

SHOOT ID

CONSULTANTS

PROJECT SUMMARY

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 - A.2.1 Site and First Floor Plan
 - A.2.2 Semi-Subterranean Garage
 - A.2.3 Second Floor Plan
 - A.2.4 Third Floor Plan
 - A.2.5 Roof Plan
 - A.2.6 Historic House To Remain
 - A.2.7 Historic House Proposed Improvements
 - A.2.8 First Floor Average Setback Calculations
 - A.2.9 Second Floor Average Setback Calculations
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 - A.2.11 Lot Coverage and Open Space Calculations
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 - A.3.4 Historic House Proposed Interior Improvements
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 - A.6.2 Details
 - A.6.3 Details
 - A.7.1 Window and Door Schedules
 - L.1 Lanting Plan
 - L.2 Irrigation Plan
 - L.3 Landscape Details

ARCHITECT:
HAMILTON ZOHABIANS AIA
3467 OCEAN VIEW BLVD. SUITE B
GLENDALE, CA. 91208
T. 818.236.3619
F. 818.236.2171

STRUCTURAL ENGINEER:

ENERGY CONSERVATION

GEOTECHNICAL ENGINEER:

PROJECT DESCRIPTION:
NEW PROPOSED 12-UNIT APARTMENT BUILDINGS OVER SEMI-SUBTERRANEAN PARKING GARAGE INCLUDING:
NEW PROPOSED 11-UNIT, THREE STORY APARTMENT BUILDING AND EXISTING TWO STORY HISTORIC HOUSE TO REMAIN AND TO BE RESTORED AS AN ADDITIONAL UNIT

PROJECT DATA:
LEGAL DESCRIPTION: LIVINGSTONE TRACT, LOT 3 AND 5, BLK 6
APN : 5643-007-003 AND 5643-007-004
LOT AREA = 15,000 S.F.
ZONE = R-1250
ALLOWABLE NUMBER OF UNITS = 15,000 S.F./1,250 S.F. = 12 UNITS
PROPOSED NUMBER OF UNITS = 12

BUILDING HEIGHT:
ALLOWABLE HEIGHT = 36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41'
PROPOSED MAXIMUM BUILDING HEIGHT = 40' - 3"

LOT COVERAGE:
ALLOWABLE LOT COVERAGE = 50% X 15,000 S.F. = 7,500 S.F.
PROPOSED LOT COVERAGE:
NEW PROPOSED BUILDING LOT COVERAGE = 6,159 s.f.
EXISTING HISTORIC HOUSE LOT COVERAGE = 1,713 s.f.
TOTAL PROJECT LOT COVERAGE = 7,872 s.f. = 52.48%

FLOOR AREA:
ALLOWABLE FLOOR AREA = 1.2 (15,000) = 18,000 S.F.
PROPOSED RESIDENTIAL FLOOR AREA = 16,725 s.f.
PROPOSED ELEVATOR SHAFT AREA = 86 s.f. x 4 = 344 s.f.
TOTAL PROPOSED FLOOR AREA = 17,069 s.f.

GRADE = (194.13 + 193.01) / 2 = 193.57
ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 193.57 + 3 = 196.57
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MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE ABOVE ADJACENT GROUND LEVEL = 6.5'
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MAX. ALLOWABLE TOP OF SOLID FENCE WALL = 201.86'

PARKING:
REQUIRED PARKING:
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2+ 2(11) + 3 (GUEST) = 27 SPACES
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LANDSCAPE:
REQUIRED MIN. PERMANENTLY LANDSCAPED OPEN SPACE = 25% (15,000) = 3,750 s.f.
PROPOSED PERMANENTLY LANDSCAPED OPEN SPACE = 4,220 s.f.

RESIDENTIAL UNIT CONFIGURATION:

UNIT NO.	101	102	103	104	105	201	202	203	301	302	303	304	TOTAL
BEDROOMS	2	2	2	2	3 (E)	2	2	2	2	2	2	2	
FIRST FLOOR	1421	1267	1237	1188	1890	-	-	-	-	-	-	-	7,003 s.f.
SECOND FLOOR	-	-	-	632	-	1280	1267	1335	-	-	-	632	5,146 s.f.
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www.zohrabians.com

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CLIENT:
R & A HOMES LLC
PO BOX 291473
Los Angeles Ca 90029

PROJECT:
538-534 N Kenwood Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
INDEX AND DATA

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

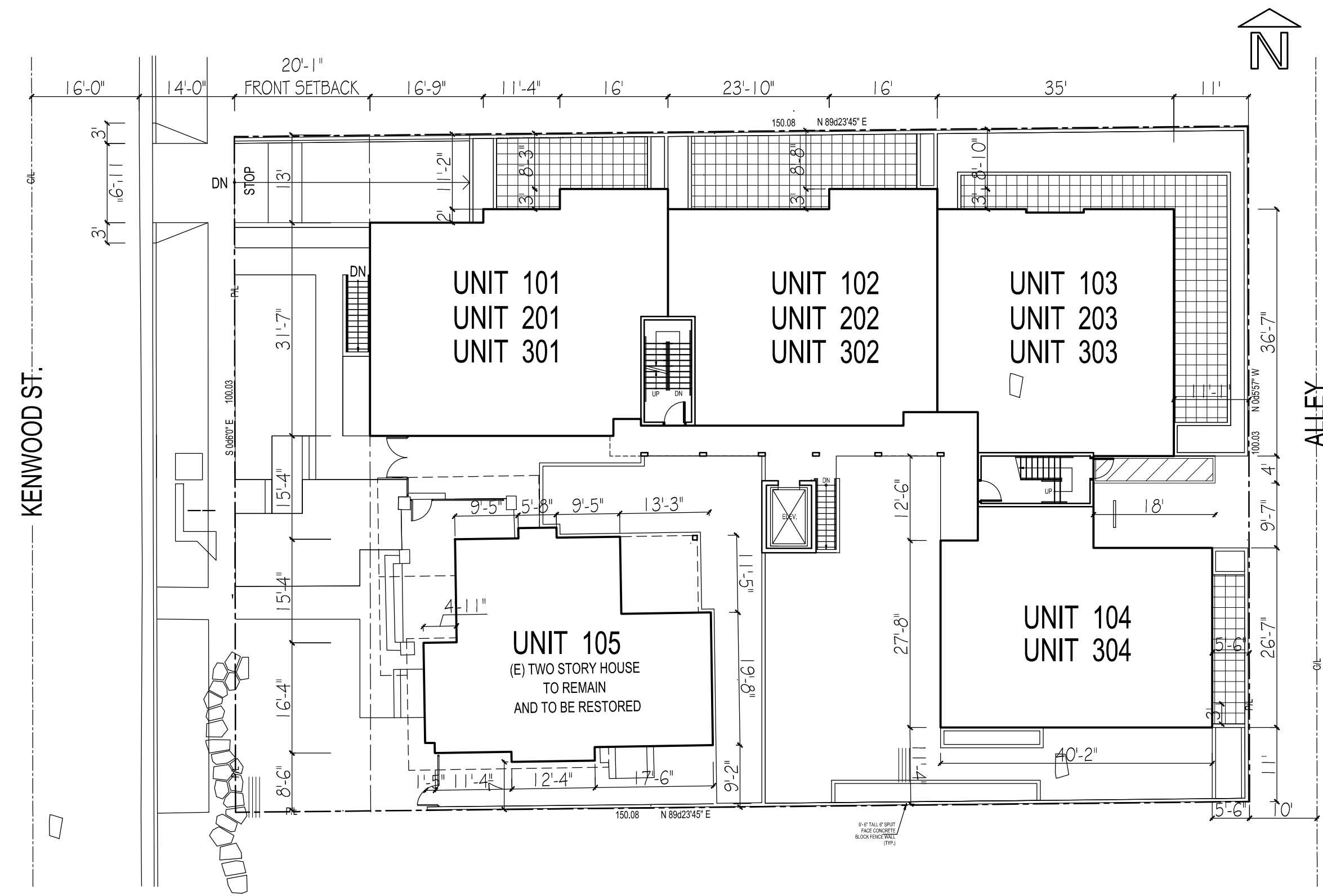
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LOT LAYOUT

SCALE 1/8" = 1'-0"

LEGEND

VICINITY MAP



File: \MAP.pdf
Missing loc invalid reference

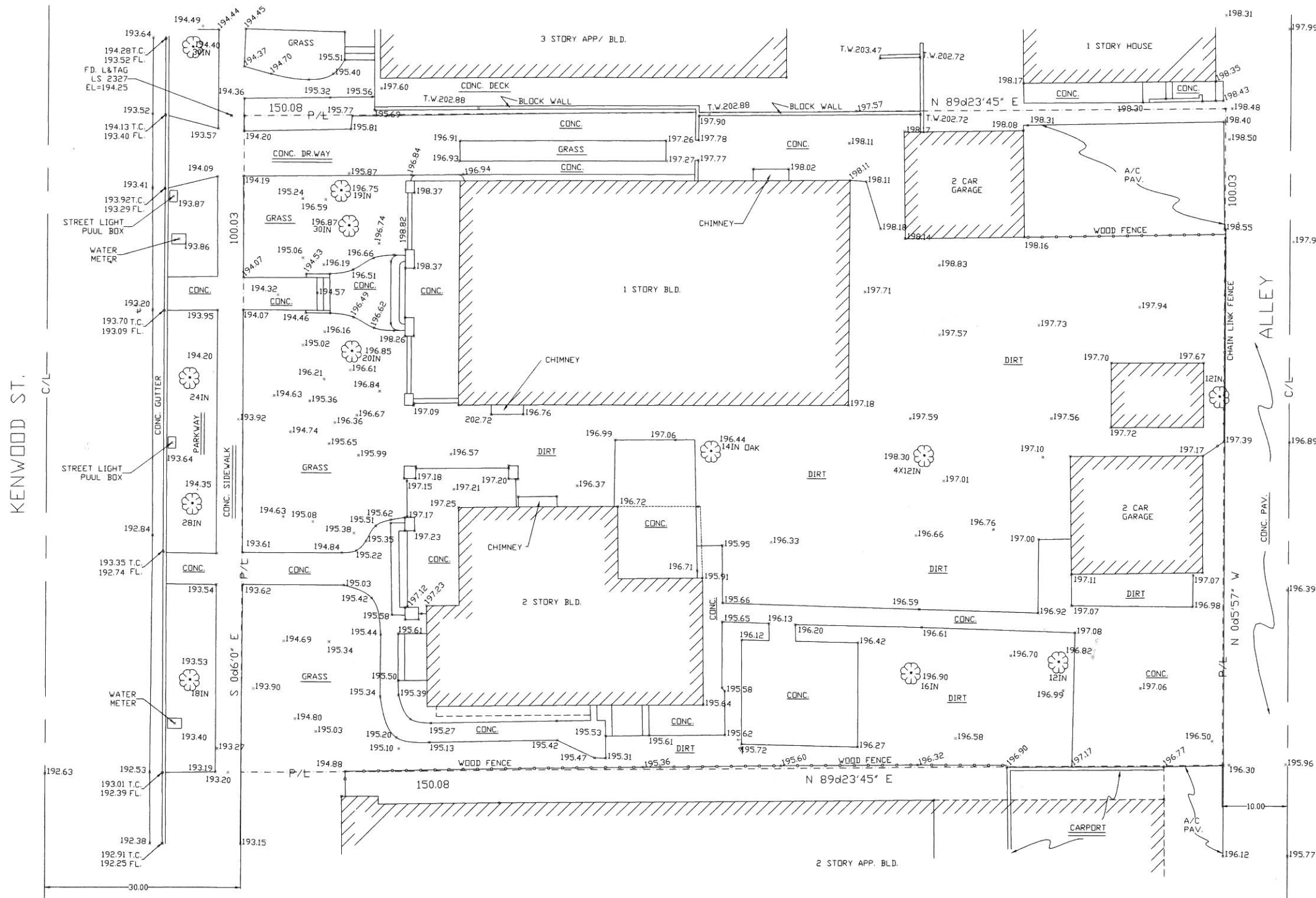
SYMBOLS

- GENERAL BUILDING SECTION NUMBER LETTER SHOT WHERE DRAWN
- INTERIOR ELEVATION NUMBER LETTER SHOT WHERE DRAWN
- PARTIAL SECTION OR PARTIAL DETAIL NUMBER SHOT WHERE DRAWN
- FLOOR LEVEL OF DOOR
- DOOR NUMBER
- FLOOR LEVEL OF WINDOW
- WINDOW NUMBER
- ROOM REFERENCE

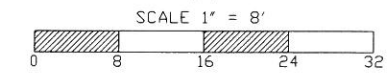
ABBREVIATIONS

R.D.	ROOF DRAIN	FP	FIREPLACE
D.D.	DECK DRAIN	EW	ESCAPE WINDOW
O.D.	OVERFLOW DRAIN	W	WOOD
O.S.	OVERFLOW SCUPPER	CD	CONCRETE DECK
F.E.	FIRE EXTINGUISHER	EM	EMERGENCY LIGHT
FACP	FIRE ALARM CONTROL PANEL	SI	STAIRCASE SIGN
FDC	FIRE DEPARTMENT CONNECTION	K.B.	KNOX BOX

TOPOGRAPHIC SURVEY



NOTE
EASEMENTS IF ANY, ARE NOT SHOWN ON THIS SURVEY



LEGAL DESCRIPTION

LOT'S 3&5
BLOCK 6
LIVINGSTON TRACT
M.B. 17-164

BANCH MARK - ASSUMED EL=194.25 ON FD.
L&TAG LS.2327 ON N'LY P/L PROD.

PROP. ADDRESS:	534 & 538 KENWOOD ST. GLENDALE, CA. 91206
SURVEYED BY:	GOR MKRTCHYAN
	TEL.(818)642-1777 FAX.(818)780-1920
DATE:	04-07-2015
SCALE:	1" = 8'



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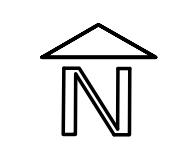
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:

RENDER

DATE	03.12.18
SCALE	NTS
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	





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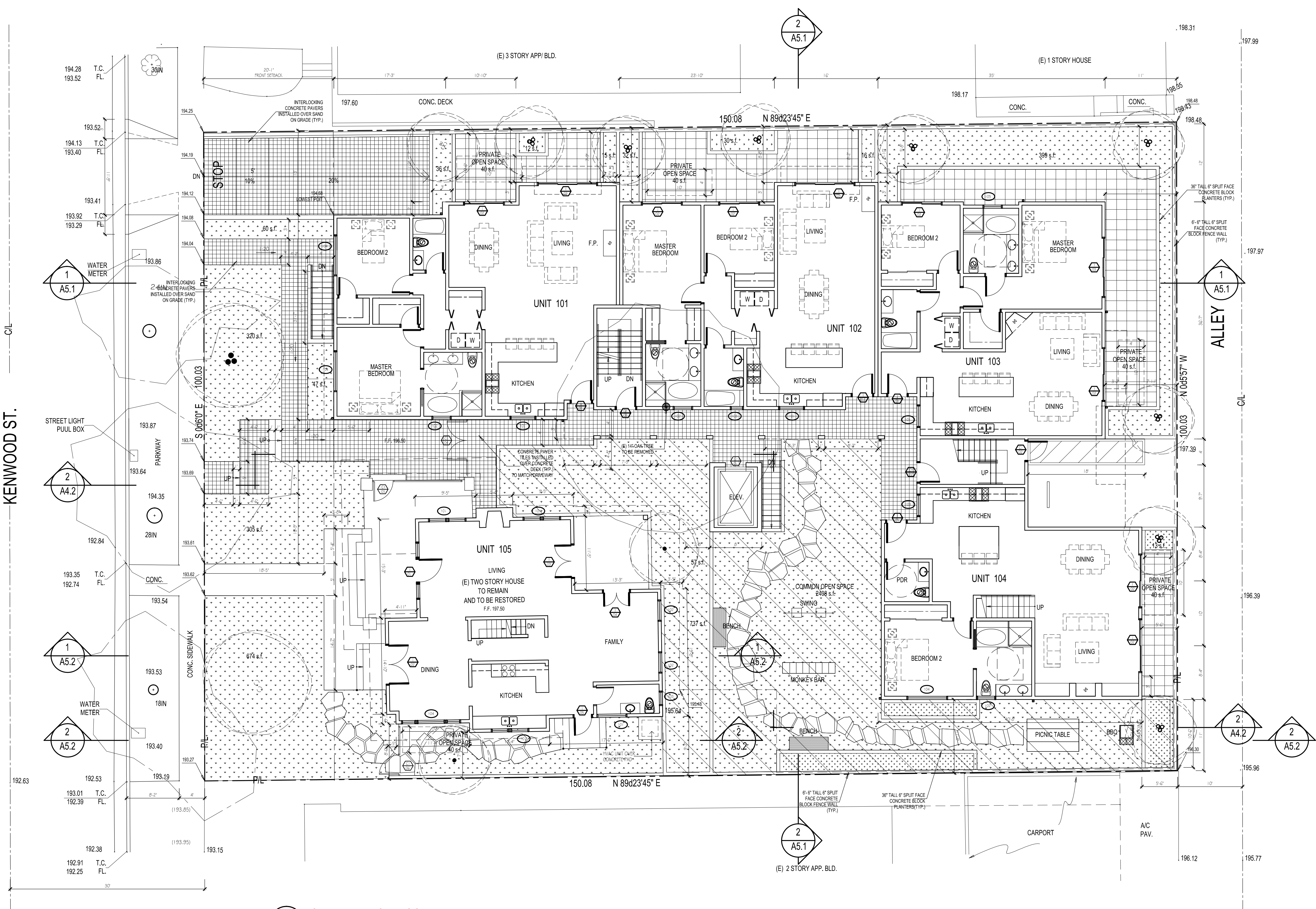
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REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
PROPOSED BUILDING SITE AND FIRST FLOOR PLAN

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
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SHEET	

A2.1



1 SITE AND FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

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DESCRIPTION	DATE	BY
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DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

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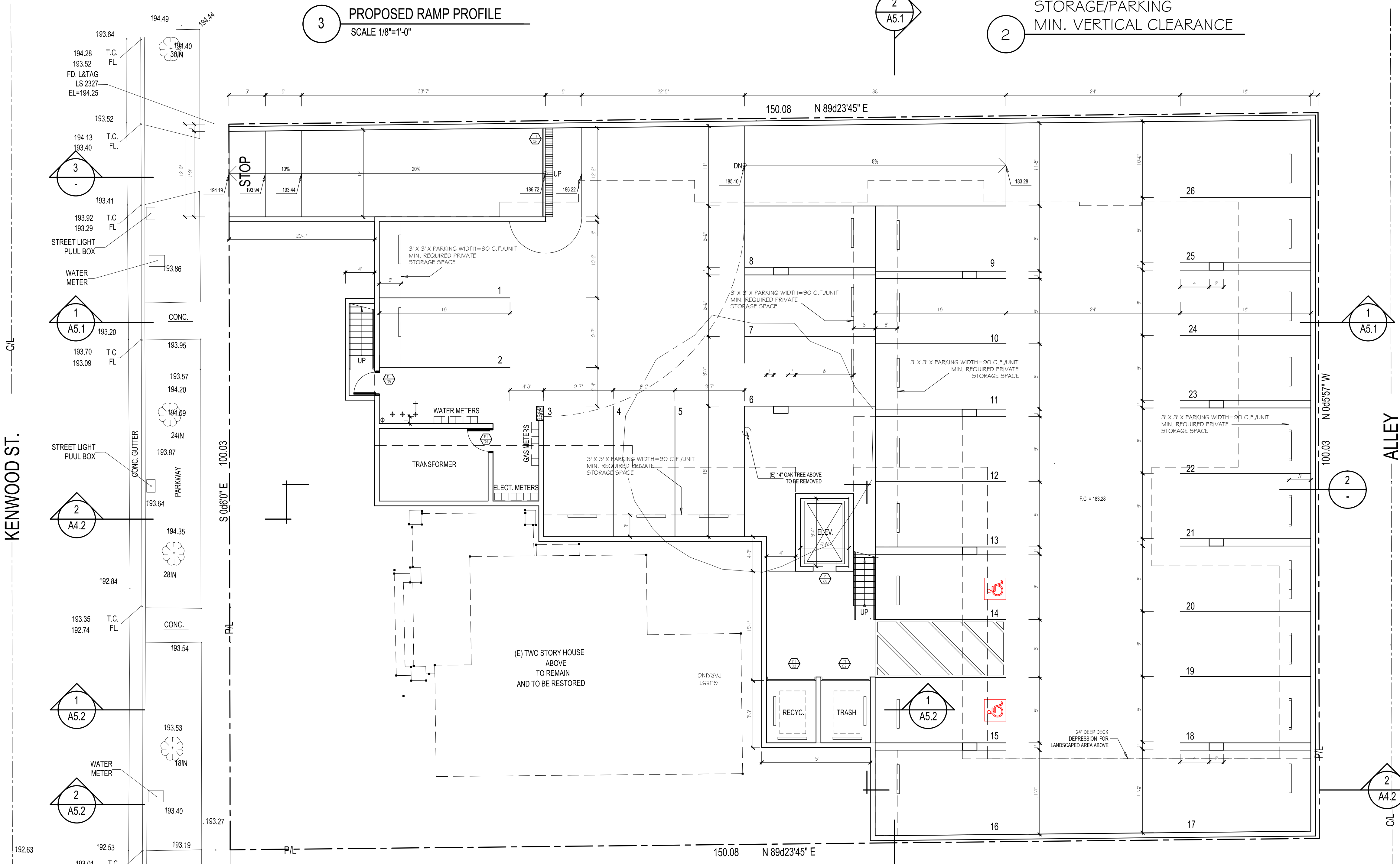
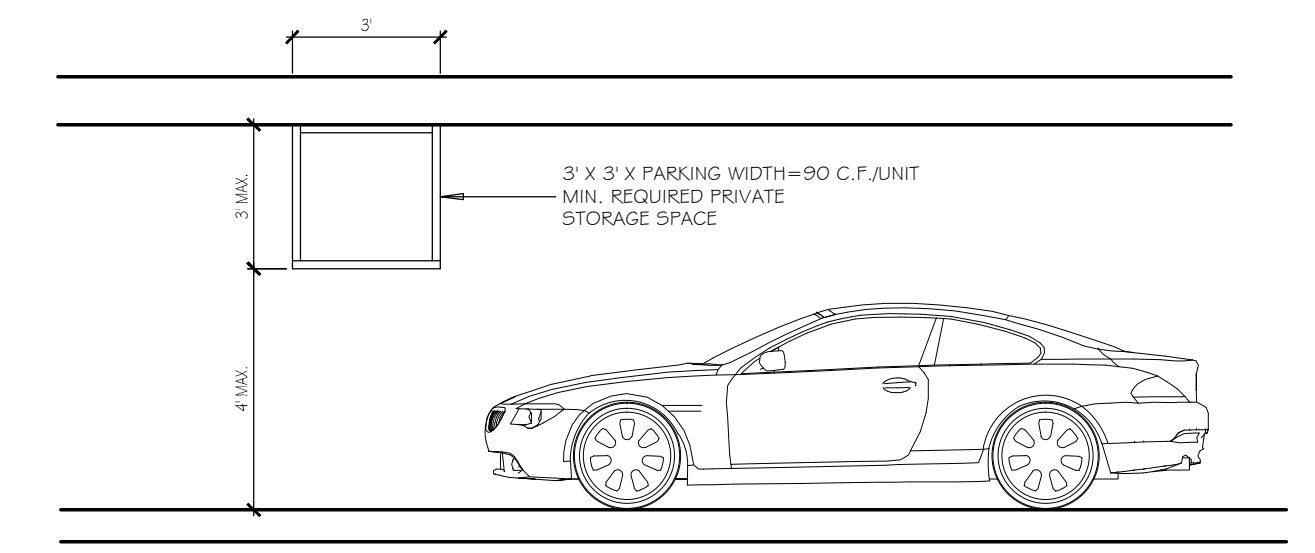
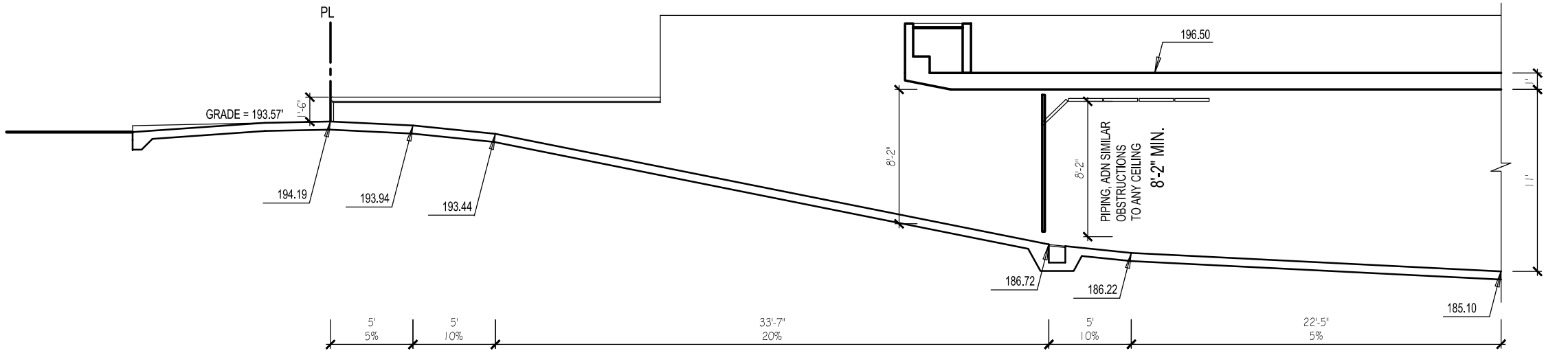
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KENWOOD ST.

ALLEY



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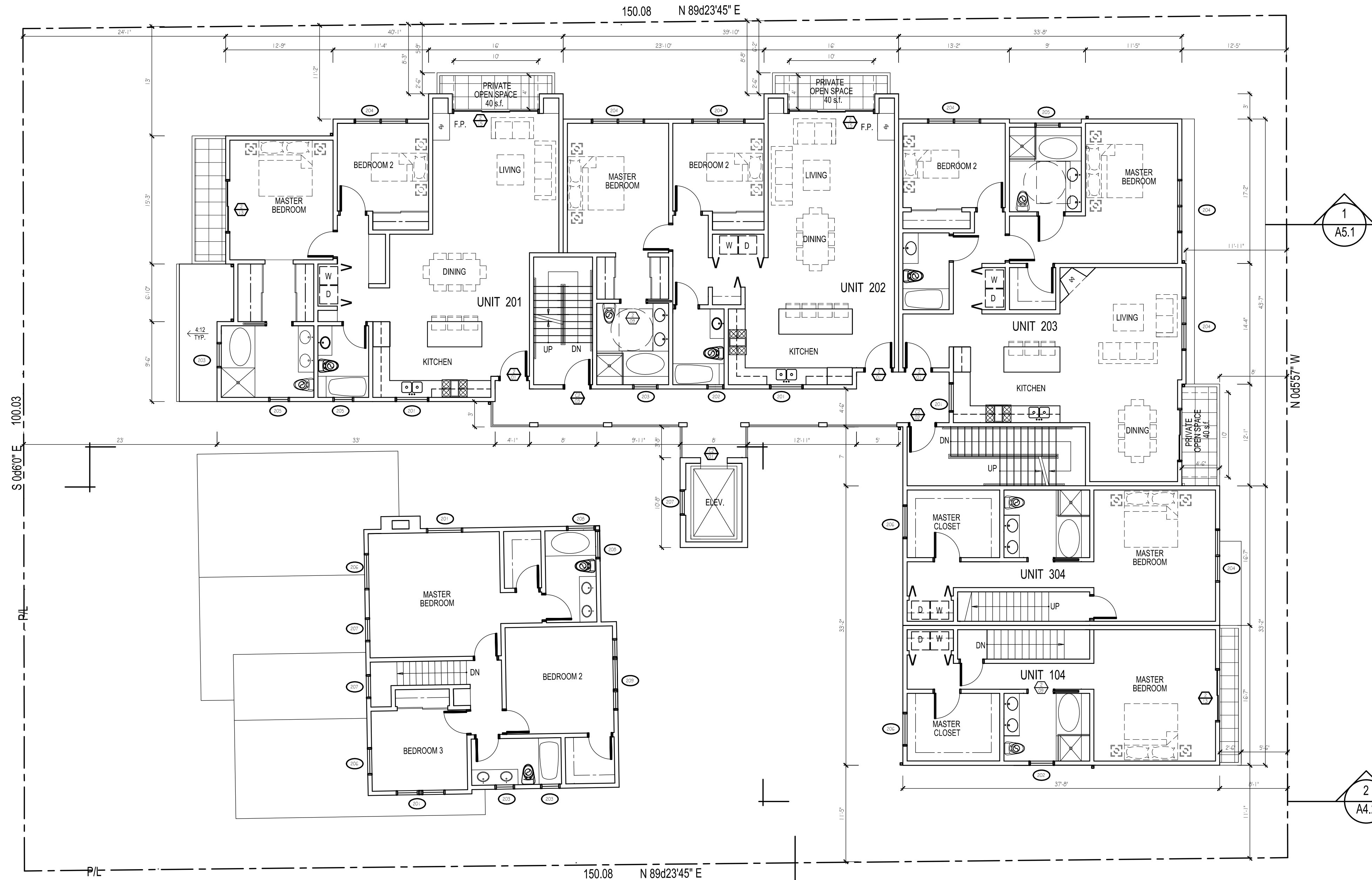
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:

PROPOSED BUILDING SECOND FLOOR PLAN

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

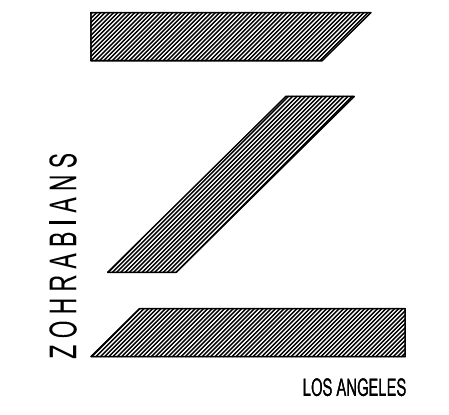
A2.3



1 SECOND FLOOR PLAN
SCALE 1/8"=1'-0"

RESIDENTIAL UNIT CONFIGURATION:

UNIT NO.	101	102	103	104	105	201	202	203	301	302	303	304	TOTAL
BEDROOMS	2	2	2	2	3 (E)	2	2	2	2	2	2	2	
FIRST FLOOR	1421	1267	1237	1188	1890	-	-	-	-	-	-	-	7,003 s.f.
SECOND FLOOR	-	-	-	632	-	1280	1267	1335	-	-	-	632	5,146 s.f.
THIRD FLOOR	-	-	-	-	-	-	-	-	1177	1158	1234	1007	4,576 s.f.
TOTAL	1421	1267	1237	1820	1890	1280	1267	1335	1177	1158	1234	1639	16,725 s.f.



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 zab@zohrabians.com
 www.zohrabians.com



PROJECT DESCRIPTION:
 NEW PROPOSED 12-UNIT APARTMENT BUILDINGS OVER
 SEMI-SUBTERRANEAN PARKING GARAGE
 INCLUDING:
 NEW PROPOSED 11-UNIT, THREE STORY APARTMENT BUILDING AND
 EXISTING TWO STORY HISTORIC HOUSE TO REMAIN
 AND TO BE RESTORED AS AN ADDITIONAL UNIT

PROJECT DATA:
 LEGAL DESCRIPTION: LIVINGSTONE TRACT, LOT 3 AND 5, BLK 6
 APN : 5643-007-003 AND 5643-007-004
 LOT AREA = 15,000 S.F.
 ZONE = R-1250
 ALLOWABLE NUMBER OF UNITS = 15,000 S.F./1,250 S.F. = 12 UNITS
 PROPOSED NUMBER OF UNITS = 12

BUILDING HEIGHT:
 ALLOWABLE HEIGHT = 36 FT. + 5' FOR ROOFS W/ MIN. 3:12 = 41'
 PROPOSED MAXIMUM BUILDING HEIGHT = 40' - 3"

LOT COVERAGE:
 ALLOWABLE LOT COVERAGE = 50% X 15,000 S.F. = 7,500 S.F.
 PROPOSED LOT COVERAGE:
 NEW PROPOSED BUILDING LOT COVERAGE = 6,159 s.f.
 EXISTING HISTORIC HOUSE LOT COVERAGE = 1,713 s.f.
 EXISTING HISTORIC HOUSE LOT COVERAGE = 7,872 s.f. = 52.48%

FLOOR AREA:
 ALLOWABLE FLOOR AREA = 1.2 (15,000) = 18,000 S.F.
 PROPOSED RESIDENTIAL FLOOR AREA = 16,725 s.f.
 PROPOSED ELEVATOR SHAFT AREA = 86 s.f. x 4 = 344 s.f.
 TOTAL PROPOSED FLOOR AREA = 86 s.f. x 4 = 17,069 s.f.

GRADE = (194.13 + 193.01) / 2 = 193.57
 ALLOWABLE SEMI-SUBTERRANEAN GARAGE DECK EL. = 193.57 + 3 = 196.57
 PROPOSED SEMI-SUBTERRANEAN GARAGE DECK EL. = 196.50

PERIMETER FENCE WALLS:
 MAX. ALLOWABLE HEIGHT OF SOLID FENCE + GARAGE
 ABOVE ADJACENT GROUND LEVEL = 6.5'
 LOWEST ADJACENT GROUND LEVEL = 195.36'
 MAX. ALLOWABLE TOP OF SOLID FENCE WALL = 201.86'

PARKING:
 REQUIRED PARKING:
 2 CARS FOR THE EXISTING THREE BEDROOM HISTORIC HOUSE
 2 CAR/ 2BR UNITS = 0.25/UNIT (GUEST)
 FOR ALL NEW PROPOSED UNITS
 2+ 2(11) + 3 (GUEST) = 27 SPACES
 PROPOSED PARKING:
 2 + 2(11) + 3 (GUEST) = 27 SPACES

OPEN SPACE:
 REQUIRED COMMON OUTDOOR SPACE = 200 s.f./UNIT = 2,400 s.f.
 PROPOSED COMMON OUTDOOR SPACE = 2,430.39 s.f.
 REQUIRED PRIVATE OUTDOOR SPACE = 40 s.f. / UNIT
 PROPOSED PRIVATE OPEN SPACE = 40 s.f. / UNIT MIN.

