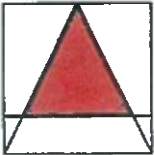




LA CANADA ASSISTED LIVING

A&H ARCHITECTS, INC.



ABBREVIATIONS

& And	Expansion Joint	LAB. Laboratory	S. South
L Angle	Elevation	LAM. Laminated	S.C. Solid Core
⊙ At	Electrical	LAV. Lavatory	S.C.D. Seat Cover Dispenser
⊕ Centerline	Elevator	LKR. Locker	SCHED. Schedule
∅ Diameter or Round	Emergency	LT. Light	S.D. Soap Dispenser
⊥ Perpendicular	Enclosure		SECT. Section
# Pound or Number	Electrical Panelboard	MAX. Maximum	SH. Shelf
(E) Existing	Equal Equipment	M.C. Medicine Cabinet	SHR. Shower
ACOUS. Acoustical	Electrical Water Cooler	MECH. Mechanical	SHT. Sheet
A.D. Area Drain	Existing	MEMB. Membrane	SIM. Similar
ADJ. Adjustable	Exposed	MET. Metal	S.N.D. Sanitary Napkin Dispenser
AGGR. Aggregate	Expansion	MFR. Manufacturer	S.N.R. Sanitary Napkin Receptacle
AL. Aluminum	Exterior	MH. Manhole	SPEC. Specification
ARROW Approximate	Fire Alarm	MIN. Minimum	SQ. Square
ARCH. Architectural	Flat Bar	MIR. Mirror	SST. Stainless Steel
ASB. Asbestos	Floor Drain	MISC. Miscellaneous	S.SK. Service Sink
ASPH. Asphalt	Foundation	M.O. Masonry Opening	STA. Station
	Fire Extinguisher	MTD. Mounted	STD. Standard
	Fire Extinguisher Cab.	MUL. Mullion	STL. Steel
	Fire Hose Cabinet	N. North	STOR. Storage
	Finish	N.I.C. Not IN Contract	STR. Structural
	Block	No.or # Number	SUSP. Suspended
	Blocking	NOM. Nominal	STM. Symmetrical
	Beam	N.T.S. Not To Scale	TRD. Tread
	Bottom	O.A. Overall	T.B. Towel Bar
		OBS. Obscure	T.C. Top of Curb
		O.C. On Center	TEL. Telephone
		O.D. Outside Diameter(DIM.)	TER. Terrazzo
		OFF. Office	T.&G. Tongue and Groove
		OPNG. Opening	THK. Thick
		OPP. Opposite	T.P. Top of Pavement
		PRCST. Pre-Cast	T.P.D. Toilet Paper Dispenser
		PL. Plate	T.V. Television
		P.LAM. Plastic Laminate	T.W. Top of Wall
		PLAS. Plaster	TYP. Typical
		PLYWD. Plywood	UNF. Unfinished
		PR. Pair	U.O.N. Unless Otherwise Noted
		P.T.D. Paper Towel Dispenser	UR. Urinal
		P.T.D./R. Combination Paper Towel Dispenser & Receptacle	VERT. Vertical
			VEST. Vestibule

