOCKSETS (ALL HARDWARE) SHALL MEET CITY OF GLENDALE SECURITY REQUIREMENTS AND SELECTED BY OWNER AND HAVE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
21. CONTRACTOR IS RESPONSIBLE FOR TITLE 24 ENERGY CALCULATIONS IF A DEVIATION IN DESIGN IS REQUESTED. SUBMIT ANY REQUESTS FOR DEVIATION TO THE ARCHITECT FOR APPROVAL.
22. PROVIDE APPROVED FIRE DAMPERS FOR ALL DUCTS PENETRATING FIRE RATED WALLS AND FLOORS.
23. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 5' FROM FINISH WALL TO FINISH JAMB.
24. ALL WALL MOUNTED TELEPHONE AND ELECTRICAL OUTLETS SHALL BE INSTALLED AT 15" A.F.F., UNLESS OTHERWISE NOTED.
25. ALL LIGHT FIXTURES SHALL BE LOCATED EXACTLY AS INDICATED ON CEILING PLANS.

## FIRE DEPARTMENT NOTES

1. **ADDRESS NUMBERS.** APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS, GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (6) INCHES (152 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
2. **KNOX BOX.** MOUNTING HEIGHT FOR THE KNOX BOX AND/OR KEY SWITCH SHALL NOT TO EXCEED 6' ABOVE THE GROUND LEVEL / FINISHED FLOOR. PROVIDE THREE (3) SETS OF KEYS (WITH PERMANENT ENGRAVED IDENTIFICATION) FOR ALL EXTERIOR DOORS, GATES, FIRE ALARM PANEL, AND OTHERS AS DIRECTED BY THE FIRE INSPECTOR.
3. **FIRE EXTINGUISHERS:** PROVIDE A FIRE EXTINGUISHER (MINIMUM 2A-10BC) WITHIN A RECESSED OR SEMI-RECESSED CABINET WITHIN 75 FEET TRAVEL DISTANCE FROM ALL POINTS IN THE OCCUPANCY; THE EXTINGUISHER SHALL BE MOUNTED ON A HOOK WITHIN THE CABINET (ELEVATED OFF CABINET FLOOR); THE TOP OF THE EXTINGUISHER SHALL BE NO HIGHER THAN 48 INCHES (1219 MM) ABOVE THE FLOOR; EXTINGUISHER SHALL BE PLACED IN A EASILY ACCESSIBLE LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE.
4. **FIRE SPRINKLERS.** NEW SYSTEM: A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE STRUCTURE IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13 AND THE REQUIREMENTS OF THE GLENDALE FIRE DEPARTMENT. PLANS AND PERMIT APPLICATION SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT. RISER AND ALL SPRINKLER PIPING SHALL BE CONCEALED, NO EXPOSED PIPING ON EXTERIOR PERMITTED. QUICK RESPONSE SPRINKLER HEADS ARE REQUIRED THROUGHOUT THE STRUCTURE UNLESS CONTRA-INDICATED. FLAT CONCEALED SPRINKLER HEADS ARE REQUIRED IN ALL HABITABLE AREAS.
5. **FIRE ALARM: NEW SYSTEM.** PROVIDE A FIRE ALARM SYSTEM CAPABLE OF NOTIFYING THE OCCUPANTS, AUDIBLY AND VISUALLY, UPON ACTIVATION OF THE AUTOMATIC FIRE SPRINKLER SYSTEM. THE FIRE ALARM SYSTEM SHALL BE INSTALLED BY A U.L. LISTED FIRE ALARM INSTALLATION COMPANY. UPON COMPLETION OF THE INSTALLATION A SERIALIZED CERTIFICATE SHALL BE ISSUED IN ACCORDANCE WITH THE LISTING AGREEMENT BETWEEN THE INSTALLER AND UNDERWRITERS LABORATORIES. PLANS AND PERMIT APPLICATION SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT. WORK ON THE FIRE ALARM SYSTEM SHALL BE DONE ONLY BY A QUALIFIED U.L. LISTED FIRE ALARM CONTRACTOR WHO WILL PROVIDE THE GLENDALE FIRE DEPARTMENT WITH A COPY OF A U.L. CERTIFICATE CERTIFYING PROPER INSTALLATION OF THE SYSTEM AND MINIMUM ONE (1) YEAR TESTING AND MAINTENANCE AGREEMENT PRIOR TO FINAL INSPECTION. SUCH SYSTEM SHALL BE MONITORED BY A U.L. LISTED CENTRAL STATION IN ACCORDANCE WITH 2013 CFC SEC. 903.4.
6. **EMERGENCY LIGHTING:** EMERGENCY LIGHTING SHALL COMPLY WITH THE PROVISIONS OF 2013 CBC 1006. THE MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN ONE (1) FOOT-CANDLE AT THE WALKING SURFACE LEVEL. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL AREAS PER CODE.

**EXIT** 7. **EXIT SIGNS:** EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. BE ILLUMINATED AT ALL TIMES AND COMPLY WITH PROVISIONS OF THE 2013 CBC 1001.

8. **DOOR OPERATIONS:** ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. THE UNLATCHING OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION.

9. **LOCKS AND LATCHES:** THE LOCKING DEVICE FOR THE MAIN EXTERIOR EXIT DOOR(S) SHALL BE READILY DISTINGUISHABLE AS LOCKED. DOOR SHALL ALSO HAVE A VISIBLE DURABLE SIGN STATING: **THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED**. A SIGN SHALL BE IN LETTERS ONE INCH HIGH ON CONTRASTING BACKGROUND (ABOVE THE DOOR); POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR. A (AS APPLICABLE).

10. **ADDITIONAL PERMITS:** PRIOR TO FINAL INSPECTION, THE FOLLOWING ANNUAL PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT:

- INDUSTRIAL WASTE
- OTHER

(AS APPLICABLE.)

11. **REQUIRED SPD INSPECTIONS:** FOR ALL INSPECTIONS, CALL 818-548-4810. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE:

- OVERHEAD SPRINKLER ROUGH INSPECTION (PRIOR TO COVERING ANY PIPING).
- FIRE ALARM ROUGH INSPECTION (PRIOR TO COVERING ANY WIRING/CONDUIT).
- SPRINKLER FINAL.
- FIRE ALARM FINAL.
- ASSEMBLY.
- INDUSTRIAL WASTE FINAL.
- OTHER.
- FIRE PREVENTION FINAL. CONTRACTOR MUST REQUEST A SEPARATE INSPECTION. INSPECTION INCLUDES, BUT IS NOT LIMITED TO: FIRE EXTINGUISHERS, SIGNAGE, DOOR HARDWARE AND MEANS OF EGRESS, EMERGENCY EXIT LIGHTING, ETC.

SPD REQUIRED

## 501 S. CENTRAL PROFESSIONAL BUILDING



501 S. CENTRAL AVE.  
GLENDALE, CA 91204

## LEGEND OF SYMBOLS

	METAL		NORTH ARROW
	PLYWOOD		SECTION
	GYPSUM WALLBOARD		GRID LINE
	CONCRETE		MATCH LINE
	FINISH WOOD		ELEVATION
	BATT INSULATION		DIRECTION OF SLOPE
	ACOUSTICAL TILE		DRAWING NUMBER
	WOOD BLOCKING		INTERIOR ELEVATION
	CONT. WOOD BLOCKING		ROOM NUMBER
	CARPET SECTION		STOREFRONT
	DETAIL NUMBER		DOOR
	SHEET ON WHICH DETAIL OCCURS		WINDOW
	ROOM FINISH NOTE		CENTERLINE
	DOOR NUMBER		
	ROOM NUMBER		

## STANDARD ABBREVIATIONS

•	AT	FDN.	FOUNDATION	PARTN.	PARTITION
A.B.	ANCHOR BOLT	FIN.	FINISH	PLAST.	PLASTER
A.D.	AREA DRAIN	FL.	FLOOR	PLY.	PLYWOOD
ADONL.	ADDITIONAL	FLASHG.	FLASHING	PNL.	PANEL
ADJ.	ADJACENT	F.O.C.	FACE OF CONCRETE	PRPT.	PARAPET
A.F.F.	ABOVE FINISH FLOOR	F.O.F.	FACE OF FINISH	PTD.	PAINTED
ALUM.	ALUMINUM	F.O.M.	FACE OF MASONRY	R.O.	ROUGH OPENING
APPROX.	APPROXIMATELY	F.O.S.	FACE OF STUD	R.	RADIUS
ARCH.	ARCHITECT	FRMG.	FRAMING	R.C.P.	REFLECTED CEILING PLAN
AS.	ASPHALTING CONCRETE	FT.	FOOT / FEET	R.D.	ROOF DRAIN
ASST.	ASSEMBLY	FTB.	FOOTING	REF.	REFERENCE
B.O.	BOTTOM OF	GA.	GAGE	REF.	REINFORCEMENT
BO.	BOARD	GALV.	GALVANIZED	REGD.	REQUIRED
B.T.	BUTYLENE(S)	GYP.	GYPSUM	REG.	ROOFING
BLDG.	BUILDING	H.B.	HOSE BIBS	RM.	ROOM
BLKS.	BLOCKING	H.C.	HOLLOW CORE	S.B.	SANDCASTED
BM.	BEAM	H.M.	HOLLOW METAL	S.D.	STORM DRAIN
CAB.	CABINET	HDR.	HEADER	S.C.	SOLID CORE
C.B.	CATCH BASIN	HORIZ.	HORIZONTAL	S.S.	STAINLESS STEEL
C.T.	CERAMIC TILE	HT.	HEIGHT	SCHED.	SCHEDULE
CEM.	CEMENT	I.D.	INSIDE DIAMETER	SKT.	SHEET
CL.	CENTER LINE	INFO.	INFORMATION	SH.	SHILAR
CLB.	CEILING	INSUL.	INSULATION	SPEC.	SPECIFICATION
CLR.	CLEAR	INT.	INTERIOR	SPEC'D.	SPECIFIED
COL.	COLUMN	I.S.F.W.	INSIDE OF FINISH WALL	SQ.	SQUARE
COMP.	COMPOSITION	JT.	JOINT	STD.	STANDARD
CONC.	CONCRETE	M.O.	MASONRY OPENING	STRUCT.	STRUCTURAL
CONSTR.	CONSTRUCTION	MAX.	MAXIMUM	SUSP.	SUSPENDED
CONT.	CONTINUOUS	MEM.	MEMBER	T.	TEMPERED
CONTR.	CONTRACTOR	MECH.	MECHANICAL	T.O.	TOP OF
CPT.	CARPET	MEMB.	MEMBRANE	T.C.S.	TERNE COATED STEEL
CTR.	CENTER	MFR.	MANUFACTURER	T.C.Z.	TERNE COATED ZINC
DBL.	DOUBLE	MIN.	MINIMUM	TEMP.	TEMPERED
D.F.	DOUGLAS FIR	MISC.	MISCELLANEOUS	THK.	THICK
DIA.	DIAMETER	MTD.	MOUNTED	TYP.	TYPICAL
DIM.	DIMENSION	MTL.	METAL	U.B.C.	UNIFORM BUILDING CODE
DN.	DOWN	N.I.C.	NOT IN CONTRACT	U.O.N.	UNLESS OTHERWISE NOTED
DR.	DOOR	N.T.S.	NOT TO SCALE	VERT.	VERTICAL
D.S.	DOWNSPOUT	NAT.	NATURAL	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
DET.	DETAIL	NOM.	NOMINAL	W.C.	WATER CLOSET
DRAWING.	DRAWING	OV.	OVER	W/O	WITHOUT
EA.	EACH	O.G.	ON CENTER	W/	WITH
ELEC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER	W/	WITHIN
EL.	ELEVATION	O.H.	OVER HEAD	W.P.	WATER PROOF
ENCL.	ENCLOSURE	OPENG.	OPENING	W.R.	WATER RESISTANT
EQ.	EQUAL	OPP.	OPPOSITE	WOOD.	WOOD
EXIST.	EXISTING	O.S.F.W.	OUTSIDE FACE OF FINISH WALL	WT.	WALL THICKNESS
EXP.	EXPANSION	PL.	PROPERTY LINE		
EXT.	EXTERIOR	P.LAM.	PLASTIC LAMINATE		
EXTR.	EXTRUDED	P.B.L.	PAPER BACKED LATH		
F.D.	FLOOR DRAIN	P.T.	PRESSURE TREATED		