LANDSCAPE:
 REQUIRED MIN. PERMANENTLY LANDSCAPED
 OPEN SPACE = 25% (15,000) = 3,750 s.f.
 PROPOSED PERMANENTLY LANDSCAPED
 OPEN SPACE = 4,220 s.f.

STAMP:

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CLIENT:
R & A HOMES LLC
 PO BOX 291473
 Los Angeles Ca 90029

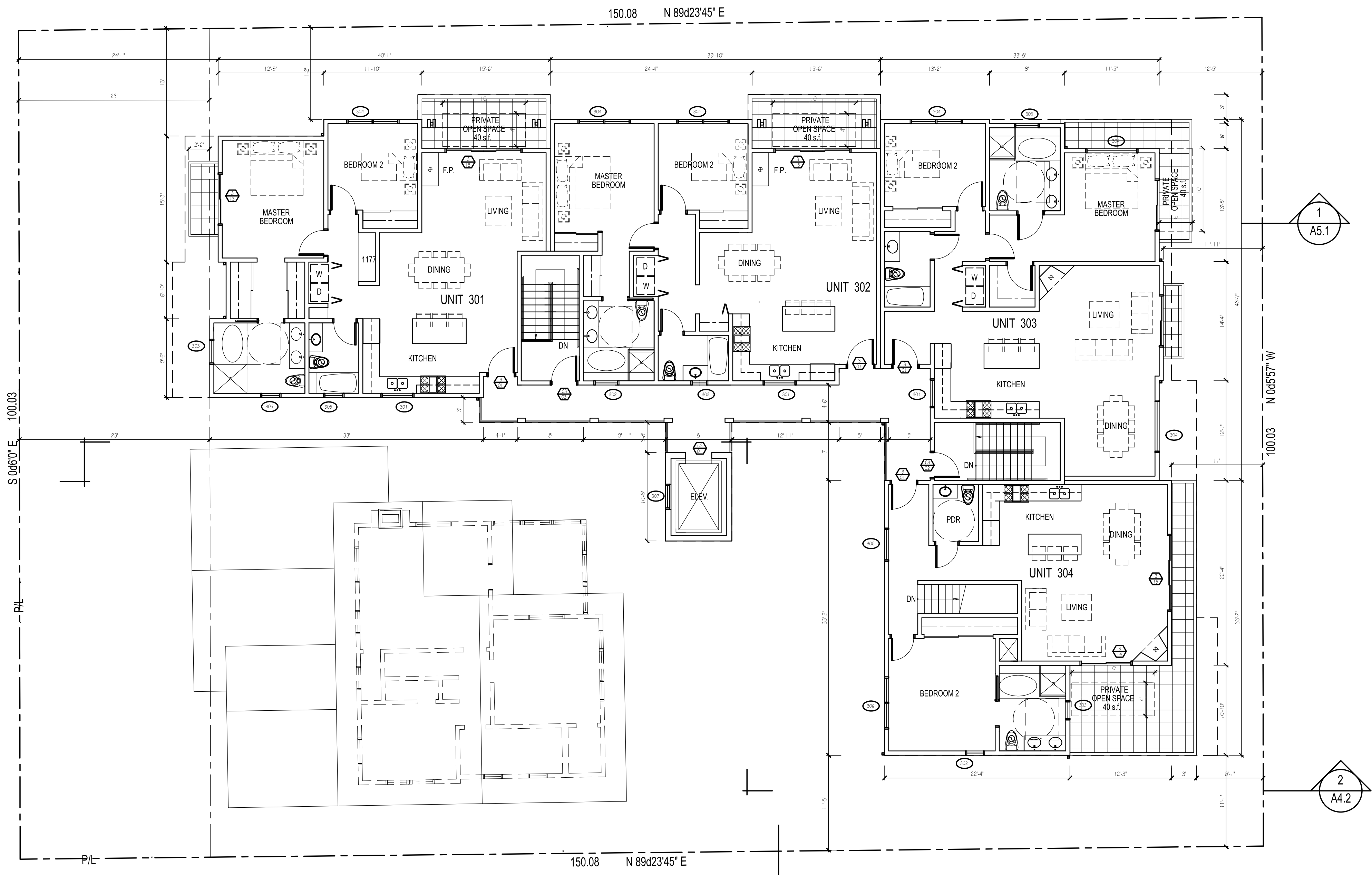
PROJECT:
**538-534 N Kenwood
 Condominiums**
 538-534 N Kenwood St.
 Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
**PROPOSED BUILDING
 THIRD FLOOR PLAN**

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A2.4



1 THIRD FLOOR PLAN
 SCALE 1/8"=1'-0"

RESIDENTIAL UNIT CONFIGURATION:

UNIT NO.	101	102	103	104	105	201	202	203	301	302	303	304	TOTAL
BEDROOMS	2	2	2	2	3 (E)	2	2	2	2	2	2	2	
FIRST FLOOR	1421	1267	1237	1188	1890	-	-	-	-	-	-	-	7,003 s.f.
SECOND FLOOR	-	-	-	632	-	1280	1267	1335	-	-	-	632	5,146 s.f.
THIRD FLOOR	-	-	-	-	-	-	-	-	1177	1158	1234	1007	4,576 s.f.
TOTAL	1421	1267	1237	1820	1890	1280	1267	1335	1177	1158	1234	1639	16,725 s.f.



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PROJECT:

538-534 N Kenwood
 Condominiums
 538-534 N Kenwood St.
 Glendale Ca. 91206

REVISIONS

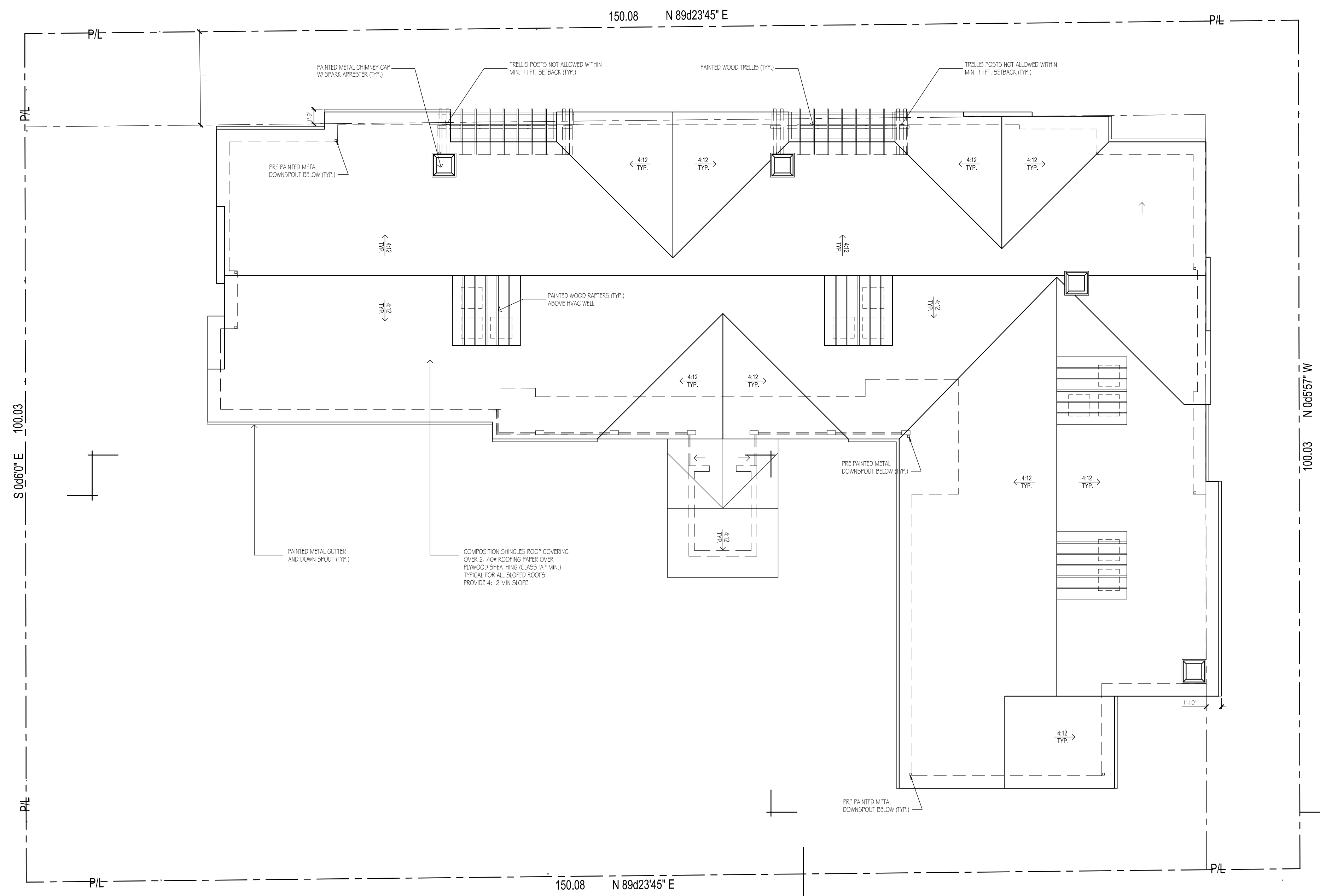
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REVISED	09.13.18	HZ

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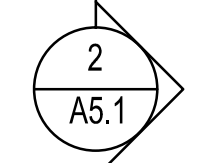
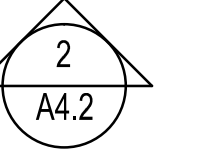
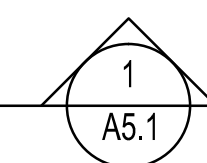
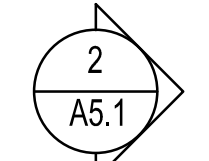
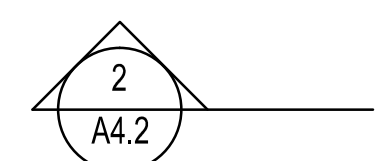
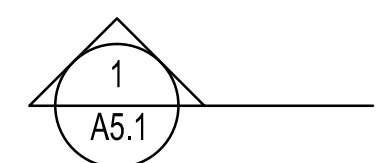
PROPOSED BUILDING
 ROOF PLAN

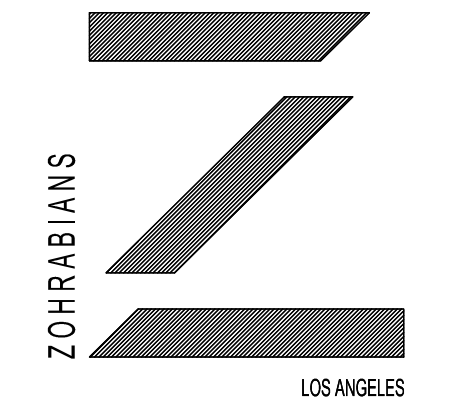
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SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A2.5



1 ROOF PLAN
 SCALE 1/8"=1'-0"





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 Los Angeles Ca 90029

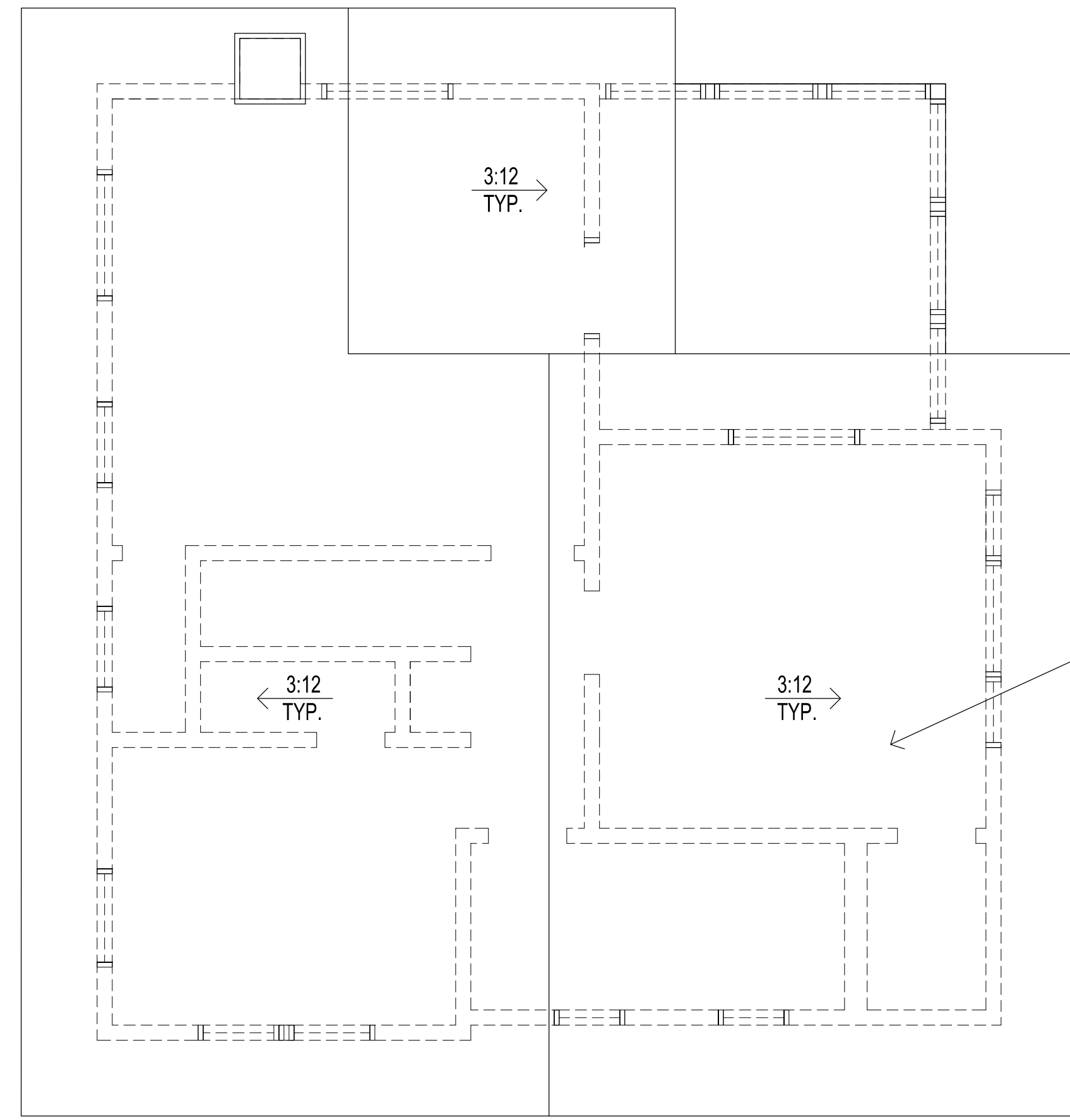
PROJECT:
 538-534 N Kenwood
 Condominiums
 538-534 N Kenwood St.
 Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

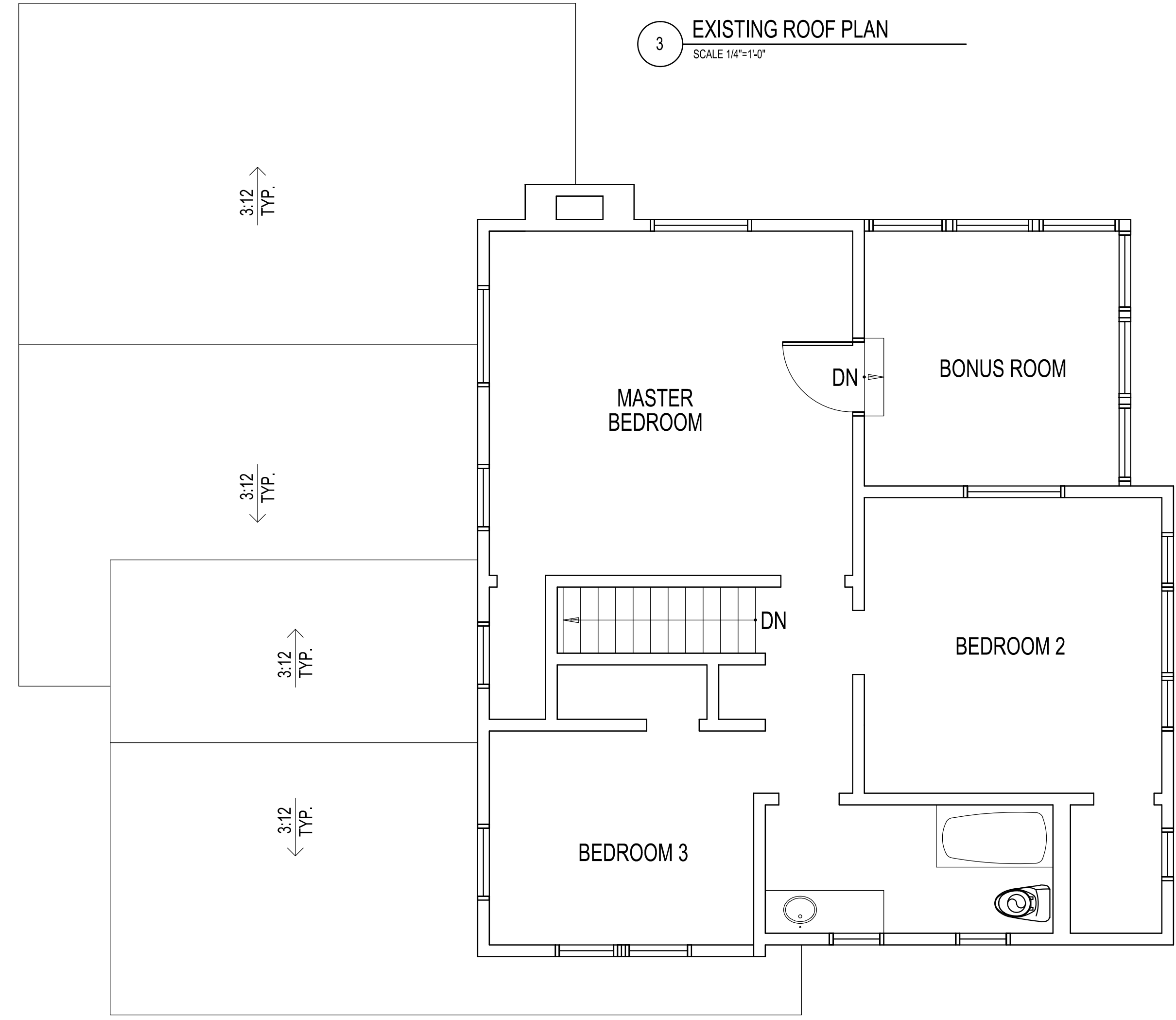
SHEET TITLE:
 EXISTING HISTORIC
 HOUSE TO REMAIN

DATE	03.12.18
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A2.6

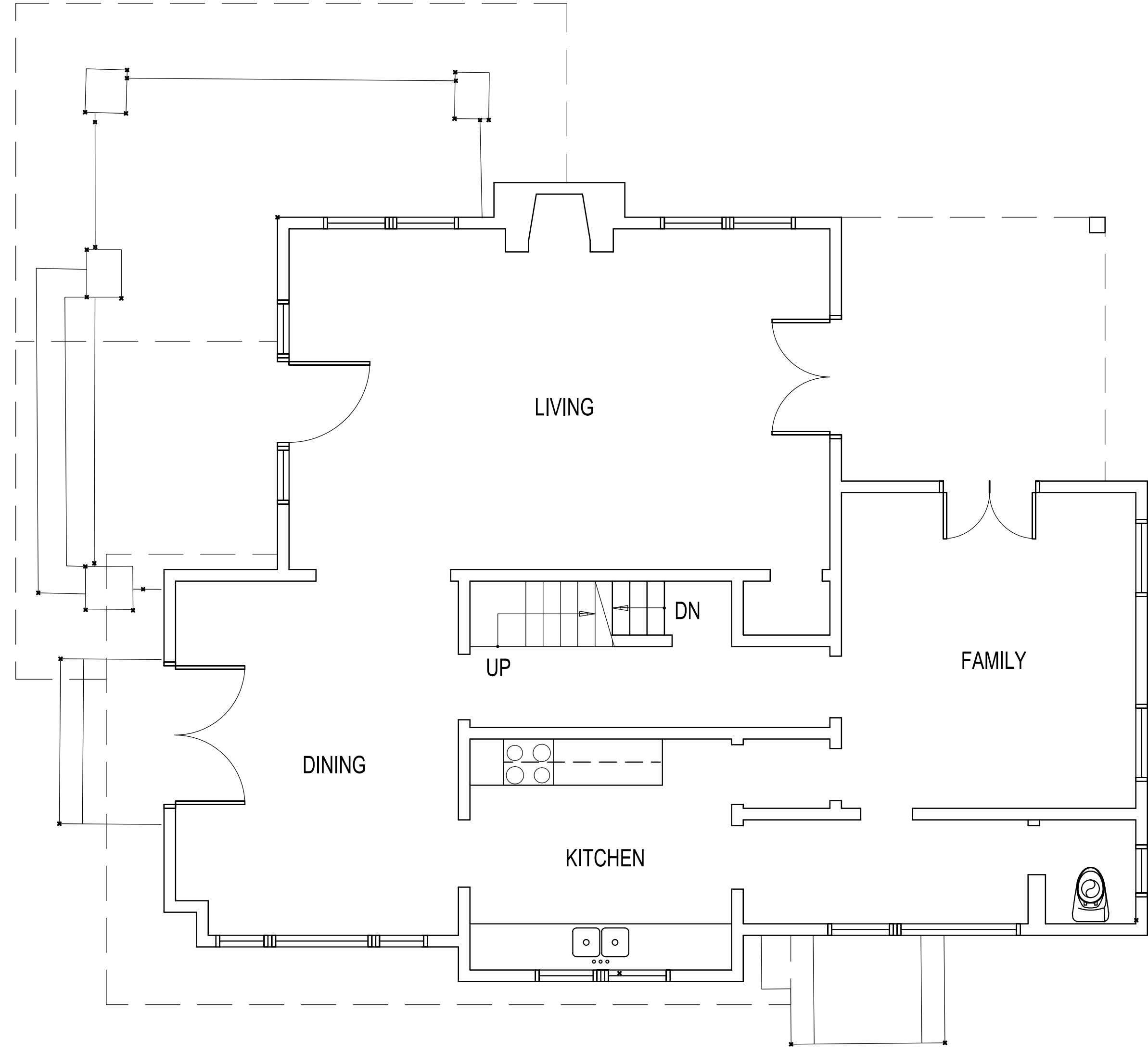


EXISTING ASPHALT ROLL ROOFING
 OVER ROOFING PAPER OVER
 WOOD STRIPS OVER ROOF RAFTERS



3 EXISTING ROOF PLAN
 SCALE 1/4"=1'-0"

2 EXISTING SECOND FLOOR PLAN
 SCALE 1/4"=1'-0"



1 EXISTING GROUND FLOOR PLAN
 SCALE 1/4"=1'-0"

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PROJECT:

538-534 N Kenwood
Condominiums

538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS

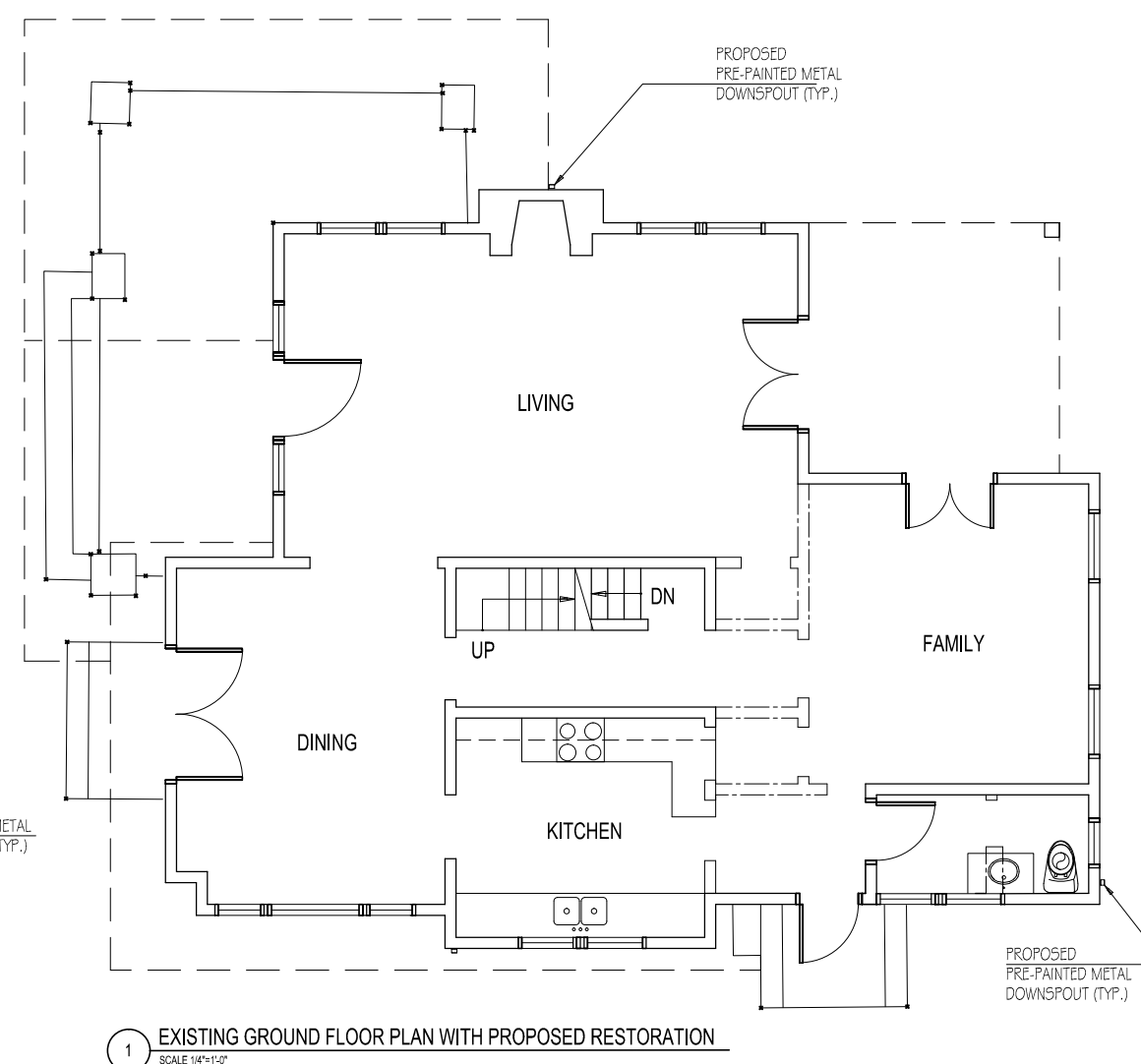
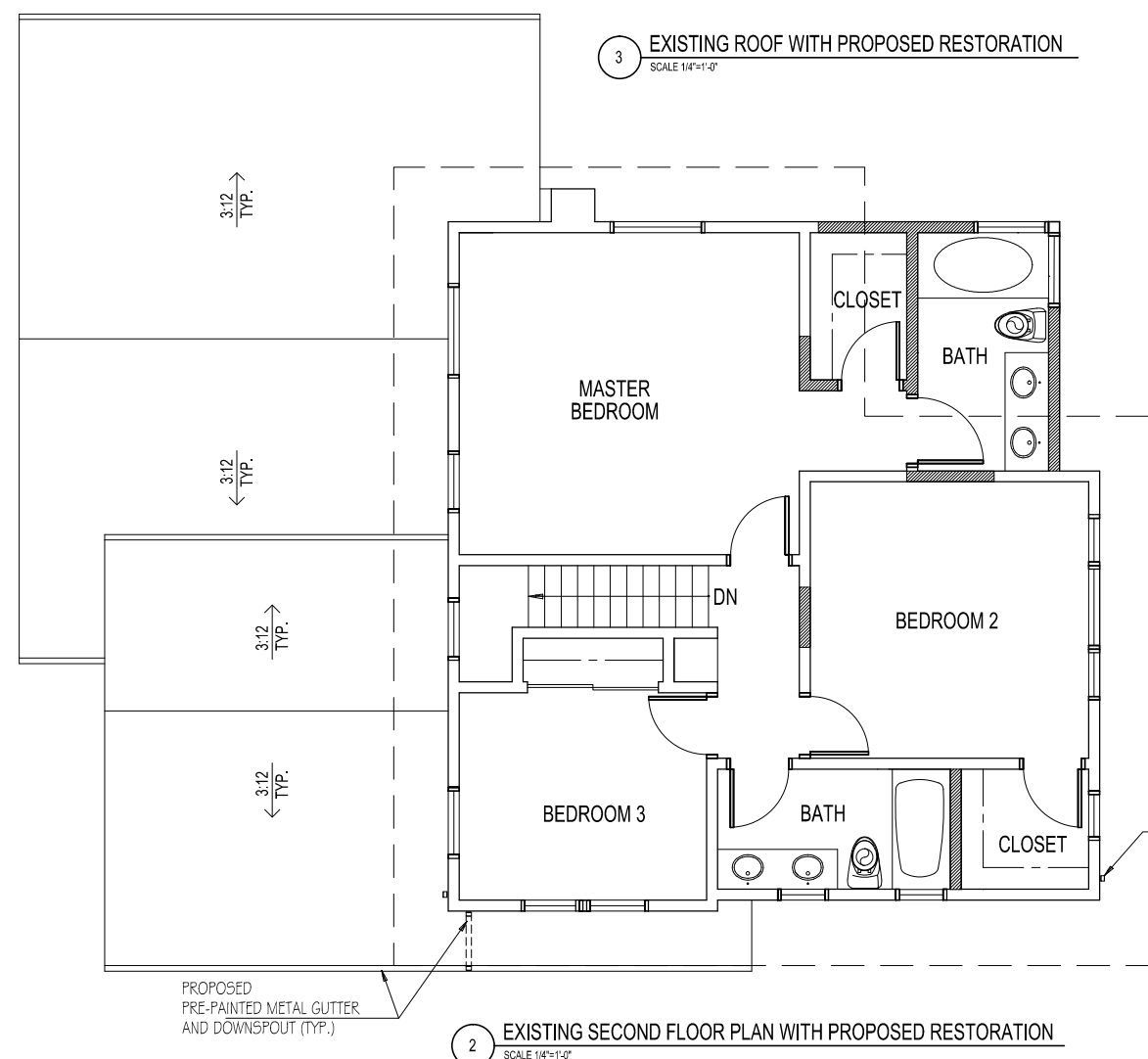
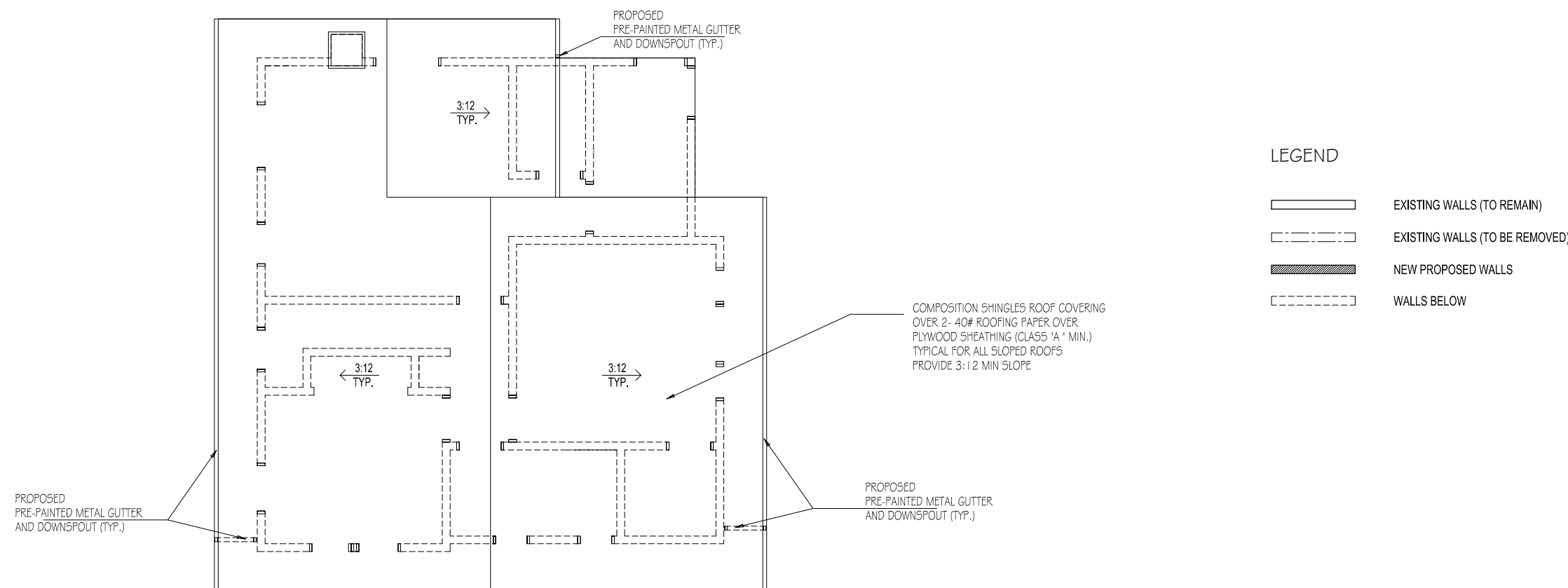
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REVISED	09.13.18	HZ

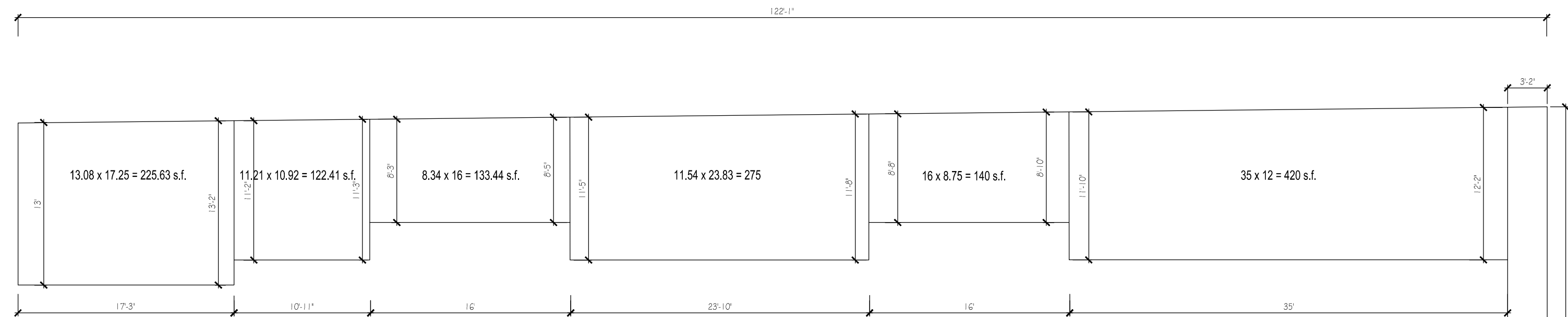
SHEET TITLE:

PROPOSED IMPROVEMENTS
TO EXISTING HISTORIC

DATE	03.12.18
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A2.7





225.63 + 122.41 + 133.44 + 23.83 + 140 + 420 + 176.17 = 1,241.48 s.f.
 average North interior setback = 1,241.48 / 122.08 = 10.16'



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 Glendale Ca. 91206

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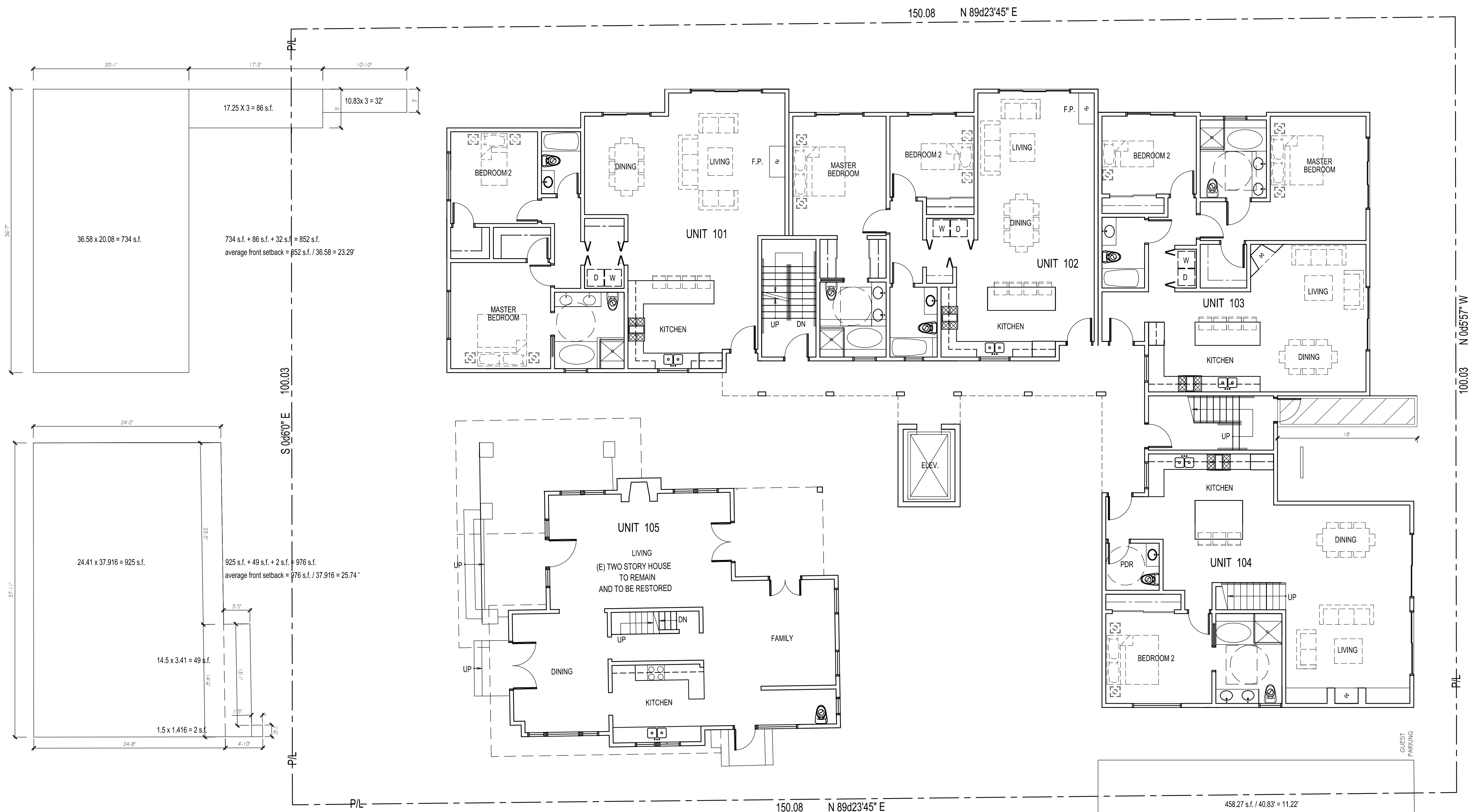
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REVISED	09.13.18	HZ

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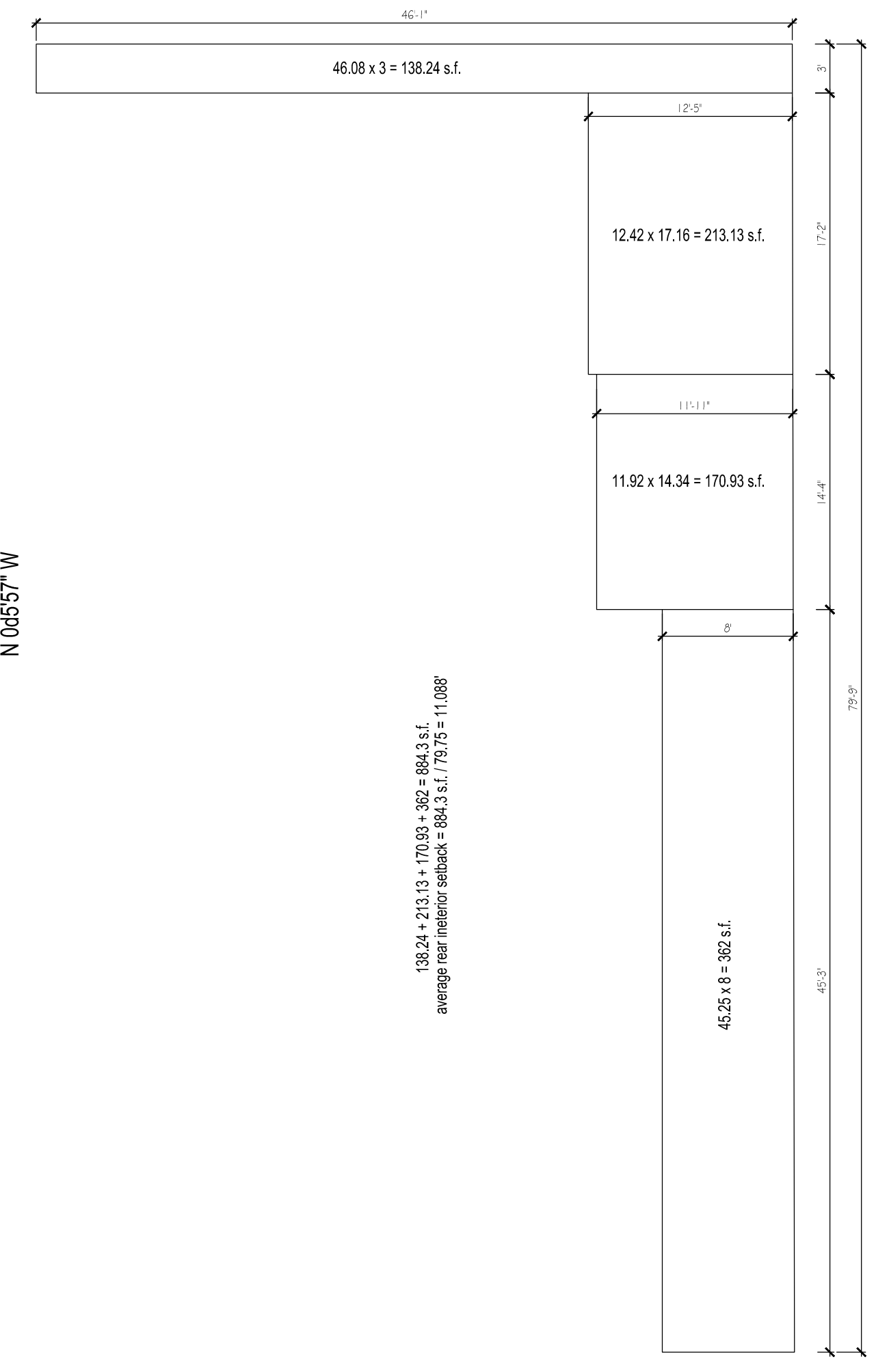
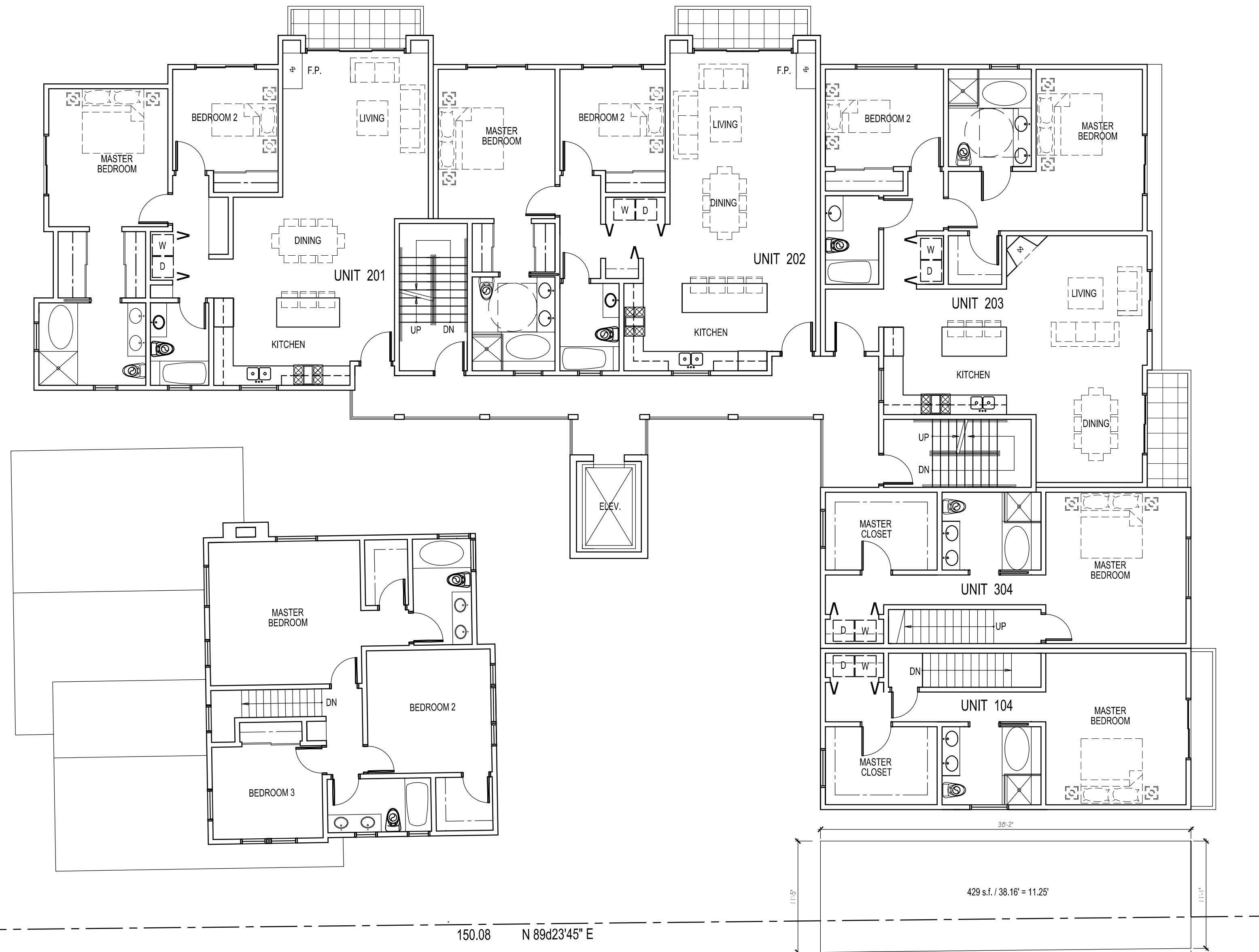
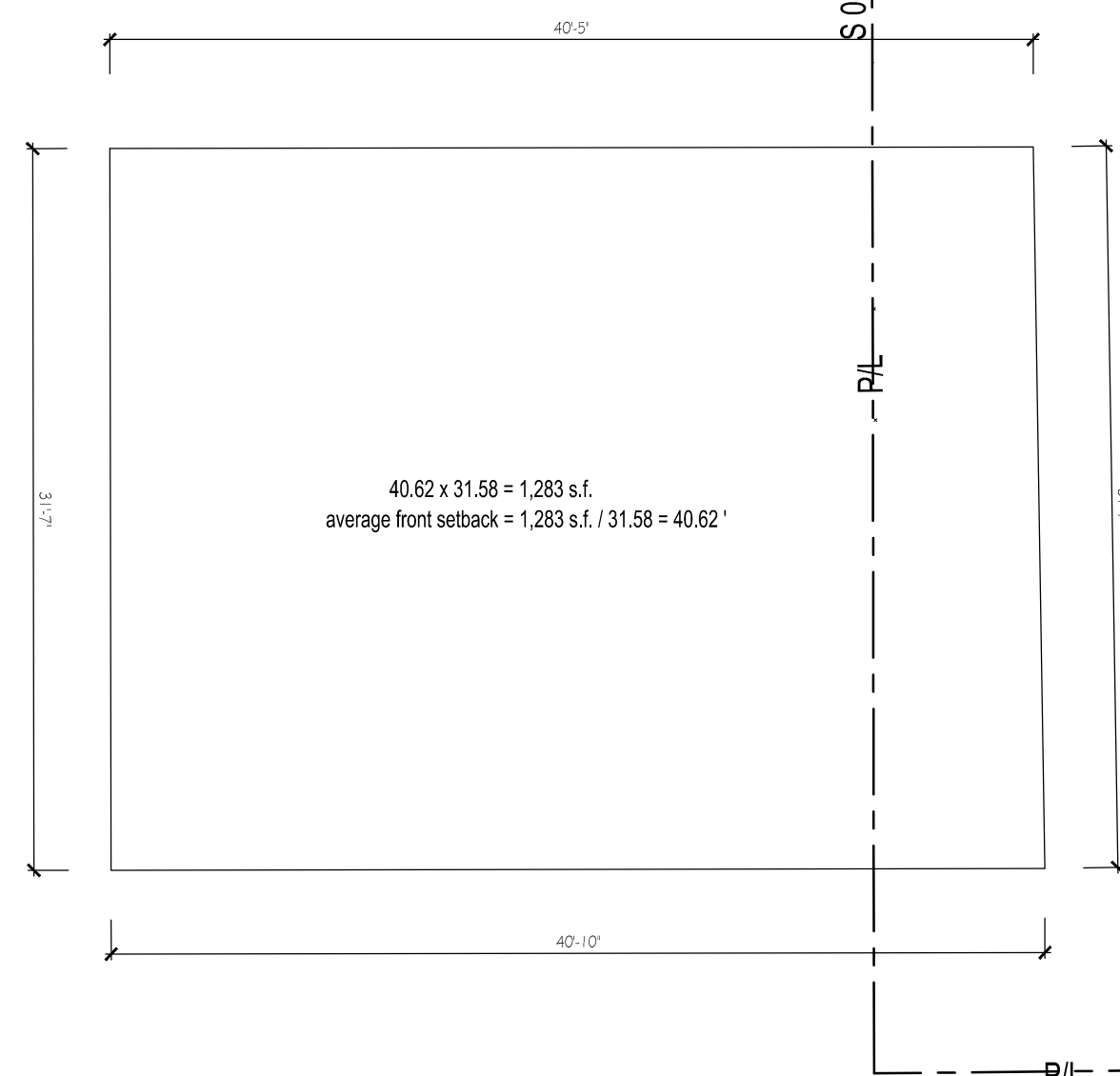
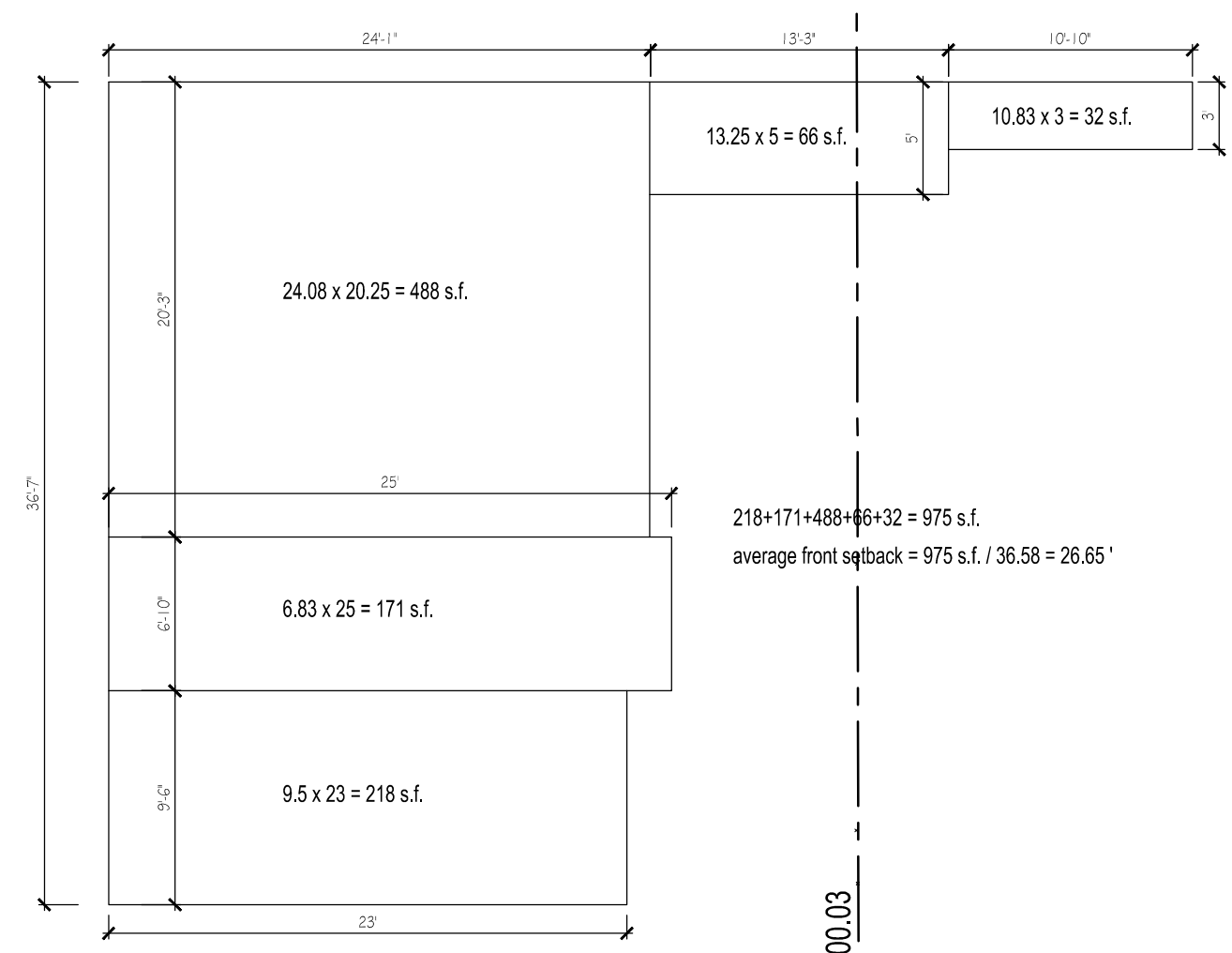
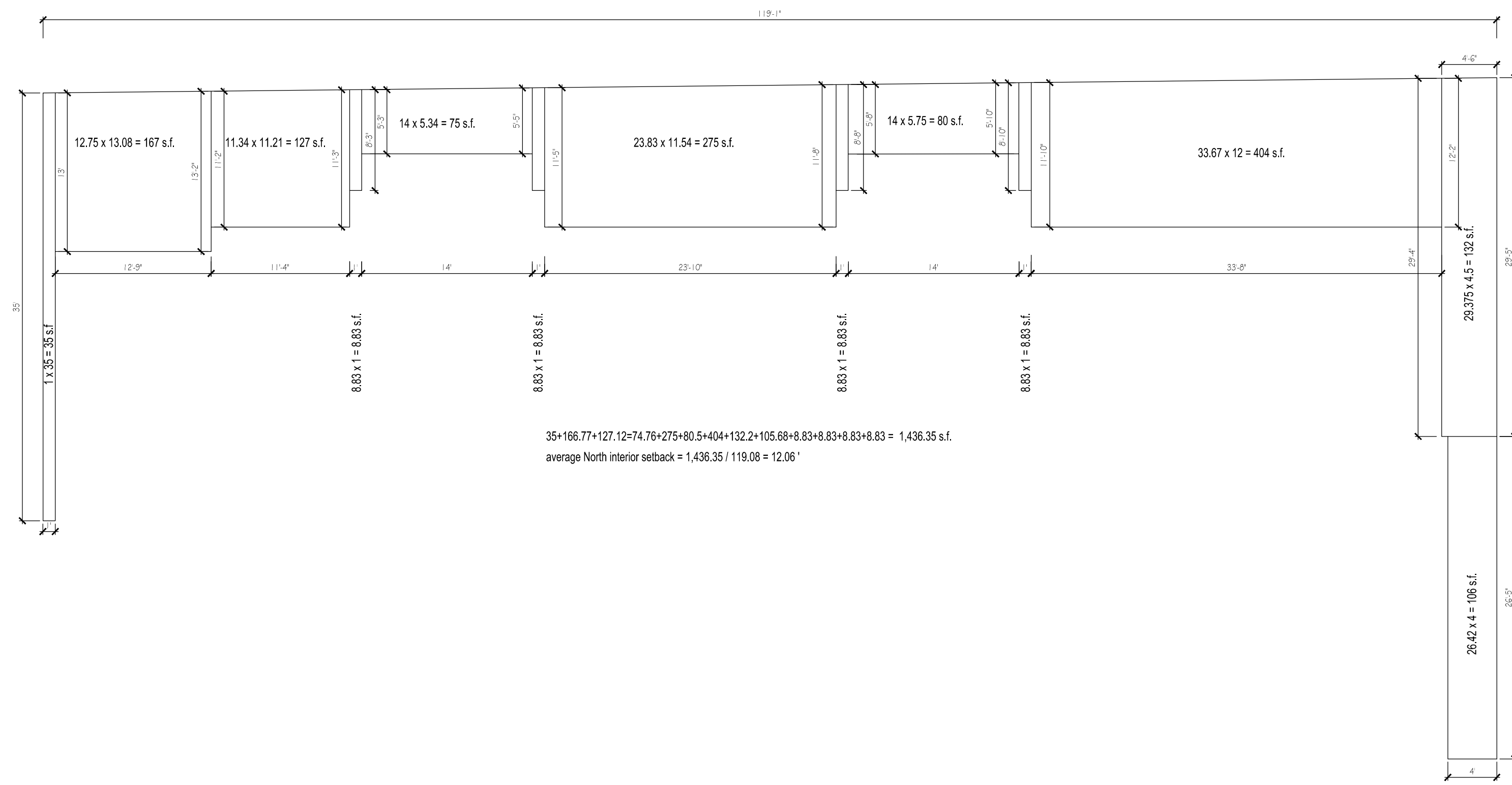
PROPOSED
 FIRST FLOOR
 SETBACK AVERAGING

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

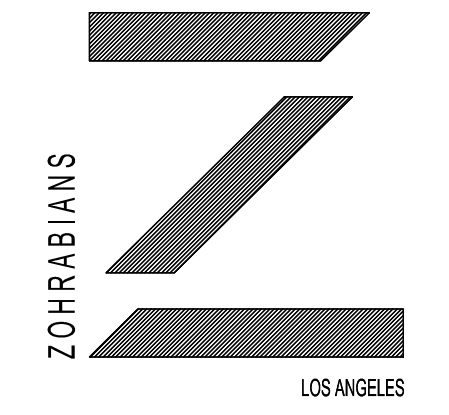
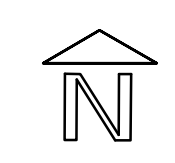
A2.8



1 FIRST FLOOR SETBACK AVERAGING PLAN
 SCALE 1/8"=1'-0"



1 SECOND FLOOR SETBACK AVERAGING PLAN
SCALE 1/8"=1'-0"



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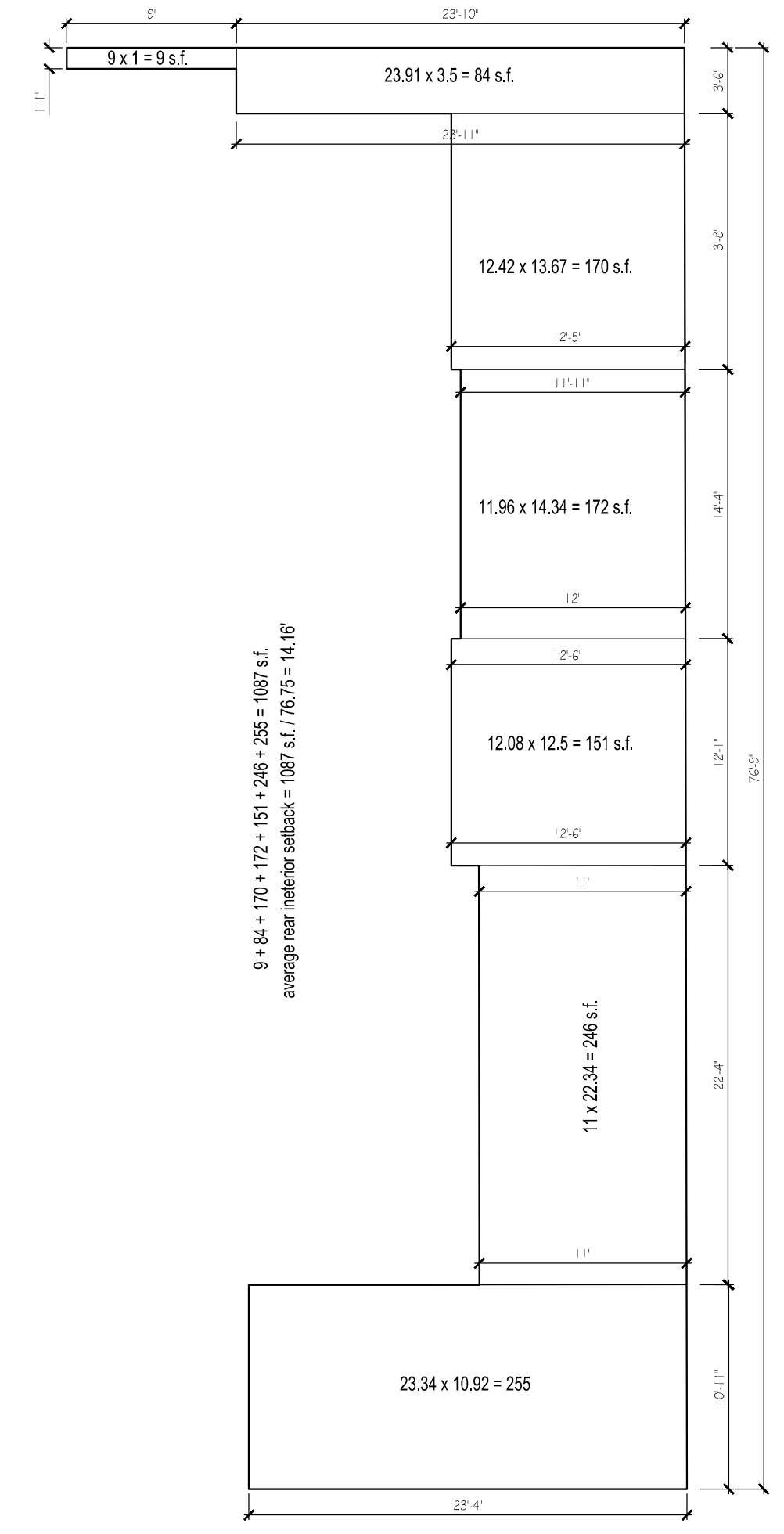
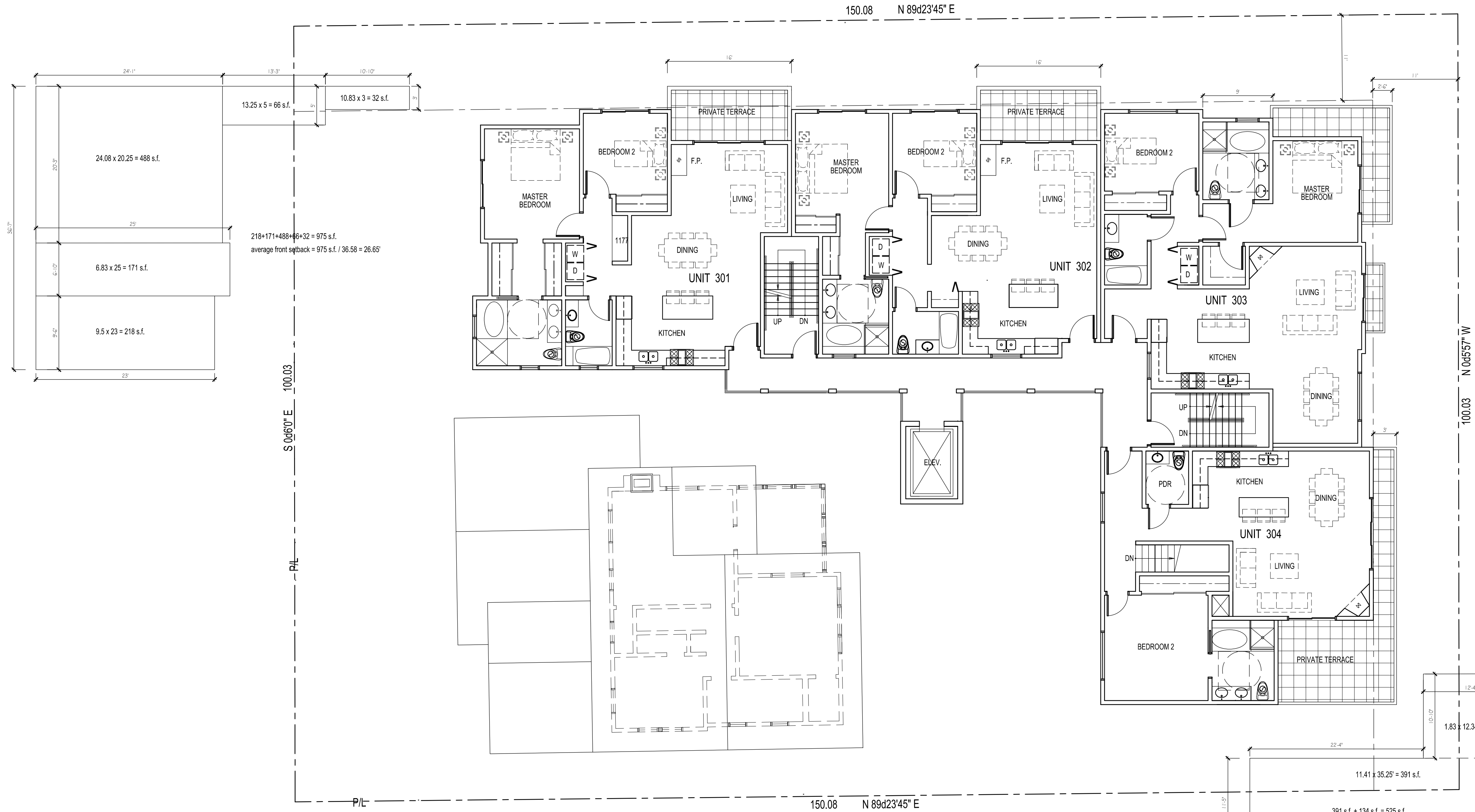
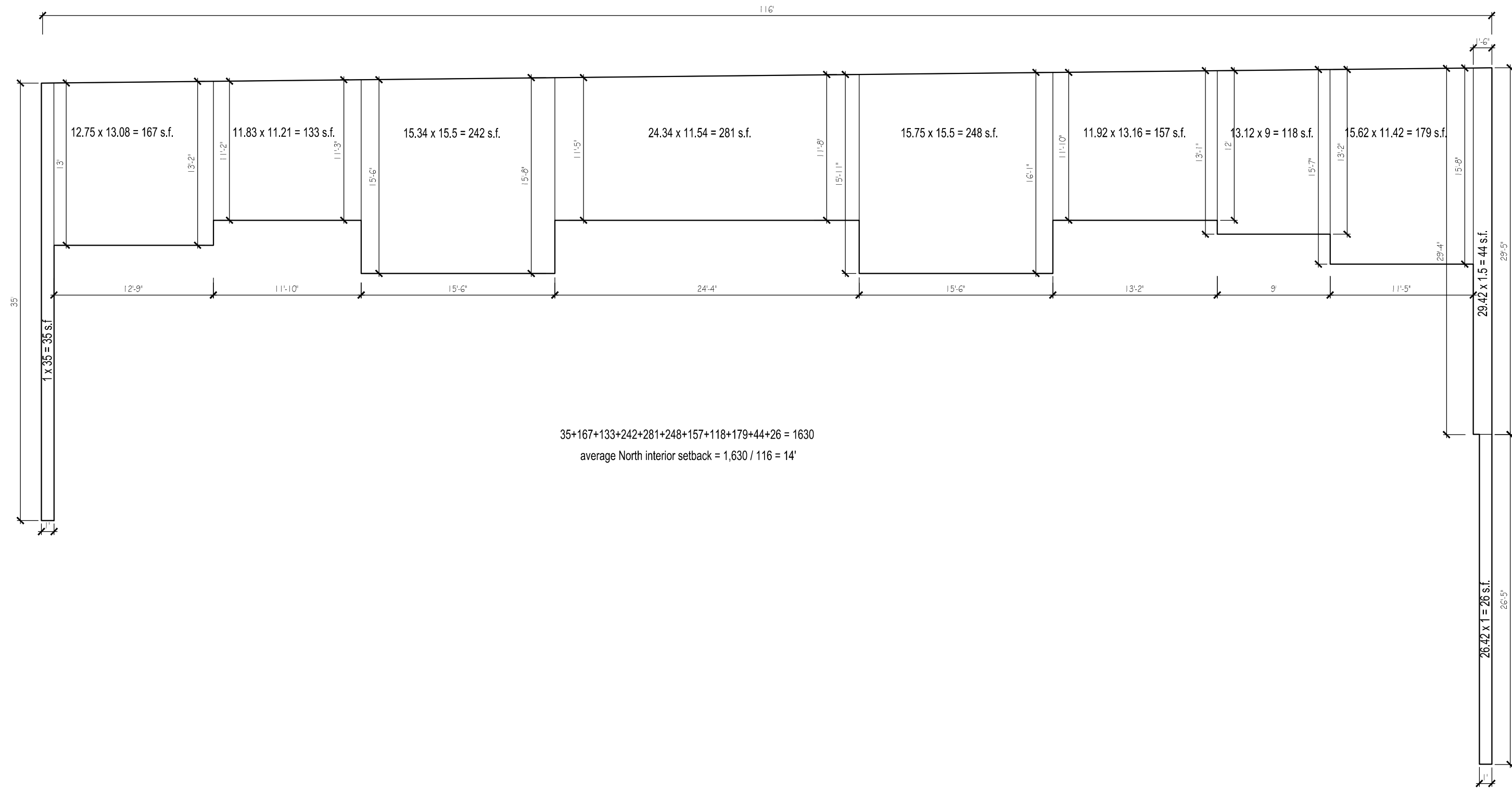
PROJECT:
538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