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT OF ANY ERRORS OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2017 EDITION OF THE UNIFORM BUILDING CODE, AND ALL OTHER APPLICABLE CODES, AS ADOPTED BY 2017 CALIFORNIA BUILDING CODE AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE, ALL DIMENSIONS ARE TO FACE OF CONC. BLOCK, CENTERLINE OF COLUMNS AND BEAMS, AND FACE OF STUDS UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS ARE TO TOP OF LIGHT WEIGHT CONCRETE AND TOP OF PAVING UNLESS OTHERWISE NOTED.
- PROVIDE PEDESTRIAN PROTECTION AS REQUIRED. CONSTRUCTION WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL. PER SECT. 3306 CBC
- CONTRACTOR SHALL PROVIDE "RECORD DRAWINGS" TO THE ARCHITECT FOR OWNER'S USE.
- SPECIFIC DETAILS AND NOTES SHALL TAKE RECEDENCE OVER GENERAL NOTES AND DETAILS.
- PROVIDE ALL ACCESS PANELS AS REQUIRED. LOCATION AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF: SUBCONTRACTOR'S WORK TO INSURE COMPLIANCE OF DRAWINGS AND SPECIFICATION; THE ACCURATE LOCATION OF STRUCTURAL MEMBERS; AND OPENINGS FOR MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DOORS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALL OR SHALL BE LOCATED FIVE INCHES FROM FINISH WALL TO EDGE OF DOOR BUCK.
- EVERY EXIT DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICE SHALL BE OF AN APPROVED TYPE. FLUSH BOLTS OR SURFACE ARE PROHIBITED.
- CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 4A60BC FOR PROTECTION DURING CONSTRUCTION AND AS REQUIRED BY FIRE DEPARTMENT FILED INSPECTOR.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A10BC WITHIN (75) FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR AND REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR.
- PROVIDE AND POST A PLASTIC "EXIT" SIGN OVER LEGAL EXITS WITH LETTERS MINIMUM 6" HIGH IN CONTRASTING COLORS. PROVIDE INTERNALLY ILLUMINATED EXIT SIGNS WITH TWO CIRCUITS CONFORMING GOVERNING CODES WHEN REQUIRED.
- INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING OF 200 AND SMOKE DENSITY 450.
- ANY DECORATIONS LISTED SHALL BE NON-COMBUSTIBLE OR FLAME PROOFED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF LA PALMA FIRE DEPARTMENT.
- A SEPARATE PERMIT SHALL BE OBTAINED FOR EACH OF THE FOLLOWING: EXTERIOR SIGNS, HVAC, PLUMBING, ELECTRICAL AND KITCHEN WORK.
- GLASS DOORS, ADJACENT PANELS AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE IMPACT RESISTANT GLASS.
- ALL TOILET ROOM WALLS SHALL BE 5/8" WATER RESISTANT GYP. BOARD.
- GYPNUM BOARD SHALL EXTEND 6" ABOVE FINISHED CEILING, TYPICAL AT ALL WALLS UNLESS NOTED OTHERWISE.
- EXIT DOORWAYS SHALL BE NOT LESS THAN 36" IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT, PROJECTIONS INCLUDING PANIC HARDWARE SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH.
- THE EXIT DOORS MUST BE OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- PROVIDE ATTIC VENTILATION OF 1/150 OR ATTIC AREA IS REQUIRED. 3205(C)
- ROOF DRAIN DISCHARGING WATER MUST BE CONDUCTED UNDER SIDEWALK. 3207(C)
- ROOF COVERING SHALL BE FIRE RETARDANT. (TITLE 19. CHAP. 32 U.B.C.)
- CLOSE ALL DRIVEWAY APPROACHES NO LONGER IN USE AND INSTALL FULL-HEIGHT CURB & GUTTER.
- REMOVE AND RECONSTRUCT CURB, GUTTER AND SIDEWALK.
- AREA DRAINAGE TO THE RIGHT OF WAY DURING CONSTRUCTION SHALL BE A METHOD APPROVED BY THE LA PALMA PUBLIC WORKS DEPARTMENT.
- ANY DRAINAGE TO THE RIGHT OF WAY DURING CONSTRUCTION SHALL BE REPAIRED AS DIRECTED BY THE PUBLIC WORKS DEPARTMENT.
- PERMITS REQUIRED FROM PUBLIC WORKS DEPARTMENT FOR ANY WORK IN THE RIGHT-OF WAY.

NOTE: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2017 CALIFORNIA BUILDING (CBC), ELECTRICAL (CEC), MECHANICAL (CMC), AND PLUMBING (CPC), 2017 ENERGY (T-24, PART6), FIRE, GREEN BUILDING STANDARD, BUILDING STANDARD ADMINISTRATIVE, REFERENCE STANDARD CODE SHALL BE APPLICABLE TO THIS PROJECT.
VERIFY COMPLIANCE TO THE 2017 CBC ACCESSIBILITY.
FIRE ALARM SYSTEM REQUIRED BY 907.2.1 UNDER SEPERATE PERMIT

NOTE: FIELD VERIFY EMERGENCY LIGHTING

- VERIFY COMPLIANCE TO THE NONRESIDENTIAL CALIFORNIA GREEN CODE. PROVIDE ALL APPLICABLE MANDATORY MEASURES AND REFERENCE THROUGH PLAN MEASURES APPLY.
- ALL DEFERRED SUBMITTALS REQUIRES BUILDING OFFICIAL APPROVAL.

LA CANADA ASSISTED LIVING

OWNER:	HARRY H AHN 500 HIGHLAND DR. LA CANADA FLINTRIDGE, CA 91011	TEL: (818) 468-5132	STRUCTURAL ENGINEER:	LEE & LEE STRUCTURAL ENGINEERING INC. 3550 WILSHIRE BLVD. #480 LOS ANGELES, CA 90010	TEL: (213) 351-0034 FAX: (213) 368-0034
ARCHITECT:	A&H ARCHITECTS, INC. 2560 W. OLYMPIC BLVD. #305 LOS ANGELES, CA 90006	TEL: (213) 804-2255 (213) 820-0000	ELECTRICAL ENGINEER:		
LANDSCAPE ARCHITECT:	JMD LANDSCAPE ARCHITECTURE 330 ARDEN AVE. SUITE 130 GLENDALE, CA 91203	TEL: (323) 491-3808	MECHANICAL / PLUMBING ENGINEER:		
GEOTECHNICAL ENGINEER:	PACIFIC GEOTECH, INC. 15038 CLARK AVE, HACIENDA HEIGHTS, CA 91745	TEL: (626) 333 8507	CIVIL ENGINEER/ SURVEYOR:	JIRAYUS PUKKANASUT 15038 CLARK AVE, HACIENDA HEIGHTS, CA 91745	TEL: (714) 723 9703