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### LANDSCAPING:

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## LEGAL DESCRIPTION

PORTION OF LOT 14 OF PALMETTO TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 180 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

### AREA ANALYSIS:

LOT AREA :	8,400 SQ. FT.
ZONE :	C31
ALLOWABLE HEIGHT:	50'-0" MAXIMUM
PROPOSED HEIGHT:	50'-0"
1ST FLOOR LOBBY, RETAIL, STAIRS:	985 SQ. FT.
2ND FLOOR LOBBY, RETAIL, STAIRS, RESTROOMS:	7,066 SQ. FT.
3RD FLOOR LOBBY, RETAIL, RESTROOMS:	6,825 SQ. FT.
TOTAL FLOOR AREA:	14,876 SQ. FT.
MEZZANINE FLOOR AREA:	2,950 SQ. FT.
STREET LEVEL GARAGE FLOOR AREA:	6,770 SQ. FT.
SUBTERRANEAN LEVEL GARAGE FLOOR AREA:	8,325 SQ. FT.
TOTAL GARAGE FLOOR AREA:	15,095 SQ. FT.

## PROJECT SUMMARY

### SCOPE OF WORKS:

TO DEMOLISH 720 S.F. STRUCTURE AND 918 S.F. STRUCTURE AND TO CONSTRUCT A 3 STORY HIGH, (14,876 S.F.) NEW OFFICE BUILDING OVER ONE LEVEL. (8,325 S.F.) SUBTERRANEAN PARKING GARAGE.

CONSTRUCTION TYPE  
OCCUPANCY GROUP: TYPE V-A FULLY SPRINKLERED M

### PARKING ANALYSIS:

PARKING REQUIRED  $\frac{4876}{1000} \times 2.1 = 40.17$  CARS

### PARKING PROVIDED:

15 PARKING SPACES AT UNDERGROUND GARAGE LEVEL  
15 PARKING SPACES AT STREET LEVEL (13 STANDARD & 2 ACCESSIBLE)  
30 PARKING SPACES TOTAL  
4 TANDEM PARKING SPACES  
17 PARKING LIFTS AT STREET AND UNDERGROUND GARAGE LEVELS.  
TOTAL PARKING SPACES = 51 CARS

## L.A. ASSESSOR'S RECORD

ASSESSOR'S ID NO. 5636-012-001

SITE ADDRESS

PROPERTY TYPE  
REGION / CLUSTER  
TAX RATE AREA (TRA)

PROPERTY BOUNDARY DESCRIPTION  
  
BUILDING DESCRIPTION(S)  
  
IMPROVEMENT:

SQUARE FOOTAGE  
YEAR BUILT / EFFECTIVE YEAR BUILT  
BEDROOMS / BATHROOMS  
UNITS

SQUARE FOOTAGE  
YEAR BUILT / EFFECTIVE YEAR BUILT  
BEDROOMS / BATHROOMS  
UNITS

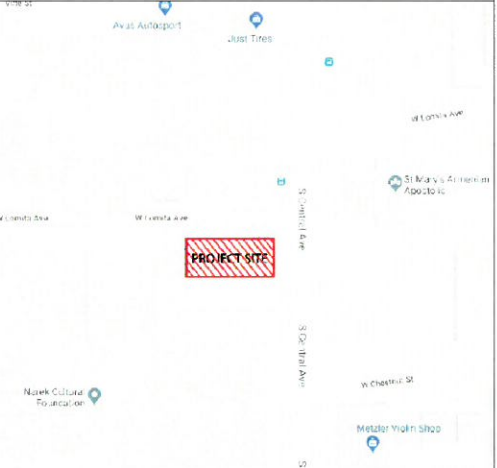
501 S. CENTRAL AVE.  
GLENDALE, CA 91204  
COMMERCIAL / INDUSTRIAL  
24 / 24633  
04045

PALMETTO TRACT N 60 FT OF  
W 140 FT OF E 150 FT OF LOT 14

720  
1948/ 1955  
0 / 0  
1

918  
1921/ 1926  
2 / 1  
1

## VICINITY MAP



Owner:  
501 S. CENTRAL AVENUE LLC

Owner Address:

Project Name:  
501 S. CENTRAL  
PROFESSIONAL  
BUILDING

Project Address:  
501 S. CENTRAL AVE.  
GLENDALE, CA 91204

## COVER SHEET

Scale: N/A

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 06-18-18
- JOB NO
- SHEET NO

A-0.1





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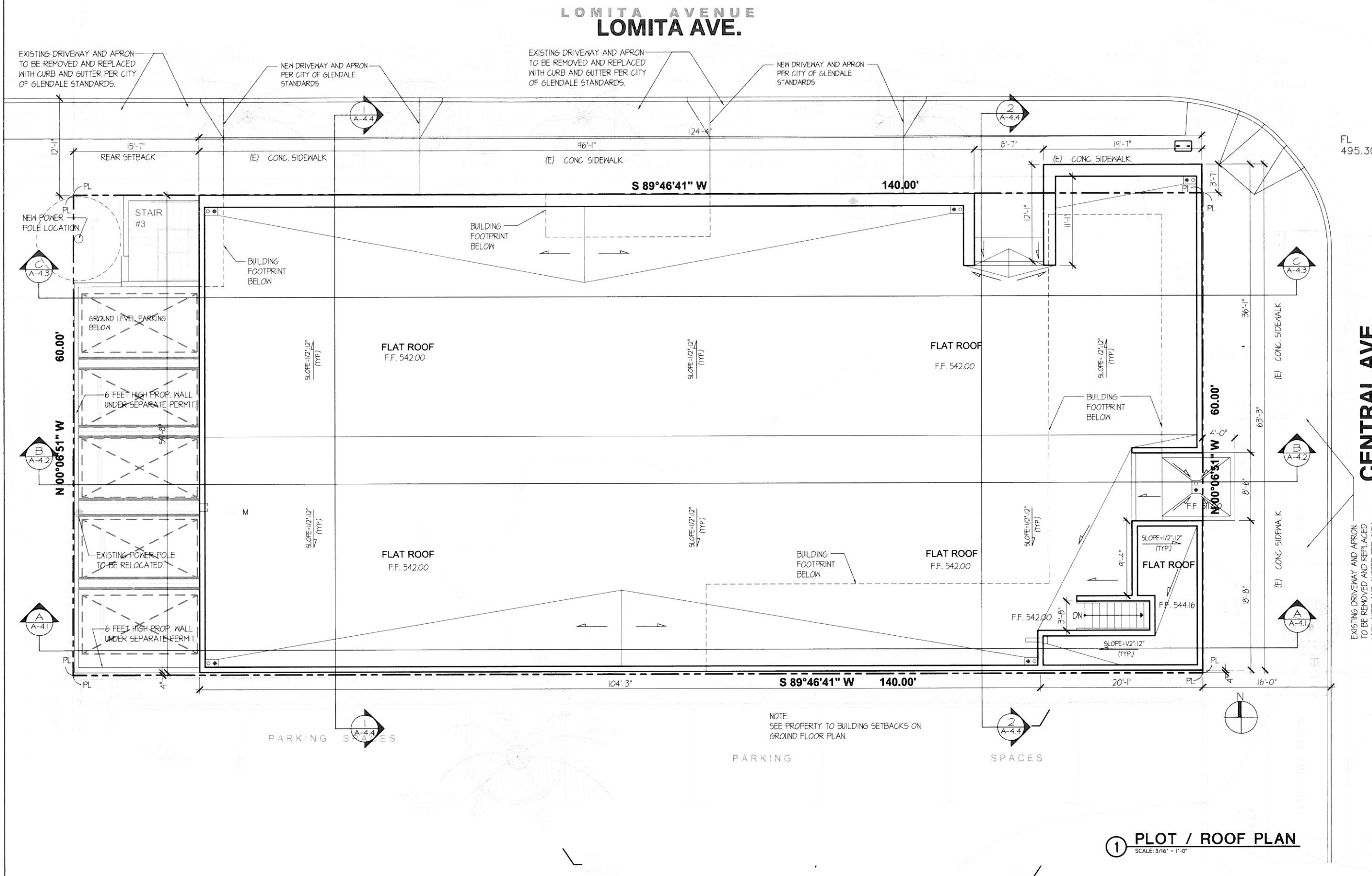
PLOT / ROOF  
PLAN