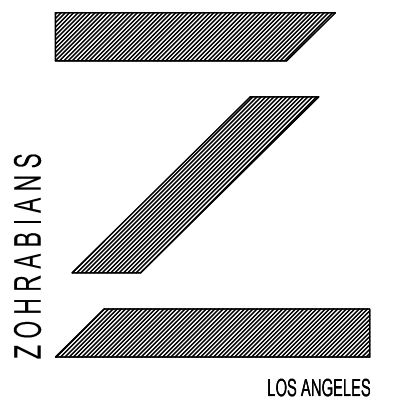
SHEET TITLE:
PROPOSED
SECOND FLOOR
SETBACK AVERAGING

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A2.9



1 THIRD FLOOR SETBACK AVERAGING PLAN
SCALE 1/8"=1'-0"



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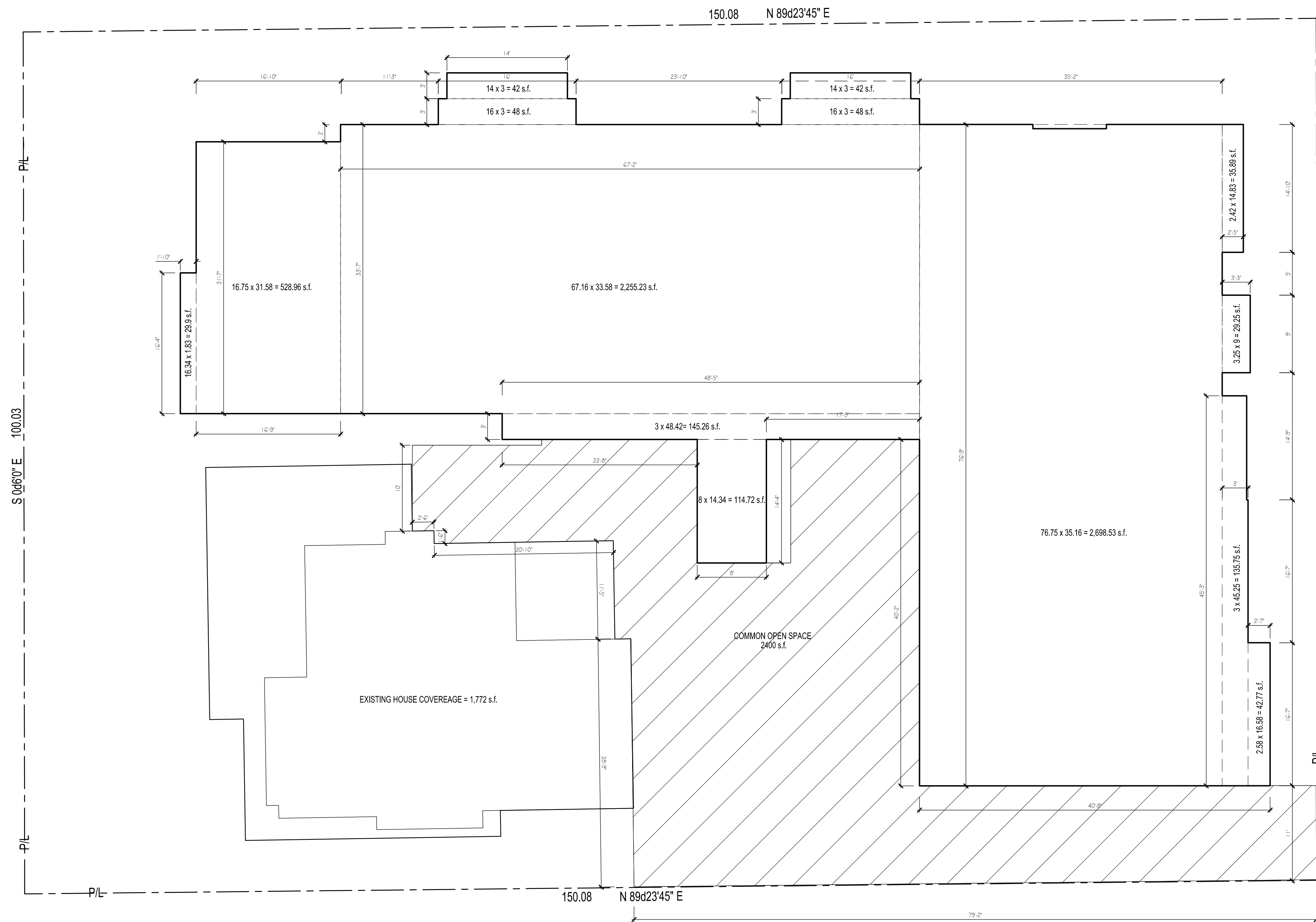
PROJECT:
538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
PROPOSED
THIRD FLOOR
SETBACK AVERAGING

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

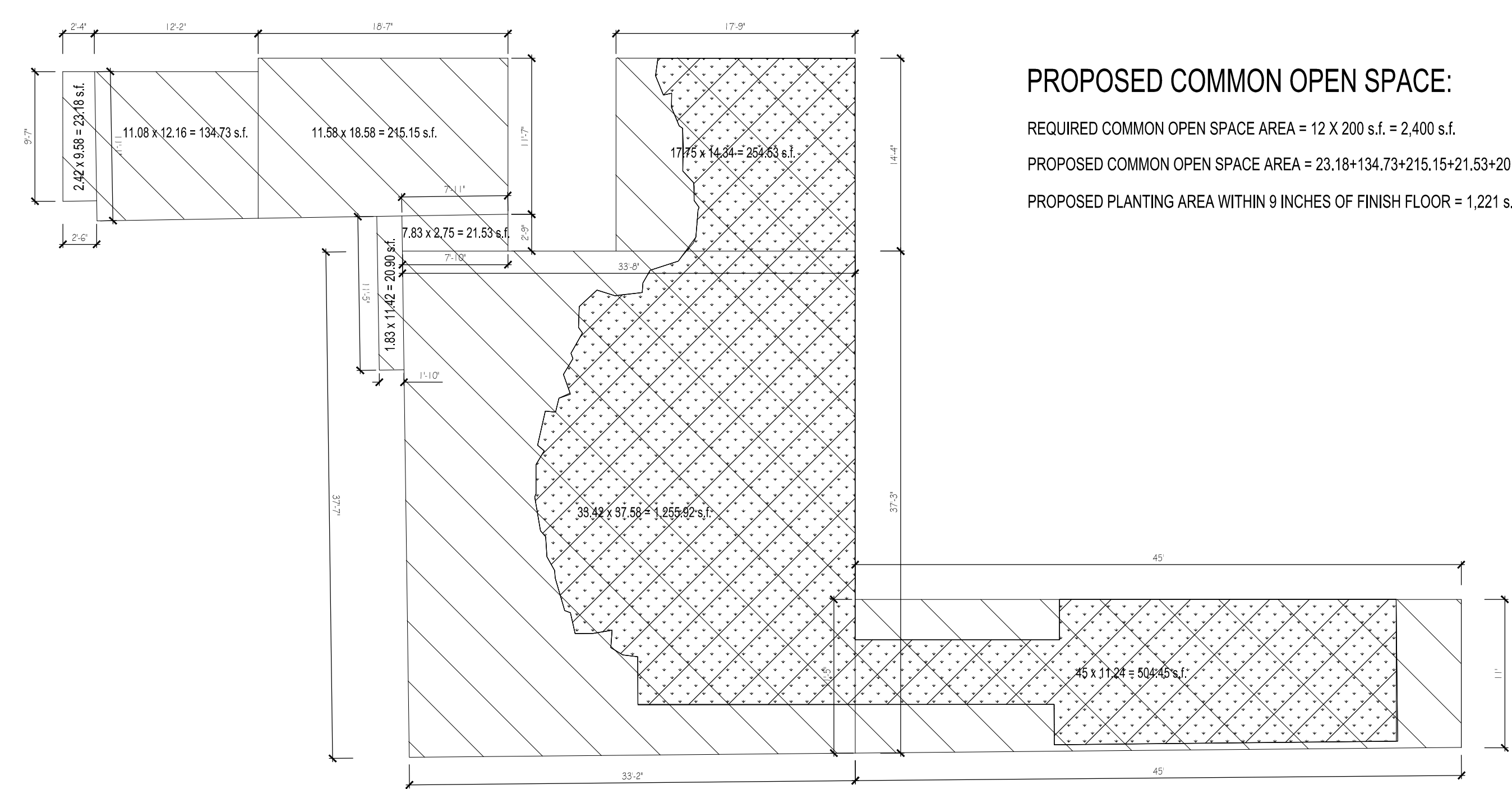
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PROPOSED LOT COVERAGE:

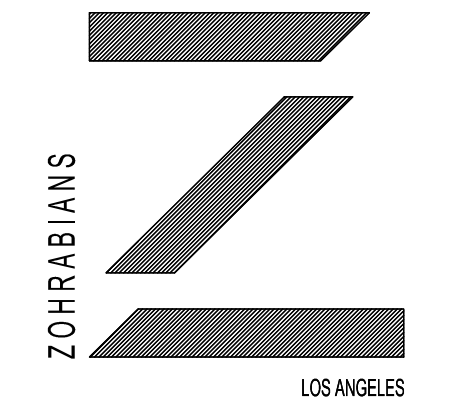
ALLOWABLE LOT COVERAGE = 50% X 15,000 S.F. = 7,500 S.F.
 PROPOSED LOT COVERAGE:
 PROPOSED THREE STORY BUILDING;
 $29.9+528.96+2255.23+42+48+48+35.89+29.25+2698.53+135.75+42.77+145.26+114.72 = 6,158.26$ s.f.
 EXISTING TWO STORY HOUSE;
 $220.43+3.75+1345+18.33+35.99+89 = 1712.5$ s.f.
 TOTAL PROPOSED LOT COVERAGE = 7,870.76 s.f. = 52.47%

1 LOT COVERAGE AND COMMON OPEN SPACE CALCULATIONS
 SCALE 1/8"=1'-0"



PROPOSED COMMON OPEN SPACE:

REQUIRED COMMON OPEN SPACE AREA = 12 X 200 s.f. = 2,400 s.f.
 PROPOSED COMMON OPEN SPACE AREA = $23.18+134.73+215.15+21.53+20.90+254.53+1255.92+504.45 = 2,430.39$ s.f.
 PROPOSED PLANTING AREA WITHIN 9 INCHES OF FINISH FLOOR = 1,221 s.f. = 50.23%



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CLIENT:

R & A HOMES LLC
 PO BOX 291473
 Los Angeles Ca 90029

PROJECT:

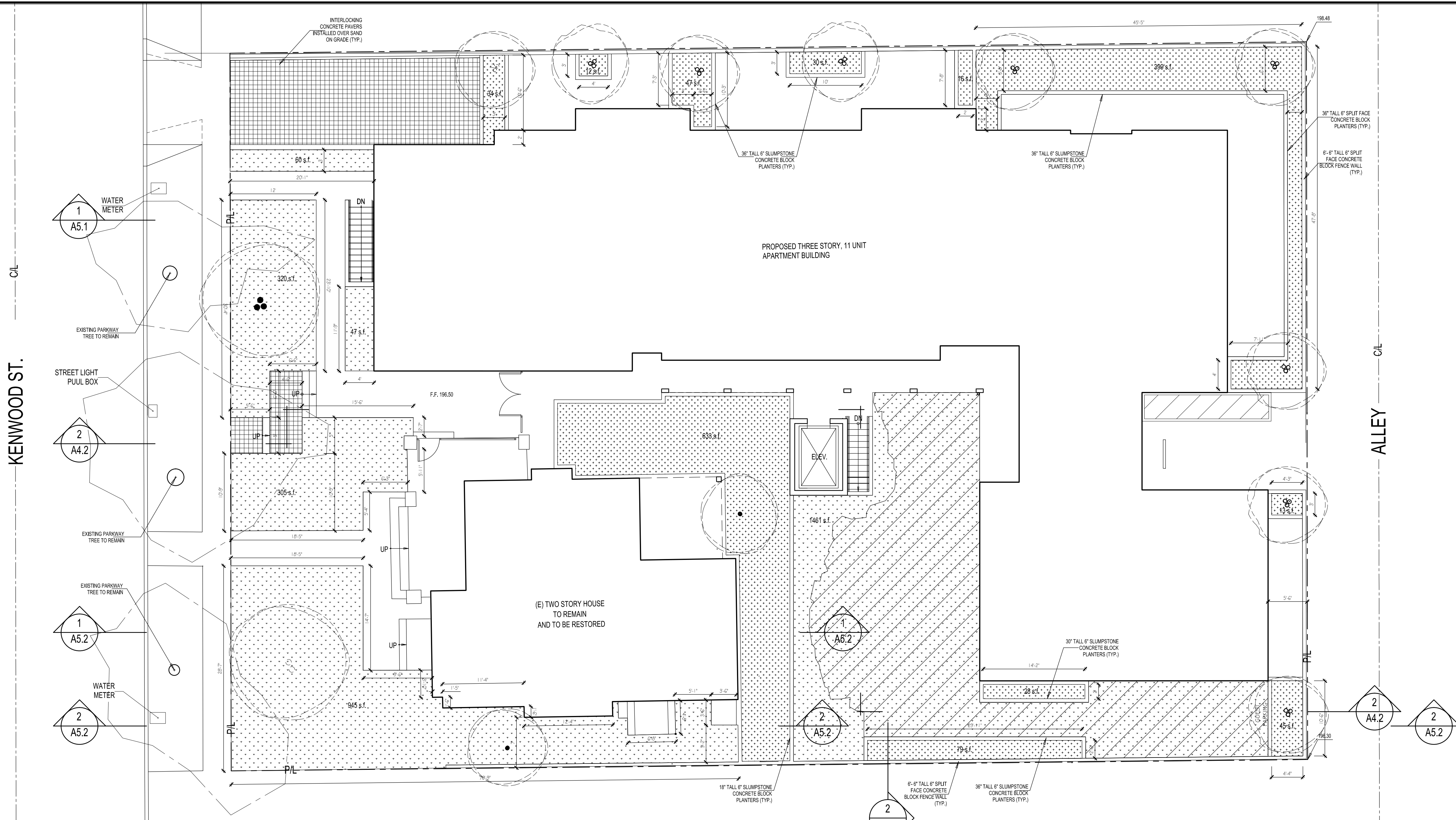
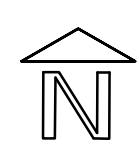
538-534 N Kenwood
 Condominiums
 538-534 N Kenwood St.
 Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
 LOT COVERAGE AND
 COMMON OPEN SPACE
 CALCULATIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A2.11

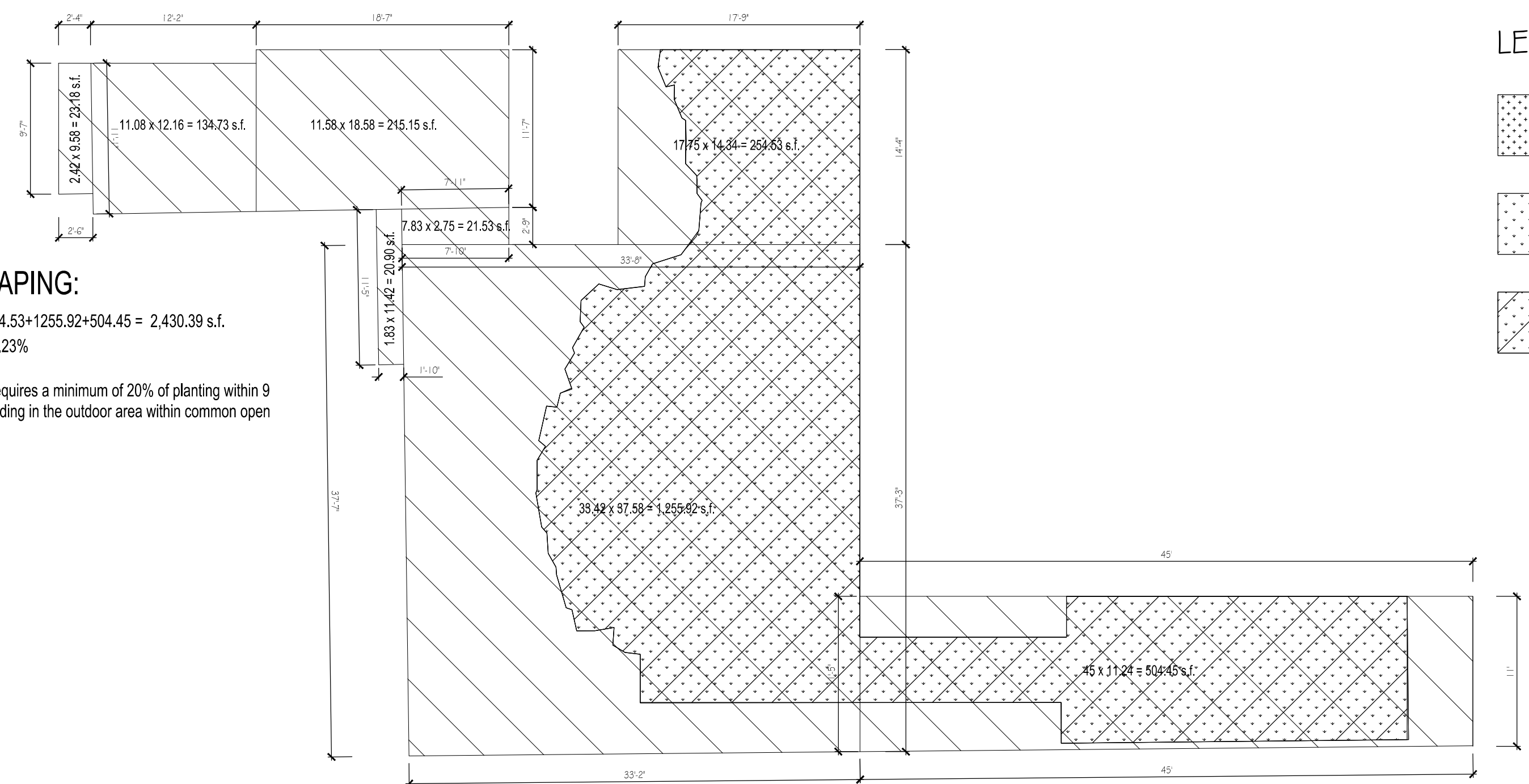


1 PROPOSED LANDSCAPE DIAGRAM
SCALE 1/8"=1'-0"

PROPOSED COMMON OPEN SPACE LANDSCAPING:

PROPOSED COMMON OPEN SPACE AREA = 23.18+134.73+215.15+21.53+20.90+254.53+1255.92+504.45 = 2,430.39 s.f.
PROPOSED PLANTING AREA WITHIN 9 INCHES OF FINISH FLOOR = 1,221 s.f. = 50.23%

Glendale Multi-Family Residential and mixed-use Design Guideline: Landscape Design requires a minimum of 20% of planting within 9 inches of the finish floor in order to provide a more natural sensibility and to prevent crowding in the outdoor area within common open space.



LEGEND

- PROPOSED RAISED PLANTERS
- PROPOSED ON GRADE LANDSCAPED AREA OR LEVEL LANDSCAPED AREA IN DEPRESSED SLAB
- PROPOSED ON GRADE LANDSCAPED AREA OR LEVEL LANDSCAPED AREA IN DEPRESSED SLAB

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PROJECT:
538-534 N Kenwood Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
PROPOSED LANDSCAPE DIAGRAM

DATE	09.13.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

KEY NOTES :

- 1- PAINTED "HARDIE BOARD" HORIZONTAL SMOOTH CEMENT FIBER SIDING OVER BUILDING PAPER ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
- 2- PAINTED "HARDIE BOARD" SMOOTH CEMENT FIBER SHINGLE SIDING OVER BUILDING PAPER ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
- 3- PAINTED "HARDIE BOARD" SMOOTH CEMENT FIBER CORNER TRIM Color : Ivory (DE6191 Exclusive Ivory)
- 4- 1" SMOOTH TROWLED CEMENT PLASTER OVER PAPER BACKED METAL LATH ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
- 4A- SPLIT FACE CONCRETE BLOCK FENCE WALL WITH CONCRETE CAP Color: Natural Concrete
- 4B- 36" TALL SPLIT FACE CONCRETE BLOCK PLANTER WALL WITH CONCRETE CAP Color: Natural Concrete
- 5- PAINTED METAL LOUVERED VENT Color : White
- 6- PAINTED SMOOTH WOOD FASCIA Color : White
- 7- PAINTED METAL GUTTER AND DOWN SPOUT Color : White
- 8- PAINTED WOOD CORNICE Color : White
- 9- PAINTED SMOOTH WOOD CASING TRIMS AND / OR SILL Color : White
- 10- PAINTED WOOD BRACKET Color : White
- 11- PAINTED WOOD POST Color : White
- 12- PAINTED WOOD TRELLIS Color : White
- 13- COMPOSITION SHINGLES ROOF COVERING OVER ROOFING PAPER OVER PLYWOOD SHEATHING (CLASS A MIN.) Color : Charcoal Gray
- 14- PAINTED WOOD FRAMED ENTRY DOOR Color : White
- 15- PAINTED FIBERGLASS FRAMED DUAL GLAZED SINGLE HUNG WINDOW Color : White
- 16- PAINTED FIBERGLASS FRAMED DUAL GLAZED SLIDING PATIO DOORS Color : White
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- 20- PRE-FINISHED METAL LANTERN Color : Dark Bronze
- 21- PAINTED METAL FRAMED ENTRY GATE Color : Dark Bronze
- 22- EXPOSED PAINTED WOOD RAFTERS Color : Dark Bronze

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PROJECT:

538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:

PROPOSED BUILDING
WEST AND NORTH
ELEVATIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A4.1



1 BUILDING WEST ELEVATION
SCALE 1/8"=1'-0"



2 BUILDING NORTH ELEVATION
SCALE 1/8"=1'-0"

KEY NOTES :

- 1- PAINTED "HARDIE BOARD" HORIZONTAL SMOOTH CEMENT FIBER SIDING OVER BUILDING PAPER ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
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PO BOX 291473
Los Angeles Ca 90029

PROJECT:
538-534 N Kenwood Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
PROPOSED BUILDING WEST AND NORTH ELEVATIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A4.1



1 BUILDING WEST ELEVATION
SCALE 1/8"=1'-0"



2 BUILDING NORTH ELEVATION
SCALE 1/8"=1'-0"

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PROJECT:

538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:

PROPOSED BUILDING
EAST AND SOUTH
ELEVATIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A4.2

KEY NOTES :

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1 BUILDING EAST ELEVATION
SCALE 1/8"=1'-0"



2 BUILDING SOUTH ELEVATION
SCALE 1/8"=1'-0"

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538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:

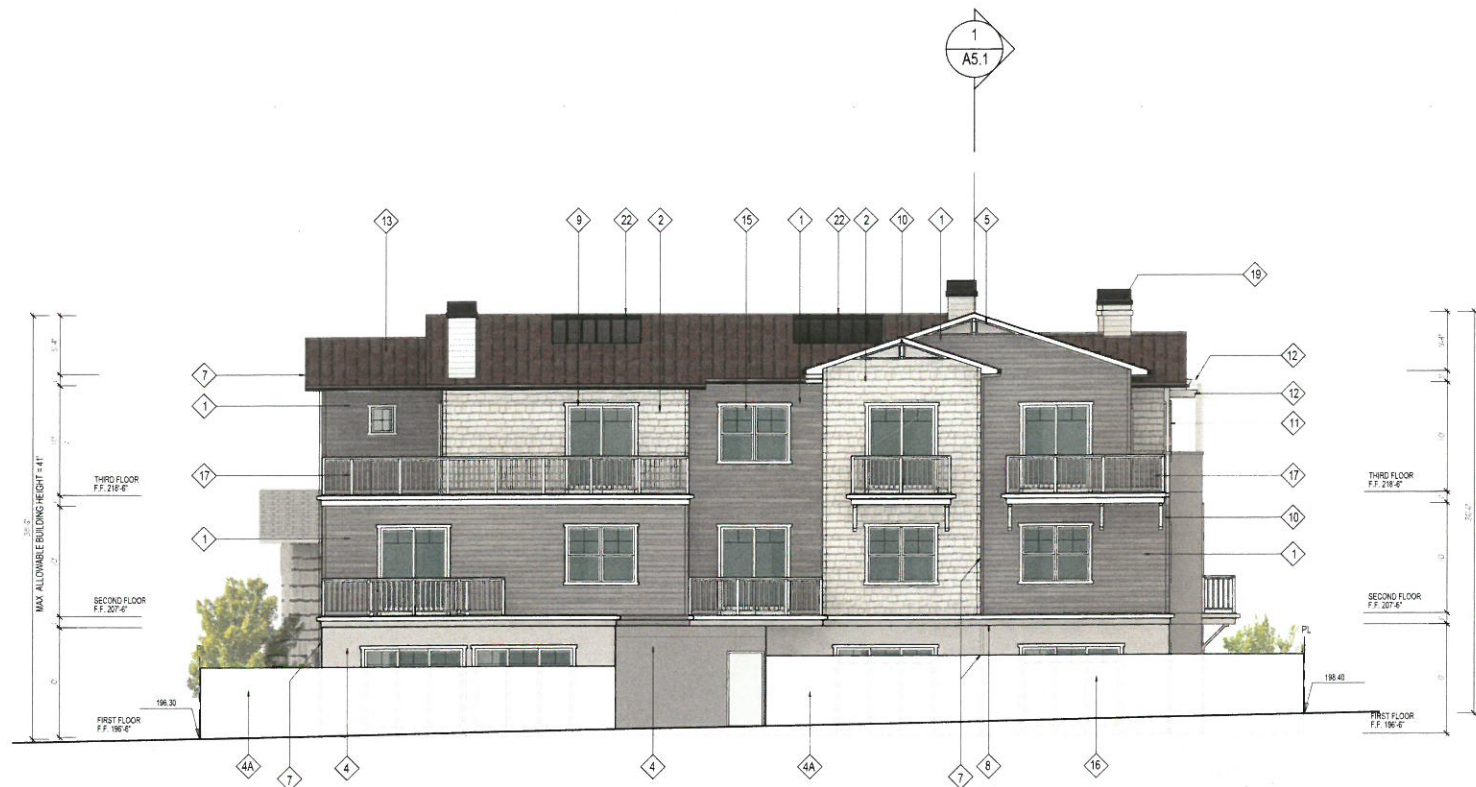
PROPOSED BUILDING
EAST AND SOUTH
ELEVATIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A4.2

KEY NOTES :

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1 BUILDING EAST ELEVATION
SCALE 1/8"=1'-0"



2 BUILDING SOUTH ELEVATION
SCALE 1/8"=1'-0"

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Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
EXISTING HISTORIC BUILDING ELEVATIONS

DATE	03.12.18
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A4.4



2 EXISTING BUILDING NORTH ELEVATION
SCALE 1/4"=1'-0"



1 EXISTING BUILDING WEST ELEVATION
SCALE 1/4"=1'-0"



4 EXISTING BUILDING SOUTH ELEVATION
SCALE 1/4"=1'-0"



3 EXISTING BUILDING EAST ELEVATION
SCALE 1/4"=1'-0"

KEY NOTES :

- | | |
|--|--|
| 1- EXISTING WOOD SHINGLE SIDING | 9- EXISTING ROLLED ASPHALT ROOF COVERING |
| 2- EXISTING CEMENT PLASTER | 10- EXISTING WOOD FRAMED WINDOW |
| 3- EXISTING WOOD CLAD COLUMN | 11- EXISTING WOOD FRAMED FRENCH DOORS |
| 4- EXISTING WOOD CASING TRIMS AND / OR SILL | 12- NOT USED |
| 5- EXISTING PAINT WOOD FASCIA | 13- EXISTING STAIN WOOD ENTRY DOOR |
| 6- EXISTING PAINT WOOD BRACE | 14- EXISTING ROOF RAFTER TAILS |
| 7- EXISTING PAINTED WOOD VENT | 15- NOT USED |
| 8- EXISTING PAINTED METAL GUTTER AND DOWN SPOUTS | 16- NOT USED |
| | 17- EXISTING PAINTED WOOD CORNICE |

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REVISIONS

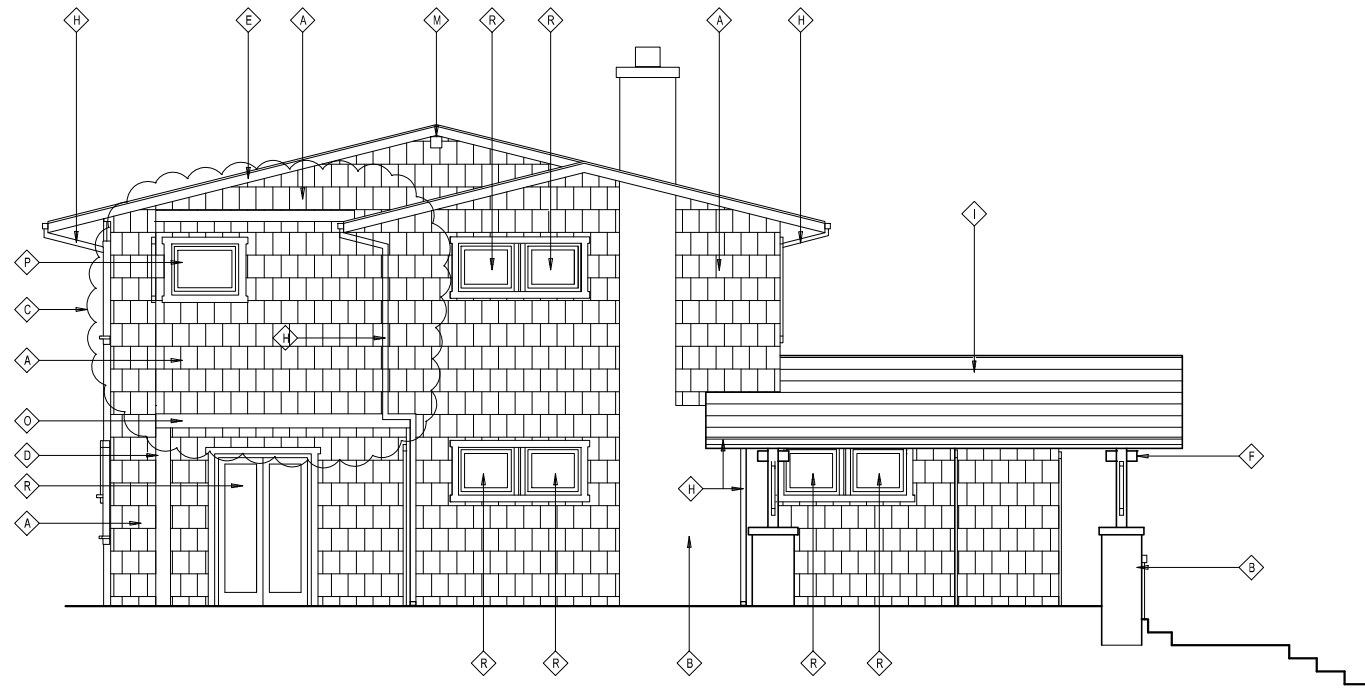
DESCRIPTION	DATE	BY
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SHEET TITLE:

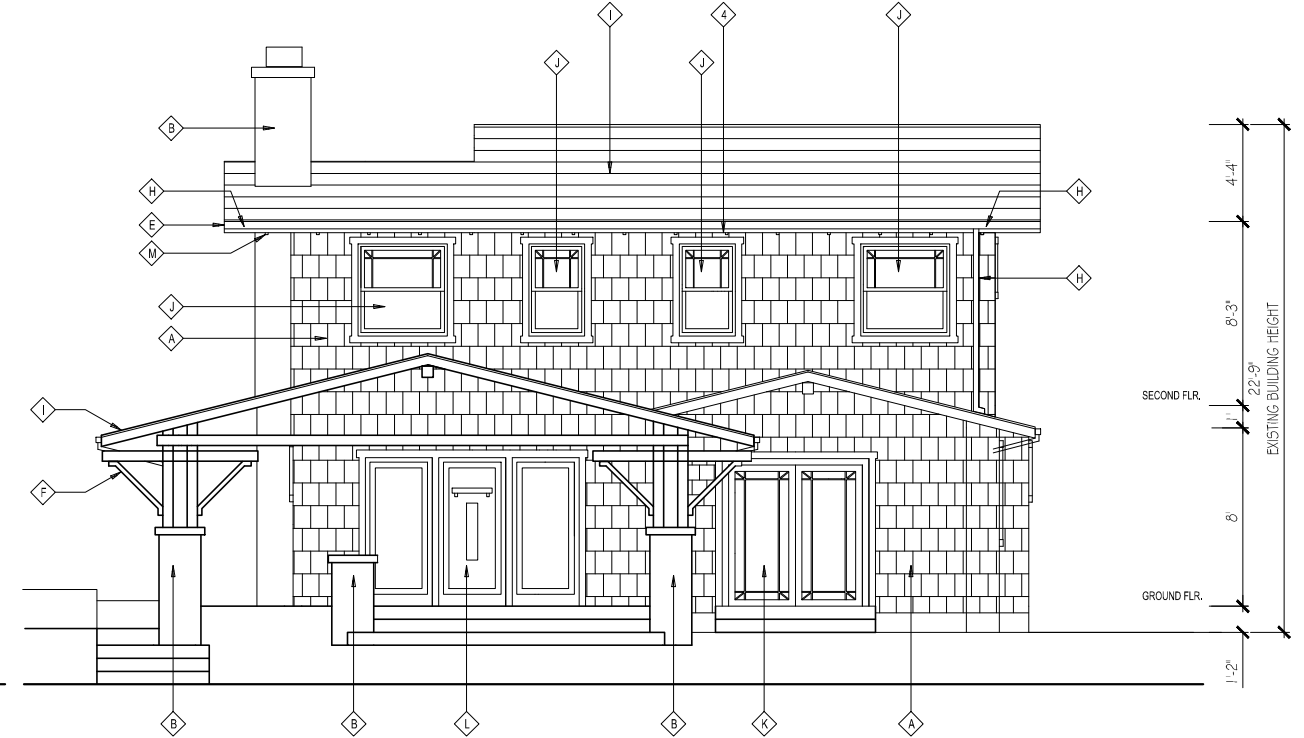
PROPOSED
IMPROVEMENTS TO
EXISTING HISTORIC BUILDING
ELEVATIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

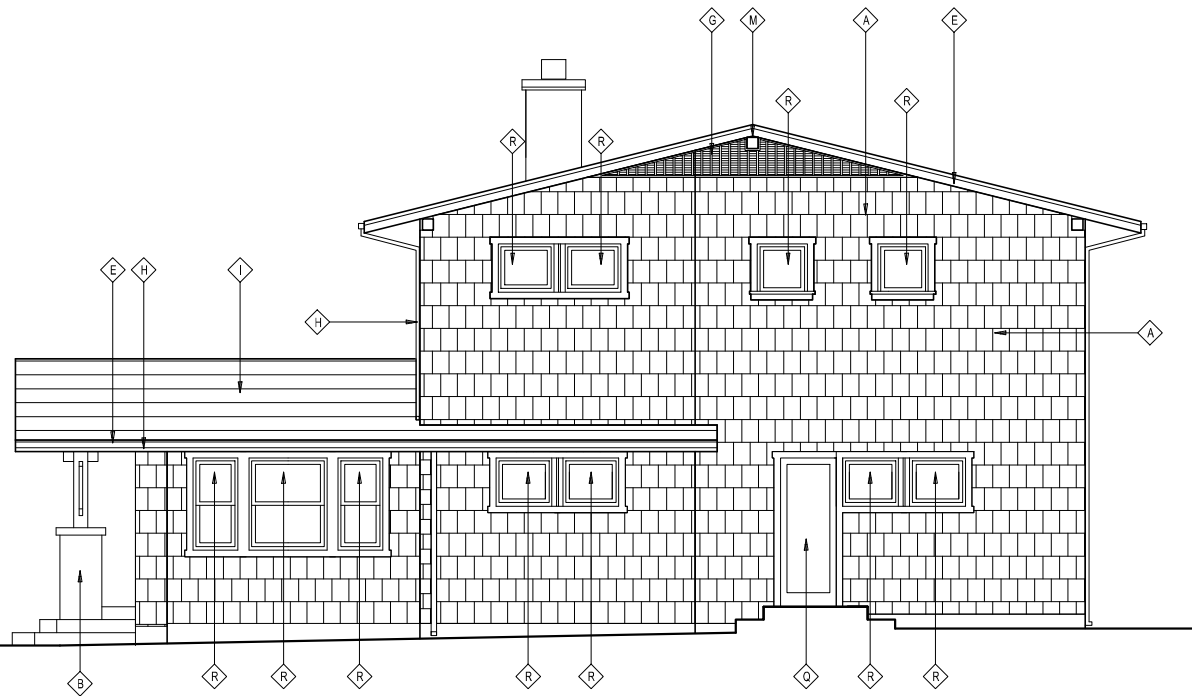
A4.3



2 EXISTING BUILDING NORTH ELEVATION WITH PROPOSED RESTORATION
SCALE 1/4"=1'-0"



1 EXISTING BUILDING WEST ELEVATION WITH PROPOSED RESTORATION
SCALE 1/4"=1'-0"



4 EXISTING BUILDING SOUTH ELEVATION WITH PROPOSED RESTORATION
SCALE 1/4"=1'-0"



3 EXISTING BUILDING EAST ELEVATION WITH PROPOSED RESTORATION
SCALE 1/4"=1'-0"

KEY NOTES :

E - EXISTING TO REMAIN
R - REMOVE EXISTING
RP - REPLACE EXISTING

A - REMOVE AND REPLACE EXISTING WOOD SHINGLE SIDING WITH SIMILAR WOOD SHINGLES MATCHING EXISTING SHINGLE PATTERN AND PROPORTIONS OVER BUILDING PAPER ON EXTERIOR SIDE OF EXISTING STUDS AND A LAYER OF 5/8" TYPE 'X' GYP. BD. ON THE INSIDE FACE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Pigeon Gray (DE6214)

B - PAINT EXISTING CEMENT PLASTER OF THE CHIMNEY AND ENTRY PORCH PIERS. Color : Pigeon Gray (DE6214)

C - REMOVE EXISTING SECOND FLOOR ADDITION EXTERIOR FINISH TO ALLOW FOR INSTALLATION OF INSULATION AND REPLACE WITH WOOD SHINGLE SIDING OVER BUILDING PAPER ON THE EXTERIOR OF EXISTING STUDS AND 5/8" TYPE 'X' GYP. BD. ON THE INTERIOR FACE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Pigeon Gray (DE6214)

D - RESTORE AND RE-PAIN EXISTING WOOD CLAD COLUMN WHICH SUPPORTS THE SECOND FLOOR REAR ADDITION. Color : White

E - RESTORE AND RE-PAIN WOOD FASCIA BOARDS Color : White

F - RESTORE AND REPAINT WOOD BRACE ON PRIMARY ENTRY PORCH Color : White

G - PAINTED WOOD GABLE VENT Color : White

H - ADD PRE-PAINTED METAL GUTTER AND DOWNSPOUTS. Color : White

I - REPLACE EXISTING ROLLED ROOF COVERING WITH COMPOSITION SHINGLES ROOF COVERING OVER ROOFING PAPER OVER PLYWOOD SHEATHING (CLASS A MIN.) Color : Weathered brown

J - RESTORE EXISTING WOOD FRAMED WINDOWS FACING THE STREET Color : White

K - RESTORE EXISTING FRENCH DOORS SOUTH OF THE PRIMARY ENTRY PORCH. Color : White

L - EXISTING STAINED WOOD ENTRY DOOR WITH SIDELIGHTS TO REMAIN. Color : White

M - RESTORE AND RE-PAIN EXISTING ROOF RAFTER TAILS. Color : White

N - REPLACE RAFTER TAILS AND RE-PAIN ROOF RAFTER TAILS WHERE RESTORATION IS NOT FEASIBLE. Color : White

O - NEW PROPOSED PAINTED WOOD CORNICE AT THE BASE OF THE SECOND FLOOR ADDITION. Color : White

P - REMOVE BANK OF THREE 15-LIGHT WOOD CASEMENT WINDOWS AND REPLACE WITH A SINGLE WOOD-FRAMED WINDOW. Color : White

Q - REMOVE AND REPLACE EXISTING GROUND FLOOR FRENCH DOORS TO THE NORTH UNDER SECOND FLOOR ADDITION Color : White

R - REMOVE AND REPLACE EXISTING REAR AND SIDE WINDOWS, EXCEPT THOSE FACING THE STREET, WITH WOOD FRAMED DUAL GLAZED WINDOWS MATCHING EXISTING OPENINGS AND OPERATION AND CASING. Color : White



Zohrabians Architects and Builders, Inc.
 3467 Ocean View Blvd. Suite B
 Glendale, California 91208
 T +1 818 236 3619
 F +1 818 236 2171
 zab@zohrabians.com
 www.zohrabians.com

STAMP:

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CLIENT:

R & A HOMES LLC
 PO BOX 291473
 Los Angeles Ca 90029

PROJECT:

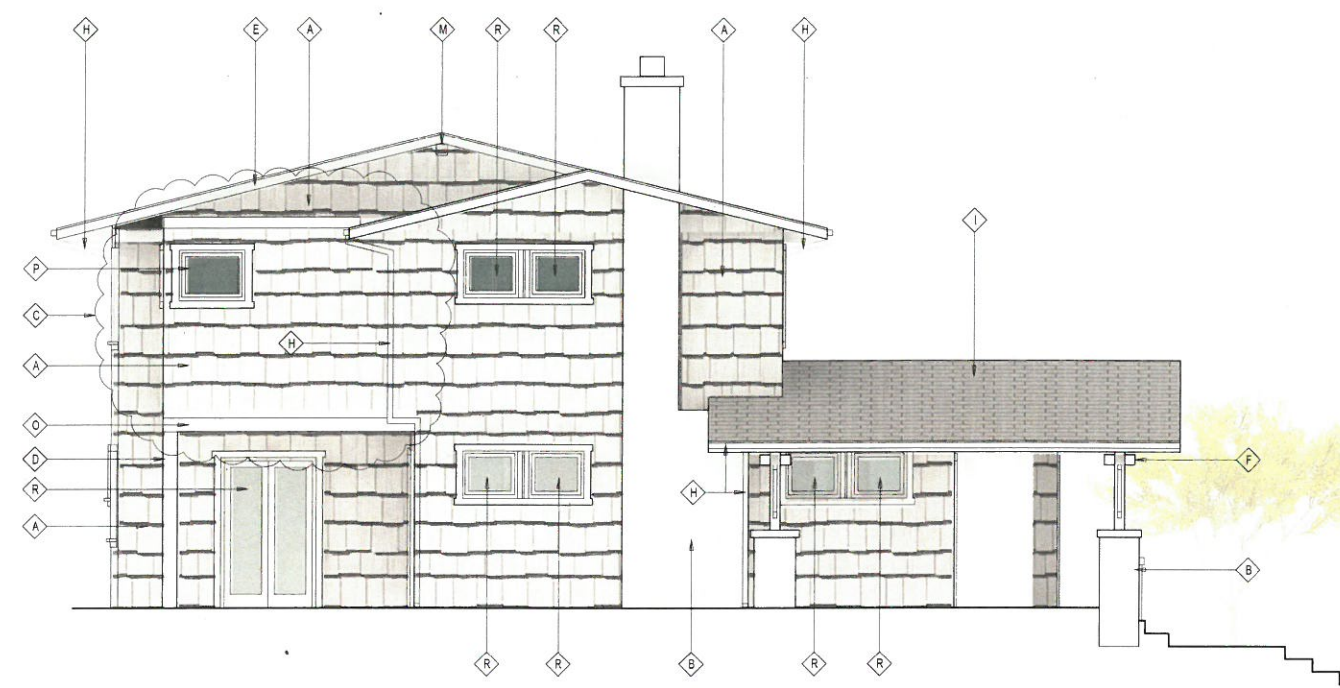
538-534 N Kenwood
 Condominiums
 538-534 N Kenwood St.
 Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
 PROPOSED IMPROVEMENTS TO EXISTING HISTORIC BUILDING ELEVATIONS

DATE	03.12.18
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

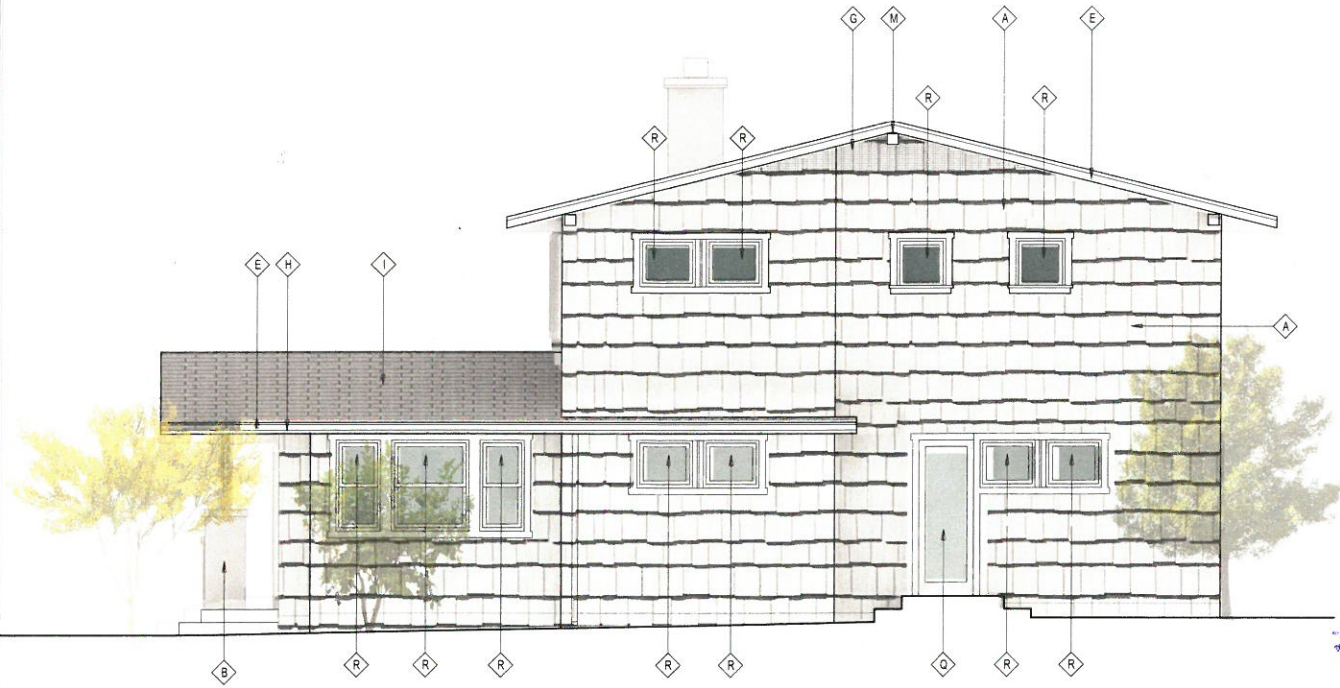
A4.3



2 EXISTING BUILDING NORTH ELEVATION WITH PROPOSED RESTORATION
 SCALE 1/4"=1'-0"



1 EXISTING BUILDING WEST ELEVATION WITH PROPOSED RESTORATION
 SCALE 1/4"=1'-0"



4 EXISTING BUILDING SOUTH ELEVATION WITH PROPOSED RESTORATION
 SCALE 1/4"=1'-0"



3 EXISTING BUILDING EAST ELEVATION WITH PROPOSED RESTORATION
 SCALE 1/4"=1'-0"

KEY NOTES :

- E - EXISTING TO REMAIN
- R - REMOVE EXISTING
- RP - REPLACE EXISTING
- A - REMOVE AND REPLACE EXISTING WOOD SHINGLE SIDING WITH SIMILAR WOOD SHINGLES MATCHING EXISTING SHINGLE PATTERN AND PROPORTIONS OVER BUILDING PAPER ON EXTERIOR SIDE OF EXISTING STUDS AND A LAYER OF 3/4" TYPE "X" GYP. BD. ON THE INSIDE FACE PROVIDE R-15 INSULATION IN STUD SPACE Color : Pigeon Gray (DE6214)
- B - PAINT EXISTING CEMENT PLASTER OF THE CHIMNEY AND ENTRY PORCH PIERS. Color : Pigeon Gray (DE6214)

- C - REMOVE EXISTING SECOND FLOOR ADDITION EXTERIOR FINISH TO ALLOW FOR INSTALLATION OF INSULATION AND REPLACE WITH WOOD SHINGLE SIDING OVER BUILDING PAPER ON THE EXTERIOR OF EXISTING STUDS AND 3/4" TYPE "X" GYP. BD. ON THE INTERIOR FACE. PROVIDE R-15 INSULATION IN STUD SPACE Color : Pigeon Gray (DE6214)
- D - RESTORE AND RE-PAIN EXISTING WOOD CLAD COLUMN WHICH SUPPORTS THE SECOND FLOOR REAR ADDITION. Color : White
- E - RESTORE AND RE-PAIN WOOD FASCIA BOARDS Color : White
- F - RESTORE AND REPAINT WOOD BRACE ON PRIMARY ENTRY PORCH Color : White

- G - PAINTED WOOD GABLE VENT Color : White
- H - ADD PRE-PAINTED METAL GUTTER AND DOWNSPOUTS. Color : White
- I - REPLACE EXISTING ROLLED ROOF COVERING WITH COMPOSITION SHINGLES ROOF COVERING OVER ROOFING PAPER OVER PLYWOOD SHEATHING (CLASS A MIN.) Color : Weathered brown
- J - RESTORE EXISTING WOOD FRAMED WINDOWS FACING THE STREET Color : White
- K - RESTORE EXISTING FRENCH DOORS SOUTH OF THE PRIMARY ENTRY PORCH. Color : White

- L - EXISTING STAINED WOOD ENTRY DOOR WITH SIDELIGHTS TO REMAIN.
- M - RESTORE AND RE-PAIN EXISTING ROOF RAFTER TAILS Color : White
- N - REPLACE RAFTER TAILS AND RE-PAIN ROOF RAFTER TAILS WHERE RESTORATION IS NOT FEASIBLE. Color : White
- O - NEW PROPOSED PAINTED WOOD CORNICE AT THE BASE OF THE SECOND FLOOR ADDITION. Color : White
- P - REMOVE BANK OF THREE 15-LIGHT WOOD CASEMENT WINDOWS AND REPLACE WITH A SINGLE WOOD-FRAMED WINDOW. Color : White

- Q - REMOVE AND REPLACE EXISTING GROUND FLOOR FRENCH DOORS TO THE NORTH UNDER SECOND FLOOR ADDITION Color : White
- R - REMOVE AND REPLACE EXISTING REAR AND SIDE WINDOWS, EXCEPT THOSE FACING THE STREET, WITH WOOD FRAMED DUAL GLAZED WINDOWS MATCHING EXISTING OPENINGS AND OPERATION AND CASING. Color : White
- S - REMOVE EXISTING WINDOW AT THE SECOND FLOOR CLOSET AND COVER OPENING WITH TO MATCH WOOD SHINGLE SIDING Color : Pigeon Gray (DE6214)

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CLIENT:

R & A HOMES LLC
PO BOX 291473
Los Angeles Ca 90029

PROJECT:

538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

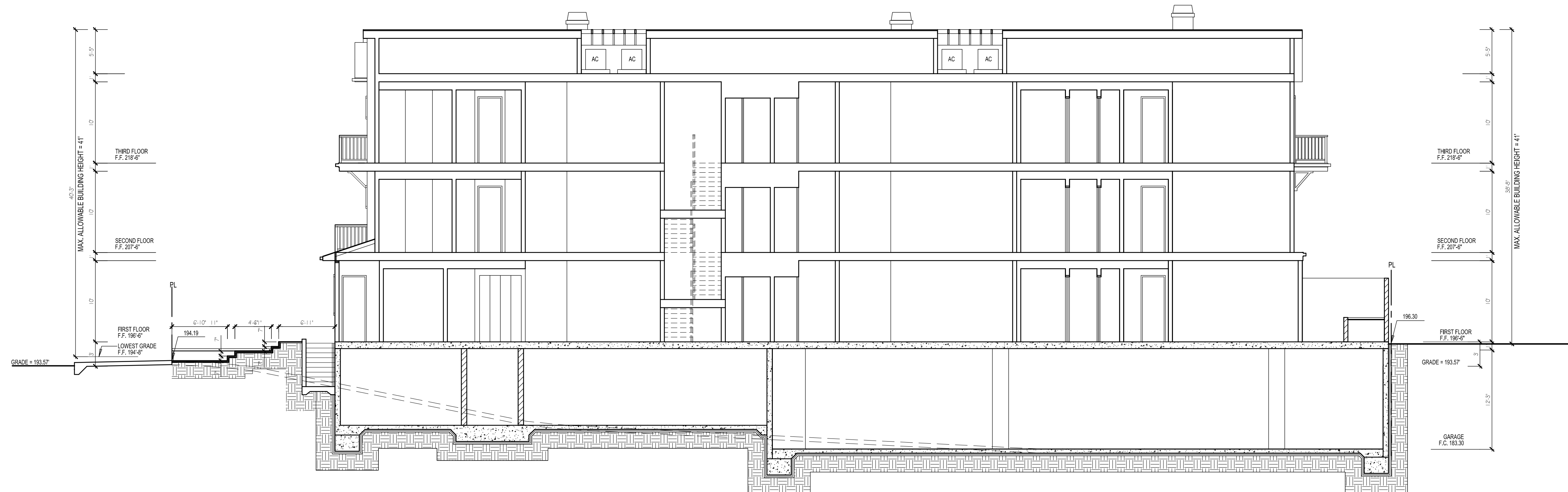
SHEET TITLE:
PROPOSED
BUILDING SECTIONS

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A5.1



1 BUILDING SECTION
SCALE 1/8"=1'-0"



2 BUILDING SECTION
SCALE 1/8"=1'-0"

KEY NOTES :

- 1- PAINTED "HARDIE BOARD" HORIZONTAL SMOOTH CEMENT FIBER SIDING OVER BUILDING PAPER ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
- 2- PAINTED "HARDIE BOARD" SMOOTH CEMENT FIBER SHINGLE SIDING OVER BUILDING PAPER ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
- 3- PAINTED "HARDIE BOARD" SMOOTH CEMENT FIBER CORNER TRIM Color : Ivory (DE6191 Exclusive Ivory)
- 4- 1" SMOOTH TROWLED CEMENT PLASTER OVER PAPER BACKED METAL LATH ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE. Color : Ivory (DE6191 Exclusive Ivory)
- 4A- SPLIT FACE CONCRETE BLOCK FENCE WALL WITH CONCRETE CAP Color : Natural Concrete
- 4B- 36" TALL SPLIT FACE CONCRETE BLOCK PLANTER WALL WITH CONCRETE CAP Color : Natural Concrete
- 5- PAINTED METAL LOUVERED VENT Color : White
- 6- PAINTED SMOOTH WOOD FASCIA Color : White
- 7- PAINTED METAL GUTTER AND DOWN SPOUT Color : White
- 8- PAINTED WOOD CORNICE Color : White
- 9- PAINTED SMOOTH WOOD CASING TRIMS AND / OR SILL Color : White
- 10- PAINTED WOOD BRACKET Color : White
- 11- PAINTED WOOD POST Color : White
- 12- PAINTED WOOD TRELLIS Color : White
- 13- COMPOSITION SHINGLES ROOF COVERING OVER ROOFING PAPER OVER PLYWOOD SHEATHING (CLASS A MIN.) Color : Charcoal Gray
- 14- PAINTED WOOD FRAMED ENTRY DOOR Color : White
- 15- PAINTED FIBERGLASS FRAMED DUAL GLAZED SINGLE HUNG WINDOW Color : White
- 16- PAINTED FIBERGLASS FRAMED DUAL GLAZED SLIDING PATIO DOORS Color : White
- 17- PAINTED METAL TUBE GUARDRAIL Color : White
- 18- PAINTED METAL GATE Color : White
- 19- PAINTED METAL CHIMNEY CAP Color : Dark Bronze
- 20- PRE-FINISHED METAL LANTERN Color : Dark Bronze
- 21- PAINTED METAL FRAMED ENTRY GATE Color : Dark Bronze
- 22- EXPOSED PAINTED WOOD RAFTERS Color : Dark Bronze

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CLIENT:

R & A HOMES LLC
PO BOX 291473
Los Angeles Ca 90029

PROJECT:

538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:

SECTION THROUGH COMMON OPEN SPACE WITH HISTORIC HOUSE SOUTH ELEVATION

DATE	03.12.18
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

A5.2



1 SECTION THROUGH COMMON OPEN SPACE AND EXISTING HISTORIC BUILDING
SCALE 1/8"=1'-0"



2 SECTION THROUGH COMMON OPEN SPACE WITH HISTORIC HOUSE SOUTH ELEVATION
SCALE 1/8"=1'-0"

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CLIENT:
R & A HOMES LLC
PO BOX 291473
Los Angeles Ca 90029

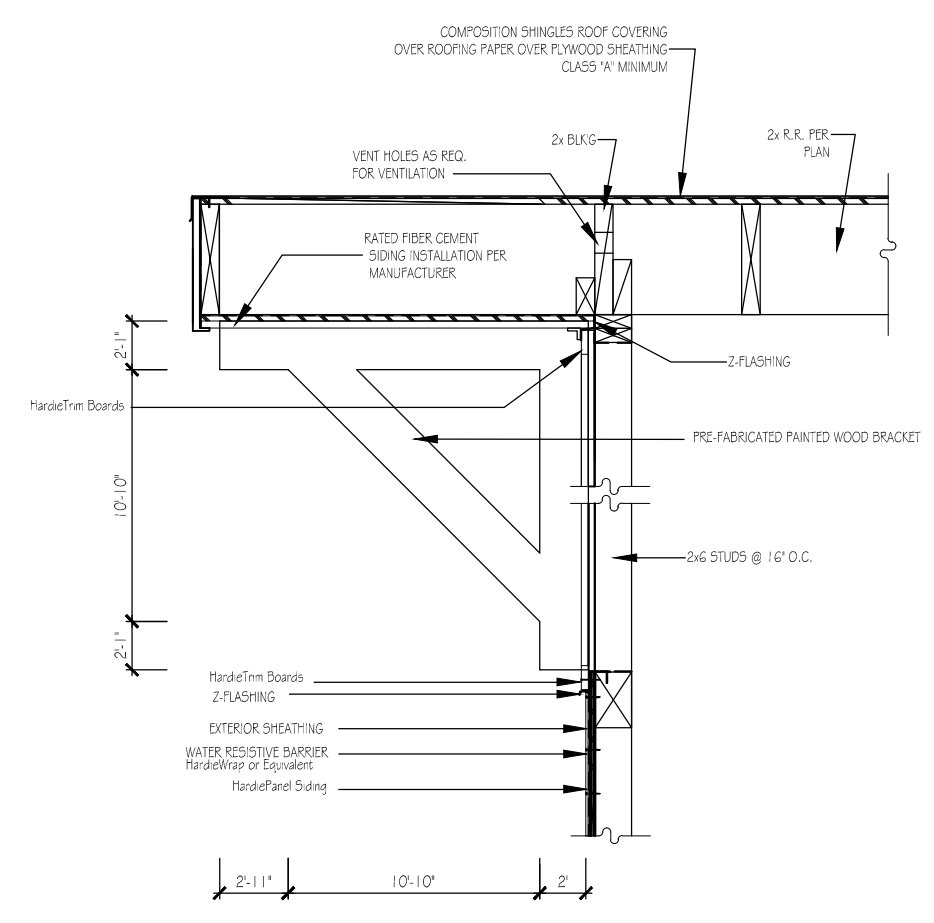
PROJECT:
344 Milford St.
Condominiums
344 Milford St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

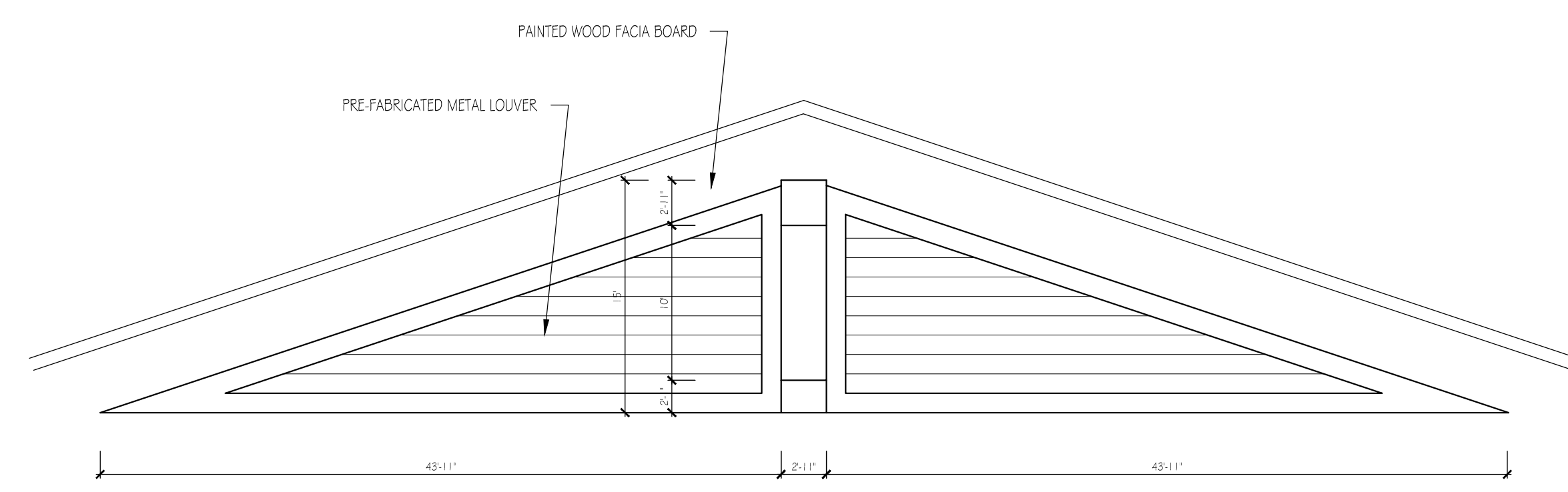
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DETAILS

DATE	03.12.18
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

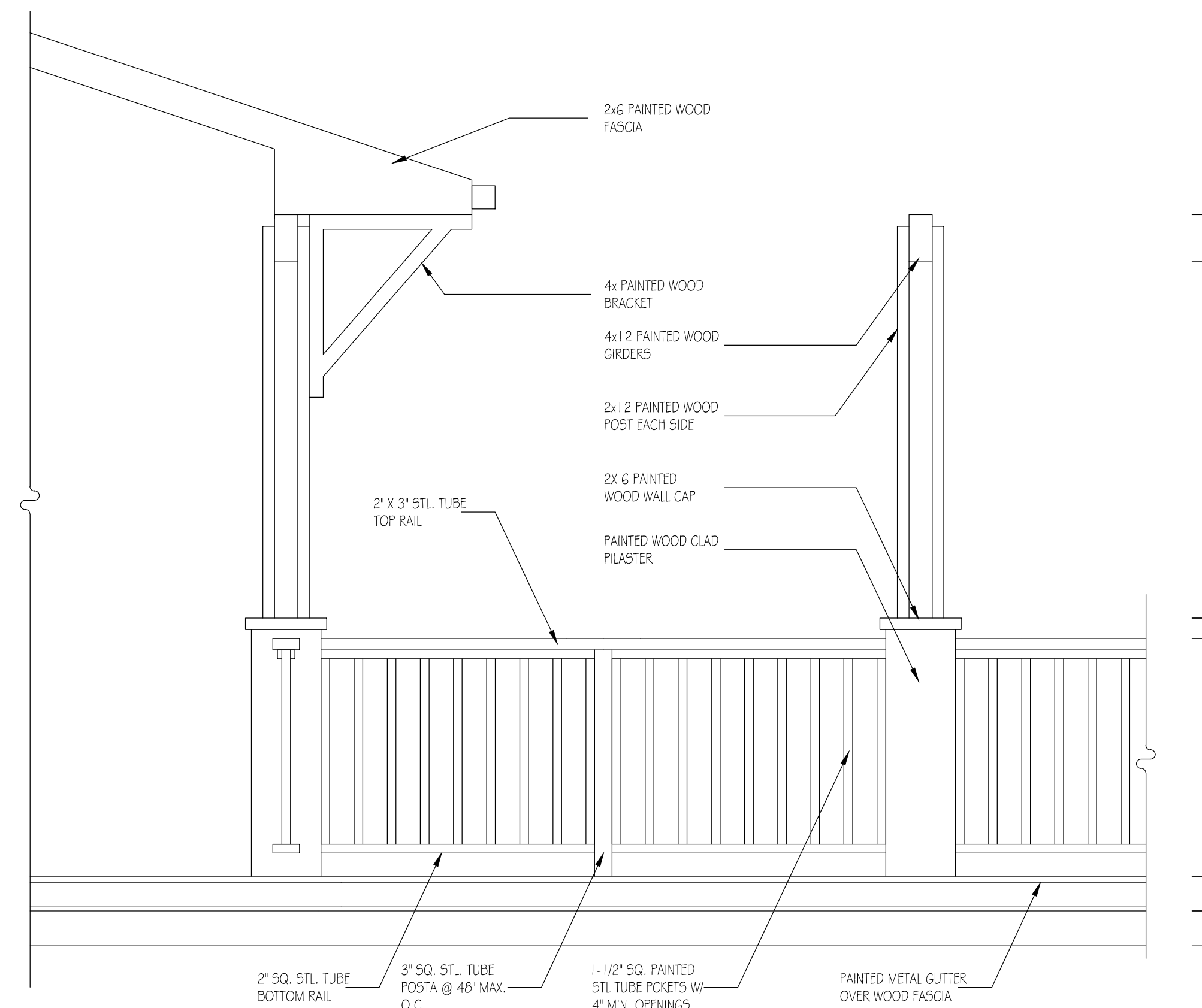
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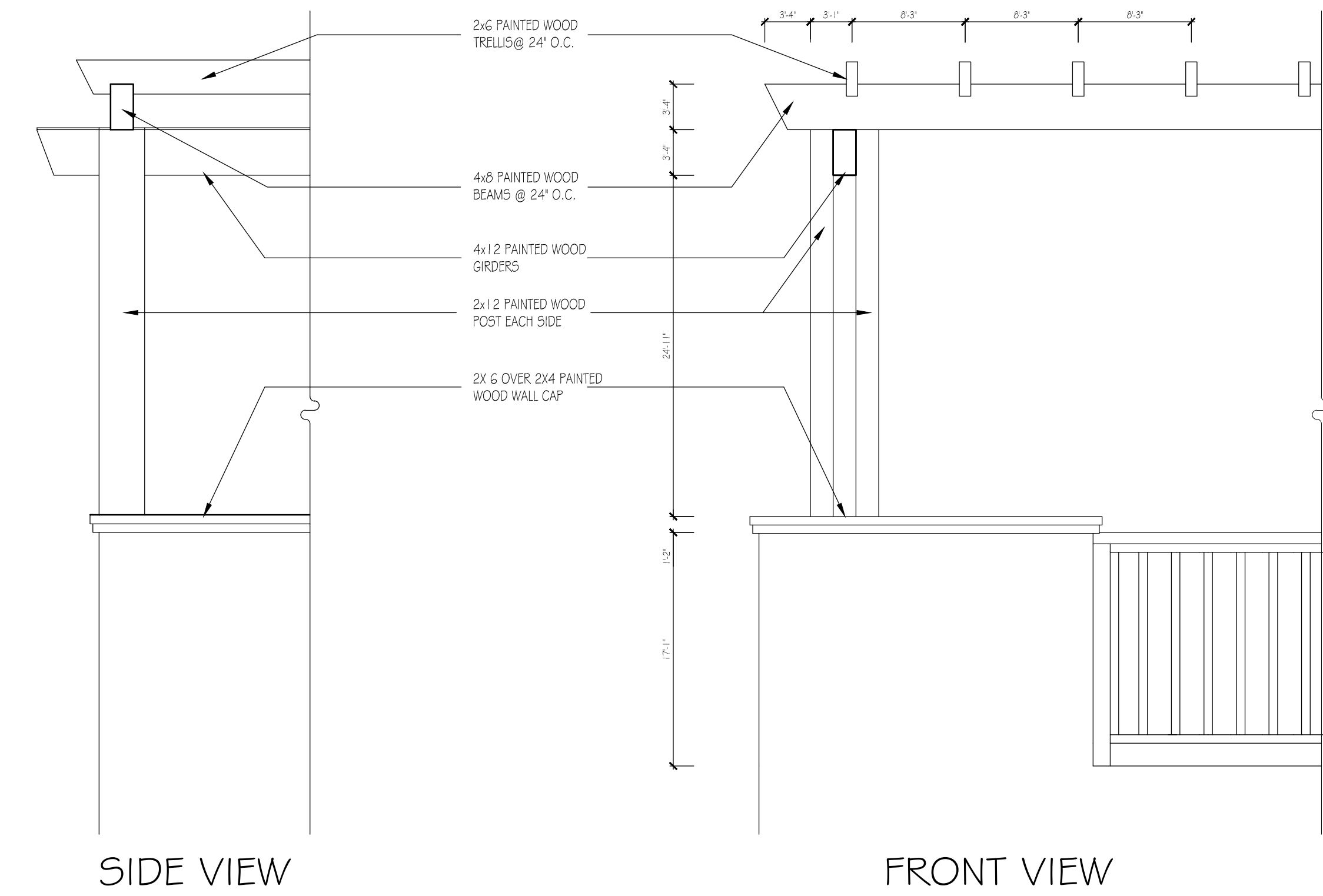
N.T.S. 8 ROOF EAVE BRACKET N.T.S. 5



