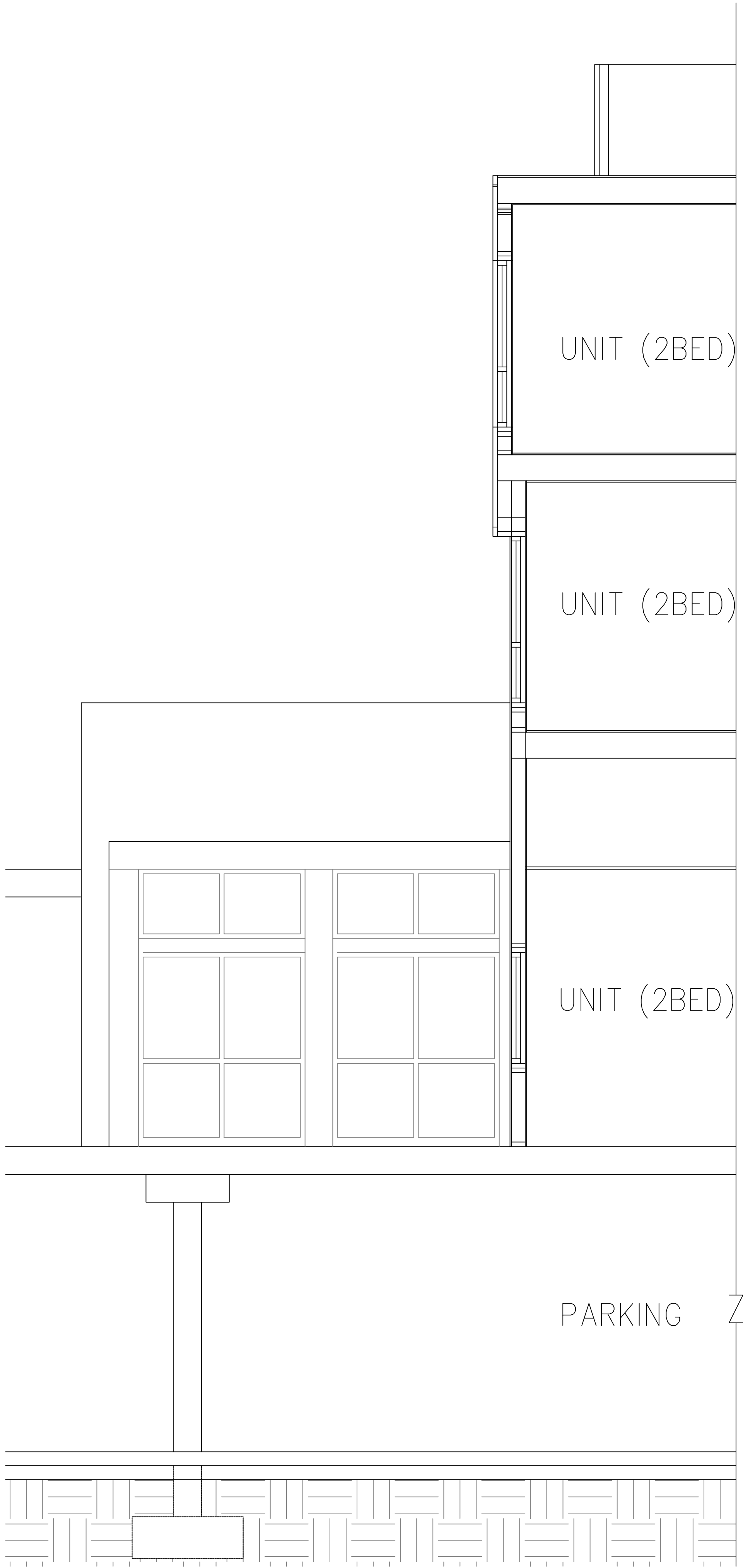
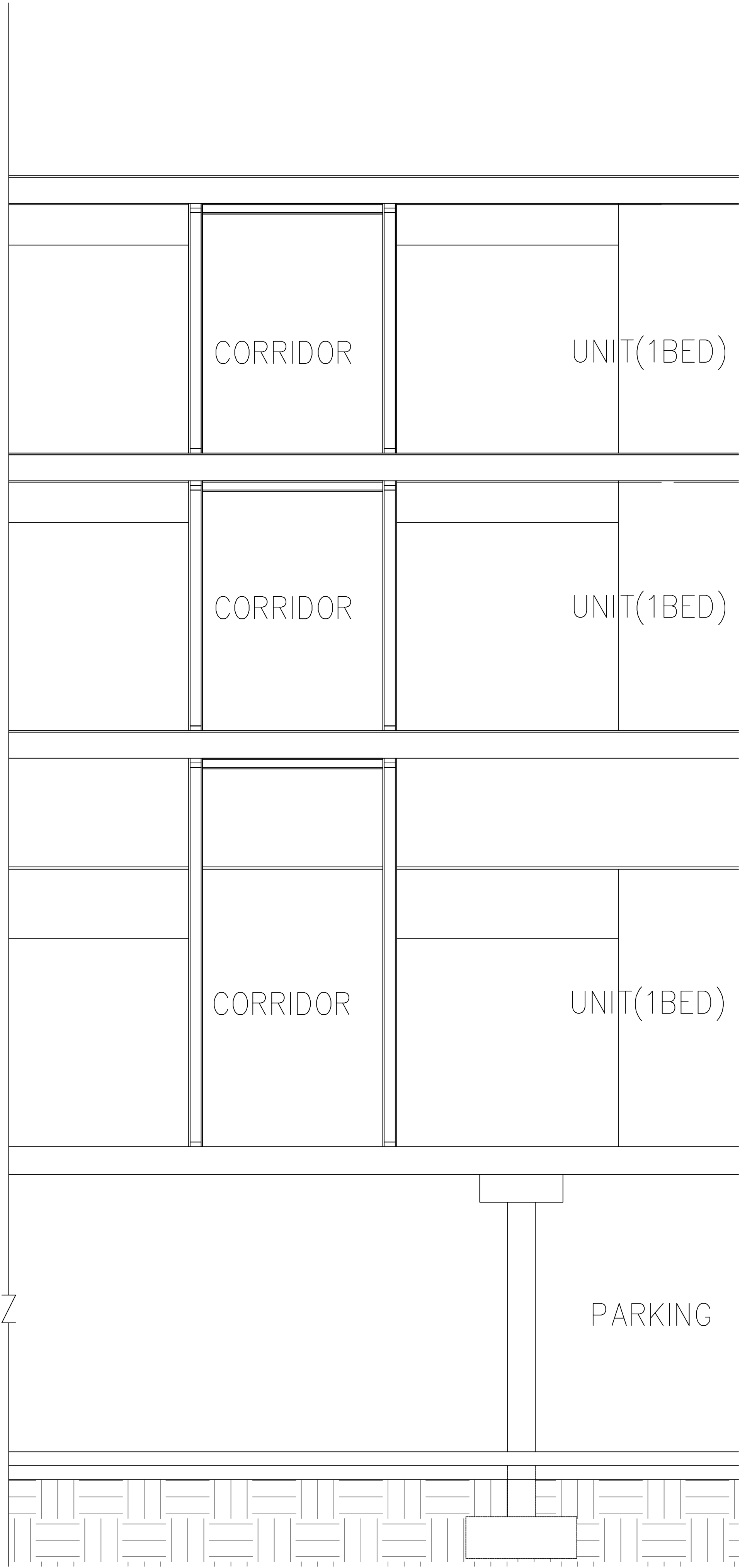


REVISIONS		
Approved for the Owner by	Date	Revisions indicated thus Δ:
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Checked by		
Date		



WALL SECTION B
SCALE : 3/8" = 1'-0"

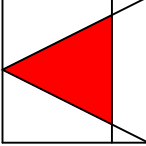


WALL SECTION A
SCALE : 3/8" = 1'-0"

PROJECT NAME

**LA CANADA
ASSISTED LIVING**

1809 VERDUGO BLVD.
GLENDALE, CA 91208

**A&H ARCHITECTS, INC.**
Architecture, Planning and Interiors
2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
TEL. (213) 804-2255 E-MAIL: aarchitects,inc@gmail.com

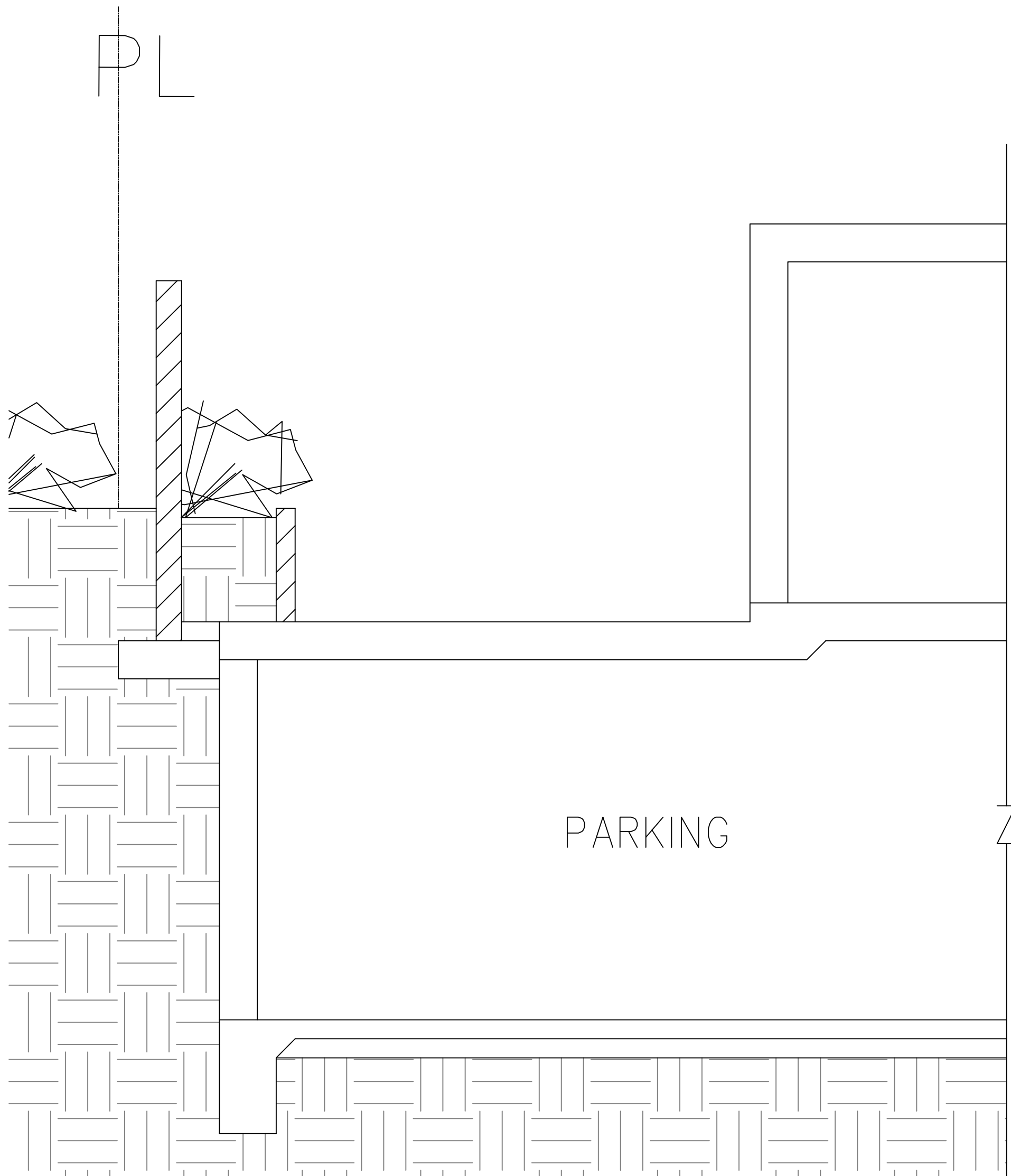
REVISIONS				
Revisions indicated thus Δ:				
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Checked by				
Date				