Scale: 3/16"=1'-0"

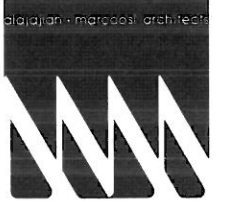
## KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 06-18-18
- JOB NO
- SHEET NO

### A-1.1



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Project Name:  
**501 S. CENTRAL  
PROFESSIONAL  
BUILDING**

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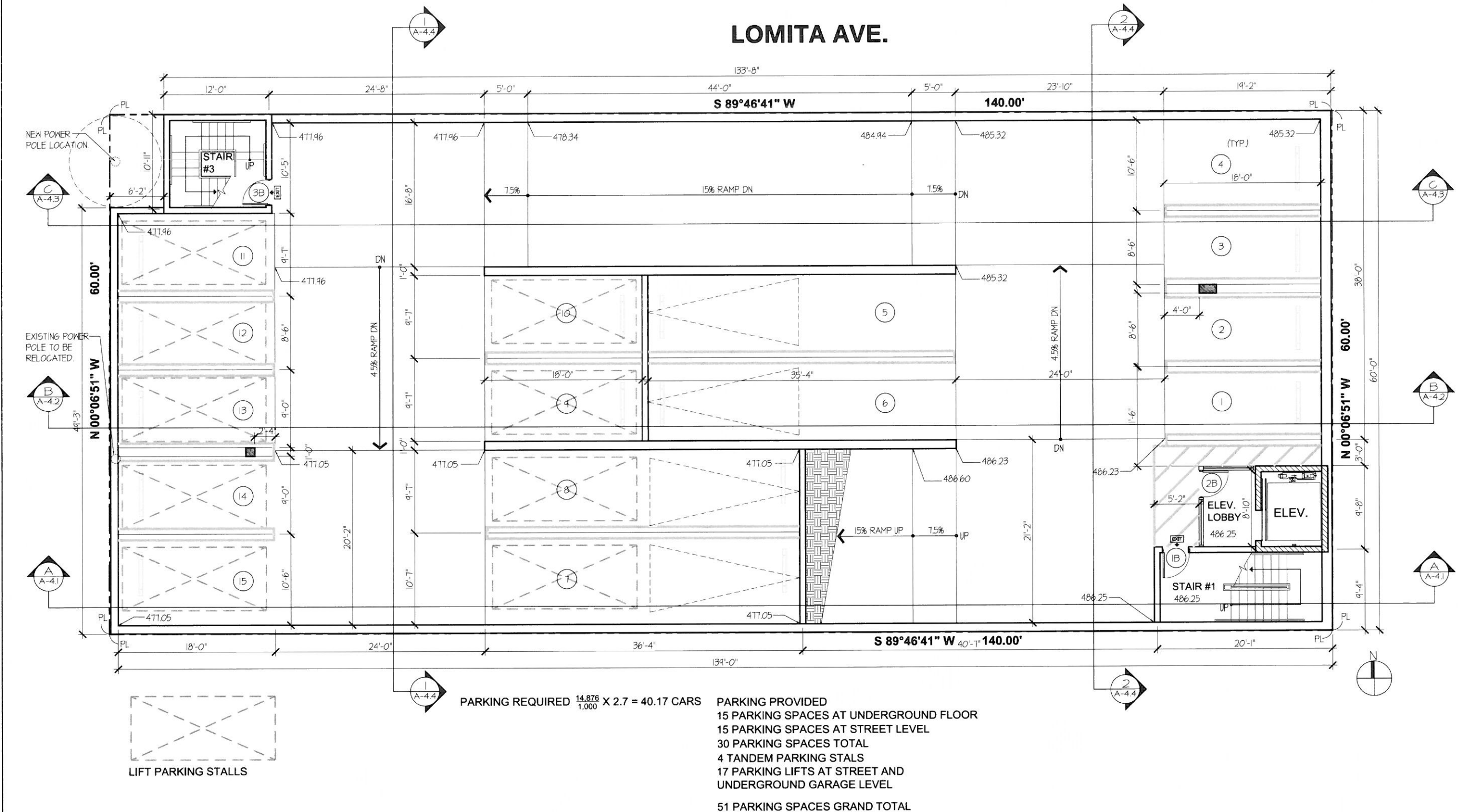
**SUBTERRANEAN  
PARKING  
PLAN**

Scale: 1/16" = 1'-0"

**KEYPLAN**

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
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**A-2.0**





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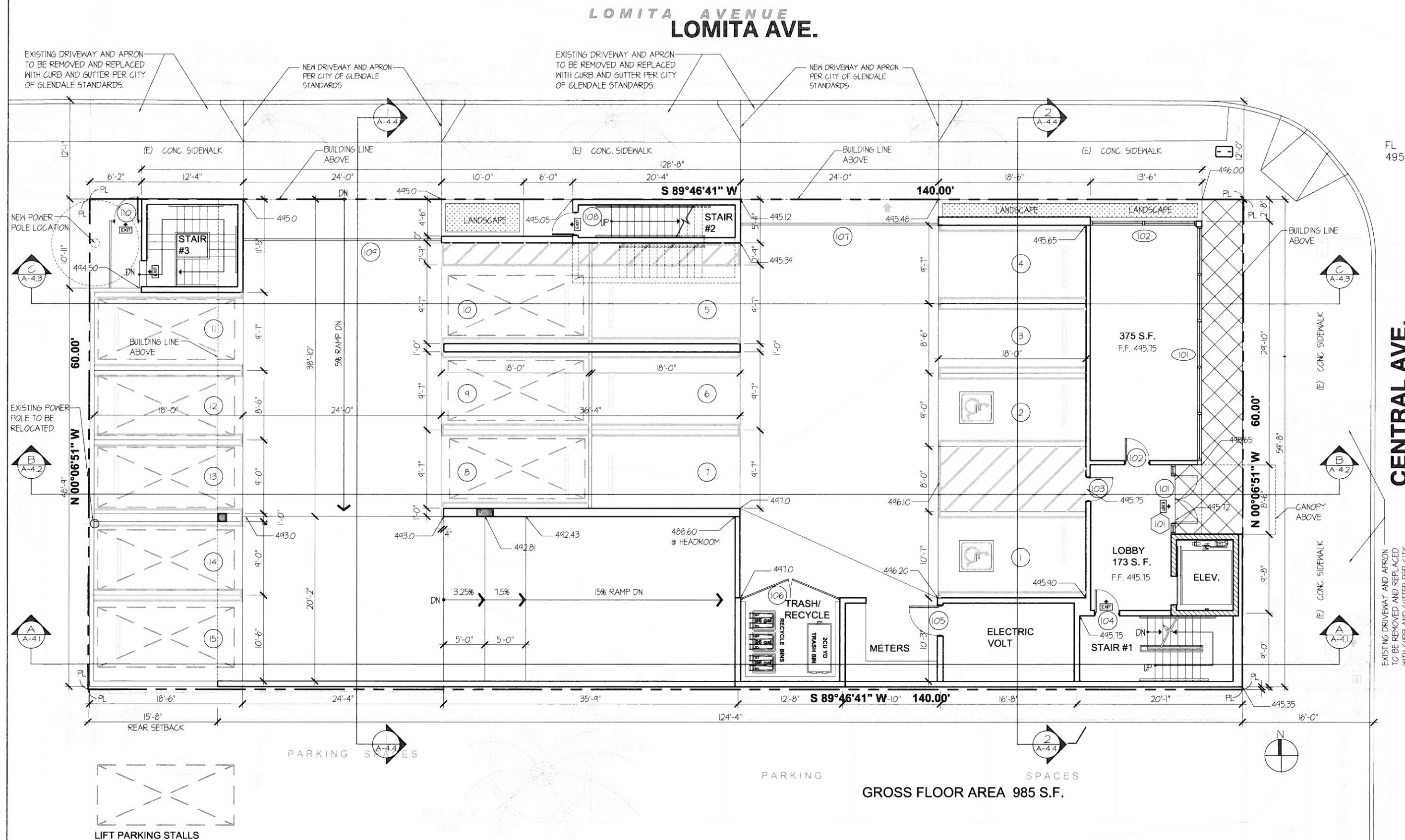
### 1ST FLOOR PLAN

Scale: " = 1'-0"

## KEYPLAN

☐ APPROVED  
☐ APPROVED  
☐ REVISION  
☐ REVISION  
☐ REVISION  
☐ DRAWN BY  
☐ PRINT DATE 06-18-18  
☐ JOB NO  
☐ SHEET NO

## A-2.1



1 1ST FLOOR PLAN  
SCALE: 3/16" = 1'-0"