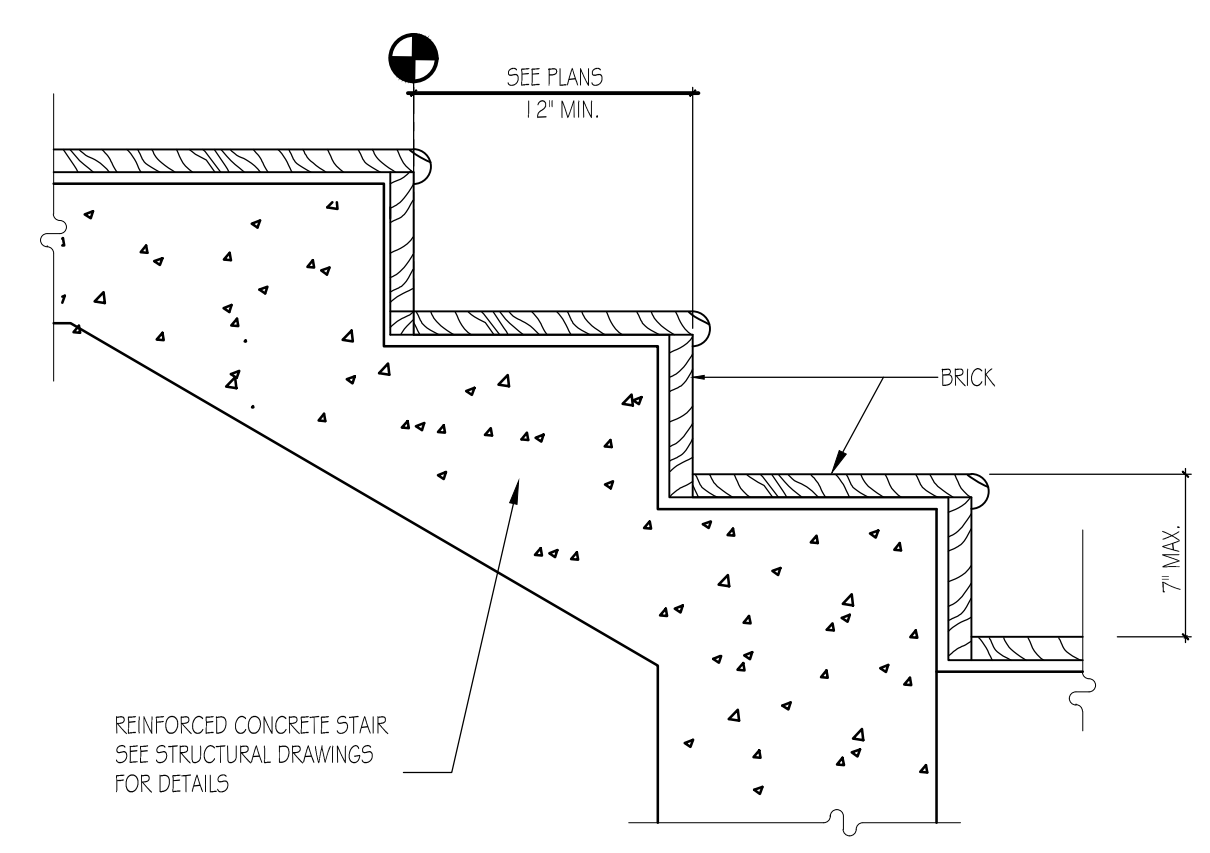
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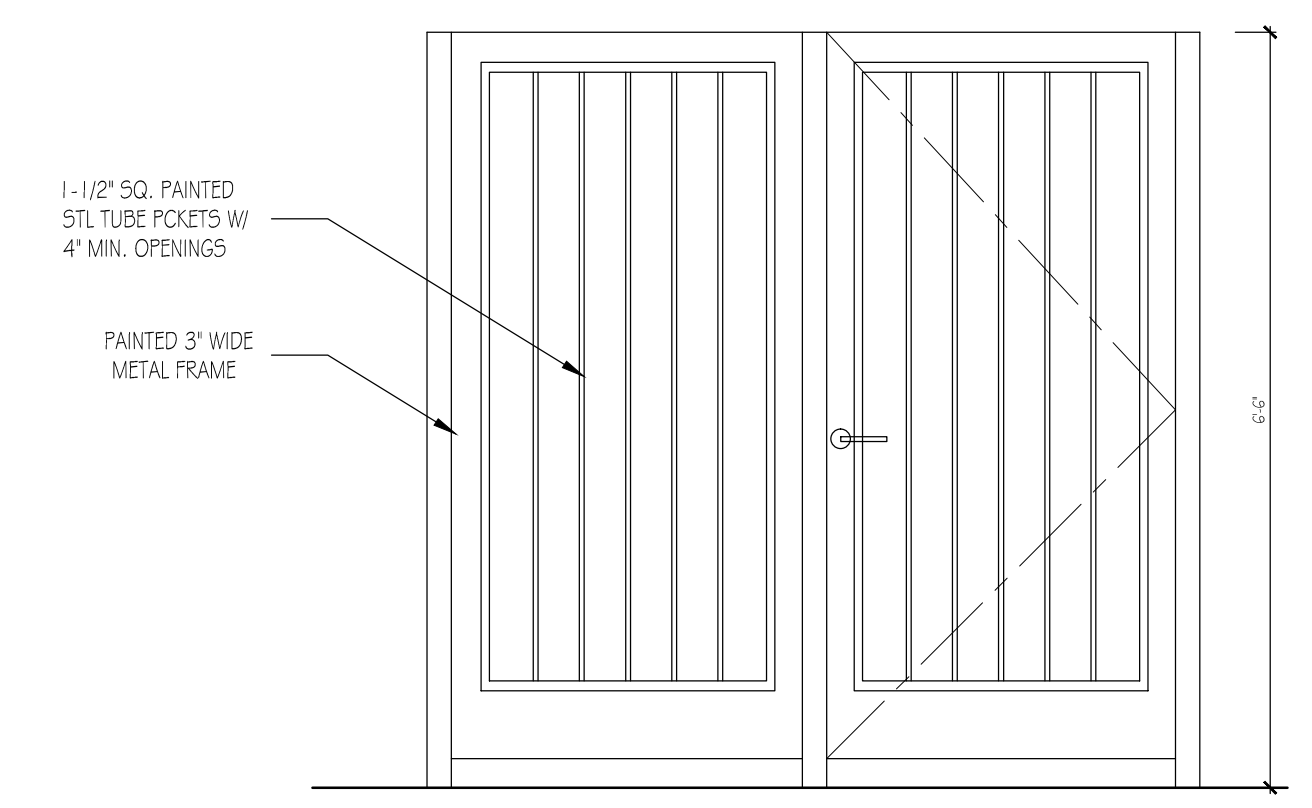
BALCONY RAILING AND POSTS N.T.S. 6



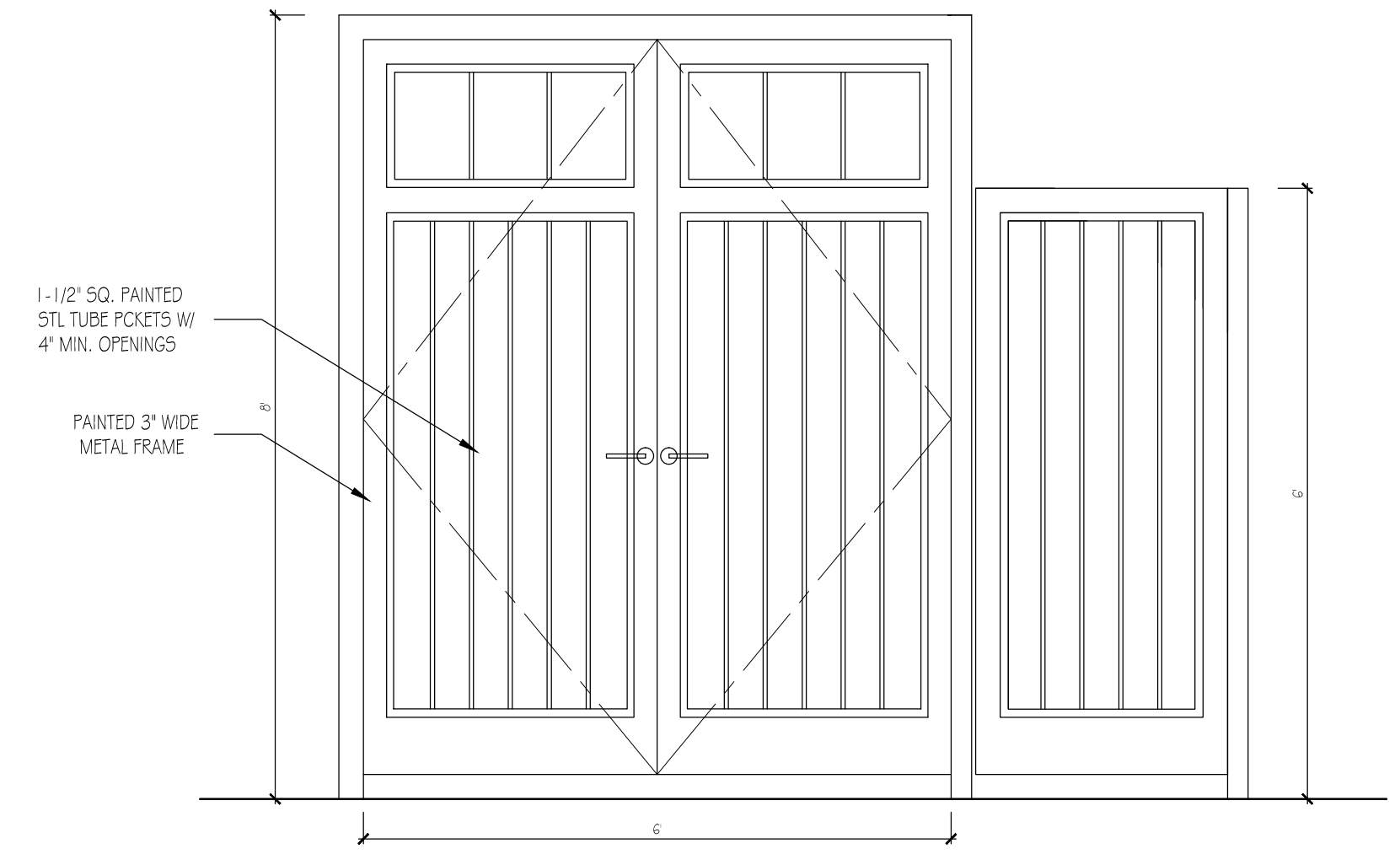
TERRACE TRELLIS N.T.S. 2



EXTERIOR STAIR N.T.S. 9



SOUTH-WEST GATE N.T.S. 7



ENTRY GATE N.T.S. 3

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CLIENT:
R & A HOMES LLC
PO BOX 291473
Los Angeles Ca 90029

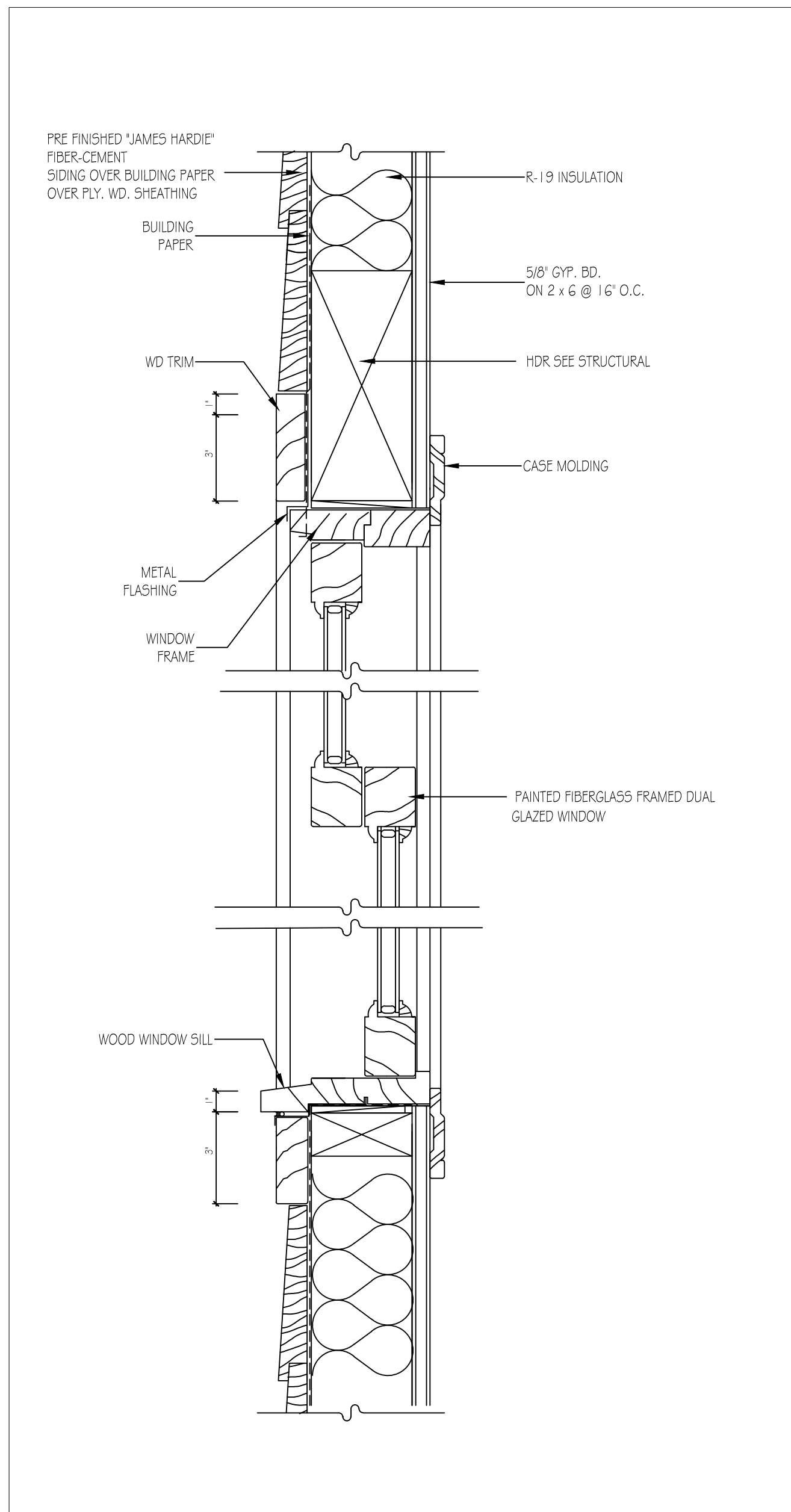
PROJECT:
**344 Milford St.
Condominiums**
344 Milford St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

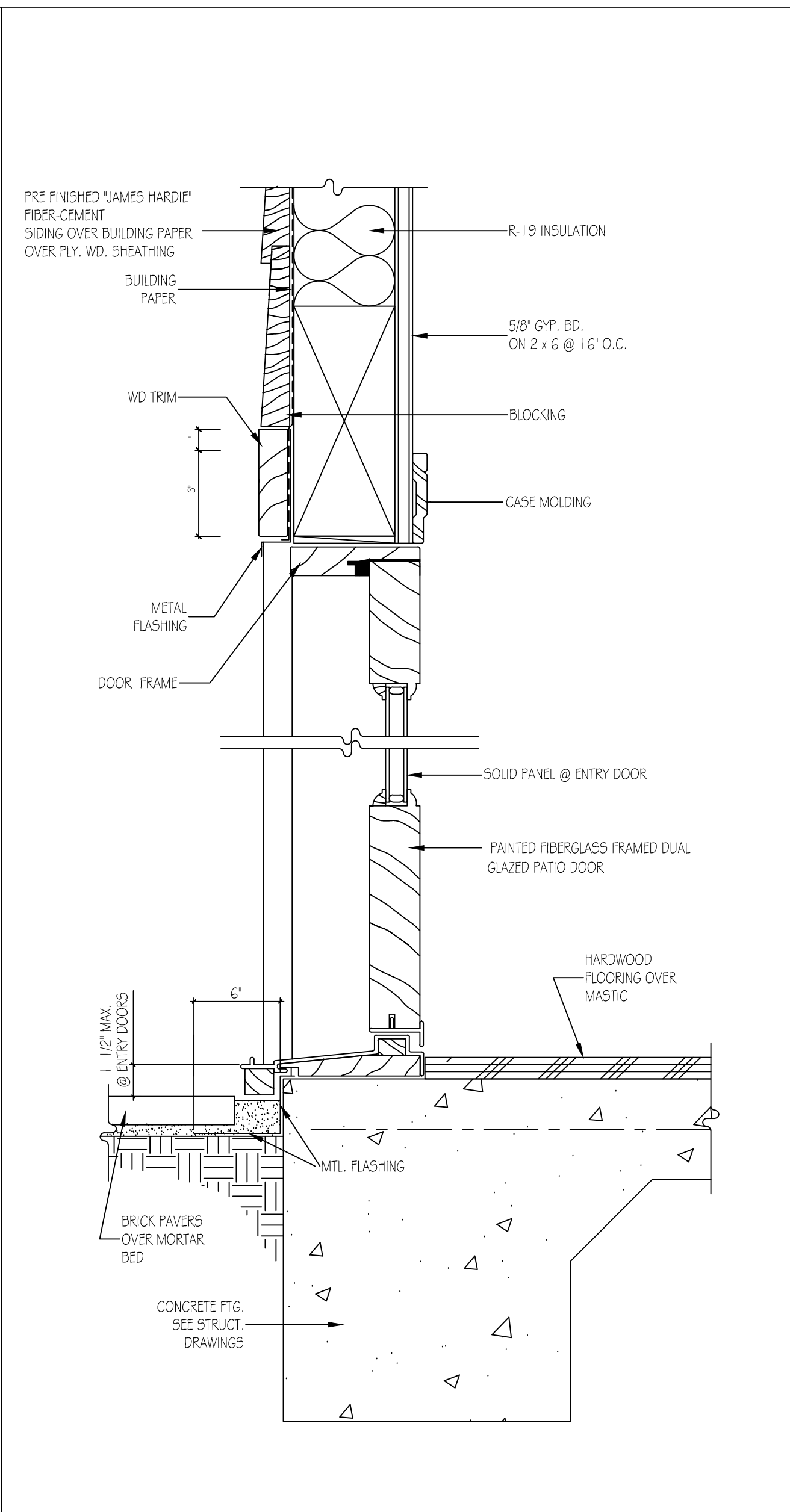
SHEET TITLE:
DETAILS

DATE	03.12.18
SCALE	AS SHOWN
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	

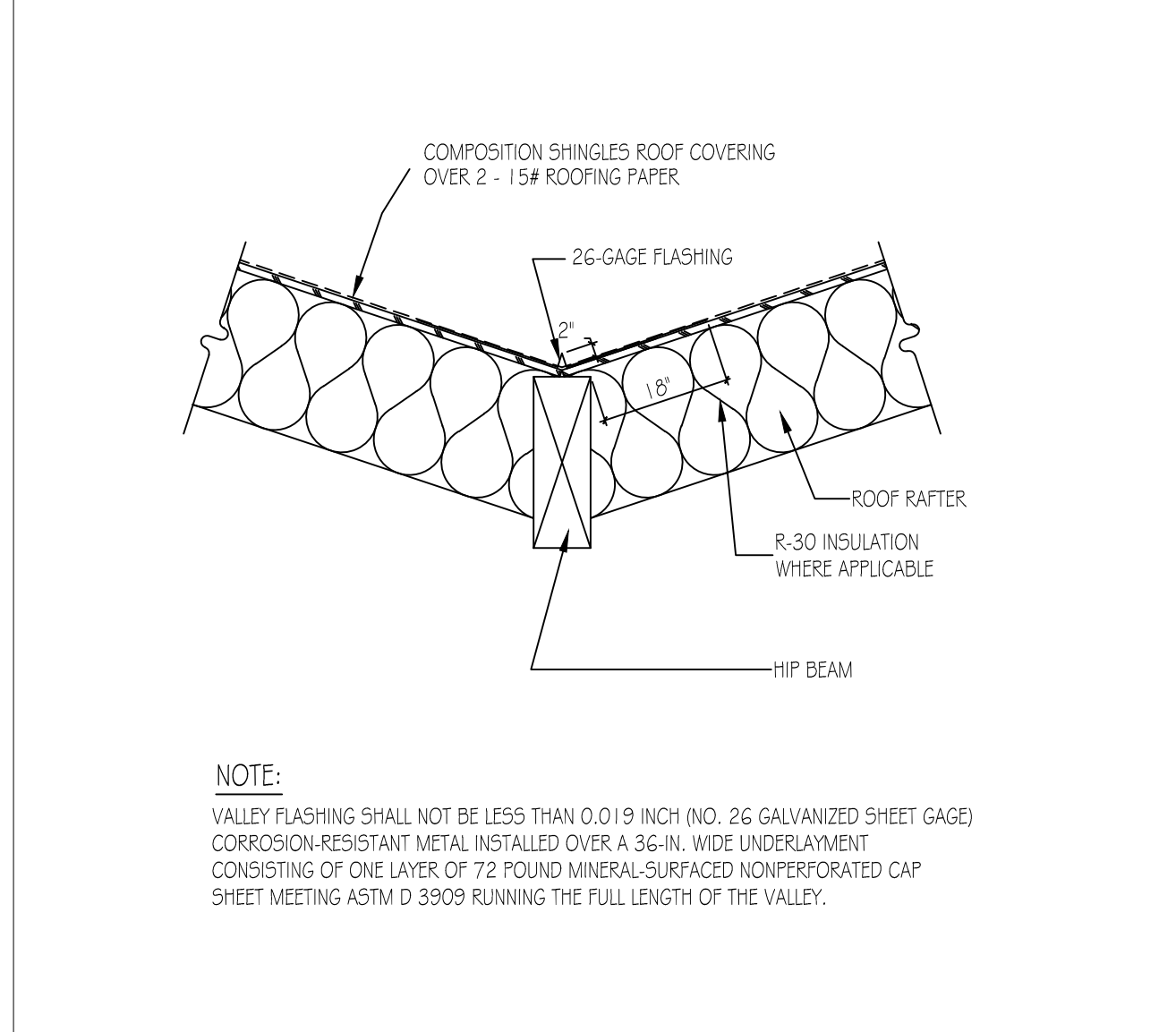
A6.2



WINDOW HEAD AND SILL N.T.S. 10

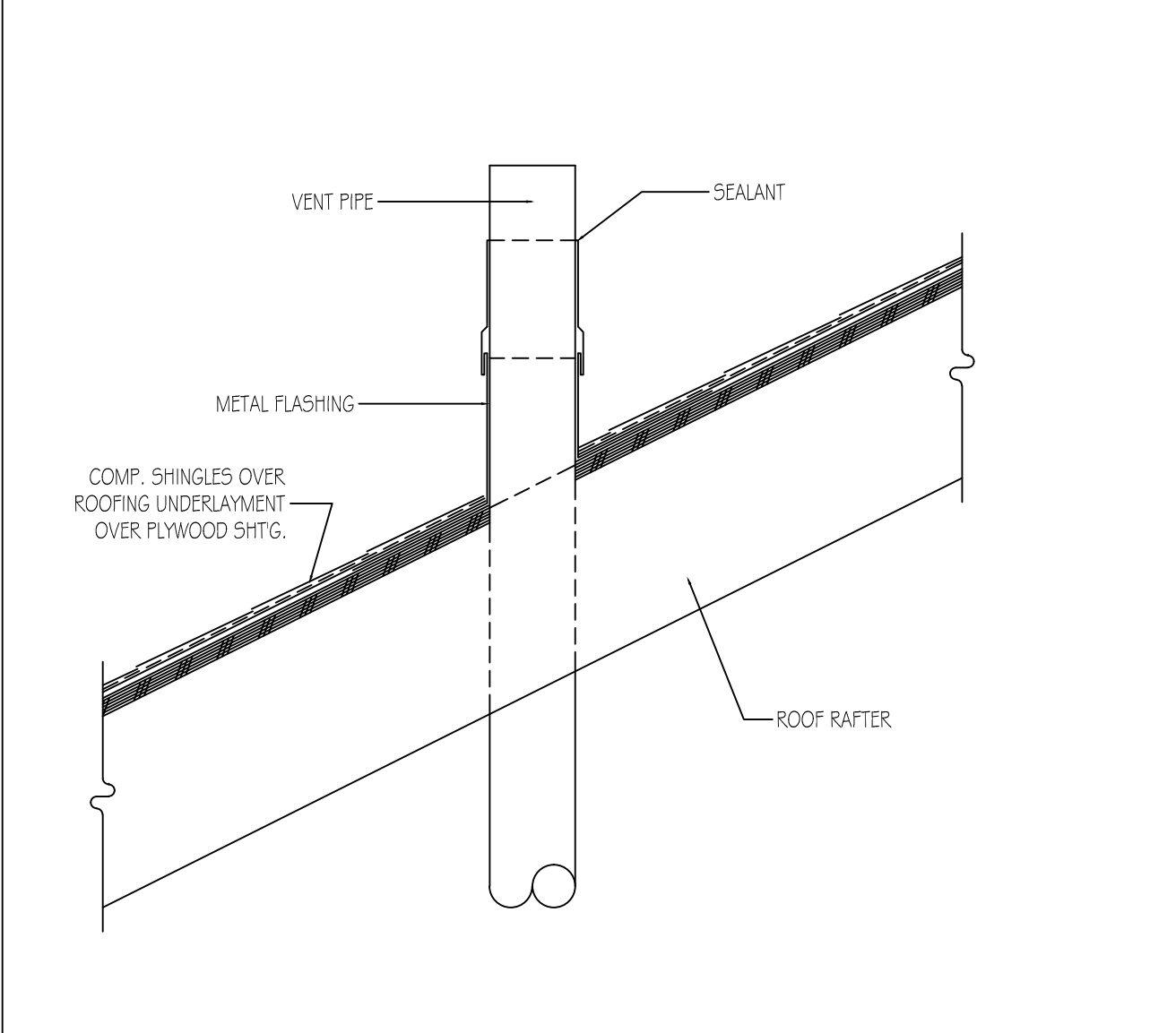


DOOR HEAD AND SILL N.T.S. 7,8

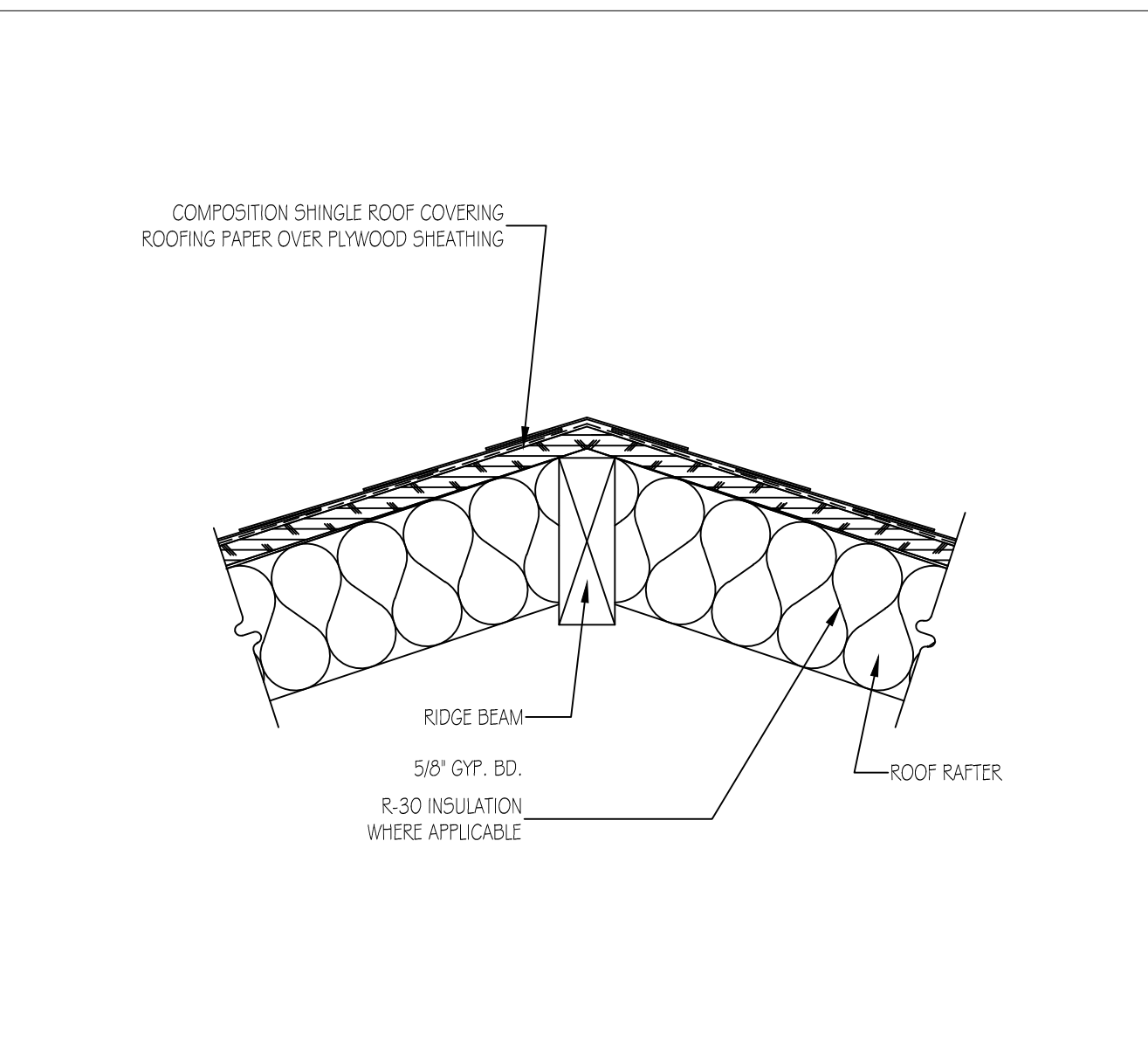


VALLEY N.T.S. 11

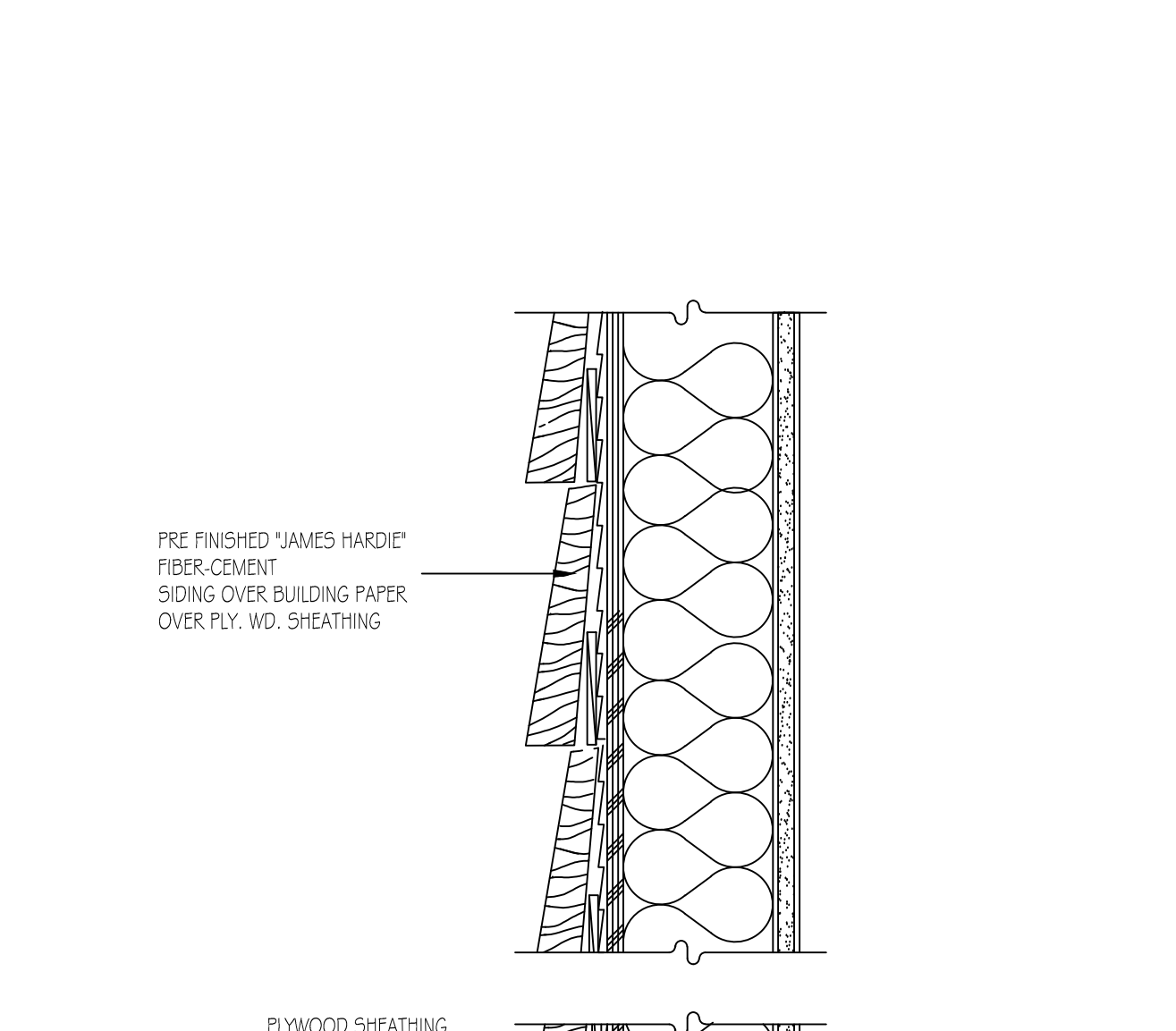
NOTE:
VALLEY FLASHING SHALL NOT BE LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D 3909 RUNNING THE FULL LENGTH OF THE VALLEY.