SHEET TITLE

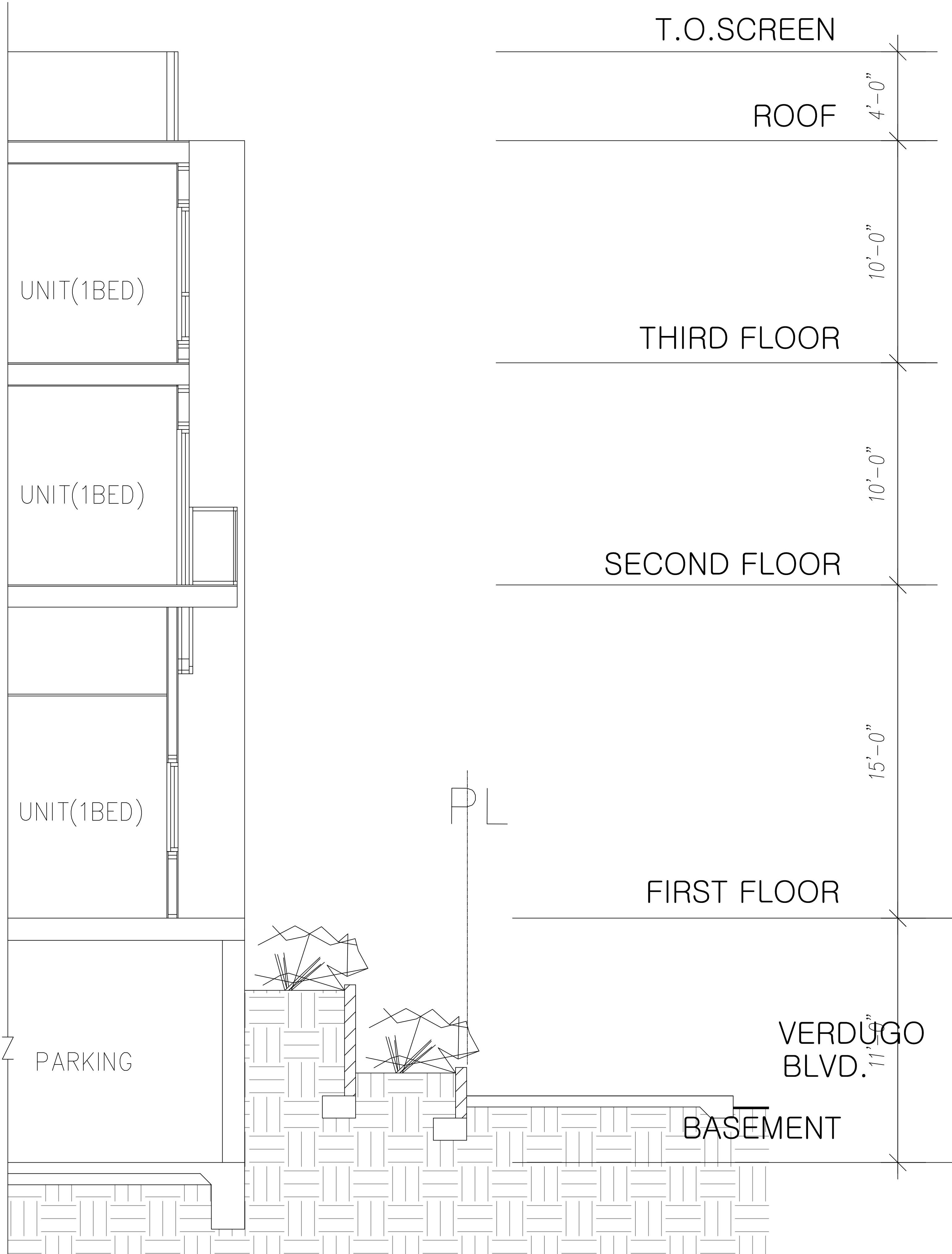
WALL SECTIONS

SHEET NO.

A402



WALL SECTION B
SCALE : 3/8" = 1'-0"

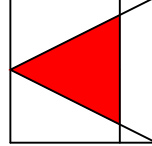


WALL SECTION A
SCALE : 3/8" = 1'-0"

PROJECT NAME

LA CANADA
ASSISTED LIVING

1809 VERDUGO BLVD.
GLENDALE, CA 91208



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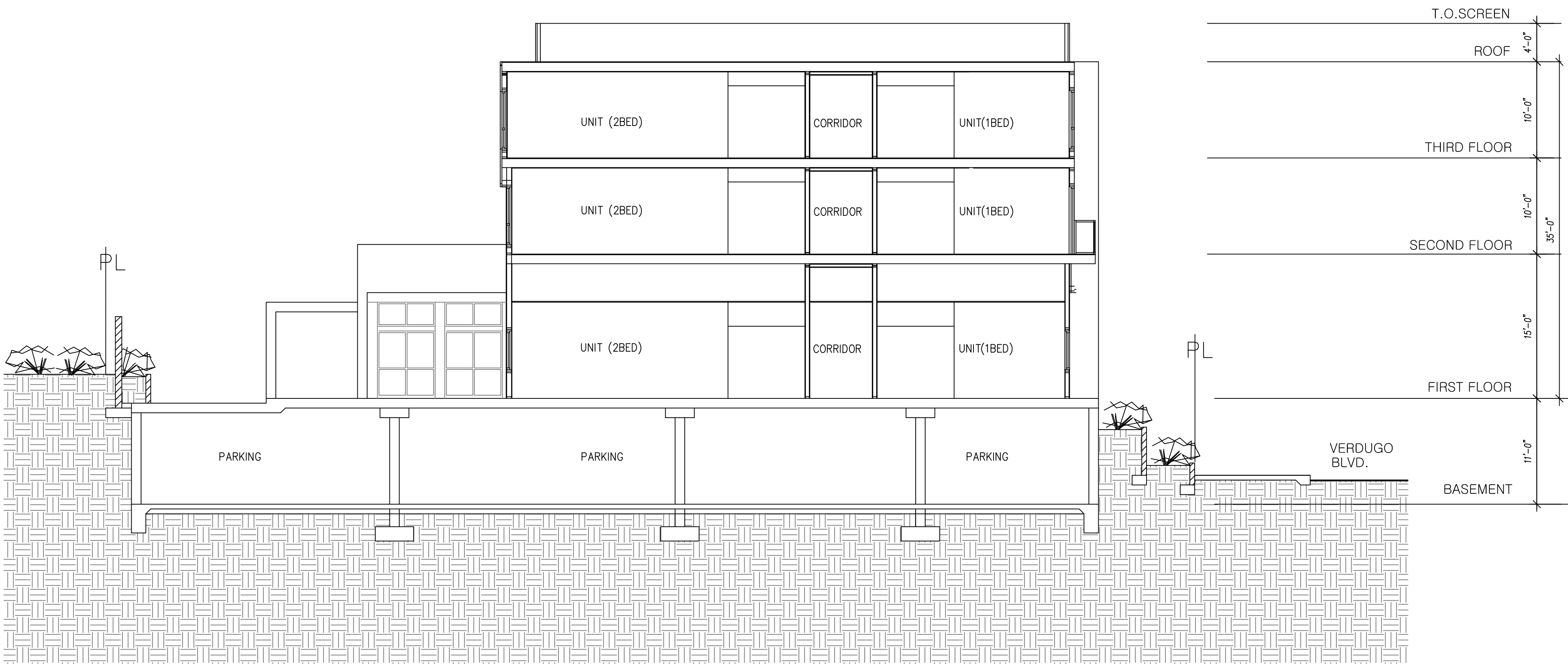
REVISIONS	
Revisions Indicated thus A:	
Approved for the Owner by	Date
Approved for the Architect by	
Drawn by	
Checked by	
Date	

SHEET TITLE

WALL SECTIONS

SHEET NO.

A401

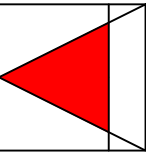


CROSS SECTION
SCALE: 1/8" = 1'-0"

PROJECT NAME

LA CANADA ASSISTED LIVING

1809 VERDUGO BLVD.
GLENDALE, CA 91208



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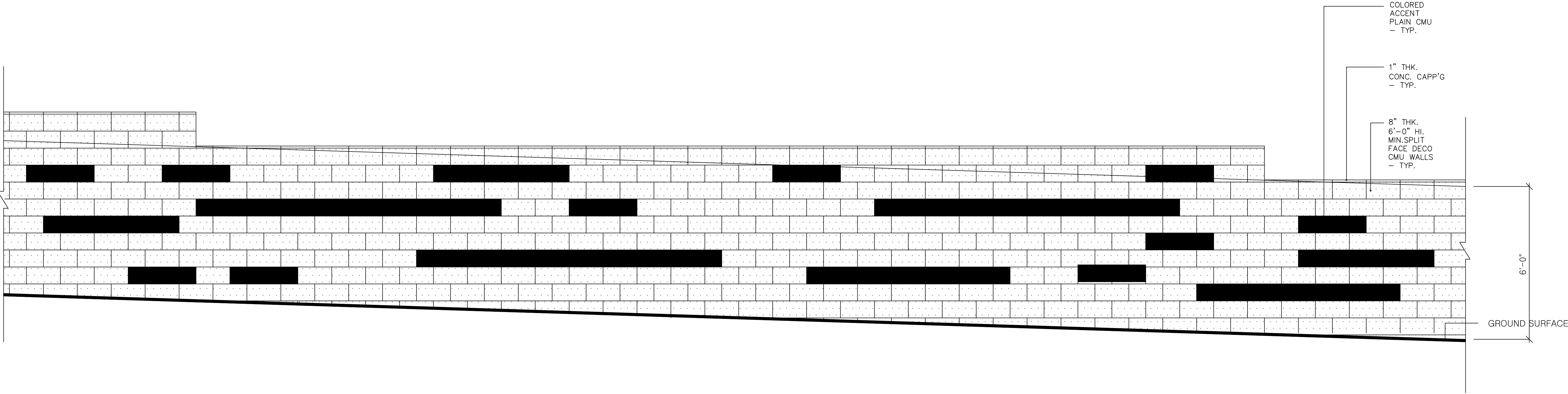
REVISIONS	
Approved for the Owner by	Date
Approved for the Architect by	Revisions indicated thus A:
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Checked by	
Date	

SHEET TITLE

BUILDING SECTION

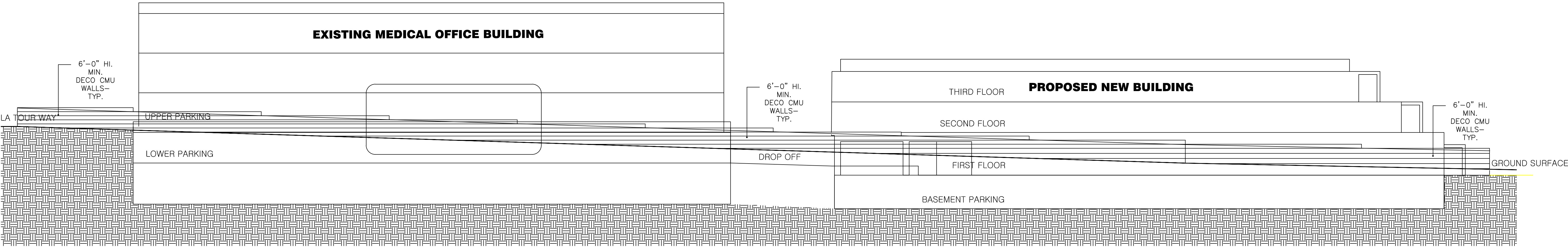
SHEET NO.

A400



ENLARGED DECO CMU WALL ELEVATION

SCALE: 1" = 1'-0"



DECO CMU WALL ELEVATION FROM NORTH

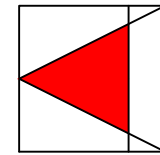
SCALE: 1/16" = 1'-0"

PROJECT NAME

**LA CANADA
ASSISTED LIVING**

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GLENDALE, CA 91208



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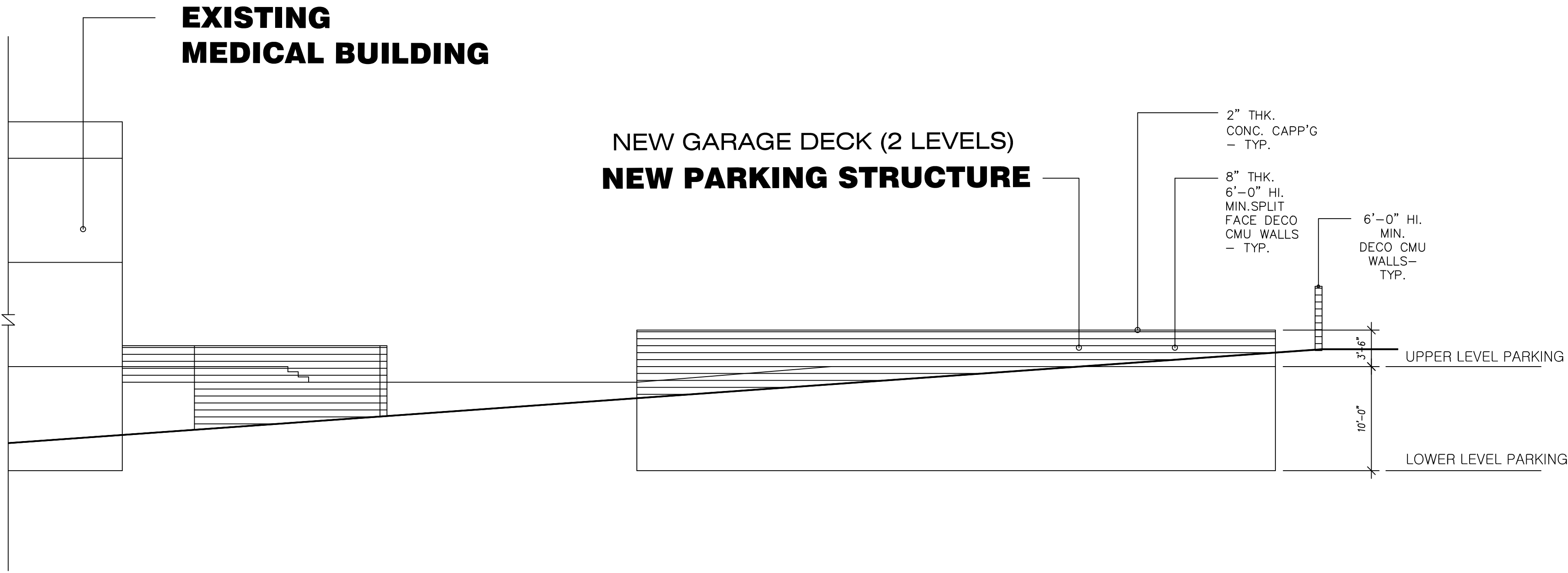
Date