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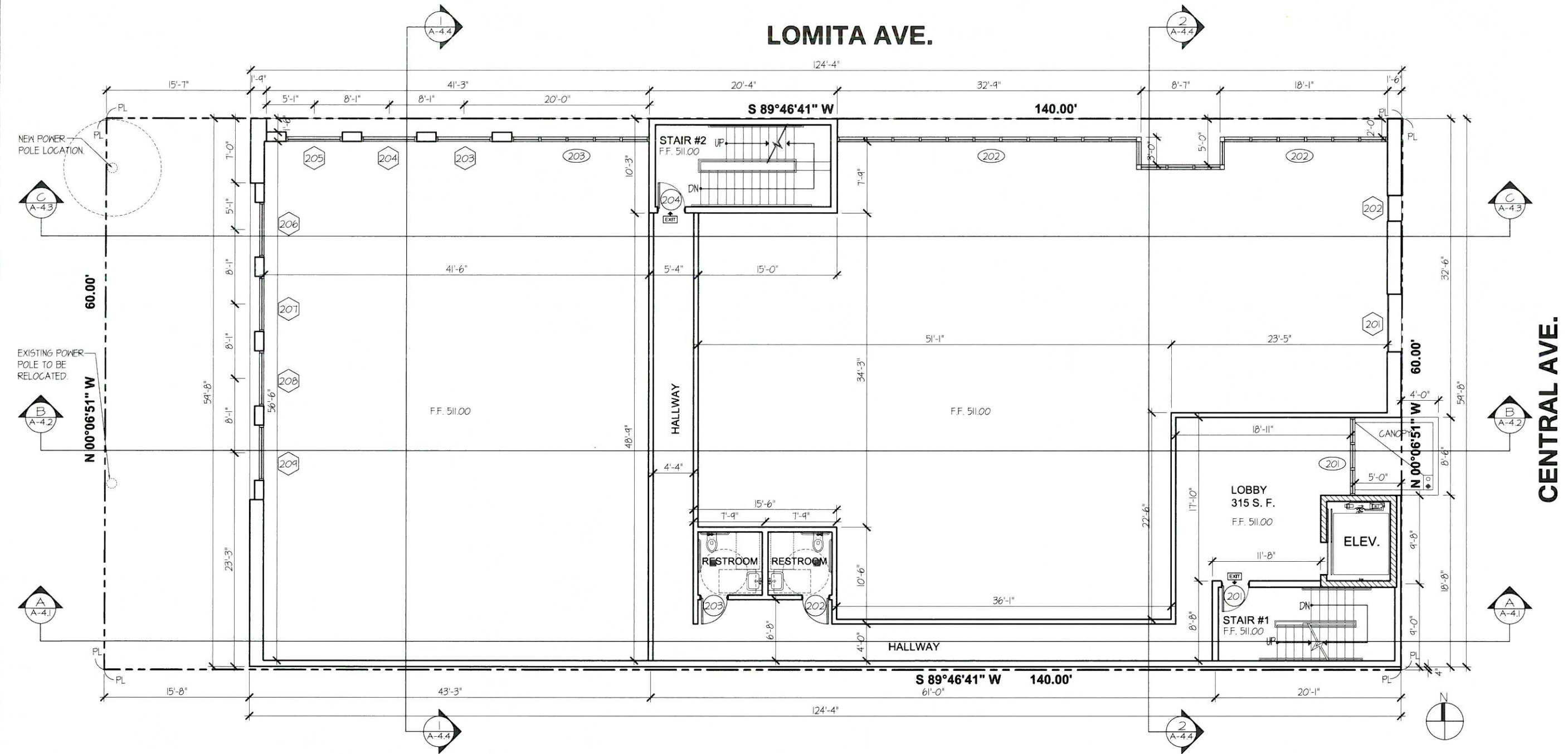
## 2ND FLOOR PLAN

Scale: 3/16" = 1'-0"

### KEYPLAN

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**A-2.2**



**1 2ND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



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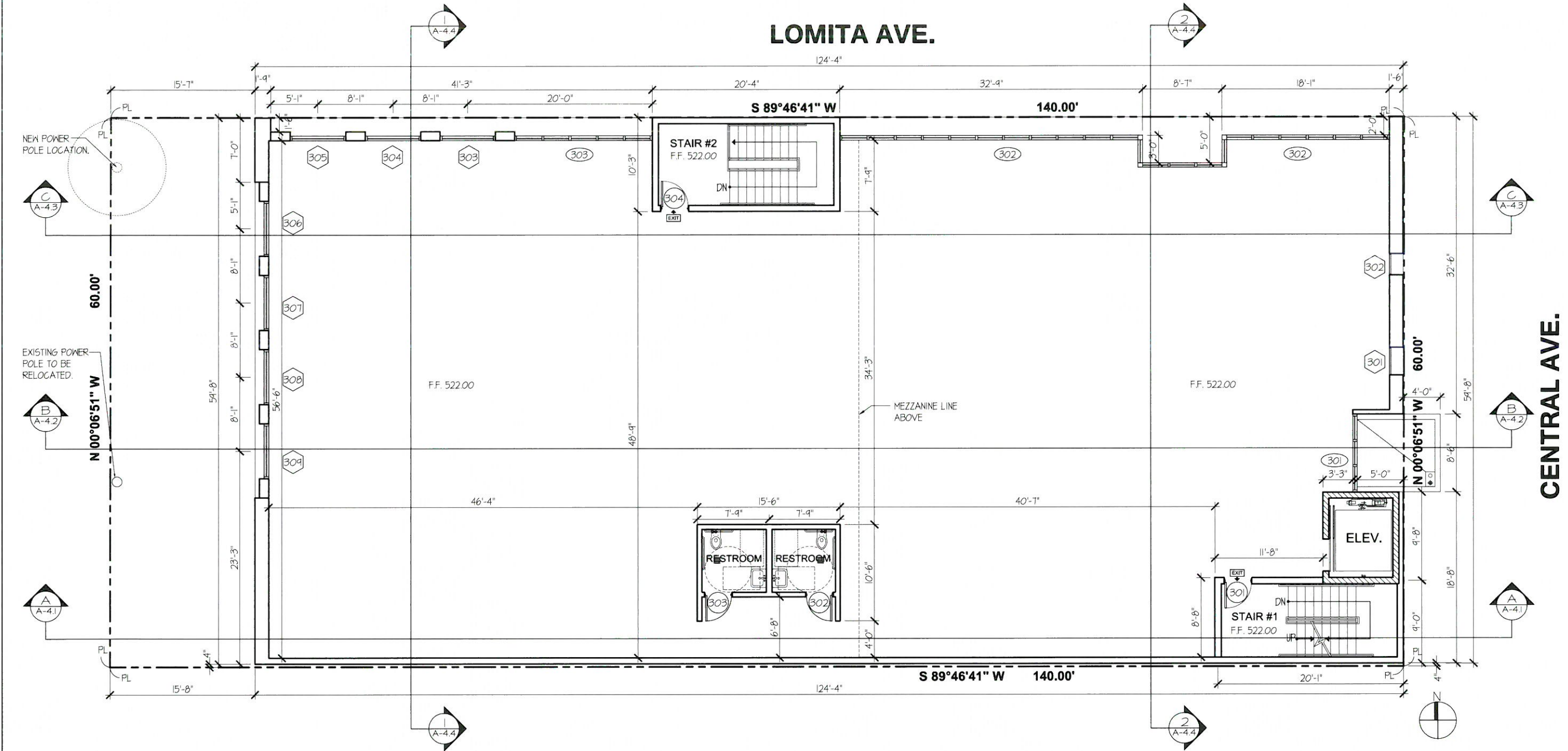
## 3RD FLOOR PLAN

Scale: 3/16" = 1'-0"

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**A-2.3**



## 1 3RD FLOOR PLAN

SCALE: 3/16" = 1'-0"



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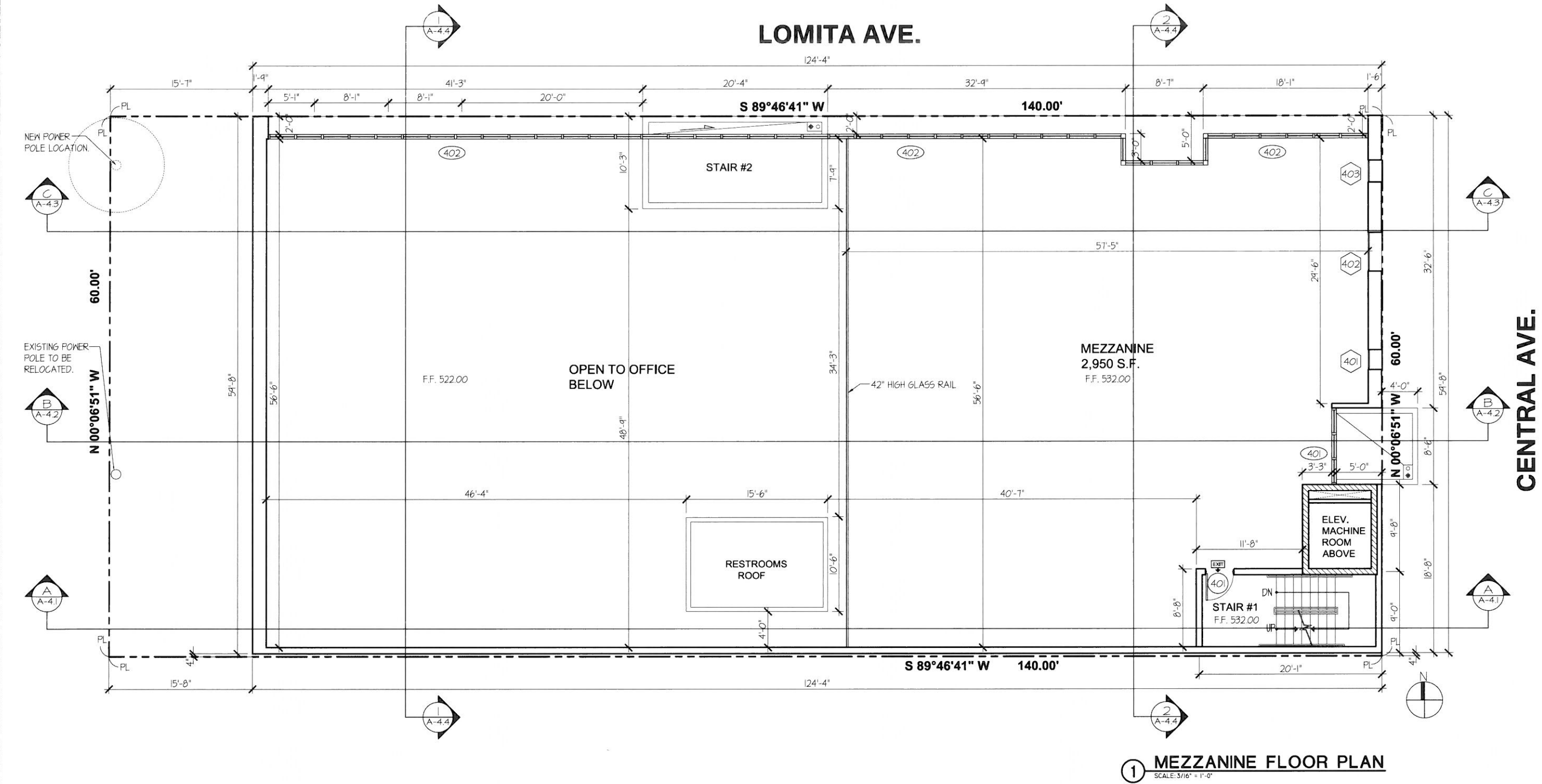
**3RD FLOOR  
PLAN**