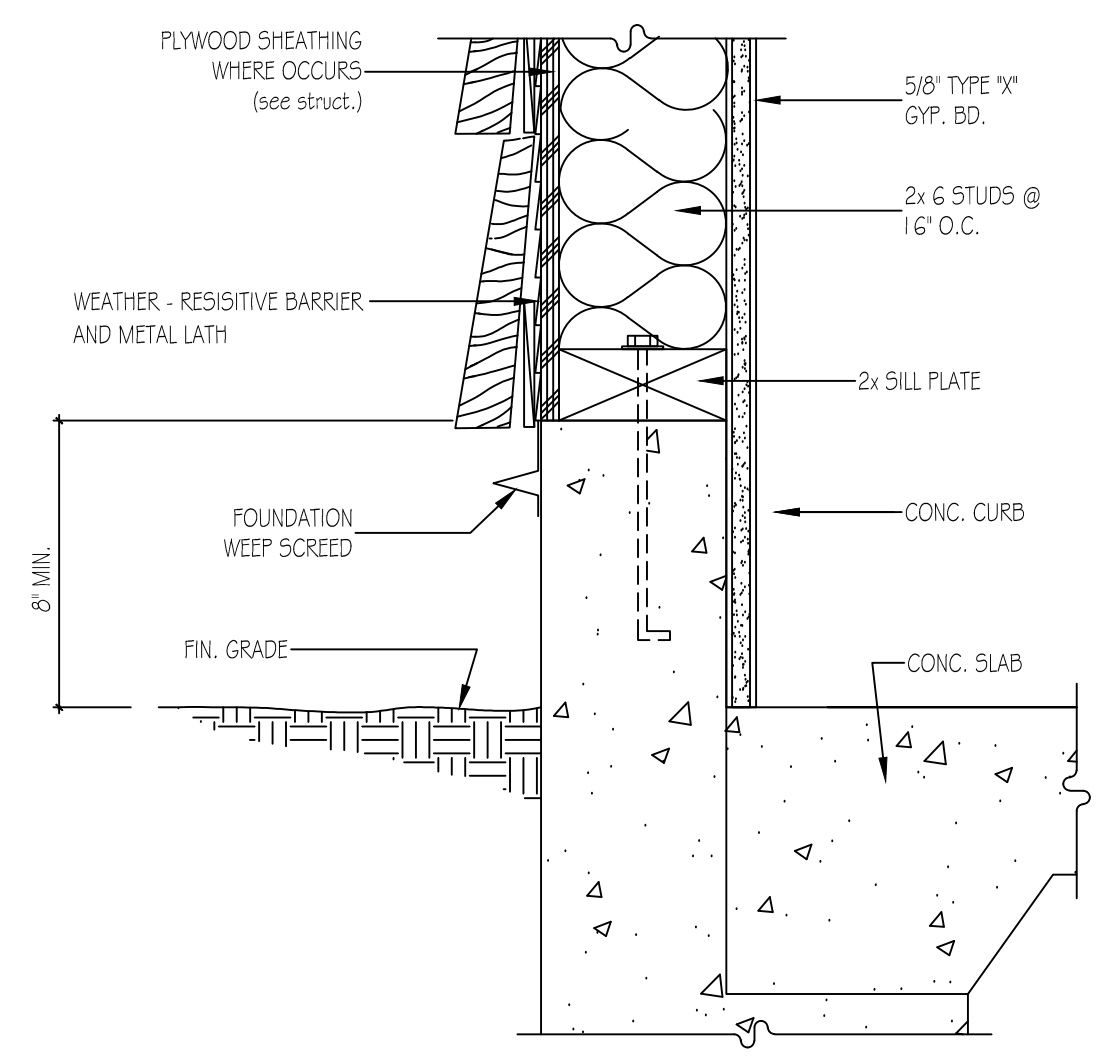
ROOF VENT PENETRATION N.T.S. 9



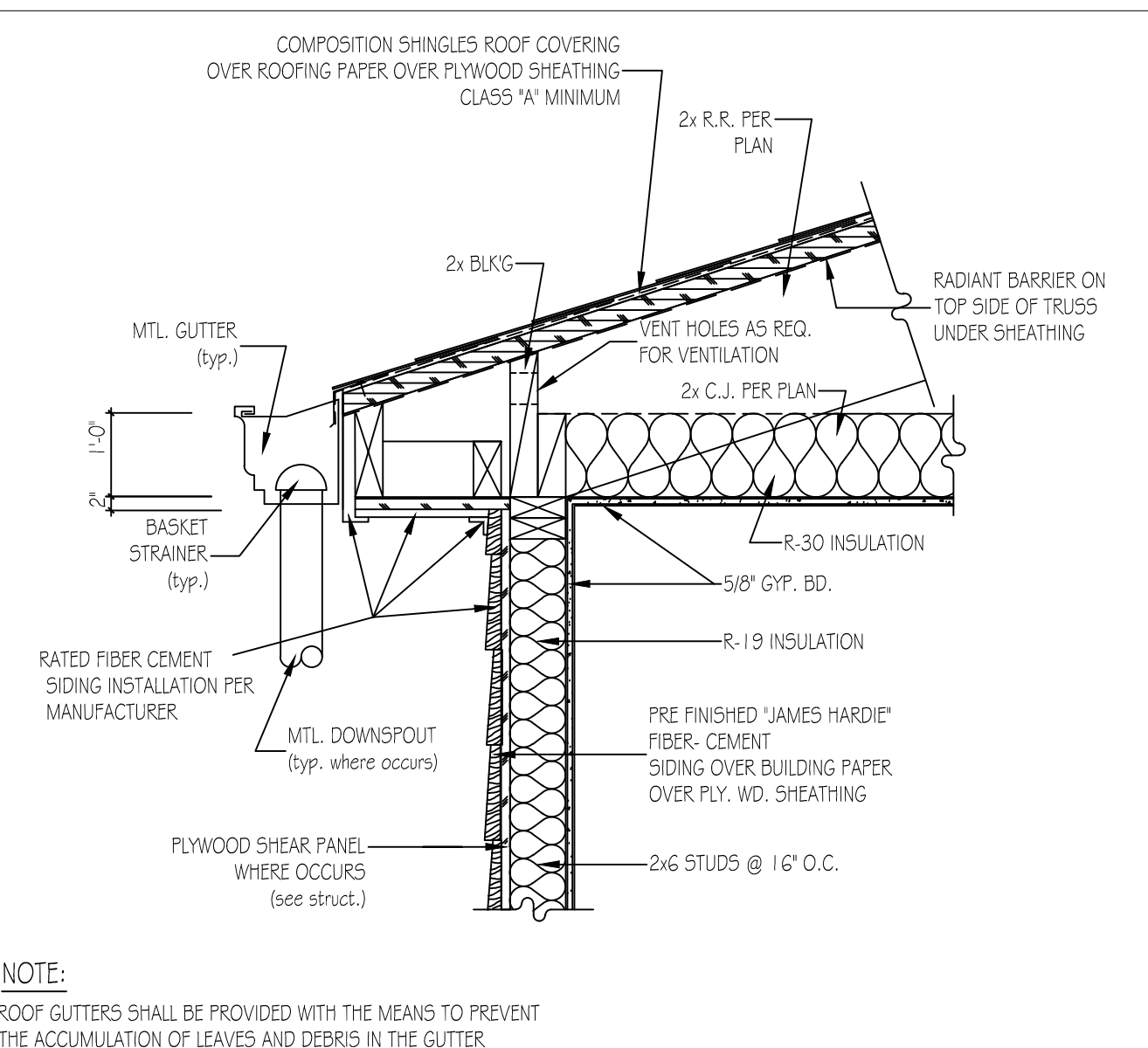
ROOF RIDGE N.T.S. 4



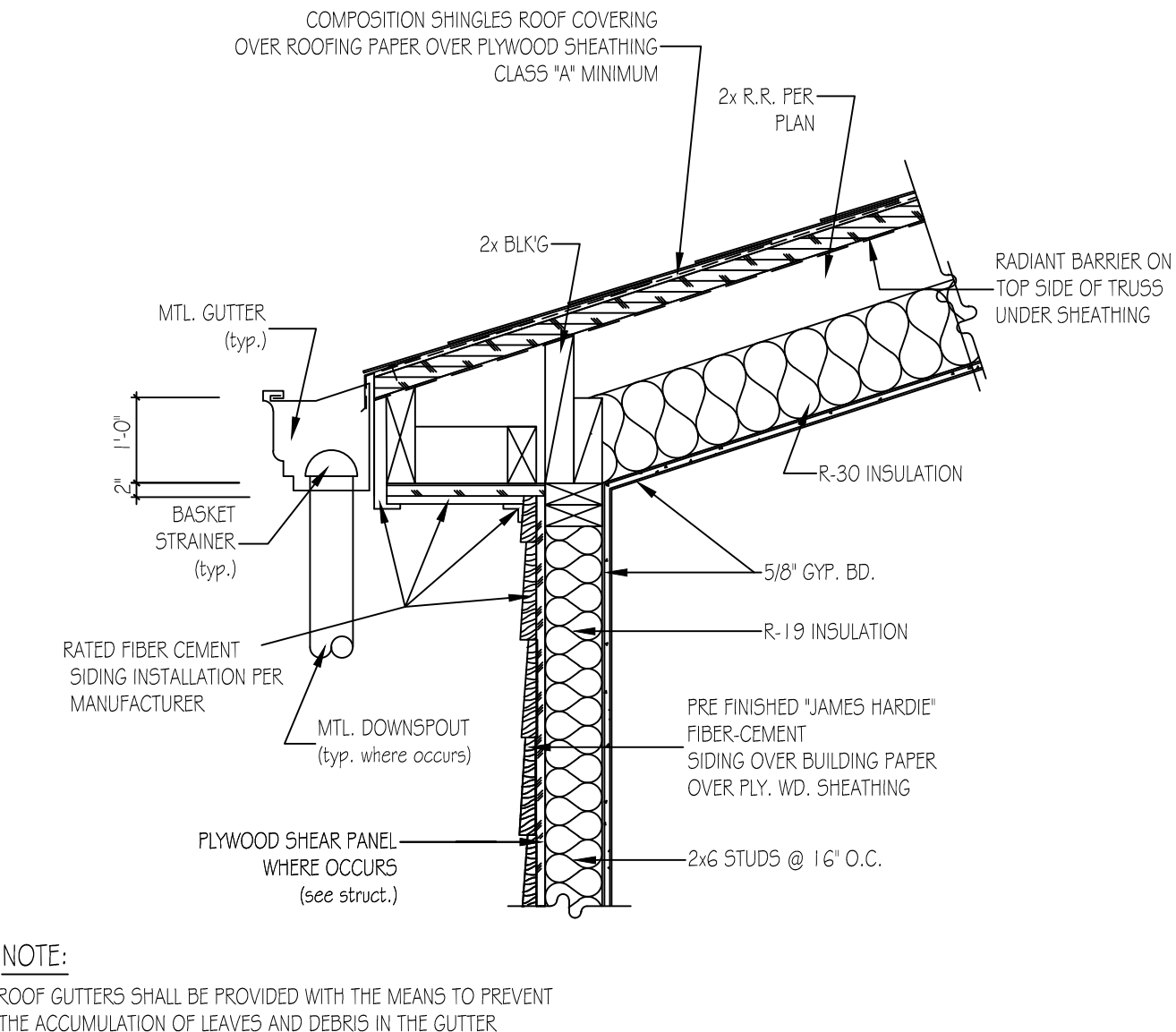
WEEP SCREED WITH CURB N.T.S. 6



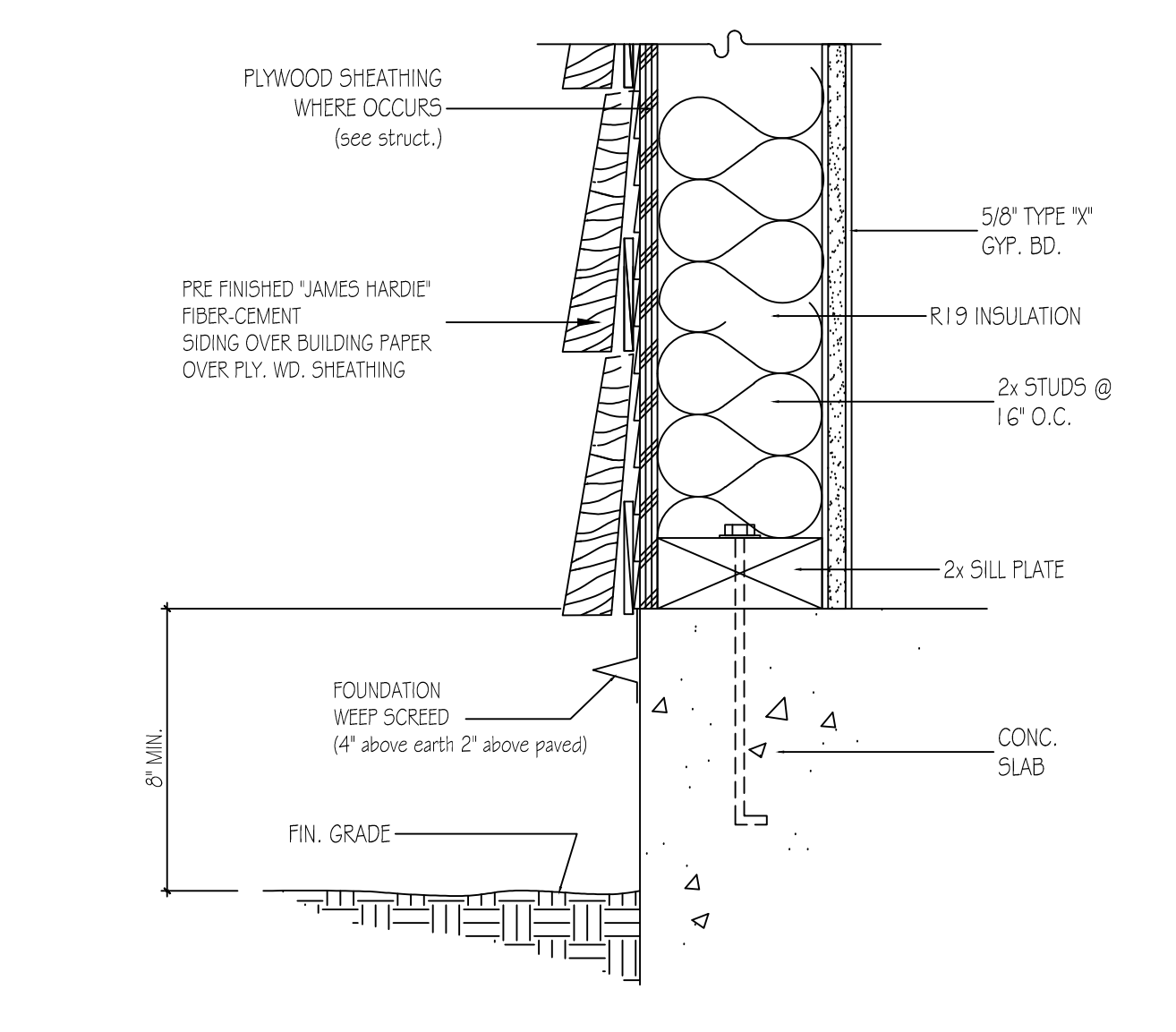
WEEP SCREED N.T.S. 6



ROOF EAVE/CEILING N.T.S. 1



ROOF EAVE/CATEDRAL CEILING N.T.S. 2



WEEP SCREED N.T.S. 3

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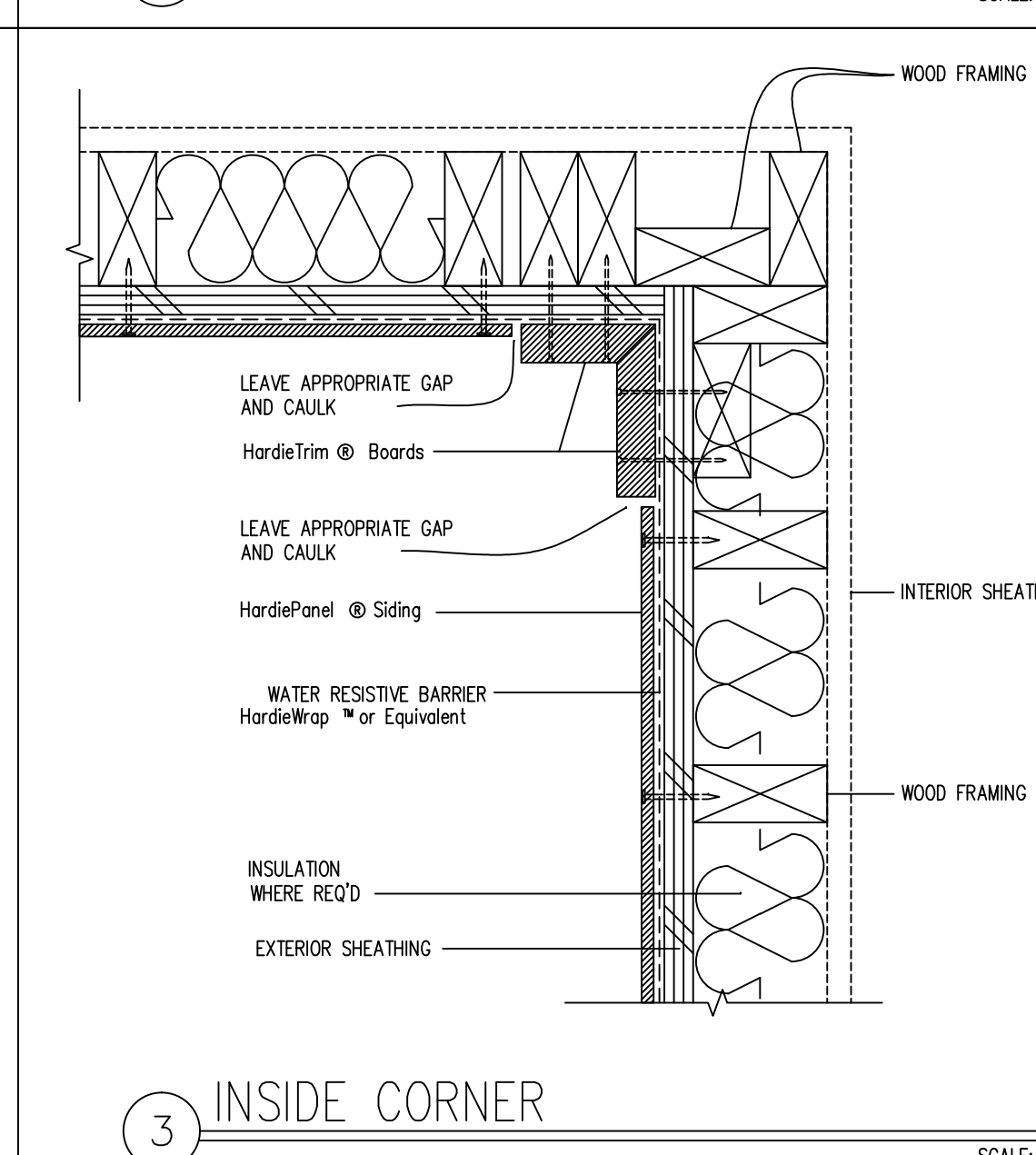
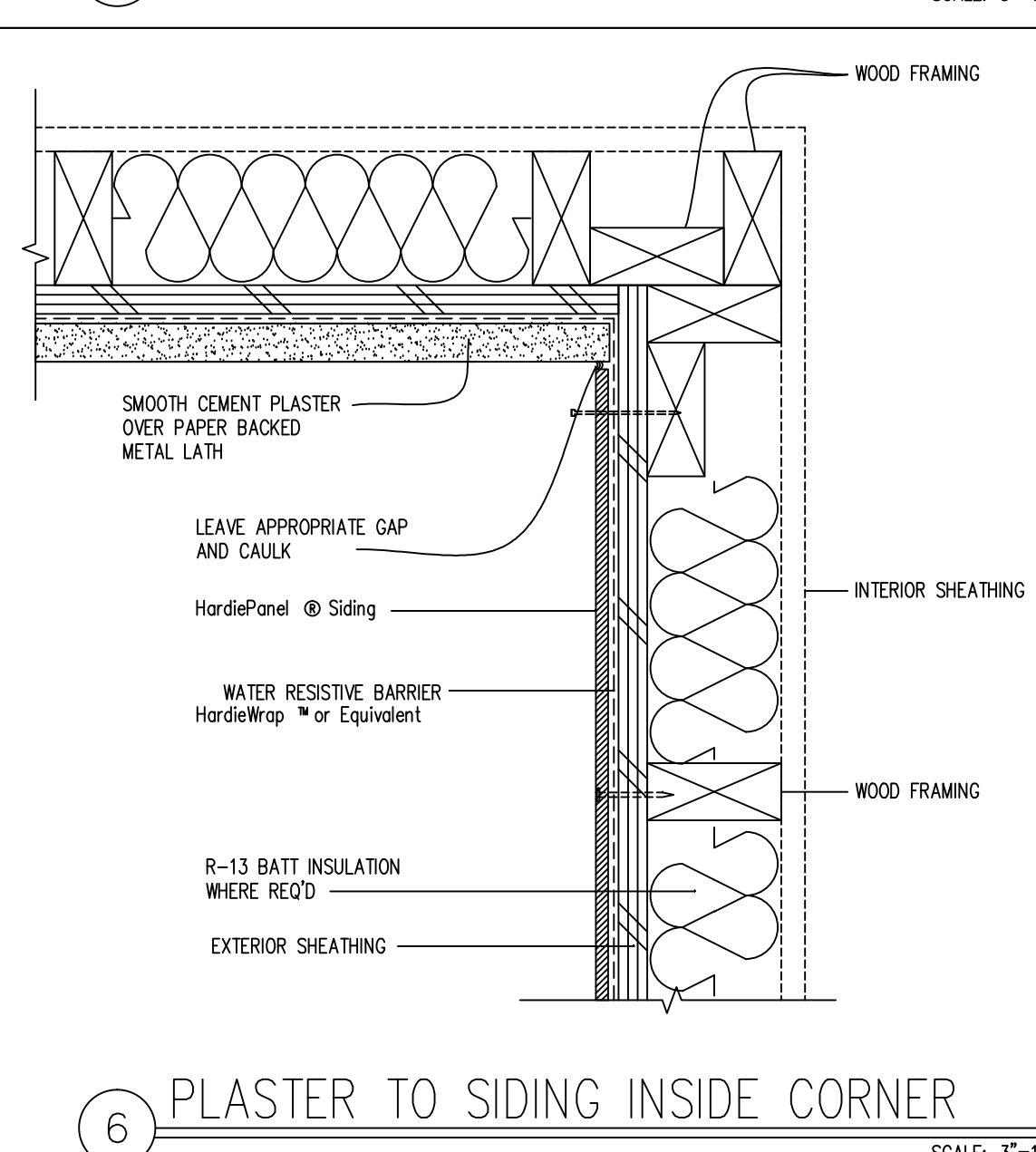
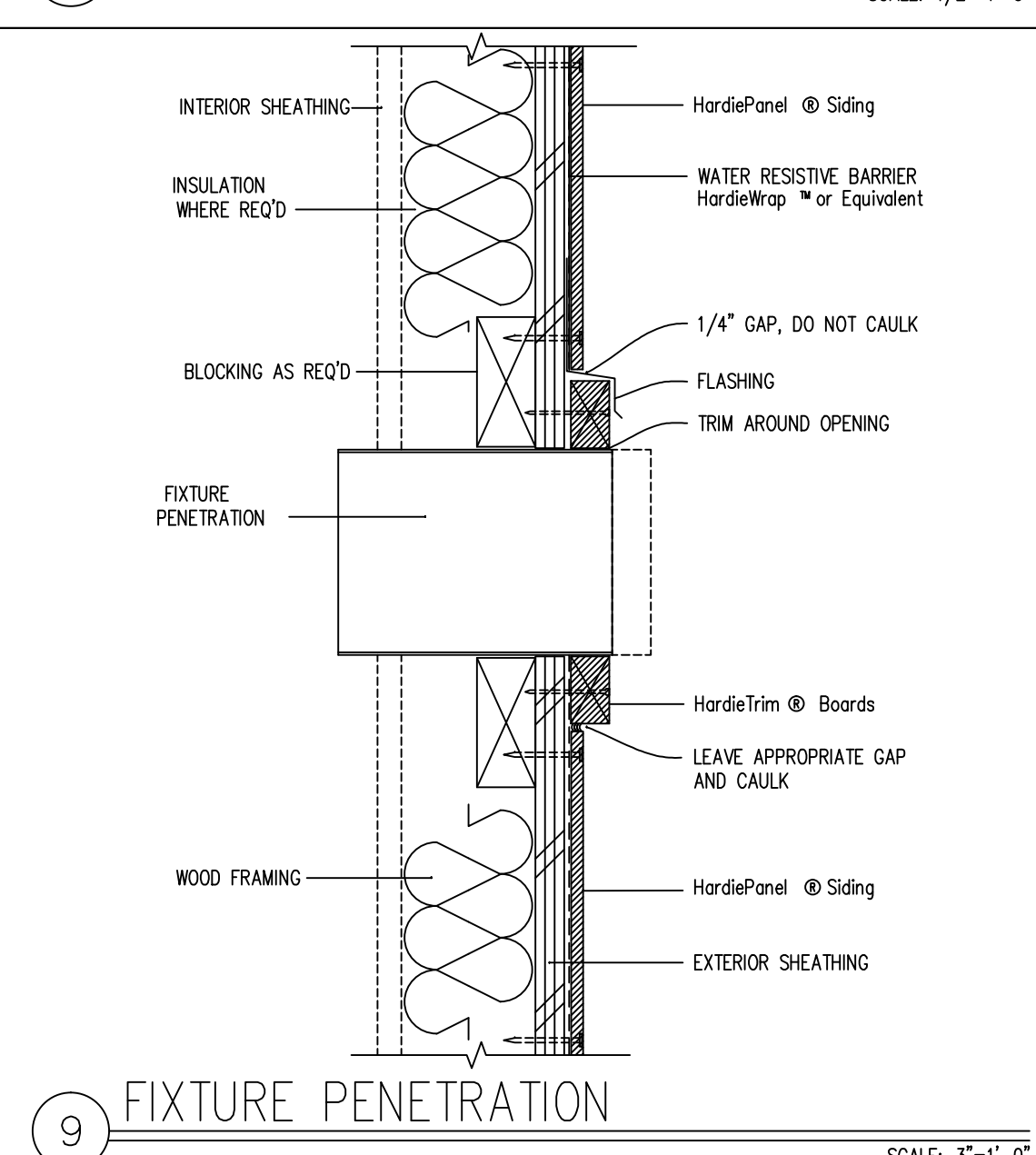
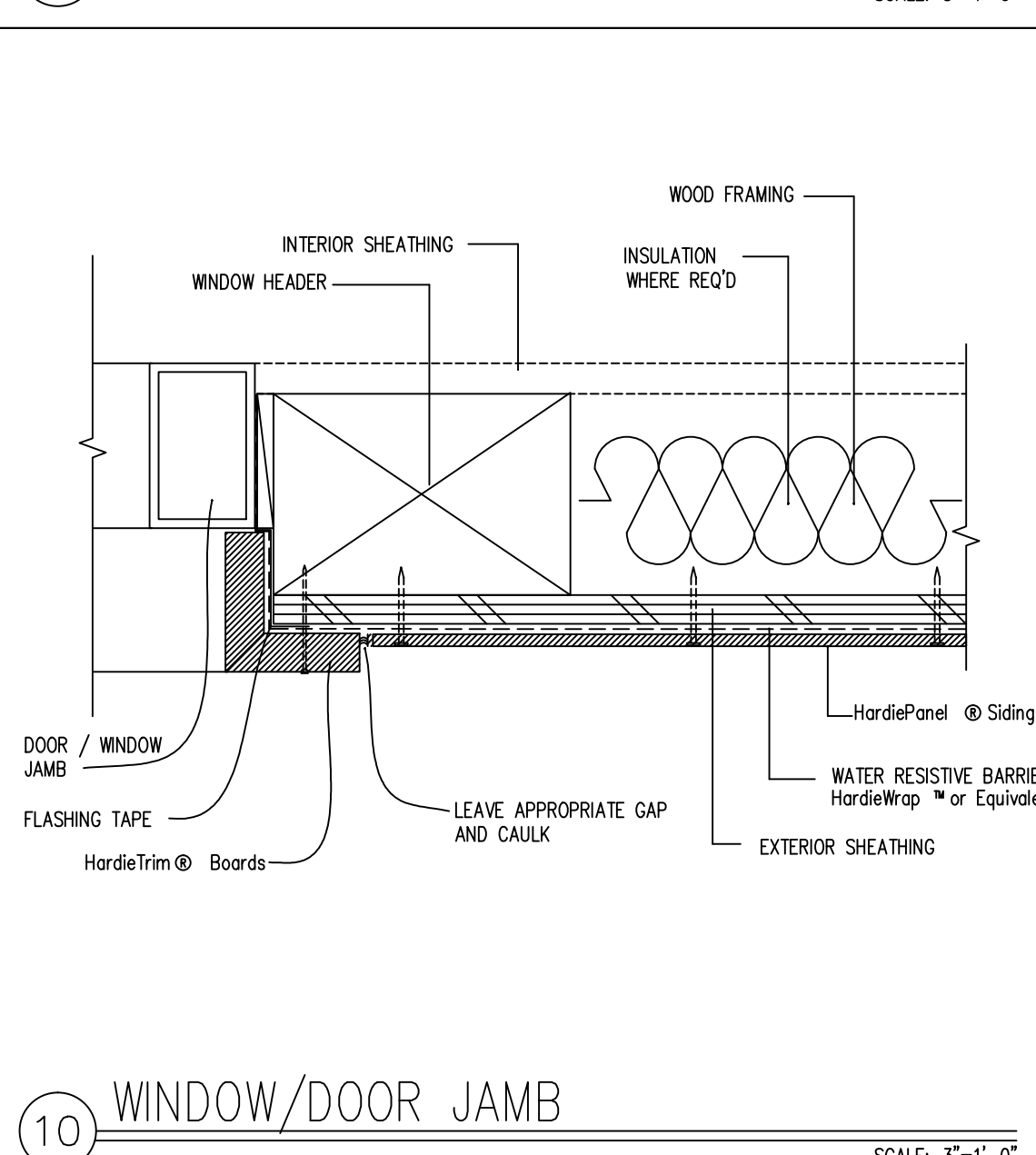
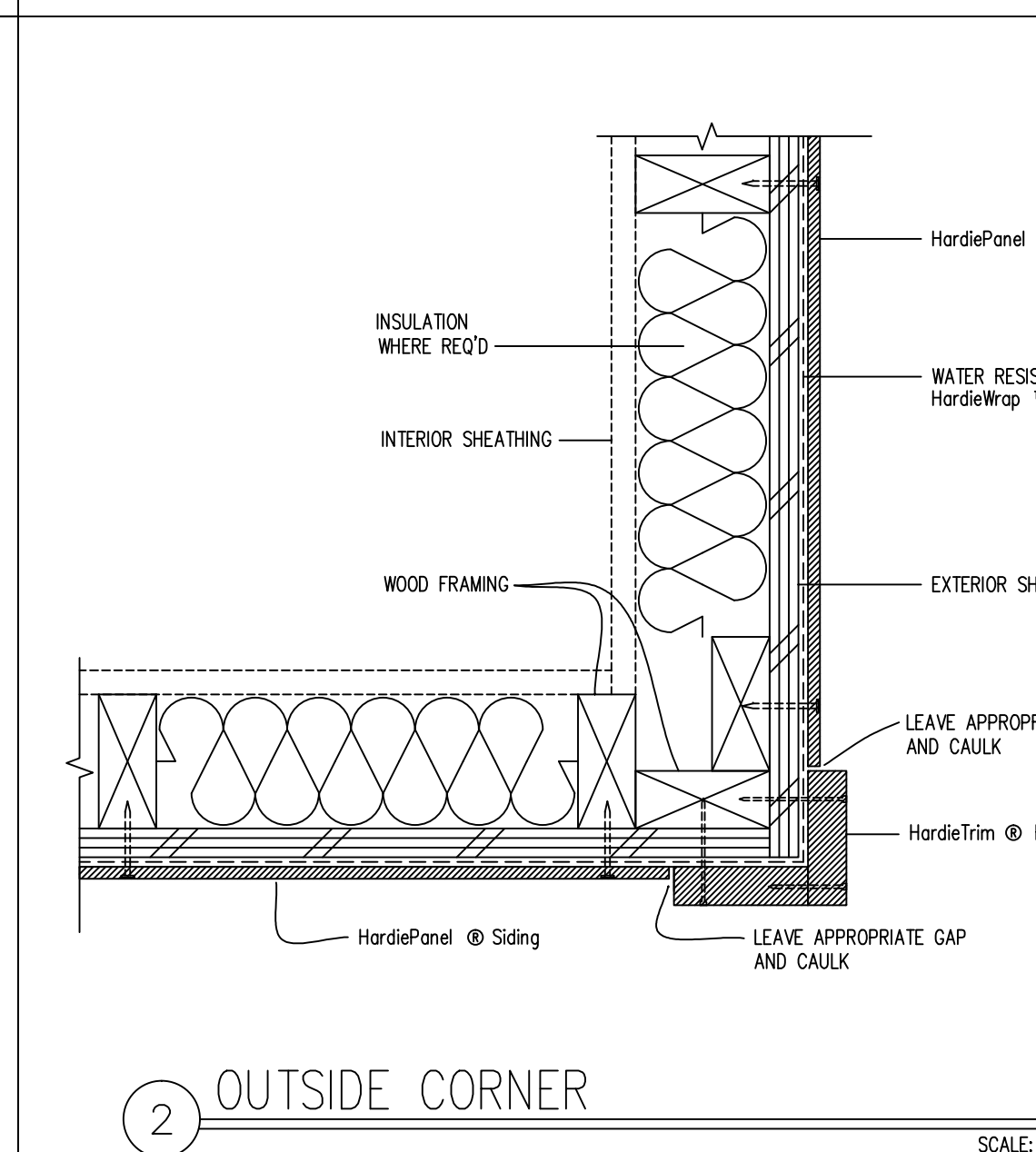
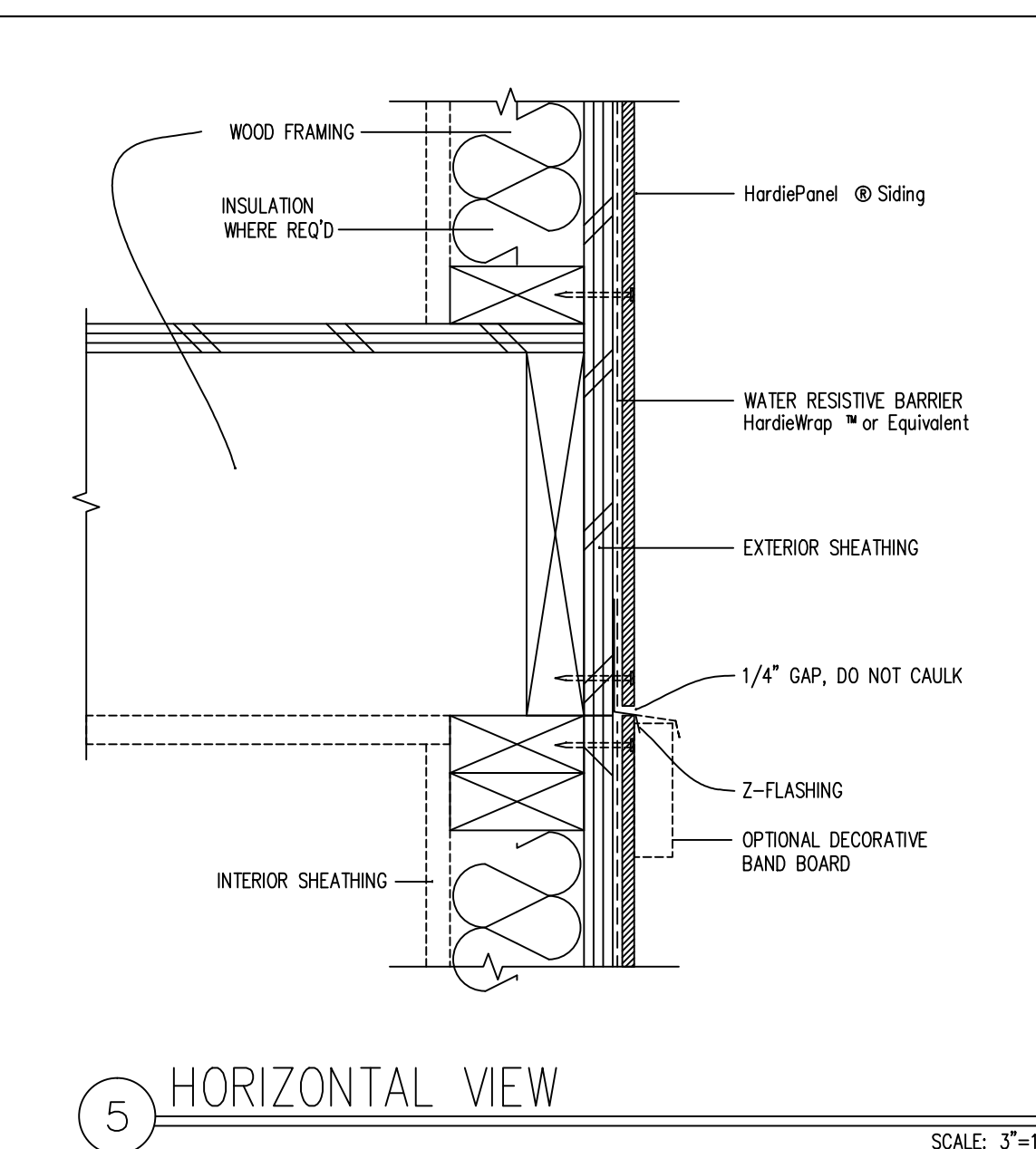
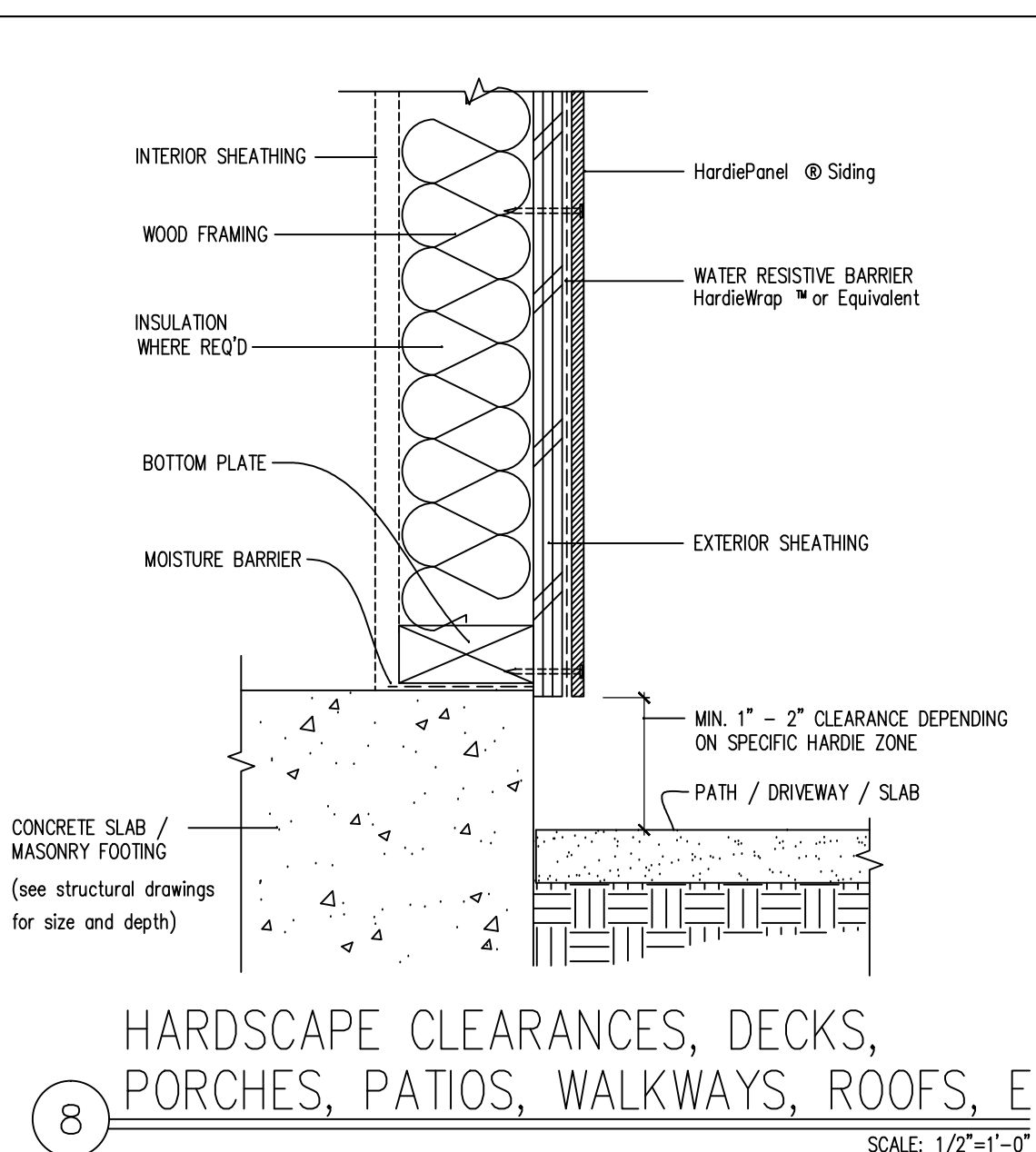
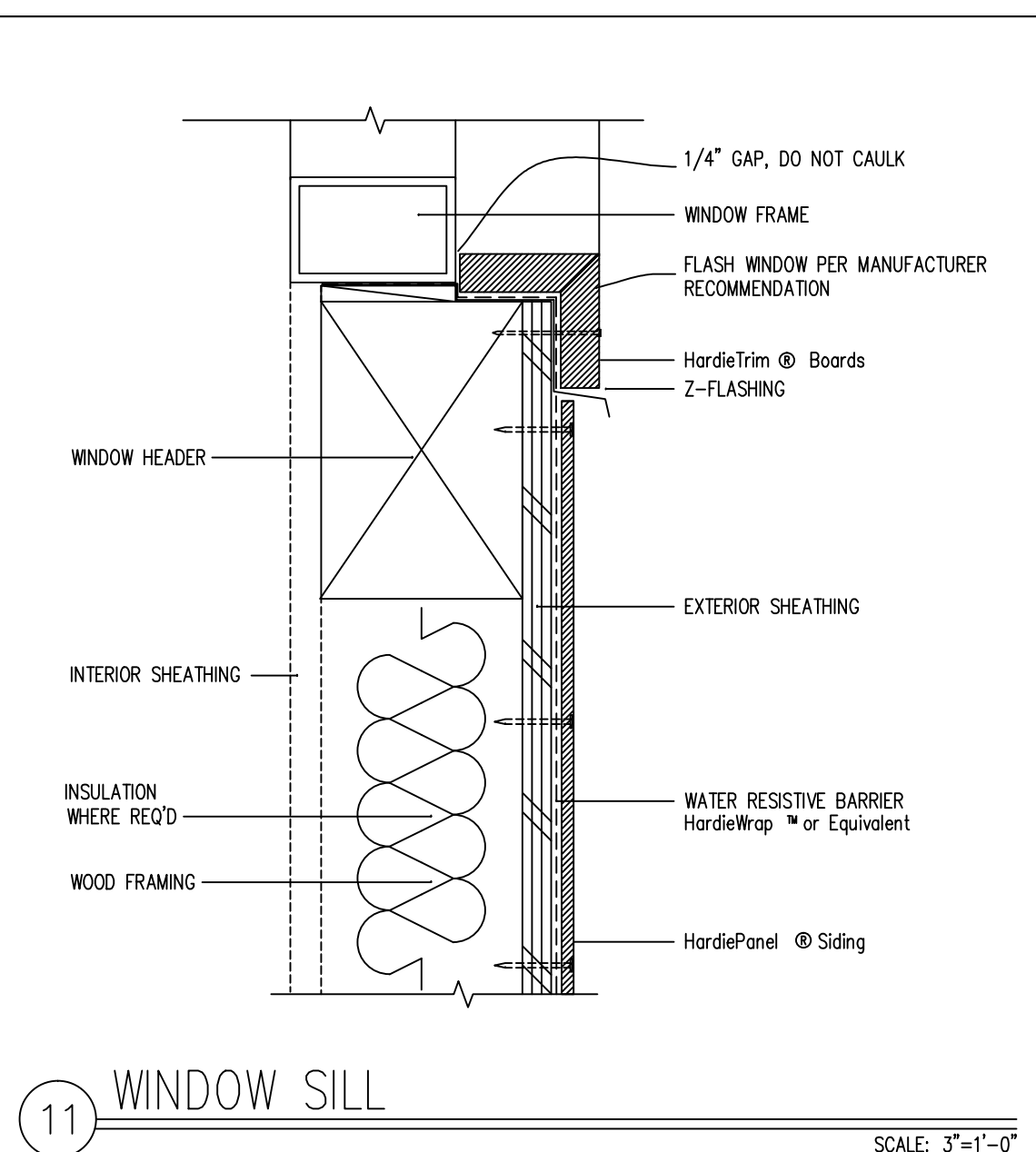
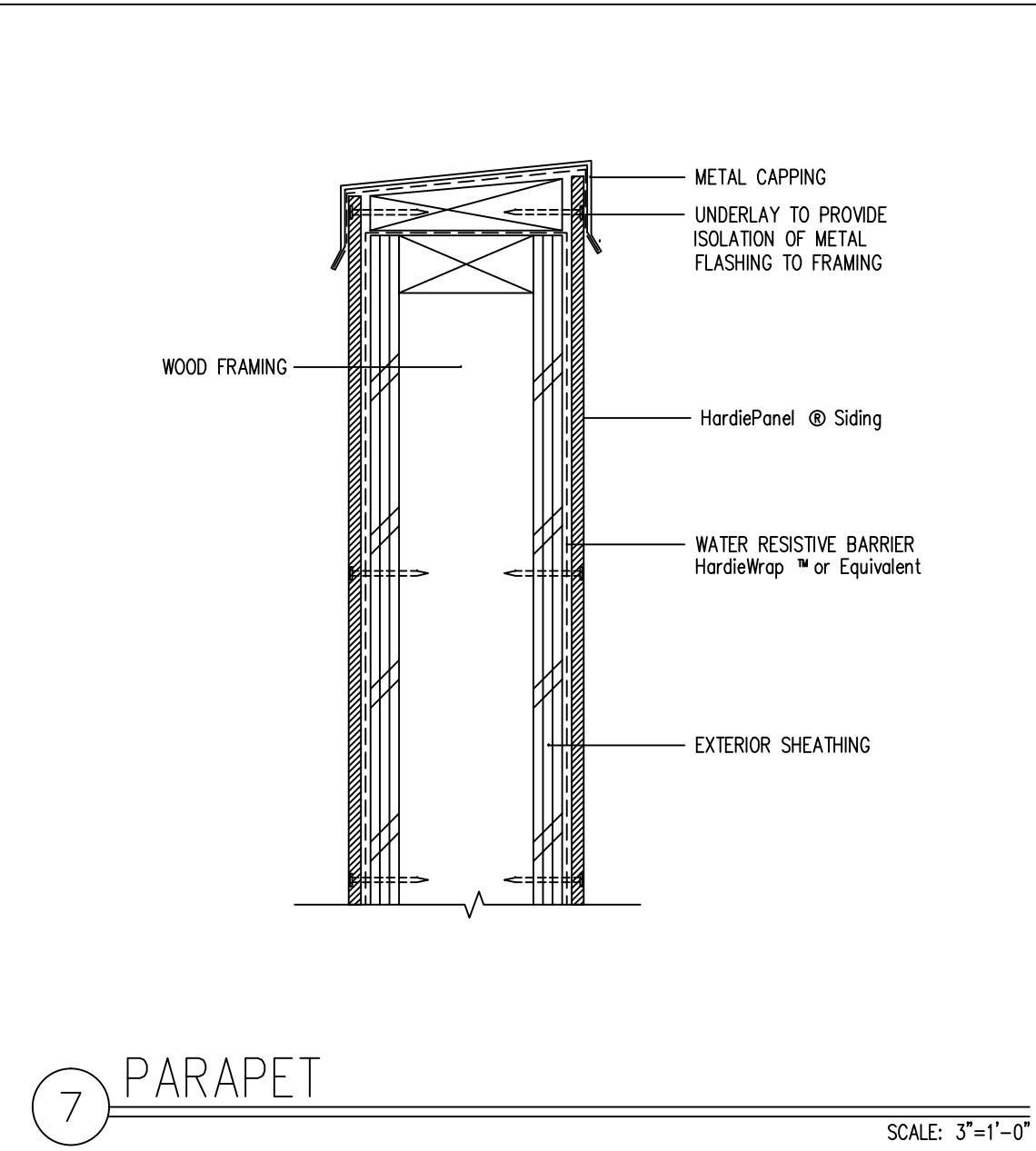
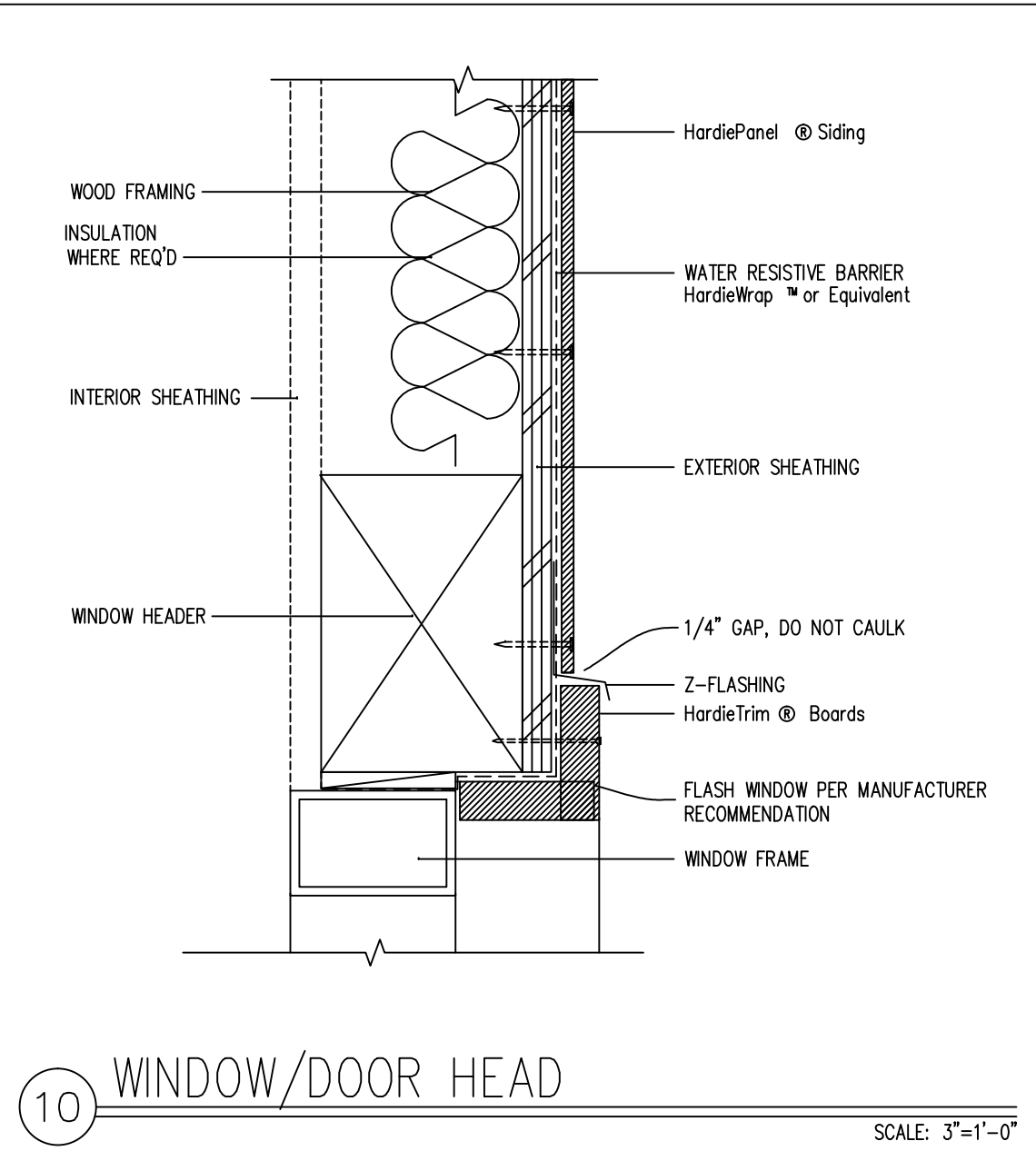
R & A HOMES LLC
PO BOX 291473
Los Angeles Ca 90029

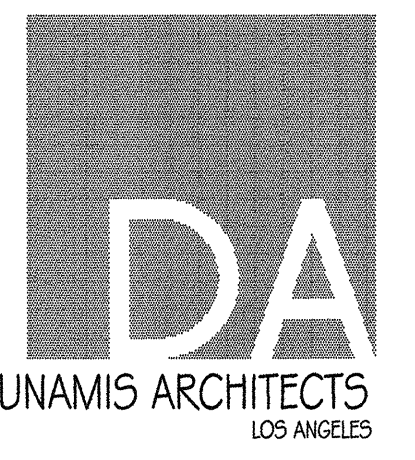
PROJECT:
344 Milford St.
Condominiums
344 Milford St.
Glendale Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY
REVISED	09.13.18	HZ

SHEET TITLE:
DETAILS

DATE	03.12.18
SCALE	AS SHOWN
DRAWN BY	HZ
JOB NUMBER	031315
SHEET	





Hamlet Zohrabans AIA
 3467 Ocean View Blvd. Suite B
 Glendale, California 91206
 T. 818.236.3619
 F. 818.236.2171

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These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

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CLIENT:

My West LLC
 5144 Los Caballeros Way
 Los Angeles Ca 90027

PROJECT:

538-534 N Kenwood
 Condominiums
 538-534 N Kenwood St.
 Glendale Ca. 91206

REVISIONS

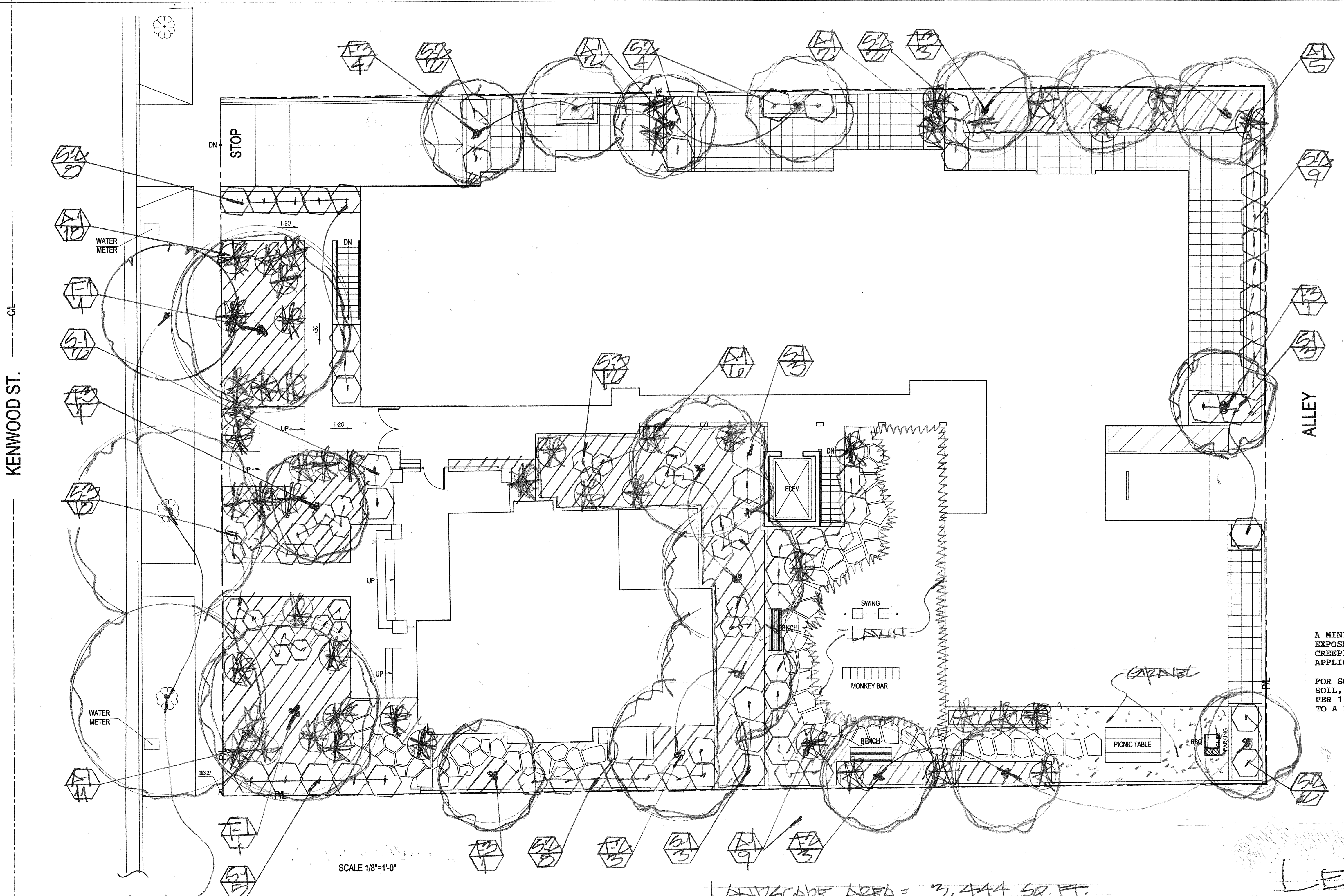
DESCRIPTION	DATE	BY

SHEET TITLE:

PLANTING PLAN

DATE	11-21-17
SCALE	1/8" = 1'-0"
DRAWN BY	LGT
JOB NUMBER	
SHEET	

L-1



A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THE 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

SCALE 1/8"=1'-0"

LANDSCAPE AREA = 3,444 SQ. FT.

LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACACIA
- PROPOSED GROUNDCOVER
- PLANT SYMBOL QUANTITY

PLANTING PLAN

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LX1	PARKINGSONIA DESERT MUSEUM	PALO VERDE/MULTI.	40'RX	2	-