SHEET TITLE

DECO. CMU WALL
ELEVATION

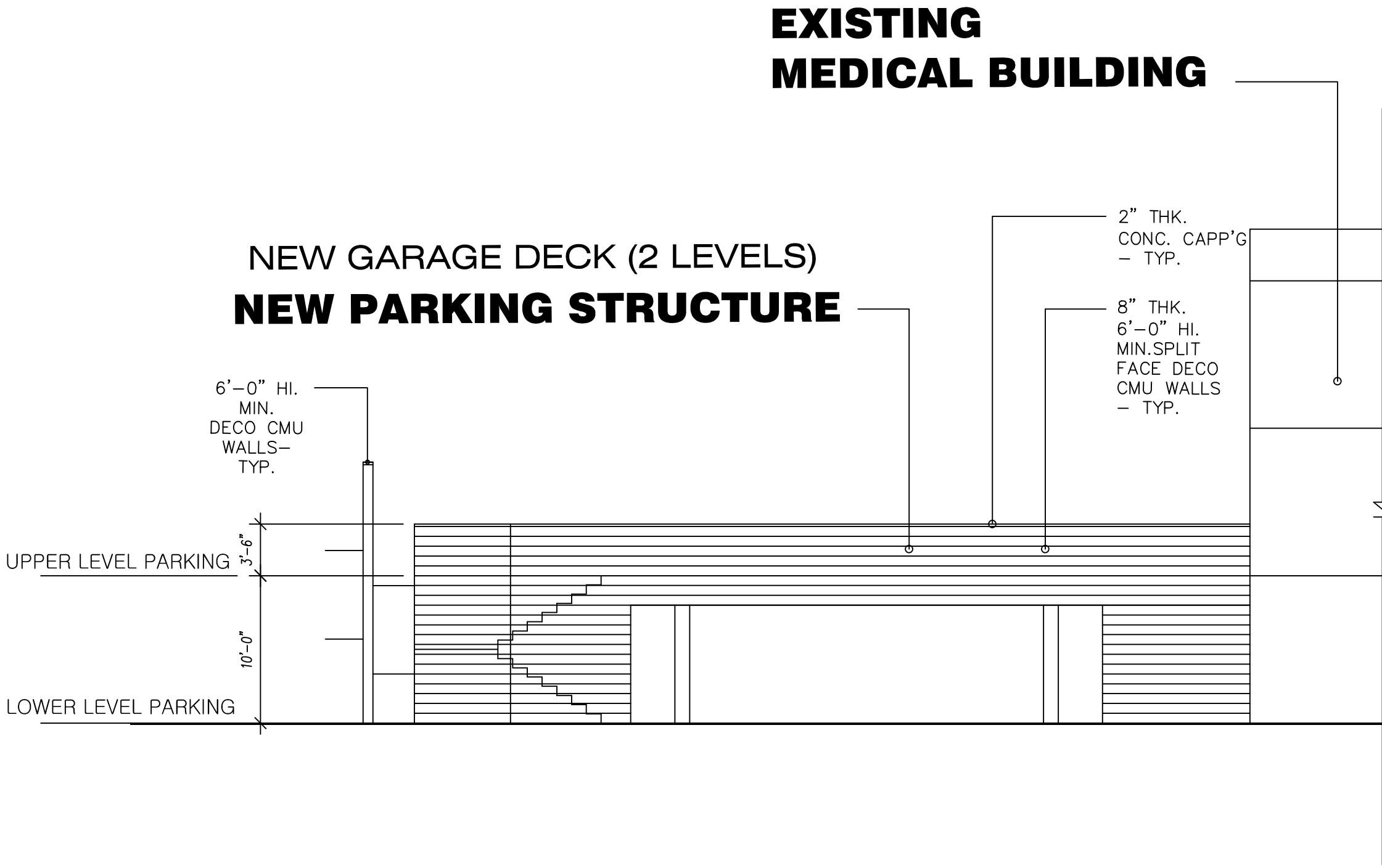
SHEET NO.

A304



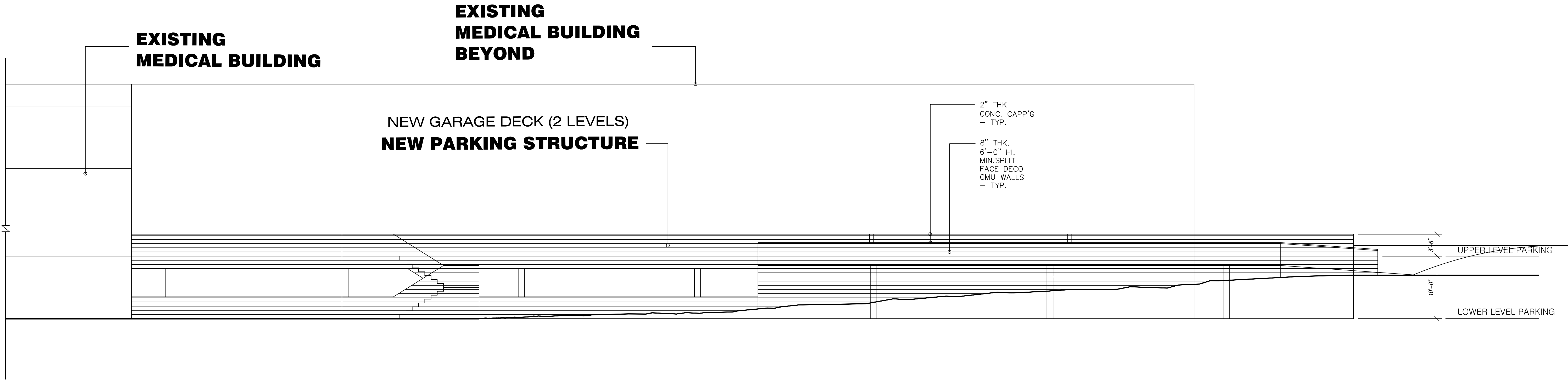
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NAME

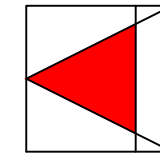
**LA CANADA
ASSISTED LIVING**

1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.

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REVISIONS

Revisions indicated thus: A:

Date

Approved for the Architect by

Drawn by

Checked by

Date

SHEET TITLE

OPEN DECK PARKING
STRUCTURE ELEVATIONS

SHEET NO.

A303

- B

CASCADE METAL PANEL
- C

CASCADE METAL PANEL
- D

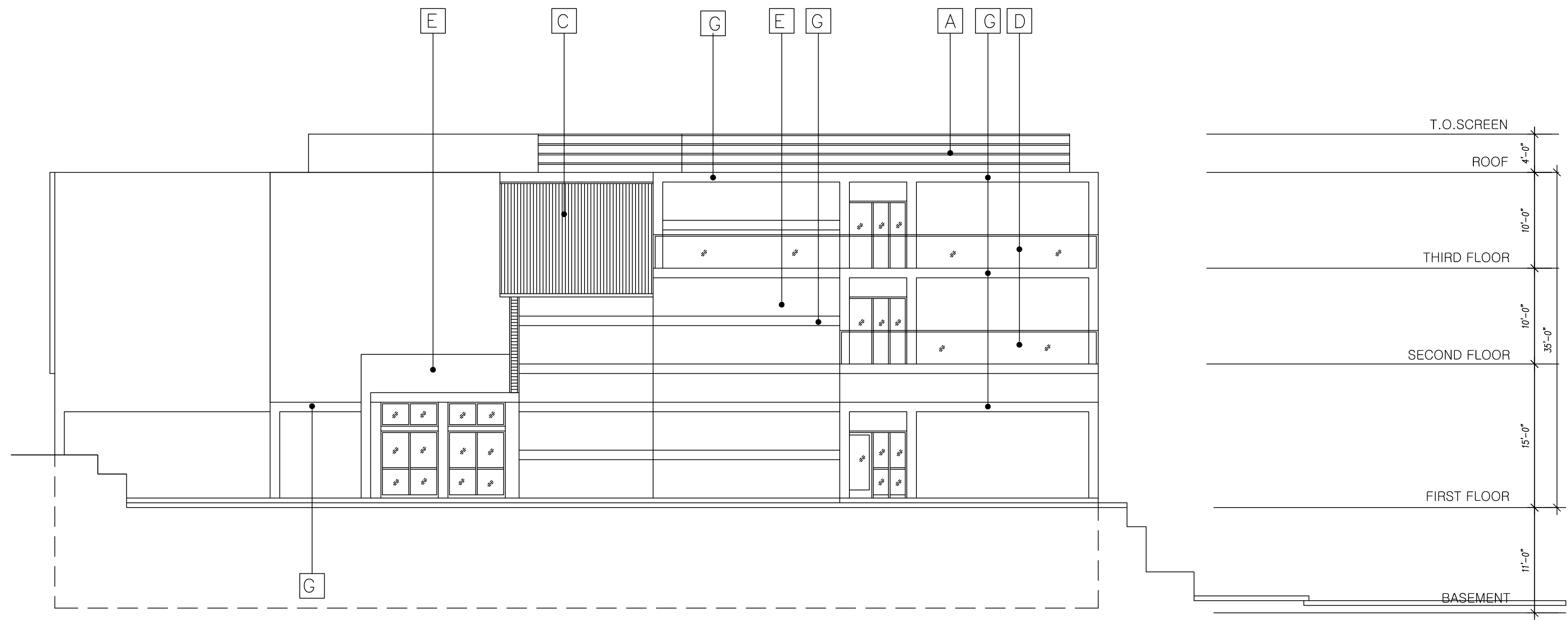
TEMP. GL. GUARD RAIL
- E

EXTERIOR STUCCO SMOOTH FINISH
- F

STOREFRONT PANEL AND WINDOW SYSTEM
- G

EXTERIOR STUCCO VERY FINE FINISH WITH PREMIUM COLOR
- H

METAL WRAP CANOPY



WEST ELEVATION

SCALE: 1/8" = 1'-0"

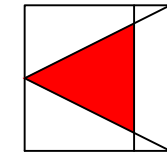


EAST ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NAME
LA CANADA ASSISTED LIVING
1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
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REVISIONS