BUILDING DATA

A. SCOPE OF WORK: 1. NEW CONSTRUCTION OF THREE STORY ASSISTED LIVING BUILDING (RESIDENTIAL CONGREGATE LIVING AND EXISTING MEDICAL BUILDING) APPROX. 35,000 SQ.FT. W/ SUBTERRANEAN PARKING STRUCTURE & 2. 3 LEVELES OF OPEN DECK PARKING STRUCTURE BEHIND THE EXISTING MEDICAL BUILDING.

B. PROJECT ANALYSIS:	1. JOB ADDRESS: NEW ADDRESS TO BE ASSIGNED	8. FAR:	
2. LEGAL DESCRIPTION:		9. LANDSCAPE AREA: (N) 7.2 % (895 SQ.FT.)	
3. PARCEL:	PARCEL #1: APN 5813-004-077 23,086 SQ.FT. PARCEL #2: APN 5813-004-089 41,409 SQ.FT.(PARCEL #2 & #3) PARCEL #3: APN 5813-004-090	10. ZONING: C2 - 1	
4. TOTAL LOT SIZE:	64,495 SQ.FT.	11. USE: EXISTING: MEDICAL NEW: ASSISTED LIVING	
5. GRADING:	EXCAVATION AND EXPORT - 14,106 CUBIC YARDS.	12. OCCUPANCY EXISTING: NEW: TYPE	
		13. CONSTRUCTION TYPE: EXISTING: TYPE NEW: TYPE	
		14. STORY: EXISTING: 3 STORY NEW: 3 STORY	

6. BUILDING AREA:	EXISTING MEDICAL BUILDING:	15. KITCHEN:	REQUIRED BY L.A.E.H.(ENVIRONMENTAL HEALTH) UNDER SEPARATE PERMIT
(E) 1ST FLOOR:	11,695 SQ.FT.	16. MINIMUM REQUIRED PLUMBING FIXTURES:	
(E) SECOND FLOOR:	12,143 SQ.FT.	17. SPRINKLER:	REQUIRED BY L.A.F.A. UNDER SEPARATE PERMIT EXISTING MEDICAL BUILDING : FULLY SPRINKLED NEW BUILDING(ASSISTED LIVING) : FULLY SPRINKLED
(E) THIRD FLOOR:	12,143 SQ.FT.	18. ALARM:	REQUIRED BY L.A.F.A. UNDER SEPARATE PERMIT EXISTING MEDICAL BUILDING : PROVIDED BY 907.2.1 NEW BUILDING(ASSISTED LIVING): REQUIRED BY 907.2.1
(E) TOTAL GROSS FLOOR:	35,981 SQ.FT.	19. THE FOLLOWING PLAN TYPES TO THE LIST OF DEFERRED SUBMITTALS:	UNDERGROUND SYSTEM. SERVING SPRINKLERS AND PRIVATE HYDRANTS. HOOD AND DUCT EXTINGUISHING SYSTEM.
NEW BUILDING (ASSISTED LIVING):		20. ALLOWABLE BUILDING AREA ANALYSIS:	
(N) 1ST FLOOR:	10,374 SQ.FT.		
(N) SECOND FLOOR:	12,636 SQ.FT.		
(N) THIRD FLOOR:	11,990 SQ.FT.		
(N) TOTAL GROSS FLOOR:	35,000 SQ.FT.		
NEW PARKING GARAGE:			
(N)3 LEVEL PARKING STRUCTURE @NORTH OF (E)MEDICAL BLDG.:			
PARKING AREA 'C' + 'D' + 'E' = 36,780 SQ.FT. (110 SPACES)			
(N)PARKING BASEMENT @ASSISTED LIVING:			
PARKING AREA 'B' = 19,078 SQ.FT. (32 SPACES)			
(N) TOTAL GROSS FLOOR:	55,858 SQ.FT. (142 SPACES)		
(E)PARKING @E)MEDICAL BLDG.:			
PARKING AREA 'A' = 11,834 SQ.FT. (36 SPACES)			
(N)&(E)PARKING TOTAL GROSS FLOOR: 67,692 SQ.FT. (178 SPACES)			

6. OCCUPANT(PATIENT) BED COUNTS:	
TYPE ROOM SIZE	1ST FLR. 2ND FLR. 3RD FLR. TOTAL
SINGLE	7 12 8 27
DOUBLE	4 10 12 52
TOTAL	15 32 32 79