Scale: 3/16"=1'-0"

**KEYPLAN**

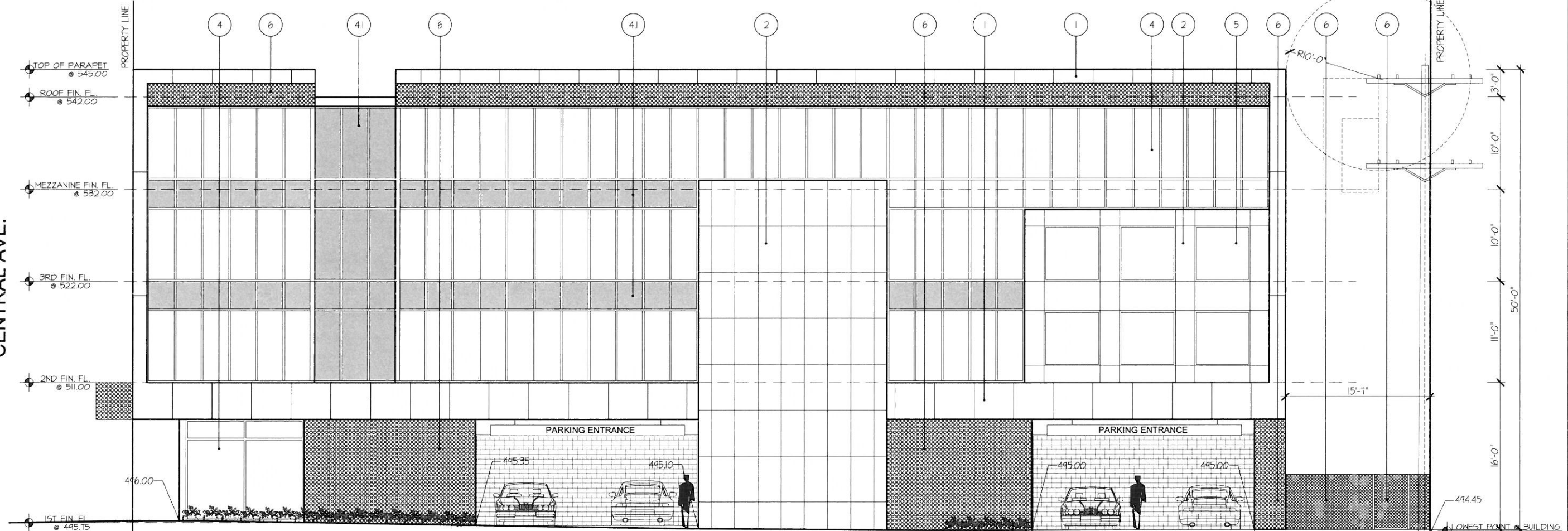
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**A-2.4**





CENTRAL AVE.

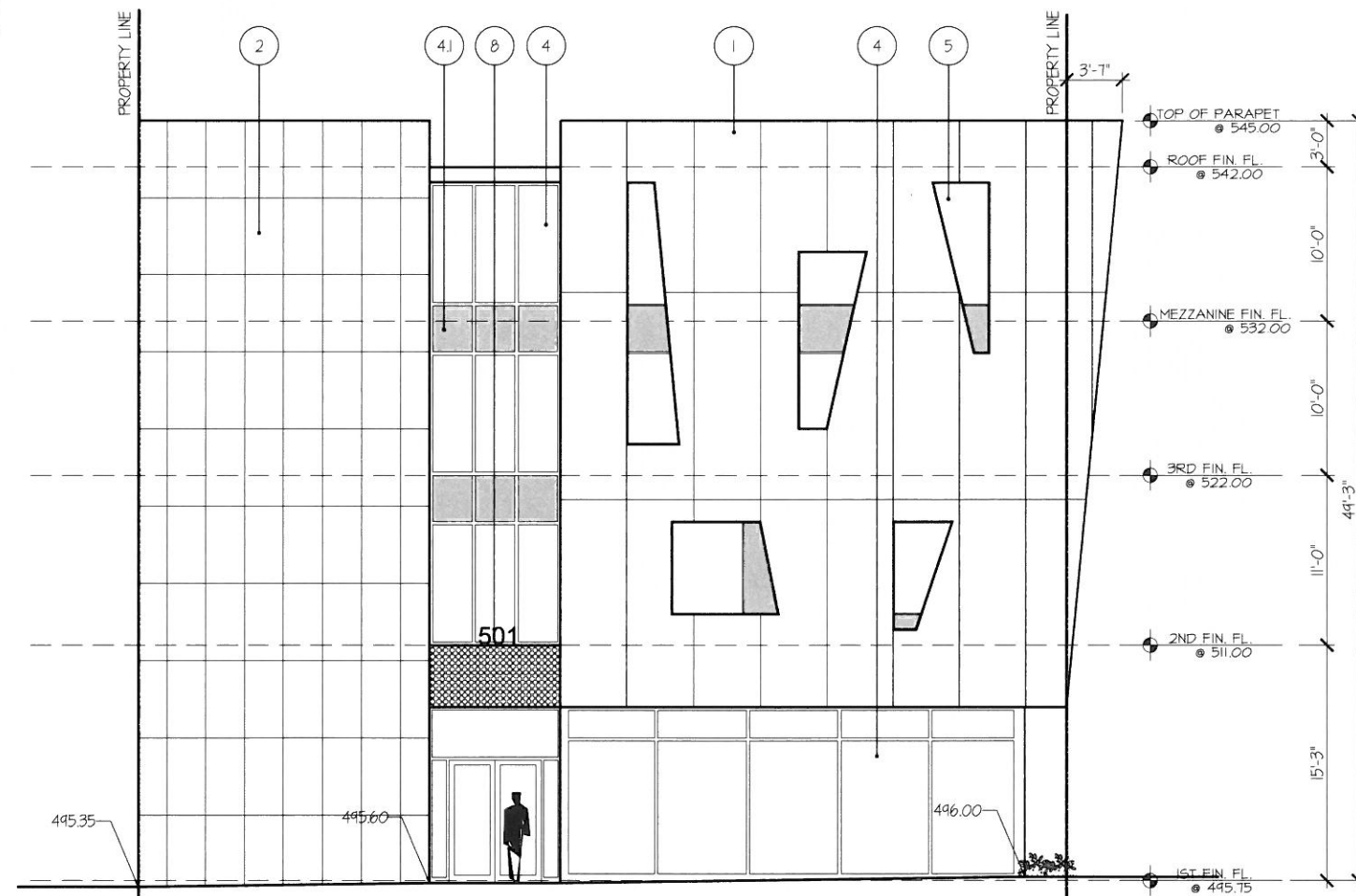


1 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIALS:

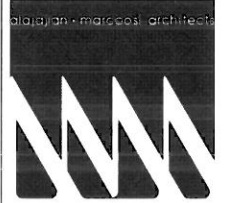
1. 1/4" NOMINAL THK. EXTERIOR GRADE "FINDERMAX" OR EQUAL COMPOSITE PANELS, COLOR BLACK.
2. 1/4" NOMINAL THK. STONEPEAK TILE COLOR "EXTRA VENA" OR EQUAL.
3. METAL PANEL TRIM AND FASCIA, "ALPOLIC" OR EQUAL CHAMPAGNE METALIC COLOR(TYP.).
4. DUAL GLAZED LOW "E" VISION GLASS, WITH ANODIZED FRAME CURTAIN WALL ASSEMBLY, GLASS COLOR GOLD(TYP.).
- 4.1 DUAL GLAZED LOW "E" VISION GLASS, WITH ANODIZED FRAME CURTAIN WALL ASSEMBLY, GLASS COLOR DARK GREY(TYP.).
5. ANODIZED ALUMINUM DOOR AND WINDOWS W/ DUAL GLAZED LOW "E" VISION GLASS, COLOR GOLD.
6. BACKLIT PERFORATED METAL PANELS.
7. 1/4" W. ALUMINUM REVEAL, "FRY REGLET" OR EQUAL(TYP.).
8. 9" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBERS
9. 1/8"THK. STEEL TROWLED SMOOTH FINISH CEMENT PLASTER, "OMEGA PRODUCTS INTERNATIONAL" COLOR 9240 IVORY.
10. 1/8"THK. STEEL TROWLED SMOOTH FINISH CEMENT PLASTER, "OMEGA PRODUCTS INTERNATIONAL" COLOR 9221 SHARK GRAY.