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Checked by

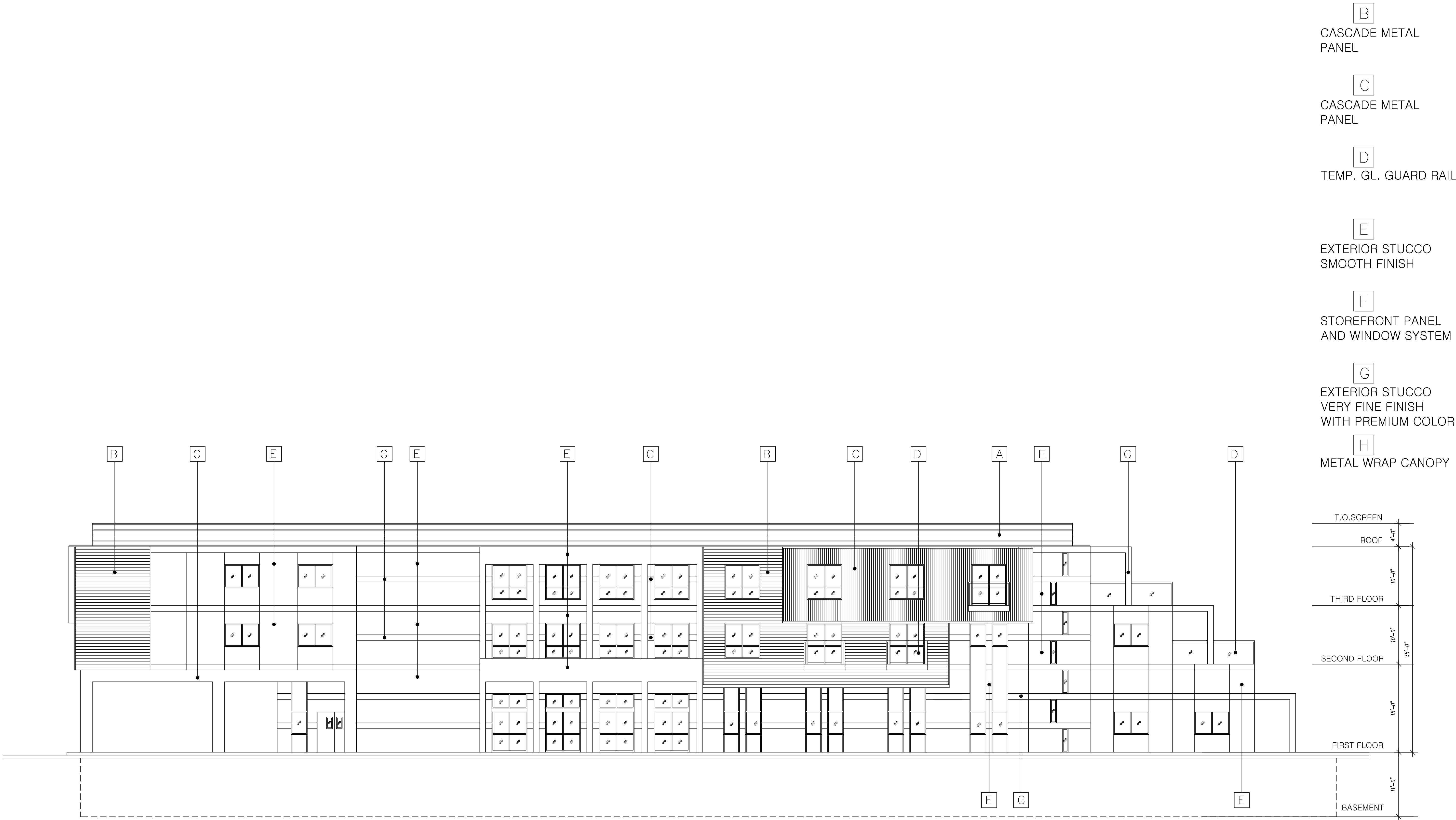
Date

SHEET TITLE

EAST ELEVATION
&
WEST ELEVATION

SHEET NO.

A302



- B

CASCADE METAL PANEL
- C

CASCADE METAL PANEL
- D

TEMP. GL. GUARD RAIL
- E

EXTERIOR STUCCO SMOOTH FINISH
- F

STOREFRONT PANEL AND WINDOW SYSTEM
- G

EXTERIOR STUCCO VERY FINE FINISH WITH PREMIUM COLOR
- H

METAL WRAP CANOPY

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

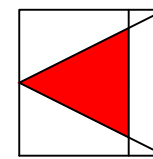
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Approved for the Architect by	
Drawn by	
Checked by	
Date	



- A
CASCADE METAL
PANEL
- B
CASCADE METAL
PANEL
- C
CASCADE METAL
PANEL
- D
TEMP. GL. GUARD RAIL
- E
EXTERIOR STUCCO
SMOOTH FINISH
- F
STOREFRONT PANEL
AND WINDOW SYSTEM
- G
EXTERIOR STUCCO
VERY FINE FINISH
WITH PREMIUM COLOR
- H
METAL WRAP CANOPY

PROJECT NAME
**LA CANADA
ASSISTED LIVING**
1809 VERDUGO BLVD.
GLENDALE, CA 91208

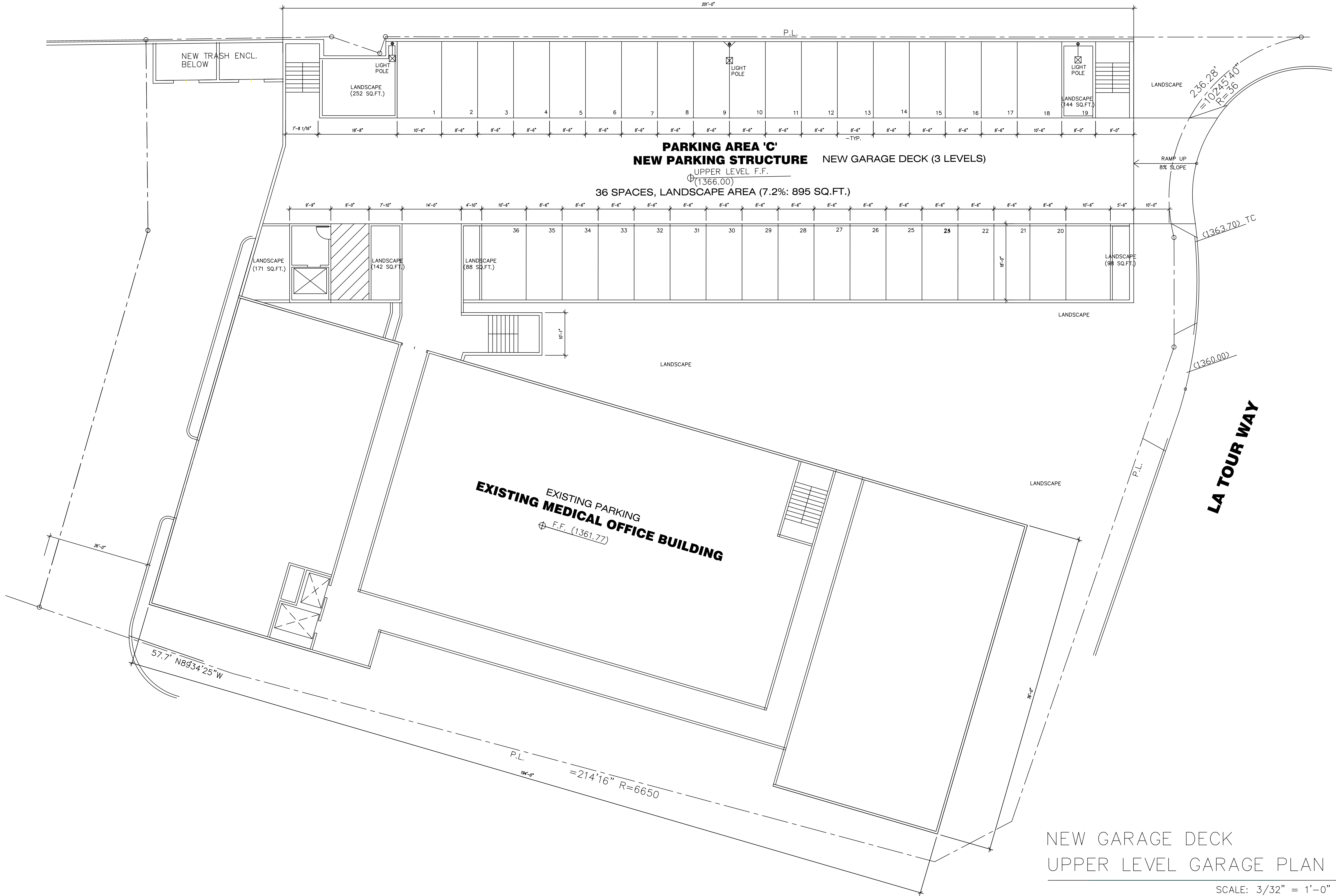
A&H ARCHITECTS, INC.
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REVISIONS			
Revisions Indicated thus A:	Date	Drawn by	Checked by
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SHEET TITLE
SOUTH ELEVATION

SHEET NO.
A300



NEW GARAGE DECK
UPPER LEVEL GARAGE PLAN

SCALE: 3/32" = 1'-0"

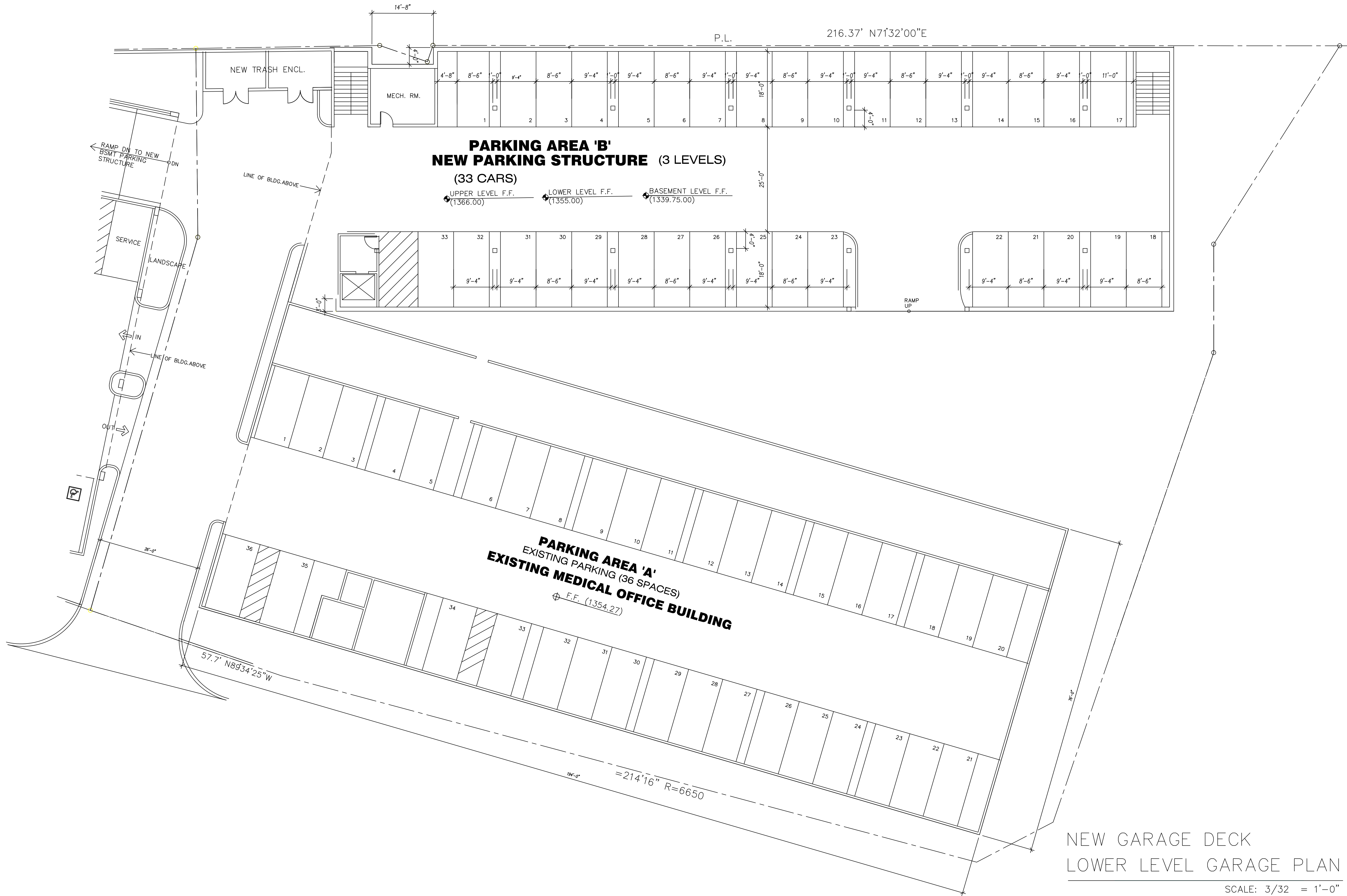
PROJECT NAME
LA CANADA
ASSISTED LIVING
1809 VERDUGO BLVD.

A&H ARCHITECTS, INC.
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Date				

SHEET TITLE
**UPPER LEVEL
GARAGE PLAN**

SHEET NO.
A107



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Drawn by				
Checked by				
Date				



PROJECT NAME
**LA CANADA
ASSISTED LIVING**
1809 VERDUGO BLVD.



A&H ARCHITECTS, INC.
Architecture, Planning and Interiors
2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
TEL. (213) 804-2255
E-MAIL: aharchitects,inc@gmail.com

REVISIONS	
Date	Revisions indicated thus: Δ:
Approved for the Owner by _____	
Approved for the Architect by _____	
Drawn by _____	
Checked by _____	
Date _____	

BASEMENT
GARAGE PLAN

SHEET NO.