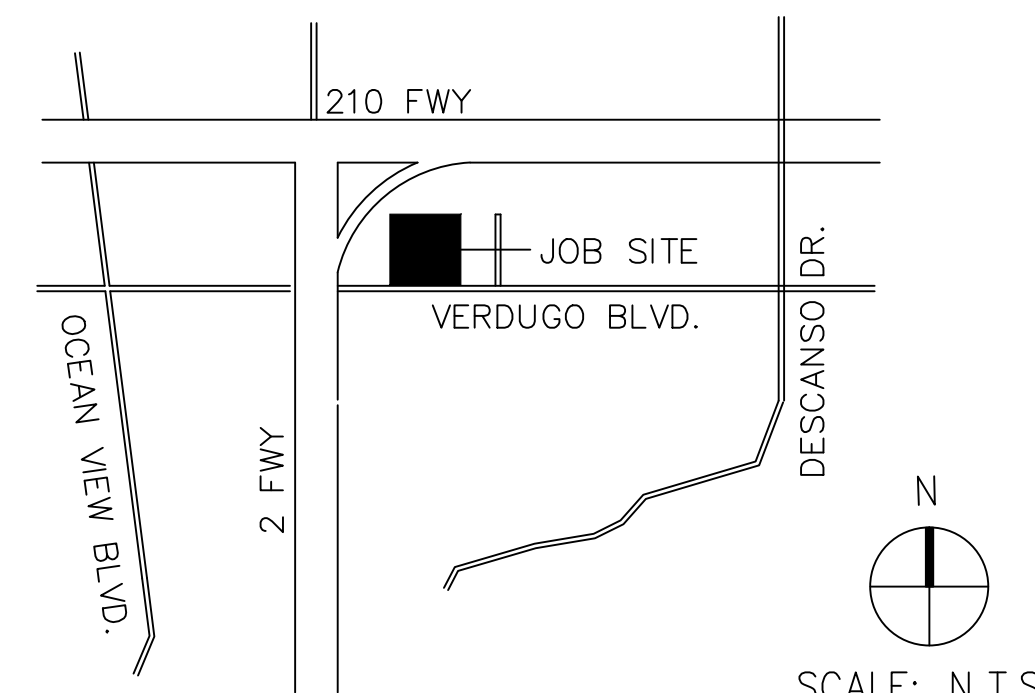
7. PARKING ANALYSIS:	
(1). REQUIRED: EXISTING MEDICAL BUILDING	NEW ASSISTED LIVING
FIRST FLOOR 11,695 SQ.FT.	FIRST FLOOR 11 RMS (15 BEDS)
SECOND FLOOR 12,143 SQ.FT.	SECOND FLOOR 23 RMS (32 BEDS)
THIRD FLOOR 12,143 SQ.FT.	THIRD FLOOR 20 RMS (32 BEDS)
TOTAL 35,981 SQ.FT.	TOTAL 54 RMS (79 BEDS)
TOTAL REQUIRED PARKING:	35,981/370.37 = 97.14 CARS
	81 BEDS/4 = 20 CARS
	118 CARS
(2). PROVIDED: 178 CARS	

LOCATION	SPACE	PARKING AREA	SHEET
PARKING AREA 'A' : EXISTING MEDICAL BUILDING	36 CARS	11,834 SQ.FT.	P-2
PARKING AREA 'B' : NEW SUBTERRANEAN PARKING STRUCTURE	32 CARS	19,078 SQ.FT.	P-1
PARKING AREA 'C' : NEW SUBTERRANEAN PARKING STRUCTURE	40 CARS	13,438 SQ.FT.	P-1
PARKING AREA 'D' : NEW LOWER LEVEL PARKING STRUCTURE	35 CARS	11,671 SQ.FT.	P-2
PARKING AREA 'E' : NEW UPPER LEVEL PARKING STRUCTURE	35 CARS	11,671 SQ.FT.	P-3
TOTAL PROVIDED PARKING:	178 CARS	67,692 SQ.FT.	