W. LOMITA AVE.



2 EAST ELEVATION  
SCALE: 3/16" = 1'-0"

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**NORTH AND  
EAST  
ELEVATIONS**

Scale: 3/16"=1'-0"

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**A-3.1**

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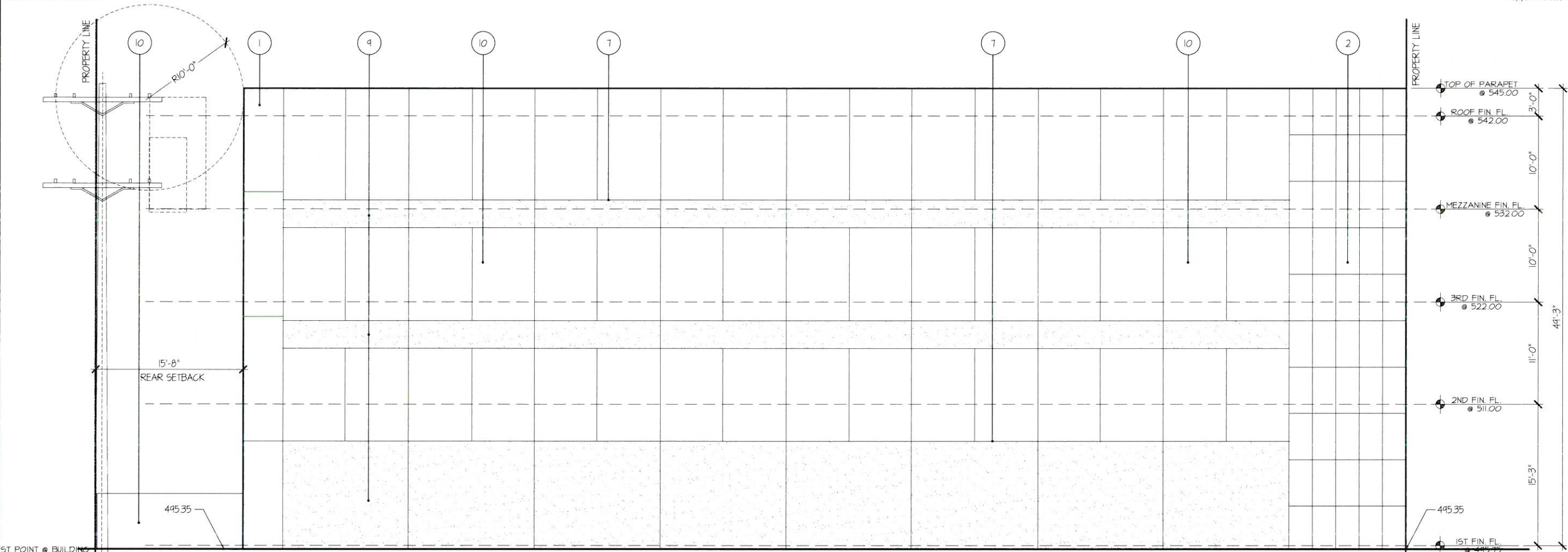
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CENTRAL AVE.



## ① SOUTH ELEVATION

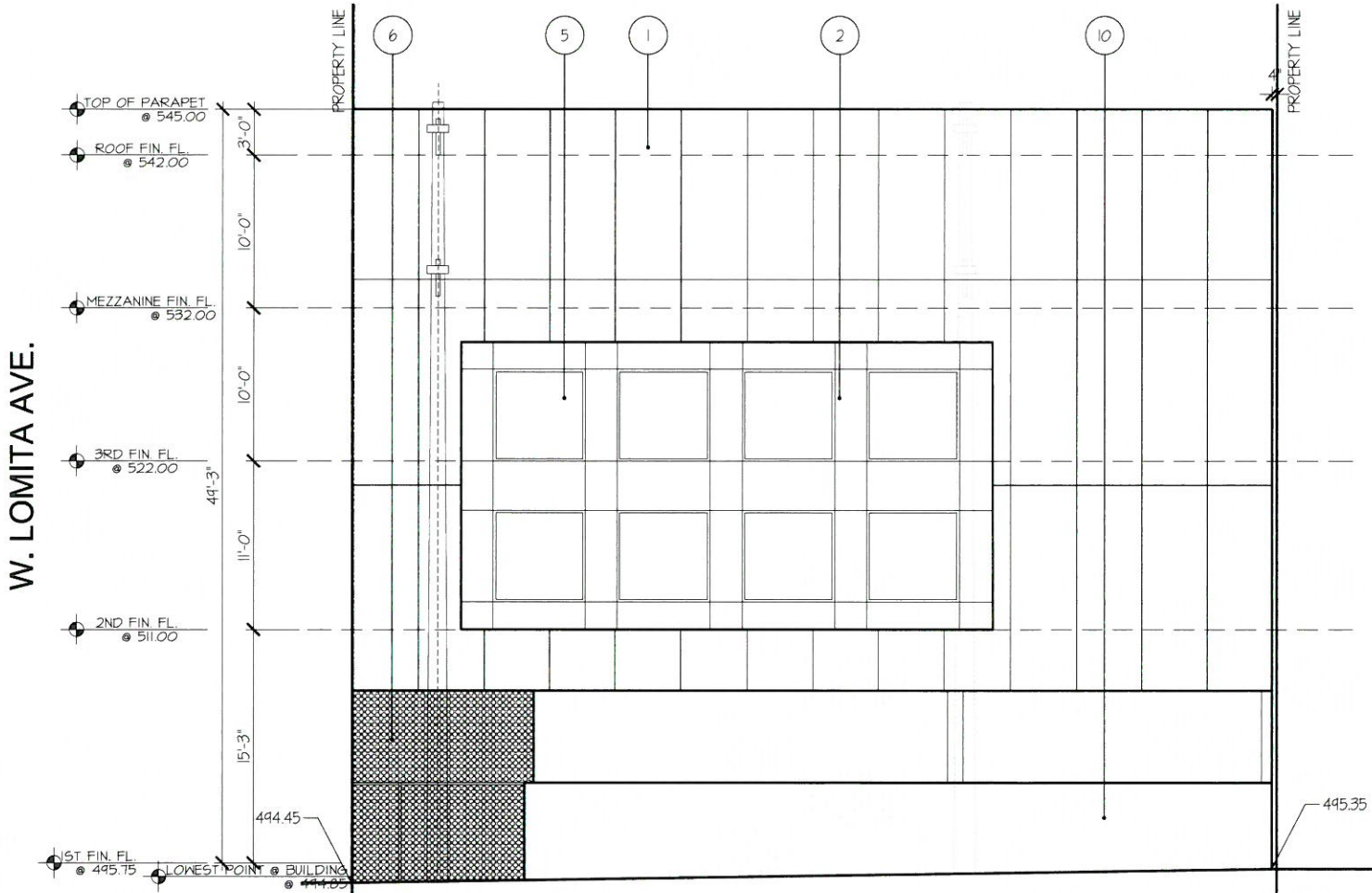
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### EXTERIOR FINISH MATERIALS:

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2. 1/4" NOMINAL THK. STONEPEAK TILE COLOR "EXTRA VENA" OR EQUAL.
3. METAL PANEL TRIM AND FASCIA, "ALPOLIC" OR EQUAL CHAMPAGNE METALIC COLOR(TYP.).
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## ② WEST ELEVATION

SCALE: 3/16" = 1'-0"



## SOUTH AND WEST ELEVATIONS

Scale: 3/16"=1'-0"

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**A-3.2**



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**CENTRAL AVE.**

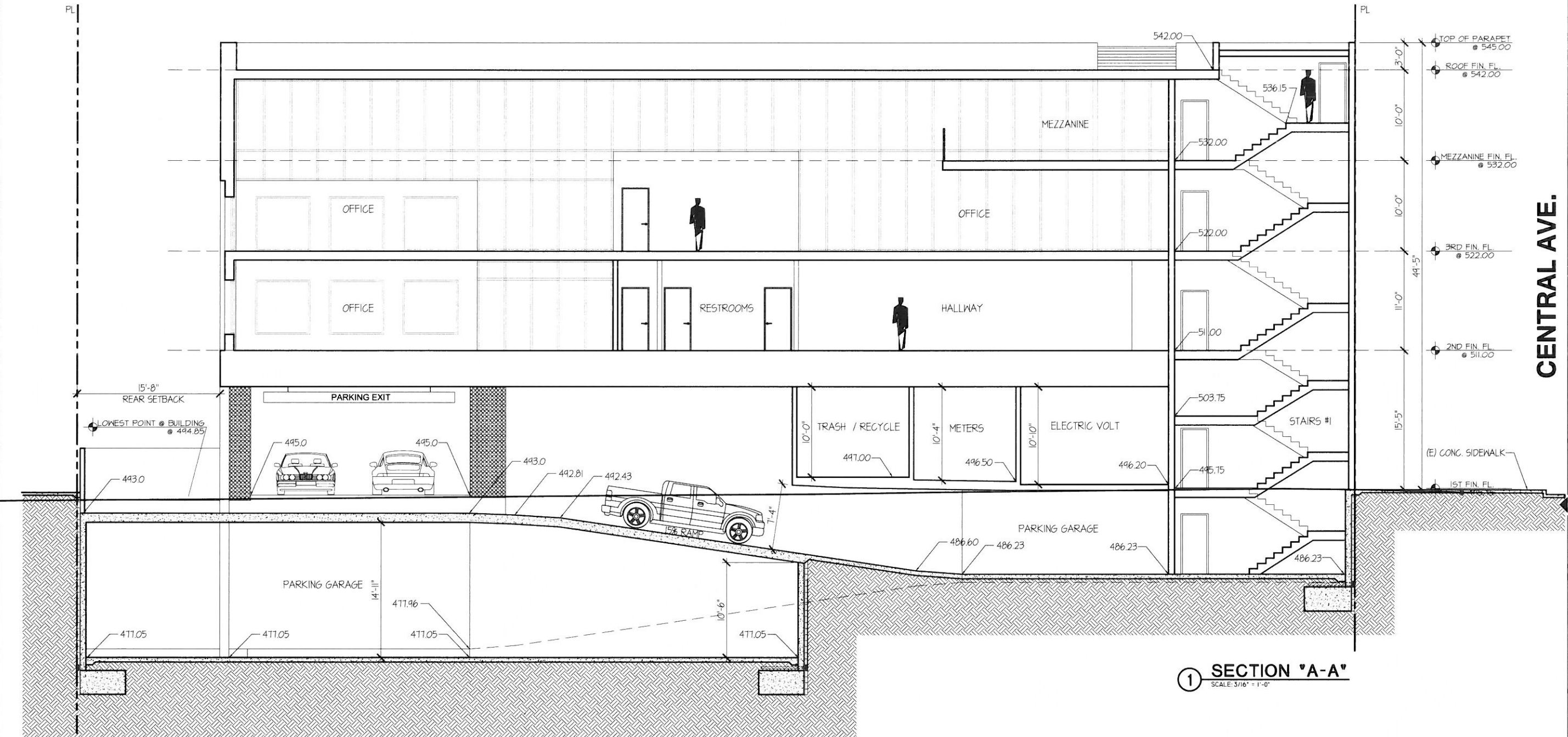
**SECTION A-A**

Scale: 3/16"=1'-0"