A105

ROOF PLAN GENERAL NOTES:

1. PROVIDE POSITIVE SLOPE AT ALL AREAS EXPOSED TO WEATHER.
2. COLLECT PLUMBING VENT AND MECH. EXHAUST VENTS TOGETHER IN ATTIC TO MINIMIZE ROOF PENETRATIONS.
3. CONNECT ALL ROOF DRAINAGE TO CIVIL STORM SYSTEM.
4. INSTALL ALL ROOF PENETRATIONS PER SPECIFICATIONS AND MANUFACTURES RECOMMENDATIONS.
5. VERIFY GUTTER AND DOWNSPOUT SIZES PER LOCAL RAINFALL DESIGN CRITERIA.
6. PROVIDE VENTILATION FOR ALL ATTIC AREAS. VERIFY PER LOCAL CODES.
7. PROVIDE WATER PROOF MEMBRANE AT ALL ROOF VALLEYS. VERIFY LOCAL WEATHER DESIGN CRITERIA FOR EAVE REQUIREMENTS.
8. PROVIDE DRAFT STOP ATTIC DIVISIONS AS REQUIRED BY LOCAL CODE.
9. PROVIDE ALL NECESSARY COORDINATION WORK W/ ROOF TRUSS COMPANY FOR FABRICATION, ERECTION BASED ON ROOF DESIGN.
10. ALL EXPOSED METAL THAT DOES NOT HAVE A FACTORY FINISH SHALL BE PRIMED AND PAINTED, COLORS TO BE SELECTED BY ARCHITECT.
11. 6" SEAMLESS ALUMINUM GUTTER AND GALVANIZED DOWNSPOUTS WITH DARK BRONZE FACTORY FINISH.
12. THE GENERAL CONTRACTOR WILL PROVIDE MATERIAL & LABOR FOR CONVENTIONAL FRAMED AREAS, INTERIOR BLOCKING OR BRACING, WEB BRACING AND STRAIGHT LINING ABOVE THE THIRD FLOOR DOUBLE PLATE.
13. CONTRACTOR SHALL PROVIDE ADEQUATE AND APROPRIATE REPAIR WORK AT DAMAGED EXISTING ROOF IN SCOPE OF WORK AREA.
14. CONTRACTOR SHALL PROVIDE ADEQUATE ROOF DRAINAGE. -TYP.

ROOFING SYSTEM

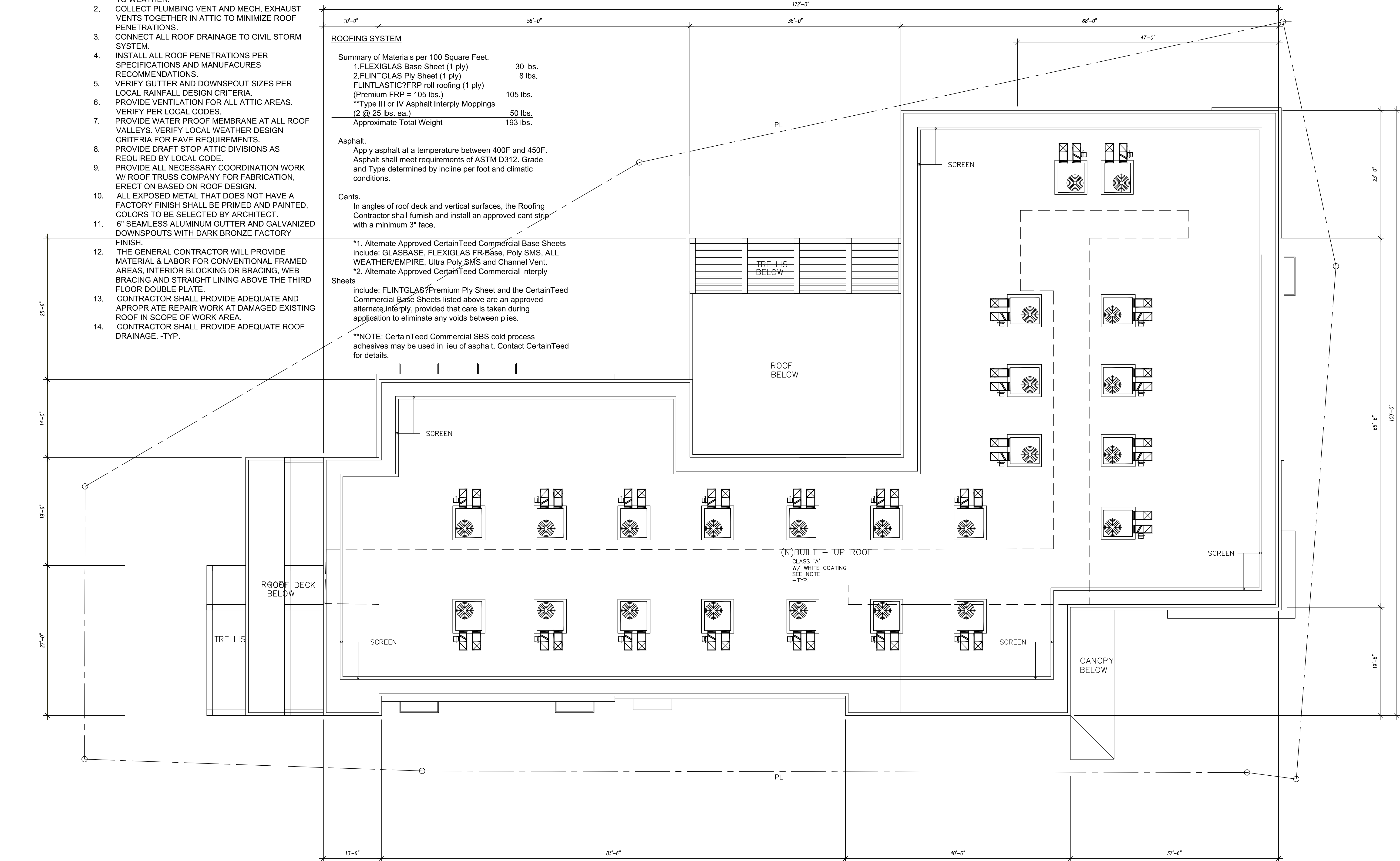
Summary of Materials per 100 Square Feet.	
1.FLEXIGLAS Base Sheet (1 ply)	30 lbs.
2.FLINTGLAS Ply Sheet (1 ply)	8 lbs.
FLINTLASTIC?FRP roll roofing (1 ply)	
(Premium FRP = 105 lbs.)	105 lbs.
**Type III or IV Asphalt Interply Moppings (2 @ 25 lbs. ea.)	50 lbs.
Approximate Total Weight	193 lbs.

Asphalt.
Apply asphalt at a temperature between 400F and 450F. Asphalt shall meet requirements of ASTM D312. Grade and Type determined by incline per foot and climatic conditions.

Cants.
In angles of roof deck and vertical surfaces, the Roofing Contractor shall furnish and install an approved cant strip with a minimum 3" face.

*1. Alternate Approved CertainTeed Commercial Base Sheets include: GLASBASE, FLEXIGLAS FR-Base, Poly SMS, ALL WEATHER/EMPIRE, Ultra Poly SMS and Channel Vent.
*2. Alternate Approved CertainTeed Commercial Interply Sheets include: FLINTGLAS?Premium Ply Sheet and the CertainTeed Commercial Base Sheets listed above are an approved alternate interply, provided that care is taken during application to eliminate any voids between plies.

**NOTE: CertainTeed Commercial SBS cold process adhesives may be used in lieu of asphalt. Contact CertainTeed for details.



NOTE:
1. CONTRACTOR SHALL USE OF MOISTURE REISITANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS.(SEE MECHANICAL DWG.)
4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSC 16 CER 1201) OR A (ANSI Z97.1)
5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- DOOR #, SEE DOOR SCHED/ A500
- WINDOW #, SEE WINDOW SCHED/ A500

- EXISTING SINGLE PEDESTAL WALKER
- EXISTING DOUBLE PEDESTAL WALKER
- EXISTING OUTLET (POWER)
- OUTLET (POWER)
- SWITCH - NEW
- TELEPHONE - NEW
- FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
- ** USE EXISTING ELECTRICAL PANEL

- NEW 3 5/8" MET. STUD @ 16" O.C. WITH TYPE 'X' GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
- NEW 1 HR. WALL -TYP.
- NEW CONC. BLK. WALLS
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW PARTITION

- ILLUM. EXIT SIGN SEE ELECT. DWG.
- EMERGENCY BATTERY PACK UNIT
- MAX. OCC. LOAD SIGN
- TACTILE EXIT SIGN

NEW BUILDING
ROOF PLAN

SCALE: 1/8" = 1'-0"

PROJECT NAME

**LA CANADA
ASSISTED LIVING**

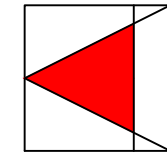
1809 VERDUGO BLVD.
GLENDALE, CA 91208

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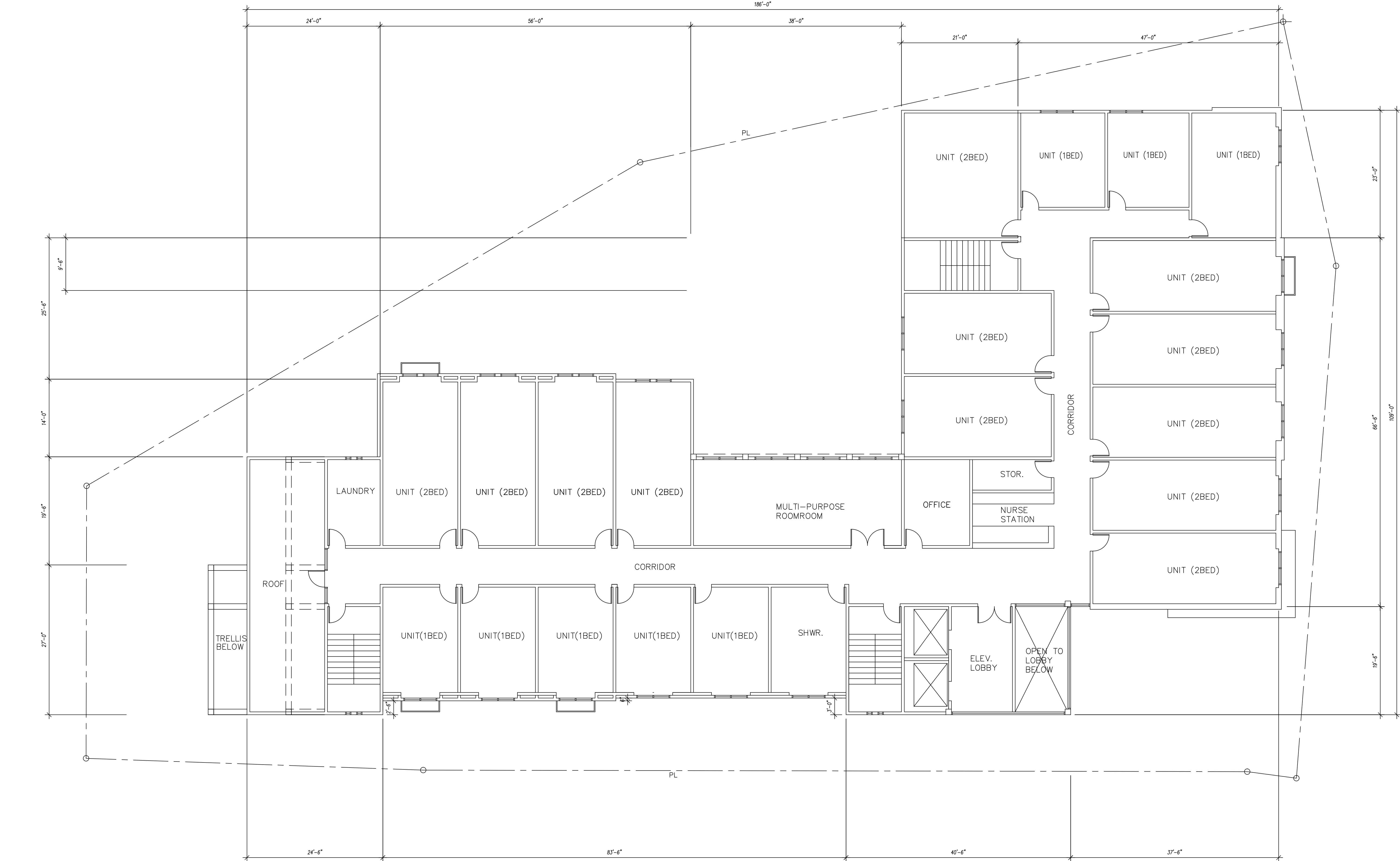
Date

SHEET TITLE

ROOF PLAN

SHEET NO.