DRAWING INDEX

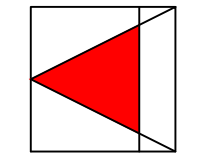
ARCHITECTURAL	CIVIL
A000 TITLE SHEET	
A001 DEVELOPMENT PLAN & PROJECT SUMMARY	
A002 TOPOGRAPHIC SURVEY AND EXISTING PARKING LAYOUT	
AS100 SITE PLAN	
A100A OVERALL BASEMENT PLAN	
A100 BASEMENT GARAGE PLAN	
A101 GROUND FLOOR PLAN	
A102 SECOND FLOOR PLAN	
A103 THIRD FLOOR PLAN	
A104 ROOF PLAN	
A105 GARAGE DECK BASEMENT PLAN	
A106 GARAGE DECK LOWER LEVEL PLAN	ELECTRICAL
A107 GARAGE DECK UPPER LEVEL PLAN	
A300 SOUTH ELEVATION	
A301 NORTH ELEVATION	
A302 EAST & WEST ELEVATION	
A303 GARAGE DECK WEST & SOUTH ELEVATIONS	
A304 GARAGE DECK DECO. CMU WALL ELEVATION AND NORTH ELEVATION	
A305 GARAGE DECK EAST ELEVATION	MECHANICAL
A400 BUILDING CROSS SECTION	
A401 BUILDING LONGITUDINAL SECTION	
A402 GARAGE DECK CROSS SECTION	
A403 WALL SECTIONS	
A404 WALL SECTIONS	
P-1 PARKING COUNT (BASEMENT LEVEL)	
P-2 PARKING COUNT (LOWER LEVEL)	
P-3 PARKING COUNT (UPPER LEVEL)	PLUMBING
R-1 RENDERING (FRONT VIEW FROM COLORADO)	
R-2 RENDERING (REAR VIEW FROM HWY)	
R-3 RENDERING (LOOKING OUTSIDE VIEW FROM 1ST FLOOR OF EXISTING MEDICAL BUILDING)	
STRUCTURE	LANDSCAPE
	FIRE SPRINKLER

VICINITY MAP



PROJECT NAME
LA CANADA ASSISTED LIVING
1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.
Architecture, Planning and Interiors
2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
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REVISIONS	
Date	Revisions indicated thus A:

Approved for the Owner by	
Approved for the Architect by	
Drawn by	
Checked by	
Date	