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**A-4.1**



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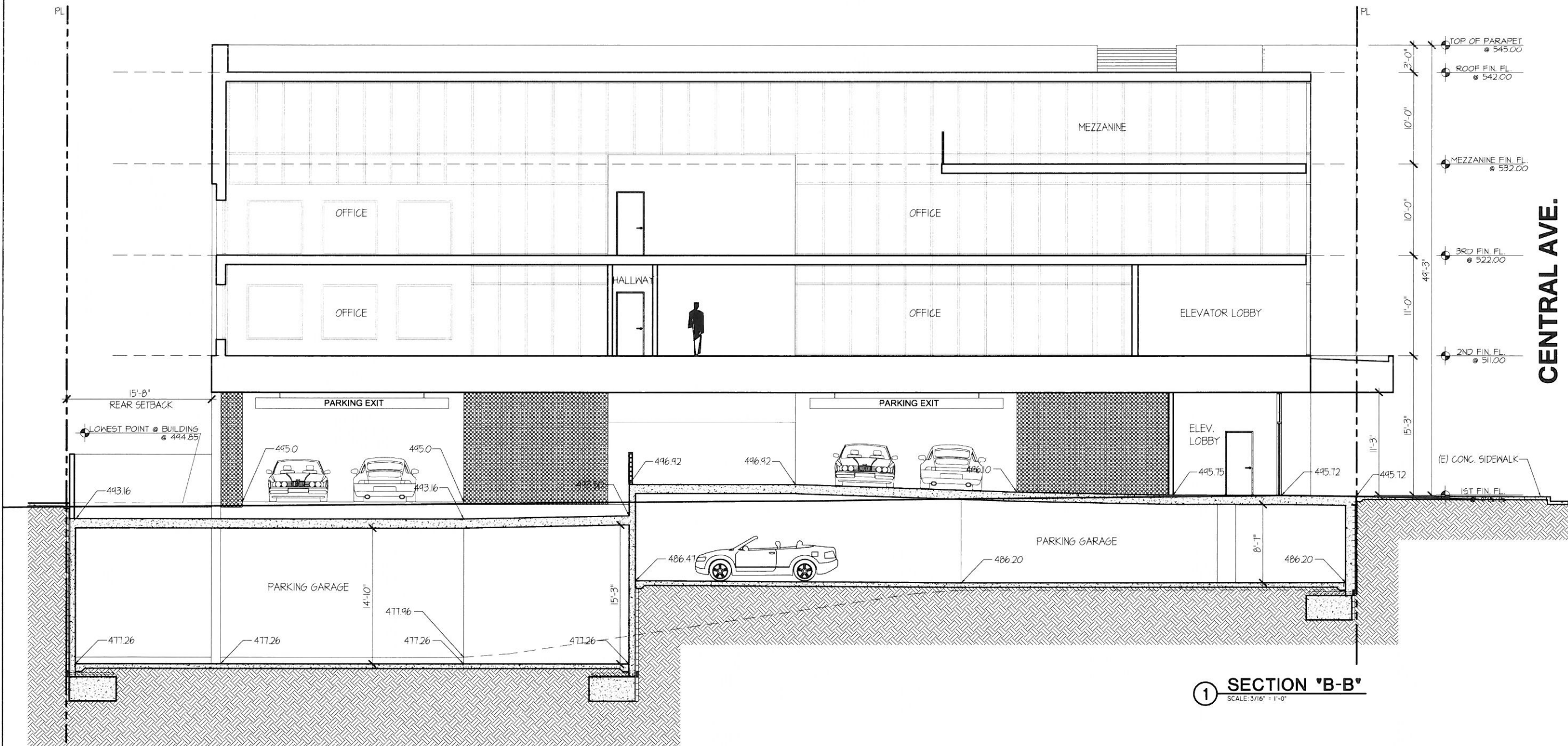
SECTION 'B-B'

Scale: 3/16"=1'-0"

## KEYPLAN

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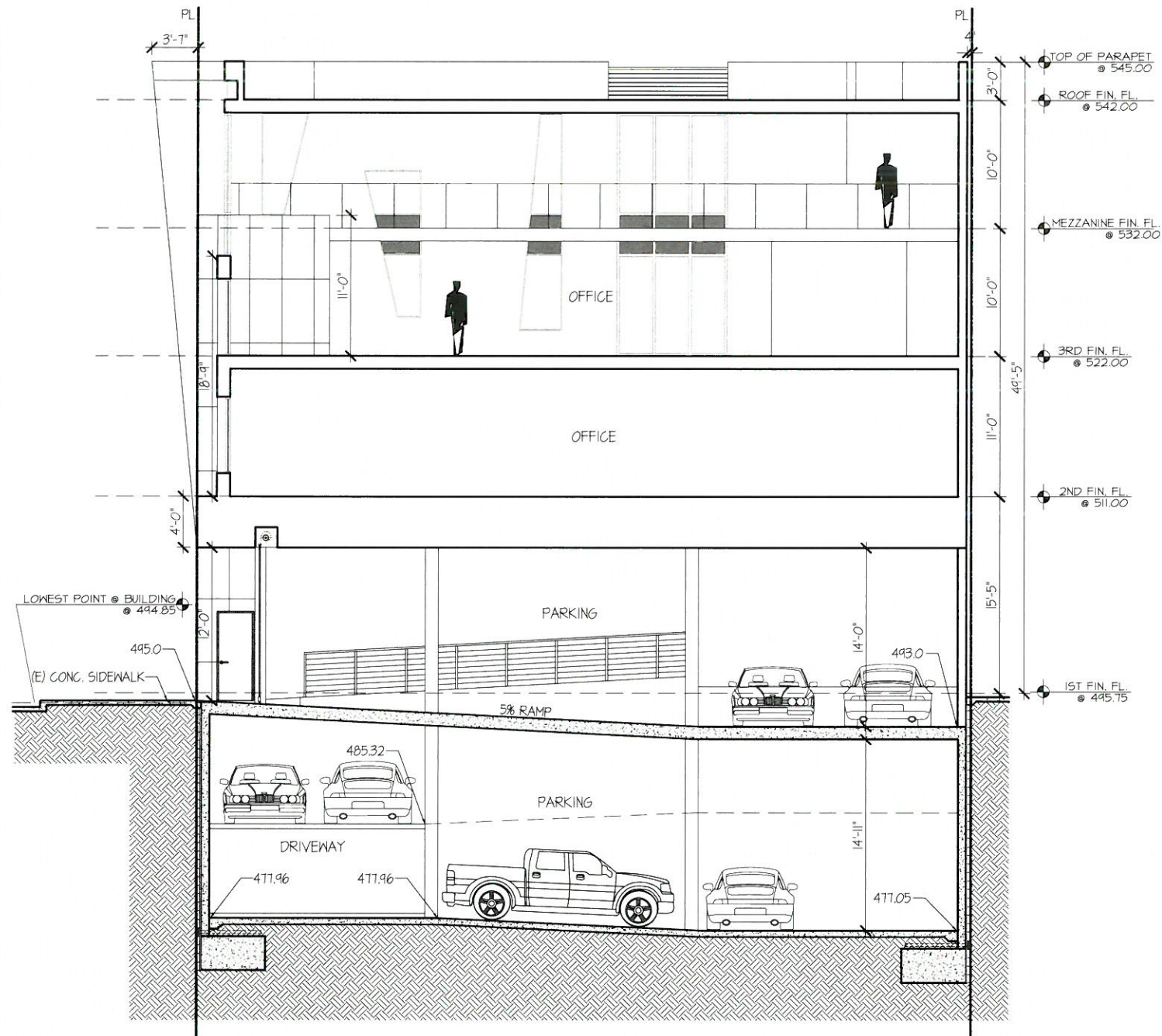
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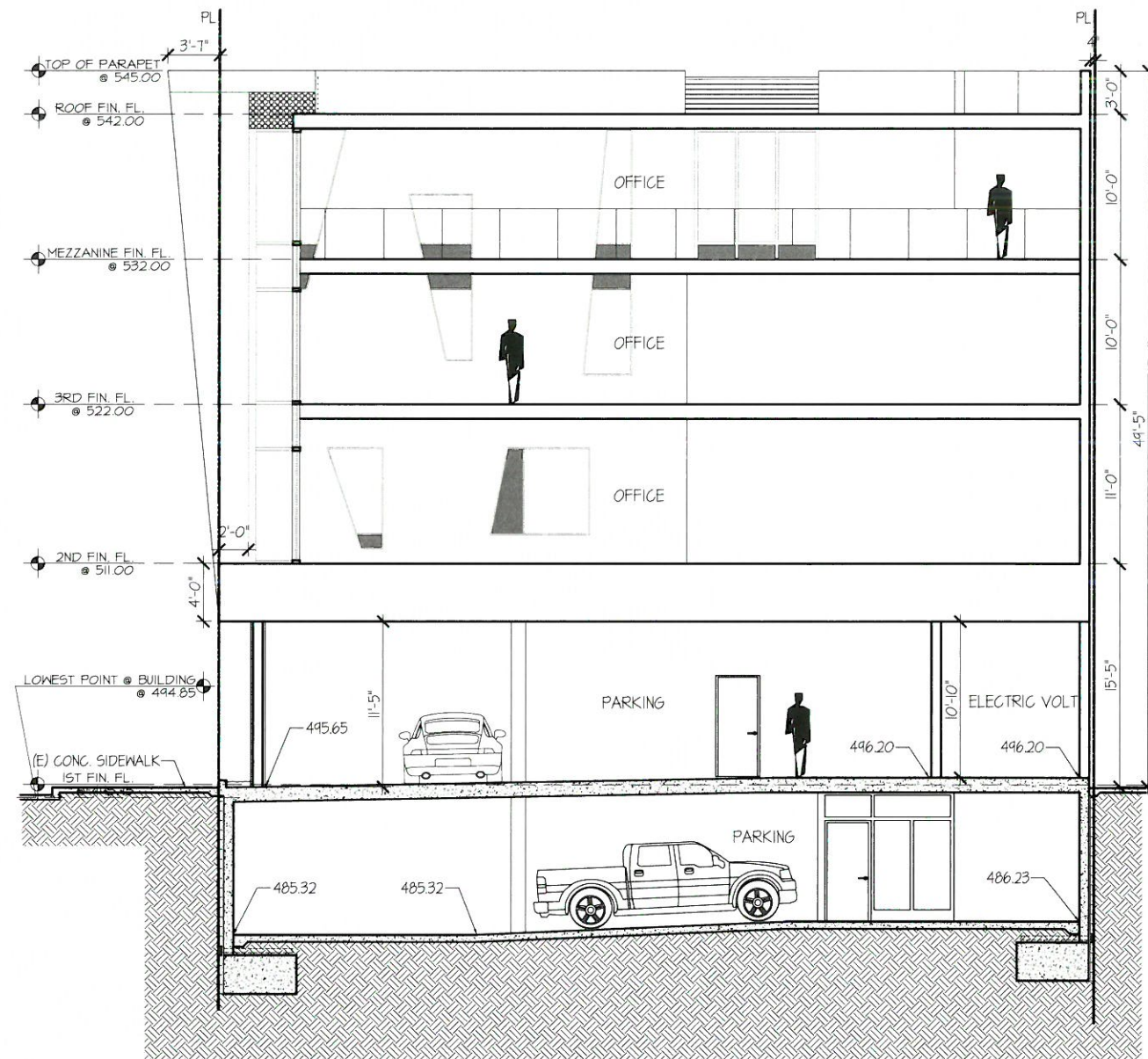
**1 SECTION "B-B"**  
SCALE: 3/16" = 1'-0"