A104



NOTE:
1. CONTRACTOR SHALL USE OF MOISTURE REISITANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS.(SEE MECHANICAL DWG.)
4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSC 16 CER 1201) OR A (ANSI Z97.1)
5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- # DOOR #, SEE DOOR SCHED/ A500
WINDOW #, SEE WINDOW SCHED/ A500

- EXISTING SINGLE PEDESTAL WALKER
EXISTING DOUBLE PEDESTAL WALKER
EXISTING OUTLET (POWER)
OUTLET (POWER)
SWITCH - NEW
TELEPHONE - NEW
FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
** USE EXISTING ELECTRICAL PANEL

- NEW 3 5/8" MET. STUD @ 16" O.C.
WITH TYPE 'X' GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
NEW 1" HR. WALL -TYP.
NEW CONC. BLK. WALLS
EXISTING WALLS AND PARTITIONS TO BE REMOVED
NEW PARTITION

- ILLUM. EXIT SIGN
SEE ELECT. DWG.
EMERGENCY BATTERY PACK UNIT
MAX. OCC. LOAD SIGN
TACTILE EXIT SIGN

NEW BUILDING
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

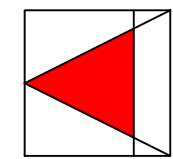
PROJECT NAME

**LA CANADA
ASSISTED LIVING**

1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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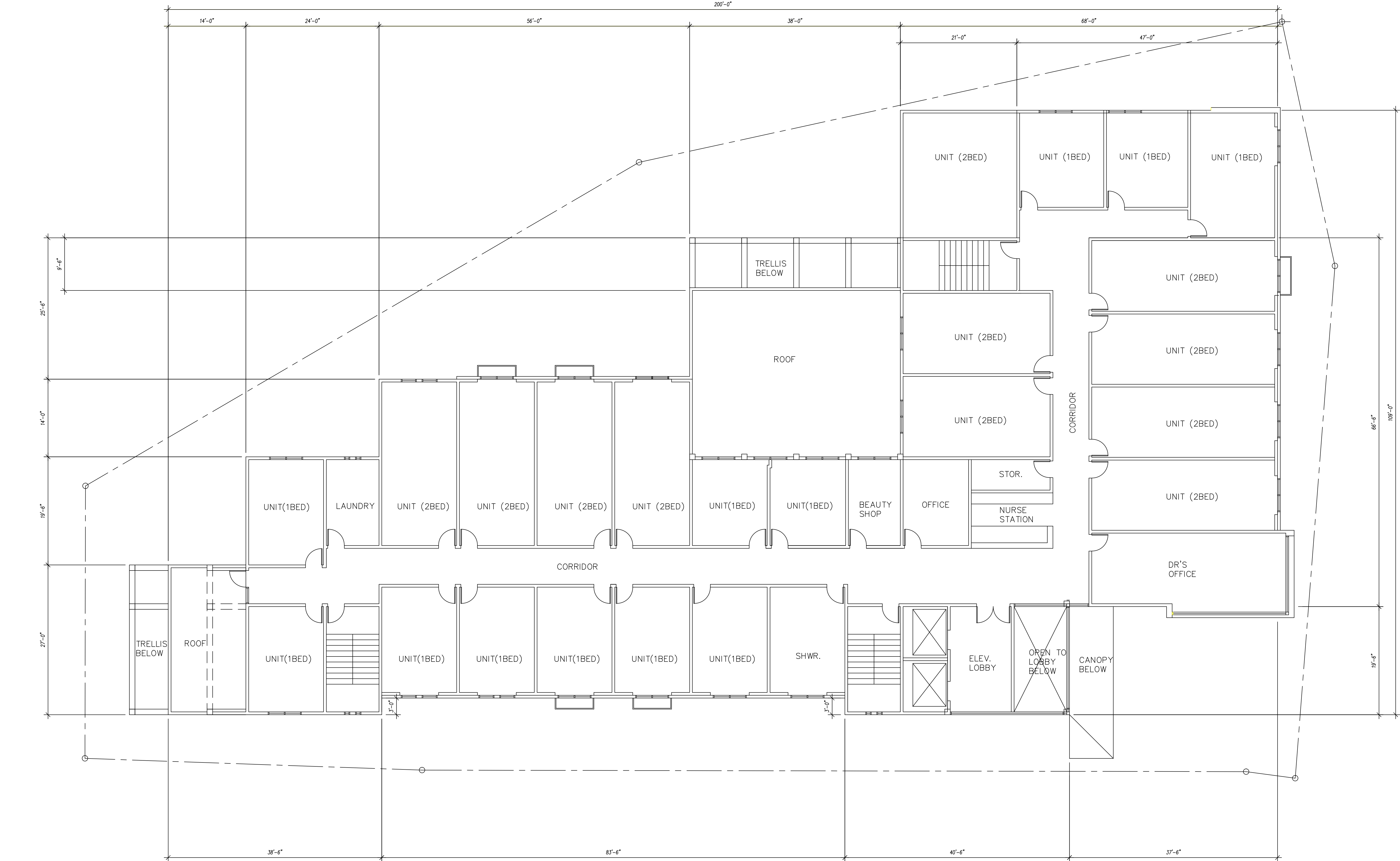
Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NO.

A103



NOTE:
1. CONTRACTOR SHALL USE OF MOISTURE REISITANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS. (SEE MECHANICAL DWG.)
4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSC 16 CER 1201) OR A (ANSI Z97.1)
5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- # DOOR #, SEE DOOR SCHED/ A500
WINDOW #, SEE WINDOW SCHED/ A500

- EXISTING SINGLE PEDESTAL WALKER
EXISTING DOUBLE PEDESTAL WALKER
EXISTING OUTLET (POWER)
OUTLET (POWER)
SWITCH - NEW
TELEPHONE - NEW
FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
** USE EXISTING ELECTRICAL PANEL

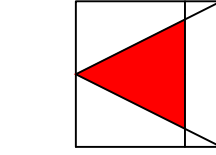
- NEW 3 5/8" MET. STUD @ 16" O.C.
WITH TYPE 'X' GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
NEW 1 HR. WALL -TYP.
NEW CONC. BLK WALLS
EXISTING WALLS AND PARTITIONS TO BE REMOVED
NEW PARTITION
ILLUM. EXIT SIGN
SEE ELECT. DWG.
EMERGENCY BATTERY PACK UNIT
MAX. OCC. LOAD SIGN
TACTILE EXIT SIGN

NEW BUILDING
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROJECT NAME
**LA CANADA
ASSISTED LIVING**
1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.
Architecture, Planning and Interiors
2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
TEL. (213) 804-2255
E-MAIL: ahandrarchitectsinc@gmail.com



REVISIONS

Revisions indicated thus A:

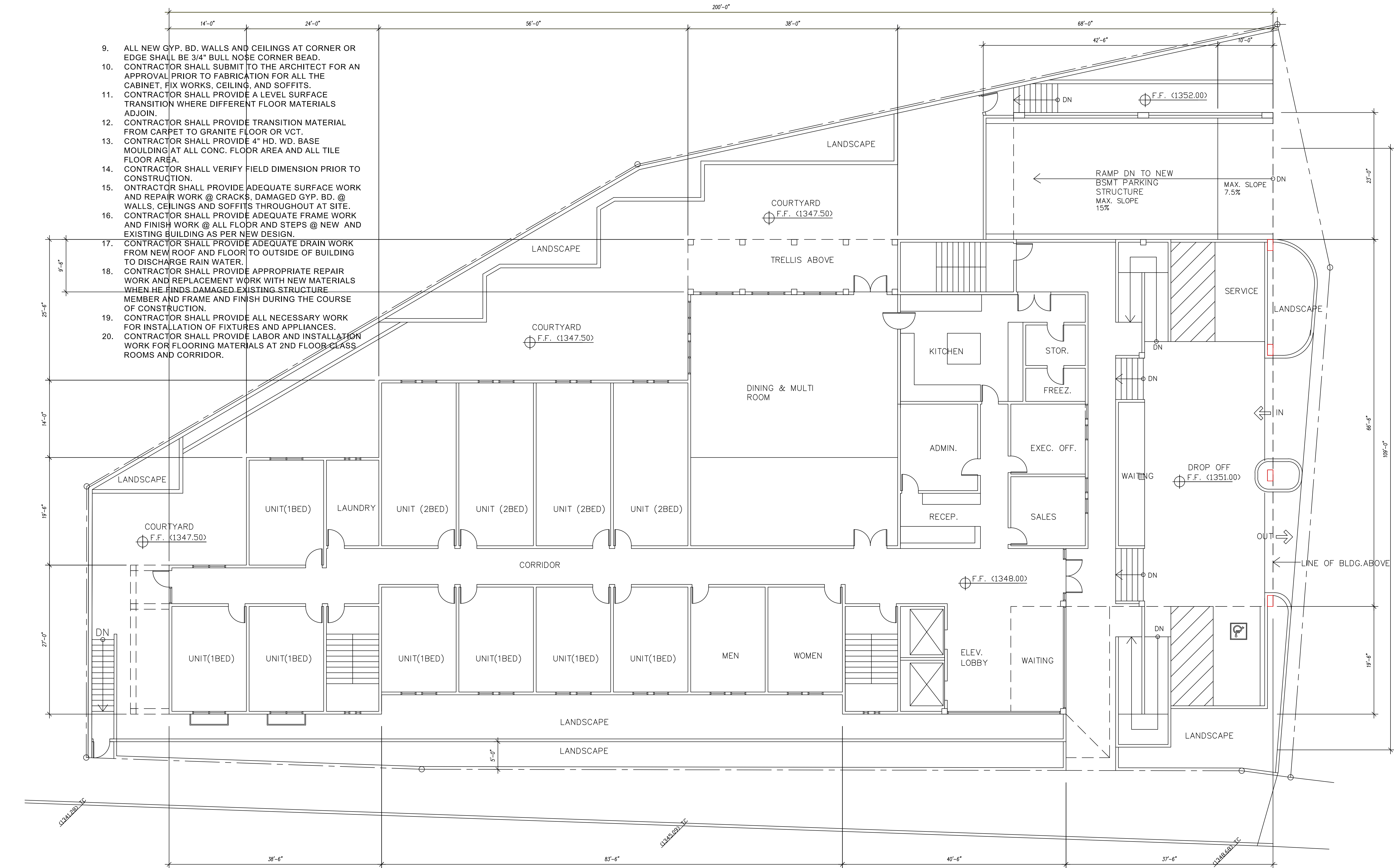
Approved for the Owner by	Date
Approved for the Architect by	
Drawn by	
Checked by	
Date	

SHEET TITLE

SECOND FLOOR PLAN

SHEET NO.

A102



NOTE:
1. CONTRACTOR SHALL USE OF MOISTURE REISITANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS.(SEE MECHANICAL DWG.)
4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSC 16 CER 1201) OR A (ANSI Z97.1)
5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

- LEGEND
- DOOR #, SEE DOOR SCHED/ A500
 - WINDOW #, SEE WINDOW SCHED/ A500

- EXISTING SINGLE PEDESTAL WALKER
- EXISTING DOUBLE PEDESTAL WALKER
- EXISTING OUTLET (POWER)
- OUTLET (POWER)
- SWITCH - NEW
- TELEPHONE - NEW
- FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
- USE EXISTING ELECTRICAL PANEL

- NEW 3 5/8" MET. STUD @ 16" O.C. WITH TYPE 'X' GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
- NEW 1" HR. WALL -TYP.
- NEW CONC. BLK WALLS
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW PARTITION
- ILLUM. EXIT SIGN SEE ELEC. DWG.
- EMERGENCY BATTERY PACK UNIT
- MAX. OCC. LOAD SIGN
- TACTILE EXIT SIGN

NEW BUILDING
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT NAME
**LA CANADA
ASSISTED LIVING**
1809 VERDUGO BLVD.
GLENDALE, CA 91208