SHEET TITLE
TITLE SHEET
SHEET NO.
A000



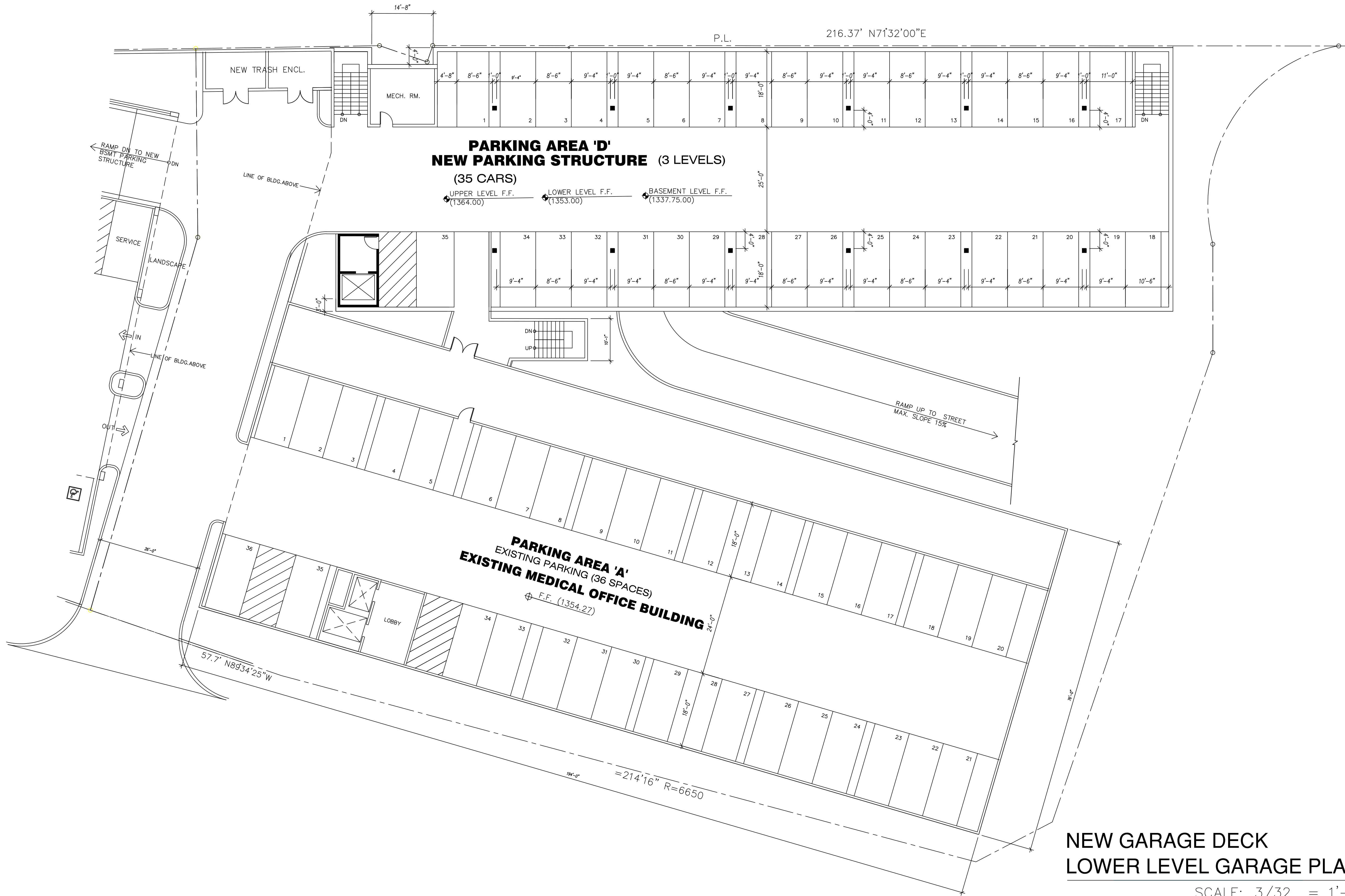
LA CANADA ASSISTED LIVING

INTERIOR ELEVATION



LA CANADA ASSISTED LIVING

VIEW FROM NORTH WEST



**NEW GARAGE DECK
 LOWER LEVEL GARAGE PLAN**

SCALE: 3/32 = 1'-0"

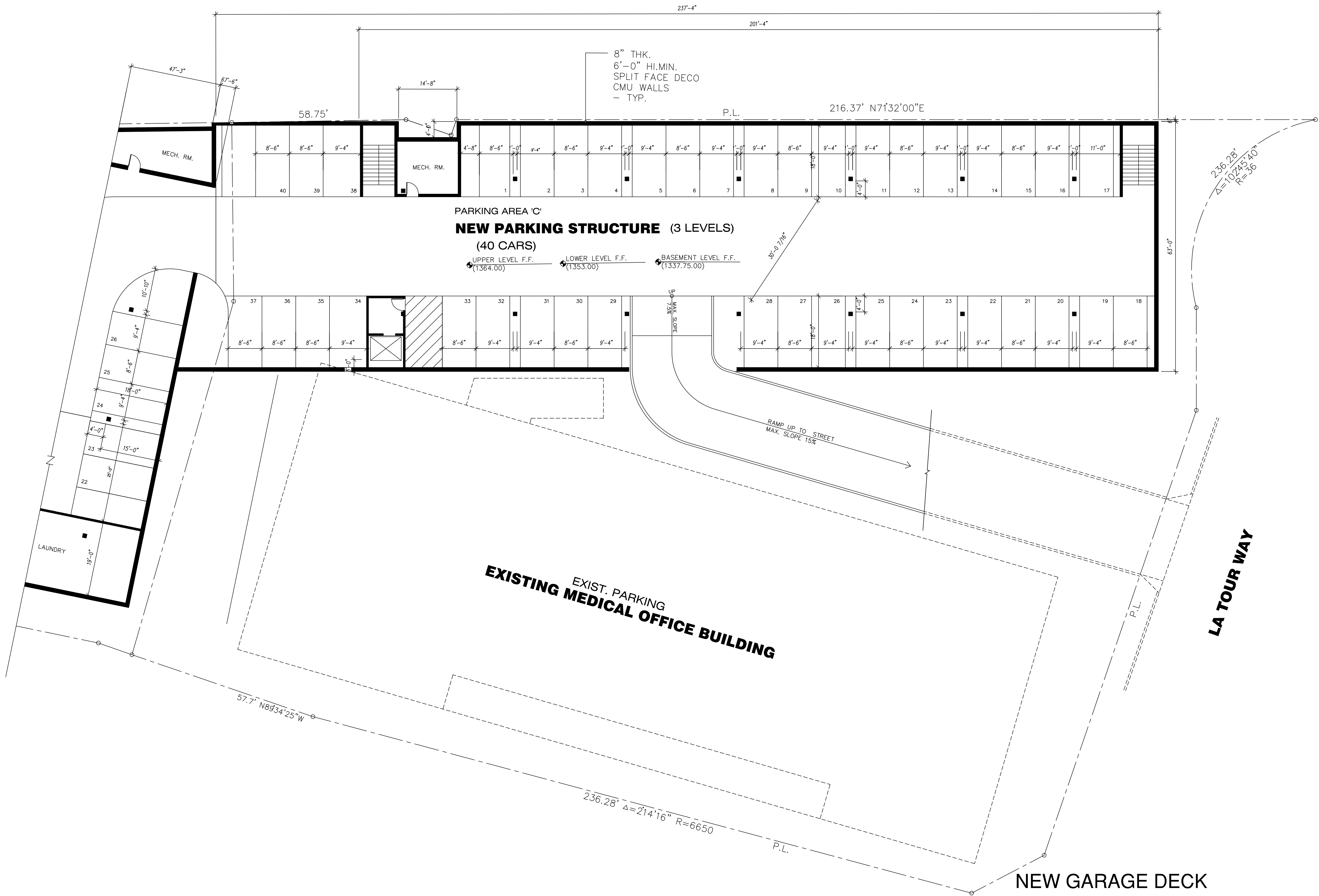
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SHEET TITLE
**LOWER LEVEL
 GARAGE PLAN**