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1 SECTION "1-1"  
SCALE: 3/16" = 1'-0"



2 SECTION "2-2"  
SCALE: 3/16" = 1'-0"

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**SECTION "1-1"  
and "2-2"**

Scale: 3/16" = 1'-0"

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**A-4.4**



P/ZC 2002-001

#### Q. MECHANICAL AUTOMOBILE PARKING LIFTS

Mechanical automobile parking lifts can be used to provide required parking spaces with the following conditions:

- Types of mechanical automobile parking lifts that are covered by this section are
  - 2-post lifts
  - Scissor lifts
  - 4-post lifts

Other types of mechanical automobile parking lift system may be considered on case-by-case bases. See Figure 12 below for graphical representation of the typical lifts.

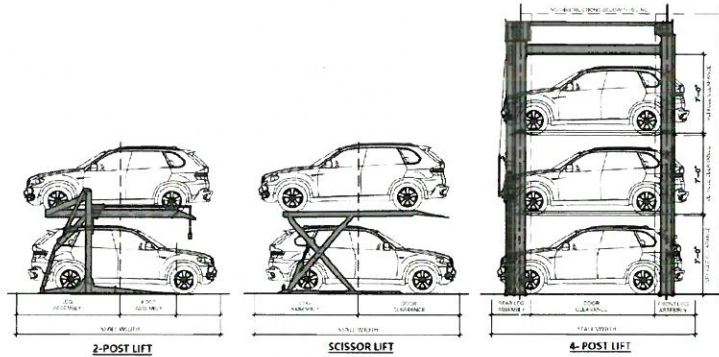


FIGURE 12- TYPES OF MECHANICAL AUTOMOBILE PARKING LIFTS

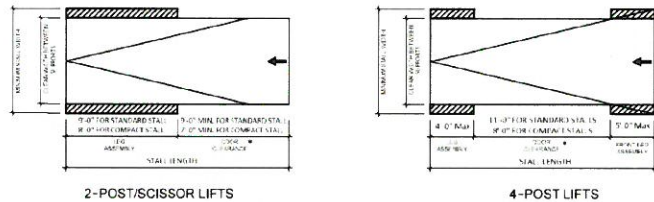
- The platform of the mechanical lift on which the automobile is first places shall be individually and easily accessible and shall be placed so that the location of the platform and vehicular access to the platform meets the LAMC Section 12 21A5(a), (b), and (i) requirements.
- An approved Los Angeles Research Report (LARR) from the Los Angeles Building and Safety's Electrical Testing Laboratory is required for a mechanical automobile parking lifts. All of the conditions of approval shall be complied with.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

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P/ZC 2002-001

- Mechanical automobile parking lifts must provide adequate door clearance for an attendant to exit a vehicle per manufactures specifications. See Figure 12 and Figure 15 for additional information.



\* Obstructions are not allowed within this area

FIGURE 15- VEHICLE DOOR CLEARANCES

- Mechanical automobile parking lifts shall be arranged in such a manner as to allow full operation of the sprinkler system. The required ceiling height may be reduced by up to 18 inches if the mechanical automobile parking lift is installed in a non-sprinklered garage, or when approval has been obtained from the Mechanical Plan Check for wall mounted fire sprinklers prior to Building Plan Check approval. Additional headroom may be required to accommodate installation of roll-up garage doors.
- Mechanical automobile parking lifts are considered tandem parking. Therefore, they shall not be installed where tandem parking is prohibited, such as within a commercial corner lot development, mini-shopping center, for recreational vehicles or guest parking.
- In a private garage or private parking area, the tandem parking shall not be more than two-cars in depth [LAMC Section 12 21 A 5 (h)(1)]. Therefore, no parking spaces are permitted at the front and/or back of mechanical automobile parking lifts.
- A "Covenant and Agreement to Provide Parking Attendant" shall be recorded with LA County Recorder's Office for tandem parking in public parking areas.
- When tandem parking is provided, parking area shall be capable of accommodating required onsite queuing spaces for the shuffling of cars. The queuing spaces shall be arranged so that the required driveway access aisle is not reduce to less than 10' wide. Each of the queuing spaces shall be minimum 8' wide and 18' long.

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- Mechanical automobile parking lifts must maintain the following clear width between vertical supports or any obstructions:
  - Minimum 8'-0" clear width for standard stalls
  - Minimum 7'-0" clear width for compact stalls.

See Figure 13 below for additional information.

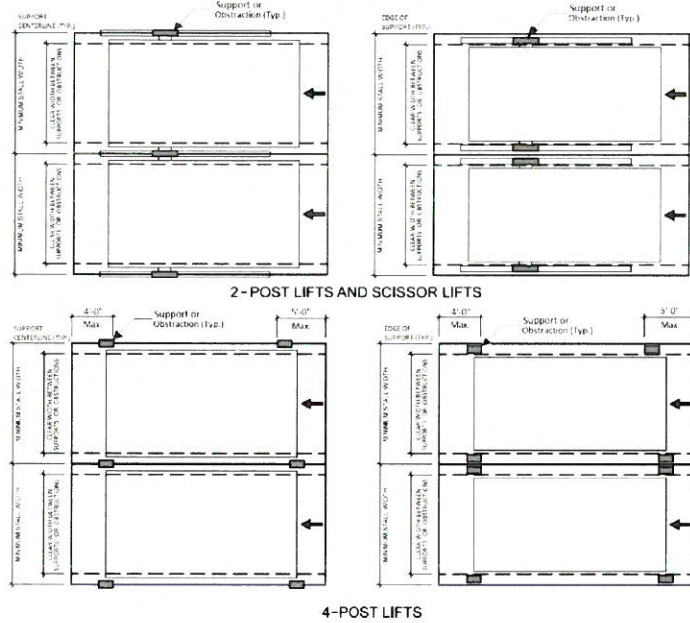


FIGURE 13- MINIMUM CLEAR WIDTH BETWEEN SUPPORTS AND OBSTRUCTIONS

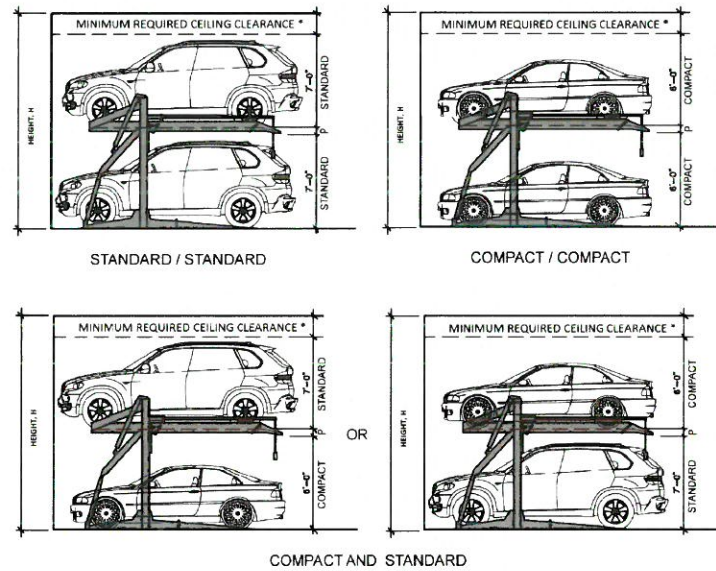
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- The stall heights within the mechanical automobile parking lifts shall be as follows:
  - Minimum clear height of 7'-0" for standard stalls
  - Minimum clear height of 6'-0" for compact stalls

See Figure 14 below for additional requirements.



\* Minimum required clearance shall be 18" for sprinklers, or as-needed for roll-up doors.  
P = Platform thickness (See Manufacturer's Specifications)  
H = Height of any combination of the car type in stacked + P + Ceiling Clearance = Minimum clear floor to ceiling height required.

FIGURE 14- MINIMUM CLEAR HEIGHTS

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

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#### Product Specifications:

Brand Name	QDMY
Model No.	QDMY-DSPL606
Type	Scissor car parking lift
Mode of Operation	Manual control buttons / Keys
Car Weight	≤2700kg (9000 lbs)
Car Size (L/W/H)	≤5000mm×1850mm×1550mm; ≤5000mm×1850mm×2050mm;
Lifting Height	2000mm
Mode of Drive	Hydraulic
Runway Width	2126mm
Motor Power	2.2KW
Working Voltage	220V/1Ph, 380V/3Ph (according to user's demand)
Warning Device	Yes
Safeguard Device	Fixed anti-falling lock devices
Control System Voltage	AC24
Car Platform Thickness	≥200mm
Outer Size	Please see below dimensions
Machine Weight	≤1100kg
Surface Treatment	High-grade anti-corrosion paint or galvanized treatment (Optional)
Color	Red, Blue, Grey, Yellow etc. ( customized according to user demand )
Certification	ISO9001 and CE

## MECHANICAL AUTOMOBILE PARKING LIFTS

SCALE: N/A

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## MECHANICAL AUTOMOBILE PARKING LIFTS

Scale: N/A

#### KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 06-18-18
- JOB NO
- SHEET NO

**A-9.1**