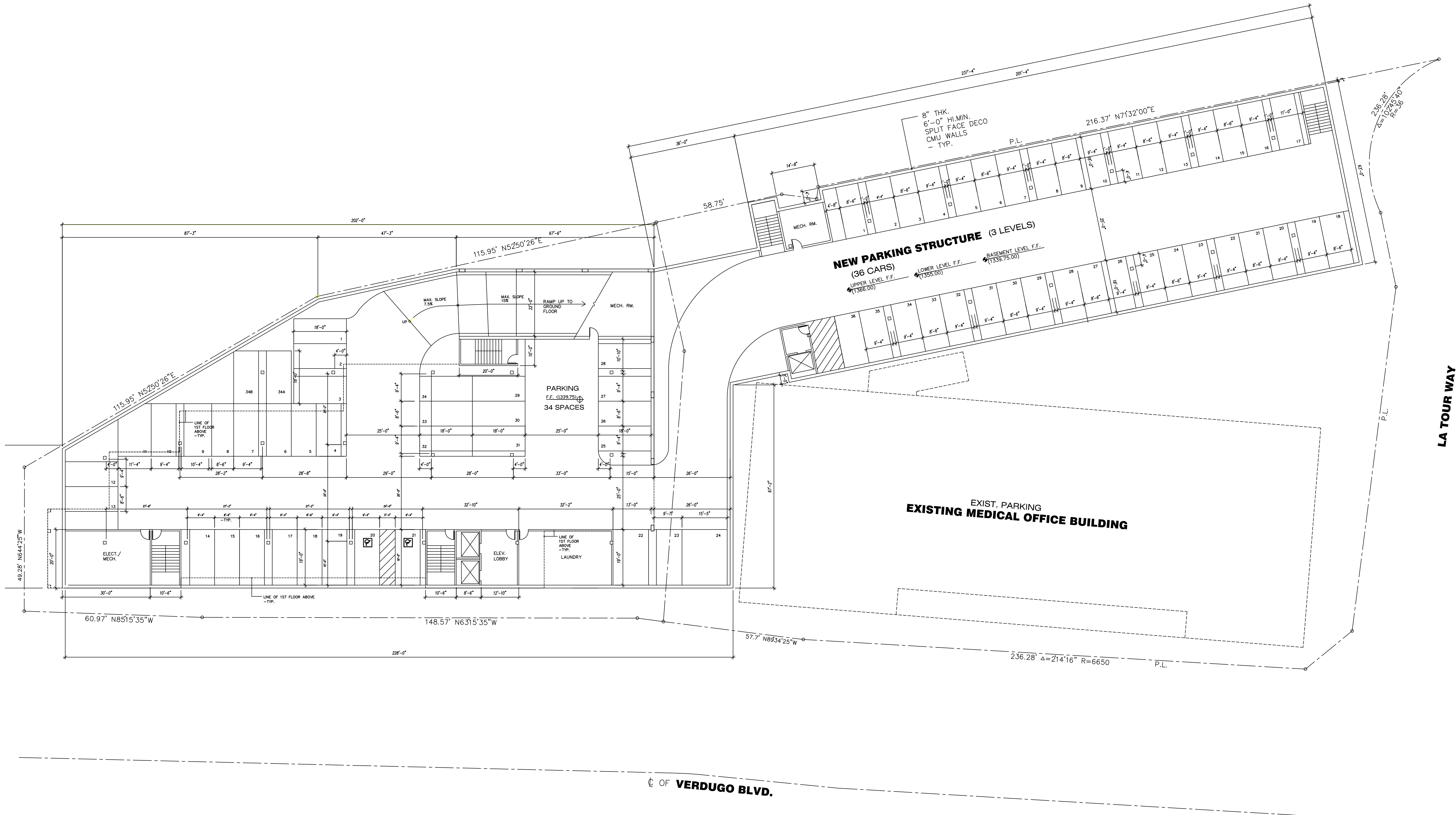
A&H ARCHITECTS, INC.
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REVISIONS			
Revisions indicated thus A.			
Approved for the Owner by	Date	Approved for the Architect by	
Drawn by		Checked by	
		Date	

SHEET TITLE
GROUND FLOOR PLAN

SHEET NO.

A101



OVERALL BASEMENT PARKING PLAN
SCALE: 1/16" = 1'-0"

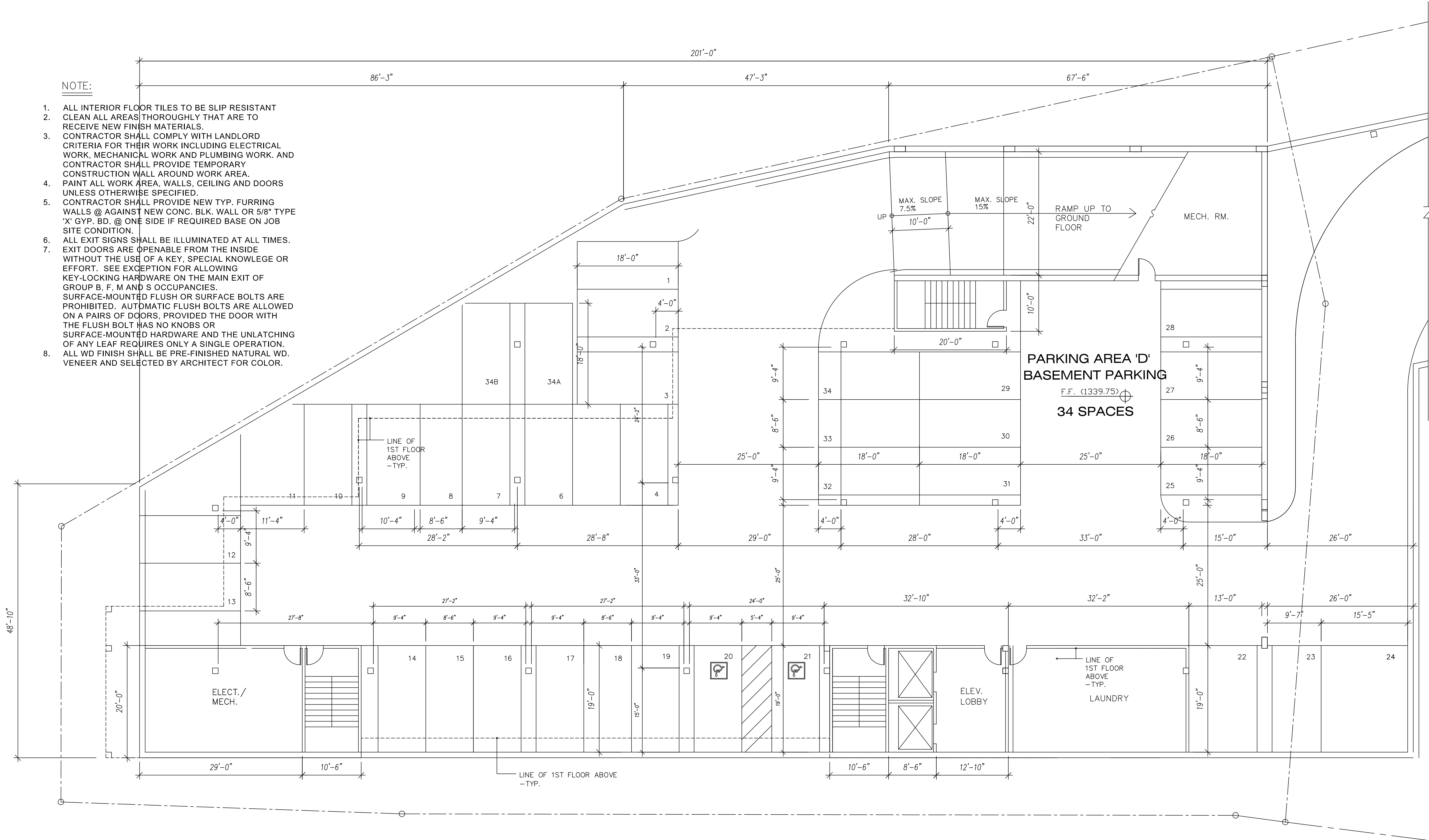
PROJECT NAME
**LA CANADA
ASSISTED LIVING**
1809 VERDUGO BLVD.
GLENDALE, CA 91208

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REVISIONS				
Approved for the Owner by	Date	Revisions indicated thus Δ:		
Approved for the Architect by				
Drawn by				
Checked by				
Date				

SHEET TITLE
**OVERALL
BASEMENT PLAN**

SHEET NO.
A100A



NOTE:

1. ALL INTERIOR FLOOR TILES TO BE SLIP RESISTANT
2. CLEAN ALL AREAS THOROUGHLY THAT ARE TO RECEIVE NEW FINISH MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH LANDLORD CRITERIA FOR THEIR WORK INCLUDING ELECTRICAL WORK, MECHANICAL WORK AND PLUMBING WORK. AND CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION WALL AROUND WORK AREA.
4. PAINT ALL WORK AREA, WALLS, CEILING AND DOORS UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR SHALL PROVIDE NEW TYP. FURRING WALLS @ AGAINST NEW CONC. BLK. WALL OR 5/8" TYPE 'X' GYP. BD. @ ONE SIDE IF REQUIRED BASE ON JOB SITE CONDITION.
6. ALL EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
7. EXIT DOORS ARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. SEE EXCEPTION FOR ALLOWING KEY-LOCKING HARDWARE ON THE MAIN EXIT OF GROUP B, F, M AND S OCCUPANCIES.
8. SURFACE-MOUNTED FLUSH OR SURFACE BOLTS ARE PROHIBITED. AUTOMATIC FLUSH BOLTS ARE ALLOWED ON A PAIRS OF DOORS, PROVIDED THE DOOR WITH THE FLUSH BOLT HAS NO KNOBS OR SURFACE-MOUNTED HARDWARE AND THE UNLATCHING OF ANY LEAF REQUIRES ONLY A SINGLE OPERATION.
9. ALL WD FINISH SHALL BE PRE-FINISHED NATURAL WD. VENEER AND SELECTED BY ARCHITECT FOR COLOR.

- NOTE:
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 7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- DOOR #, SEE DOOR SCHED AS00
- WINDOW #, SEE WINDOW SCHED AS00

- EXISTING SINGLE PEDESTAL WALKER
- EXISTING DOUBLE PEDESTAL WALKER
- EXISTING OUTLET (POWER)
- OUTLET (POWER)
- SWITCH - NEW
- TELEPHONE - NEW
- FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
- ** USE EXISTING ELECTRICAL PANEL

- NEW 3 5/8" MET. STUD @ 16" O.C.
- WITH TYPE 'X' GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
- NEW 1 HR WALL-TYP.
- NEW CONC. BLK WALLS
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW PARTITION

- ILLUM. EXIT SIGN
- SEE ELEC. DWG.
- EMERGENCY BATTERY PACK UNIT

- MAX. OCC. LOAD SIGN
- TACTILE EXIT SIGN

NEW BUILDING
BASEMENT GARAGE PLAN

SCALE: 1/8" = 1'-0"

PROJECT NAME
**LA CANADA
ASSISTED LIVING**
1809 VERDUGO BLVD.
GLENDALE, CA 91208

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REVISIONS

REVISIONS		
Revisions indicated thus Δ:		
Date		
10-25-2017	Δ	DRB SUBMITTAL
10-25-2017	Δ	DRB CORRECTION
6/7-2"		