LX2	NEHAUBACH LEUCORHIZON	CAJUPUT/MULTI.	30'RX	4	-
LX3	HETEROPHELES ARBUTIFOLIA	TOYON/MULTI.	24'RX	13	-
S-1	DODONAEA VISCOSEA	HOPSEED BUSH	50W	19	5' D.C.
S-2	ALYOGINE HUSCERILLII	BLUE HIBISCUS	50W	30	4' D.C.
S-3	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	50W	30	3' D.C.
A-1	DIETES BICOLOR	FOR NIGHT LILY	50W	53	RANDOM
LAWN	BUCHLOS DACTYLOIDES	BUFFALO GRASS	50W	-	-
GROUNDCOVER	BACCHARIS STYLLIS	COYOTE BUSH	FLTS	AS NEEDED	18" D.C.

LX1 = LOW WATER USAGE = .3 PF.
 LX2 = MODERATE WATER USAGE = .5 PF.



#1214

LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
My West LLC
5144 Los Caballeros Way
Los Angeles Ca 90027

PROJECT:
538-534 N Kenwood
Condominiums
538-534 N Kenwood St.
Glendale Ca. 91206

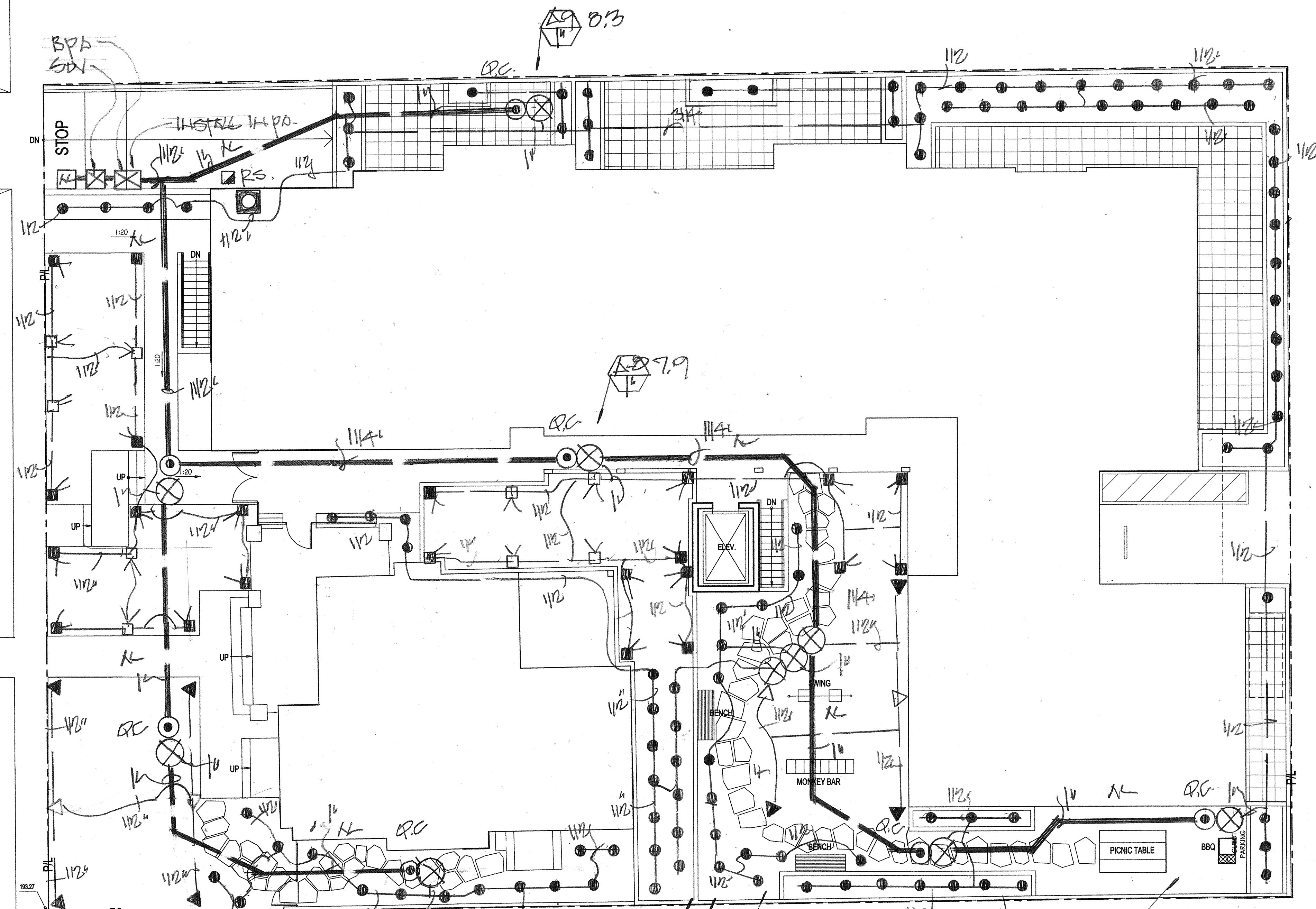
REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
IRRIGATION PLAN

DATE	11-21-17
SCALE	1/8" = 1'-0"
DRAWN BY	LET
JOB NUMBER	
SHEET	

L-2

KENWOOD ST.



CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

MANUAL SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES

A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

AT THE TIME OF FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

LEGEND

- WEATHER BASED CONTROLLER (RAINBIRD ESP-LXNF-120TA)
- RAIN SENSOR RAINBIRD PSD-BEX
- BACKFLOW PREVENTER (FEBCO-8254-1/2")
- QUICK COUPLER/RAINBIRD 44LPC
- VALVE/RAINBIRD 'PEB' SERIES
- VALVE NO/SPR
- MAINLINE/SCH. 40 PVC
- LATERAL LINES/SCH. 40 PVC
- SHUT-OFF VALVE
- IRRIGATION SUB-METER

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO	SPR	RADIUS	PSI
	RAINBIRD POP-UP/ATC	1812-RVAL-1398	.42	10'	30
	" " "1/4" HLF	1812-RVAL-13120	.85	10'	30
	" " "1/2" ATC	1812-10QMAP	.39	10'	30
	" " "1/2" HLF	1812-10HMAP	.79	10'	30
	" " BUBBLER	1812-1401	.25	-	30

WATER USAGE CALCULATIONS

• MAXIMUM APPLIED WATER ALLOWANCE
= 51,302 GPM
(43.7) (0.62) (.55) (3,444 SQ. FT.) + (0)

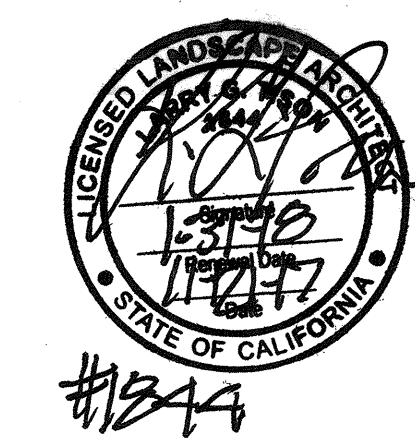
• ESTIMATED TOTAL WATER USAGE
= 42,203 GPM

SHRUBS / (43.7) (0.62) (.3 x 2,910.9 SQ. FT.) + (0) = 30,010
(.75)

LAWN / (43.7) (0.62) (.5 x 4,979 SQ. FT.) + (0) = 12,193
(.75)

MWEO COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



IRRIGATION PLAN

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