SHEET TITLE

BASEMENT
GARAGE PLAN

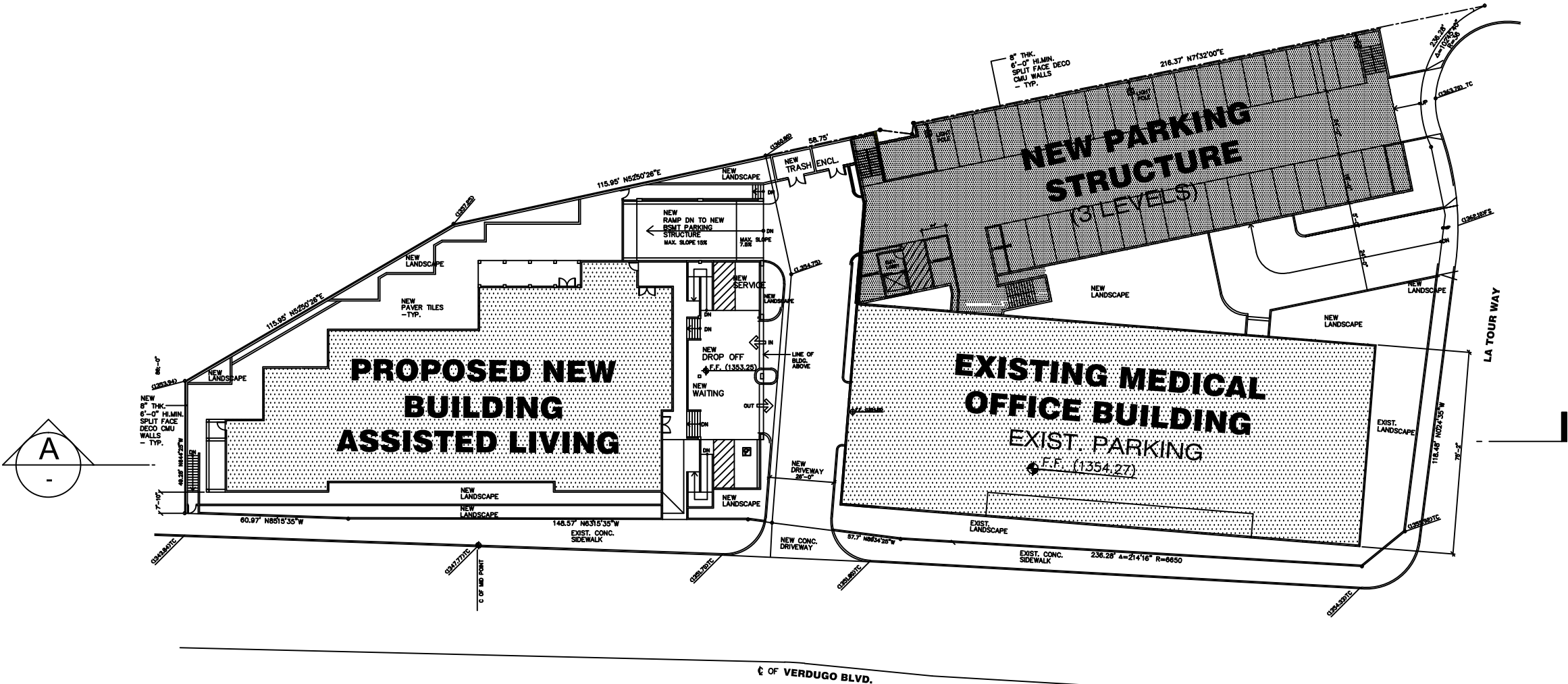
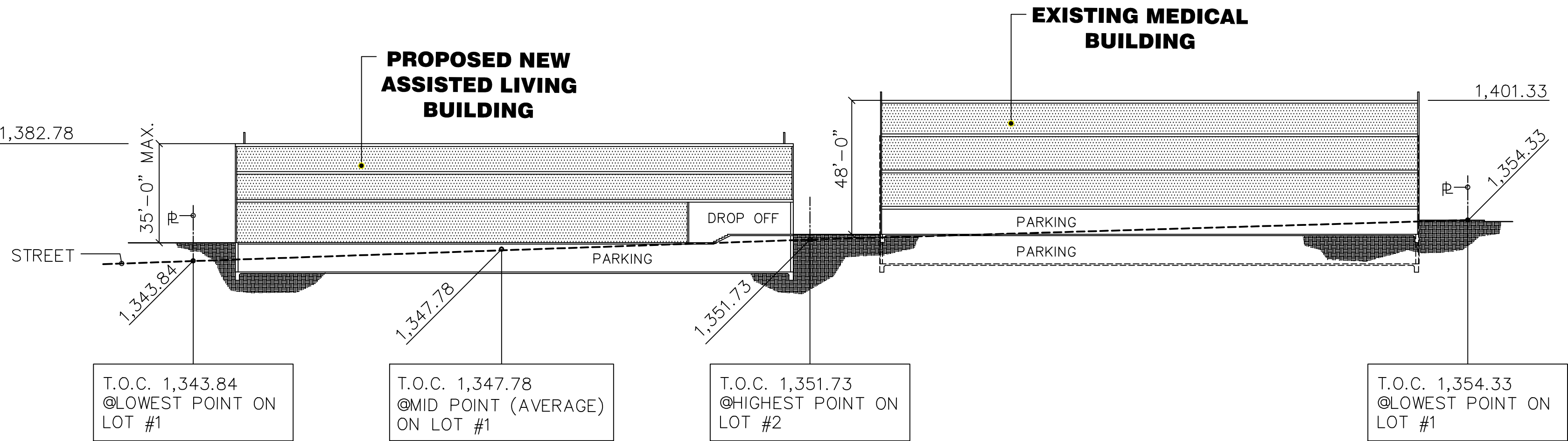
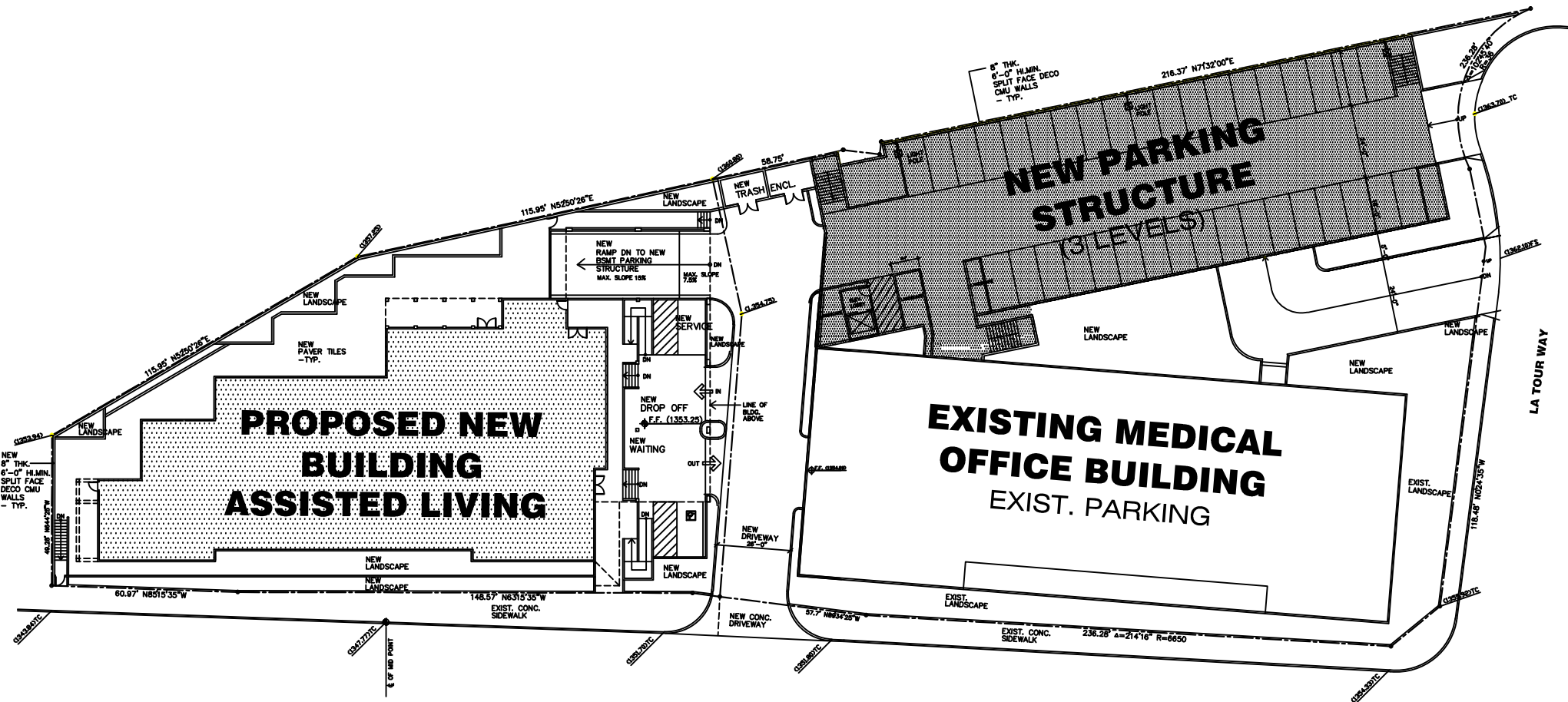
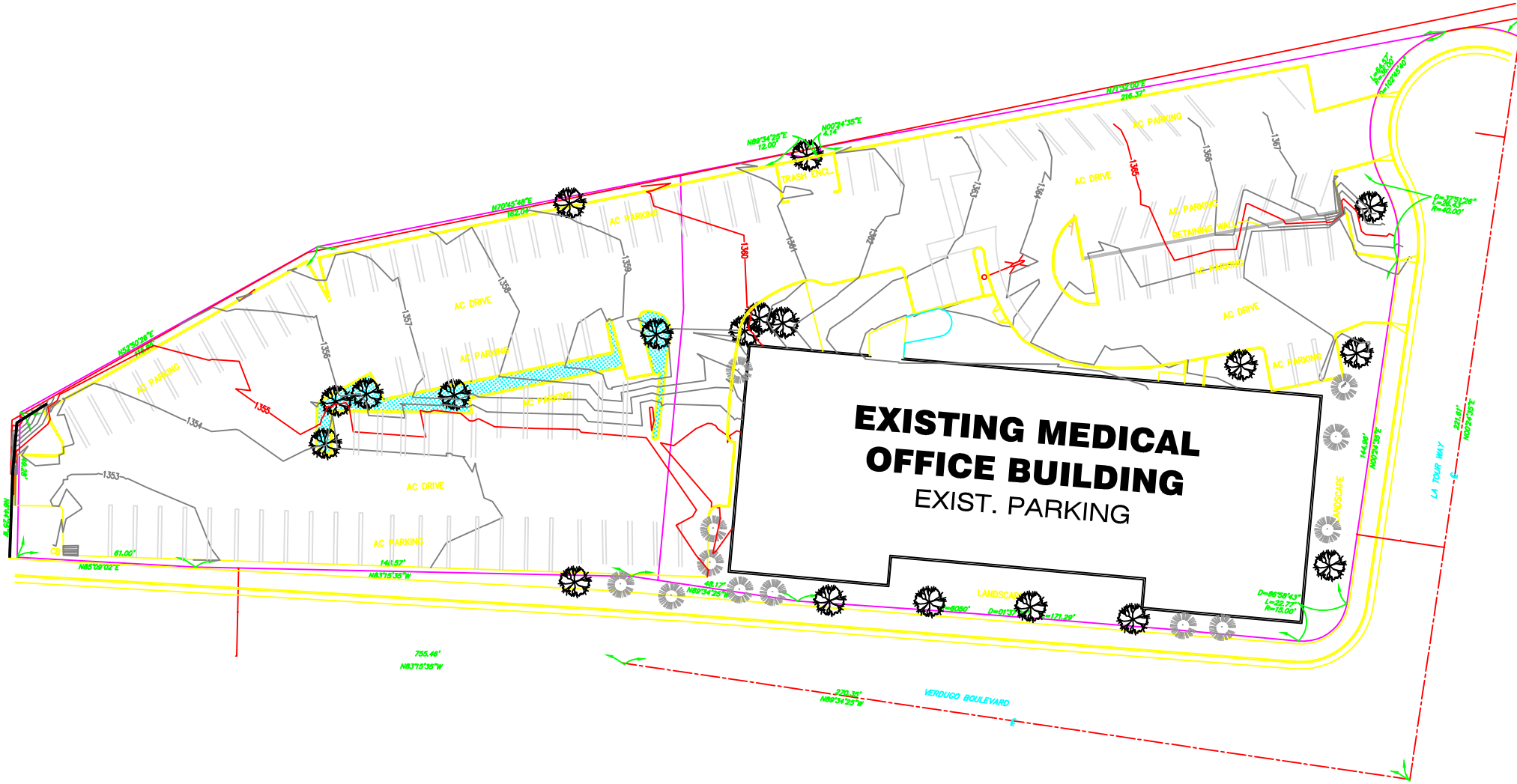
SHEET NO.

A100

OCCUPANT			
FLOOR.	SINGLE	DOUBLE	TOTAL BED
1	7	4	15
2	12	10	32
3	8	11	30
TOTAL	27	25	75

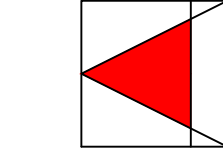
PROJECT SUMMARY

1. NEW 3 STORY 35,000 S.F. RESIDENTIAL CONGREGATIONAL LIVING:
NEW CONSTRUCTION OF 52 ROOM (27 SINGLES PLUS 25 DOUBLES) FOR 75 BEDS "ASSISTED LIVING" FACILITY FOR SENIOR RESIDENTIAL LIVING WITH SKILLED NURSING SERVICE.
2. REMOVE EXISTING SURFACE PARKING LOT AND PROVIDE NEW PARKING STRUCTURES:
- CONSTRUCT ONE LEVEL SUBTERRANEAN PARKING GARAGE BELOW THE NEW PROPOSED ASSISTED LIVING FACILITY (APPROX. 18,500 S.F.)
- CONSTRUCT TWO LEVEL PARKING STRUCTURE ON EXISTING LOT BEHIND THE EXISTING MEDICAL BUILDING.(APPROX. 24,900 S.F. FOR BOTH LEVEL)
3. EXISTING PARKING GARAGE BELOW THE MEDICAL BUILDING WILL STAY THE SAME.
4. NEW DRIVEWAY WILL BE CONSTRUCTED ENTERING AND EXISTING FROM VERDUGO BLVD.:
THE NEW PROPOSED TWO WAY DRIVEWAY WILL BE IN THE MIDPOINT OF THE ENTIRE COMPLEX ALONG VERDUGO BLVD
AND WILL BE LOCATED BETWEEN THE EXISTING MEDICAL BUILDING AND NEW PROPOSED ASSISTED LIVING PROJECT.
5. LAND: LOT #1 AND LOT #2 TRACT 37160
- LOT #1 - 41,409 S,F, (APN 5813-004-089 AND 5813-004-090)
- LOT #2 - 23,086 S.F. (APN 5813-004-077)
6. LOCATION: THE ENTIRE COMPLEX IS BOUNDED BY VERDUGO BLVD. ON THE SOUTH, LA TOUR WAY ON THE EAST AND GLENDALE FREEWAY RAMP ON THE NORTH.
7. HEIGHT OF THE NEW BUILDING: 35 FEET
THE NEW BUILDING WILL BE LOCATED ON THE LOT #2, THE VACANT PARKING LOT.
THE HIGHEST TOP OF CURB ELEVATION ALONG VERDUGO BLVD. ON LOT #1 IS 1,351.73. AND THE LOWEST TOP OF CURB ELEVATION ON VERDUGO BLVD. ON LOT #1 IS 1,343.84 AND THEREFORE THE MID POINT TOP OF CURB ELEVATION ON VERDUGO BLVD. IS 1,347.78 AND THEREFORE THE TOP OF THE ROOF OF THE NEW BUILDING SHOULD BE LOWER THAN 1,382.78
8. AMOUNT OF GRADING: APPROX. 8,506 CUBIC YARD.



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Drawn by	
Checked by	
Date	

SHEET TITLE
DEVELOPMENT PLAN

SHEET NO.

A001