SHEET NO.
A106



PARKING AREA 'C'
NEW PARKING STRUCTURE (3 LEVELS)
(40 CARS)
 UPPER LEVEL F.F. (1364.00) LOWER LEVEL F.F. (1353.00) BASEMENT LEVEL F.F. (1337.75.00)

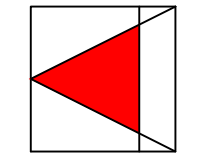
EXIST. PARKING
EXISTING MEDICAL OFFICE BUILDING

NEW GARAGE DECK
BASEMENT LEVEL GARAGE PLAN

SCALE: 3/32 = 1'-0"

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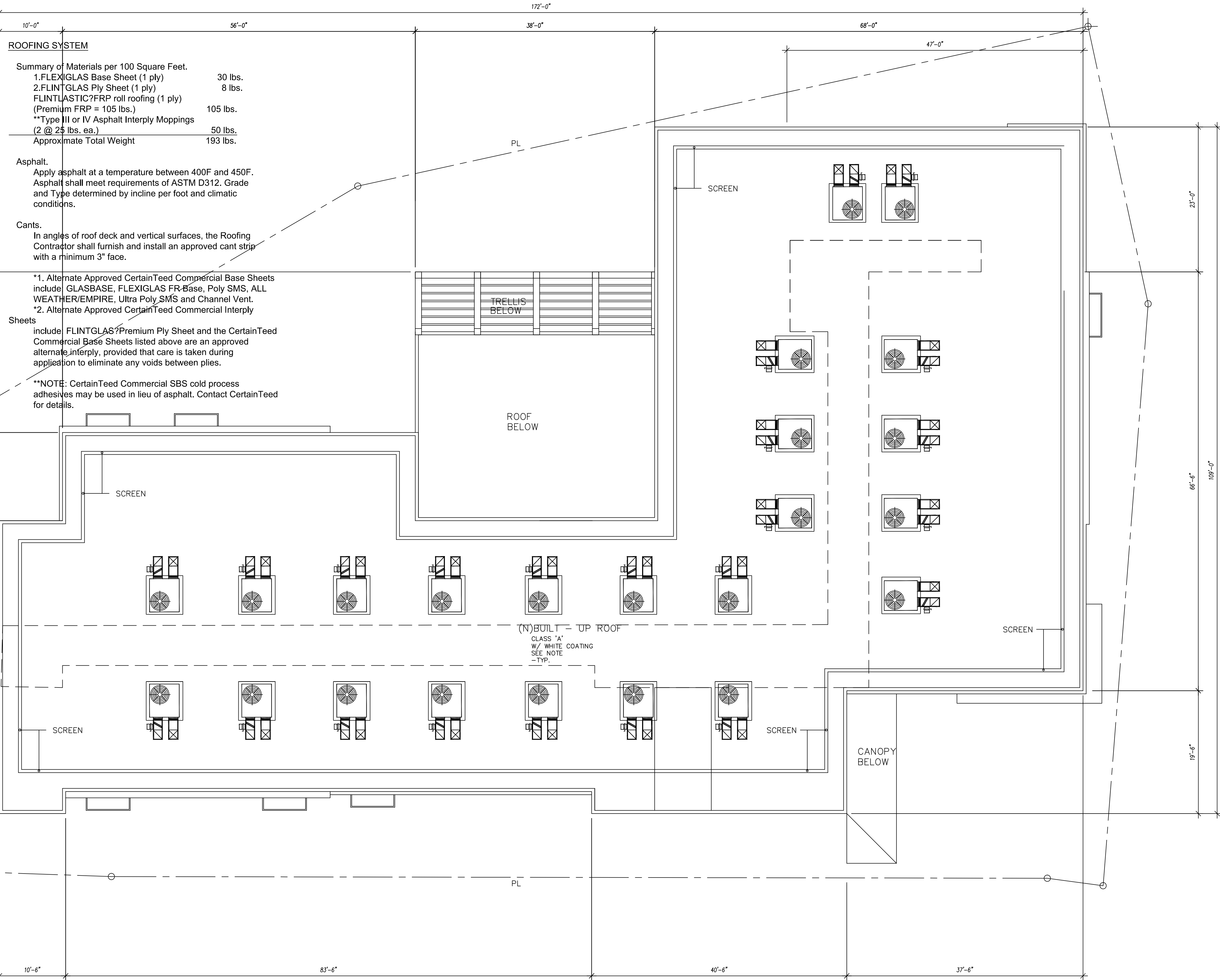
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Approved for the Architect by	Date
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Checked by	Date

SHEET TITLE
BASEMENT GARAGE PLAN

SHEET NO.
A105

ROOF PLAN GENERAL NOTES:

1. PROVIDE POSITIVE SLOPE AT ALL AREAS EXPOSED TO WEATHER.
2. COLLECT PLUMBING VENT AND MECH. EXHAUST VENTS TOGETHER IN ATTIC TO MINIMIZE ROOF PENETRATIONS.
3. CONNECT ALL ROOF DRAINAGE TO CIVIL STORM SYSTEM.
4. INSTALL ALL ROOF PENETRATIONS PER SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS.
5. VERIFY GUTTER AND DOWNSPOUT SIZES PER LOCAL RAINFALL DESIGN CRITERIA.
6. PROVIDE VENTILATION FOR ALL ATTIC AREAS. VERIFY PER LOCAL CODES.
7. PROVIDE WATER PROOF MEMBRANE AT ALL ROOF VALLEYS. VERIFY LOCAL WEATHER DESIGN CRITERIA FOR EAVE REQUIREMENTS.
8. PROVIDE DRAFT STOP ATTIC DIVISIONS AS REQUIRED BY LOCAL CODE.
9. PROVIDE ALL NECESSARY COORDINATION WORK W/ ROOF TRUSS COMPANY FOR FABRICATION, ERECTION BASED ON ROOF DESIGN.
10. ALL EXPOSED METAL THAT DOES NOT HAVE A FACTORY FINISH SHALL BE PRIMED AND PAINTED, COLORS TO BE SELECTED BY ARCHITECT.
11. 6" SEAMLESS ALUMINUM GUTTER AND GALVANIZED DOWNSPOUTS WITH DARK BRONZE FACTORY FINISH.
12. THE GENERAL CONTRACTOR WILL PROVIDE MATERIAL & LABOR FOR CONVENTIONAL FRAMED AREAS, INTERIOR BLOCKING OR BRACING, WEB BRACING AND STRAIGHT LINING ABOVE THE THIRD FLOOR DOUBLE PLATE.
13. CONTRACTOR SHALL PROVIDE ADEQUATE AND APPROPRIATE REPAIR WORK AT DAMAGED EXISTING ROOF IN SCOPE OF WORK AREA.
14. CONTRACTOR SHALL PROVIDE ADEQUATE ROOF DRAINAGE. -TYP.



ROOFING SYSTEM

Summary of Materials per 100 Square Feet.

1. FLEXIGLAS Base Sheet (1 ply)	30 lbs.
2. FLINTGLAS Ply Sheet (1 ply)	8 lbs.
FLINTLASTIC?FRP roll roofing (1 ply) (Premium FRP = 105 lbs.)	105 lbs.
**Type III or IV Asphalt Interply Moppings (2 @ 25 lbs. ea.)	50 lbs.
Approximate Total Weight	193 lbs.

Asphalt.
Apply asphalt at a temperature between 400F and 450F. Asphalt shall meet requirements of ASTM D312. Grade and Type determined by incline per foot and climatic conditions.

Cants.
In angles of roof deck and vertical surfaces, the Roofing Contractor shall furnish and install an approved cant strip with a minimum 3" face.

Sheets
*1. Alternate Approved CertainTeed Commercial Base Sheets include: GLASBASE, FLEXIGLAS FR-Base, Poly SMS, ALL WEATHER/EMPIRE, Ultra Poly SMS and Channel Vent.
*2. Alternate Approved CertainTeed Commercial Interply Sheets include: FLINTGLAS?Premium Ply Sheet and the CertainTeed Commercial Base Sheets listed above are an approved alternate interply, provided that care is taken during application to eliminate any voids between plies.

**NOTE: CertainTeed Commercial SBS cold process adhesives may be used in lieu of asphalt. Contact CertainTeed for details.

- NOTE:
1. CONTRACTOR SHALL USE OF MOISTURE RESISTANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
 2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
 3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS.(SEE MECHANICAL DWG.)
 4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPS 16 CER 1201) OR A (ANSI Z97.1)
 5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
 6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
 7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- ① DOOR #, SEE DOOR SCHED/ A500
- ② WINDOW #, SEE WINDOW SCHED/ A500
- ⊞ EXISTING SINGLE PEDESTAL WALKER
- ⊞ EXISTING DOUBLE PEDESTAL WALKER
- ⊞ EXISTING OUTLET (POWER)
- ⊞ OUTLET (POWER)
- ⊞ SWITCH - NEW
- ⊞ TELEPHONE - NEW
- ⊞ FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
- ** USE EXISTING ELECTRICAL PANEL
- NEW 3 5/8" MET. STUD @ 16" O.C. WITH TYPE 'X' GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
- NEW 1 HR WALL -TYP.
- NEW CONC. BLK WALLS
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW PARTITION
- ⊞ ILLUM. EXIT SIGN SEE ELECT. DWG.
- ⊞ EMERGENCY BATTERY PACK UNIT
- ⊞ MAX. OCC. LOAD SIGN
- ⊞ TACTILE EXIT SIGN

NEW BUILDING
ROOF PLAN

SCALE: 1/8" = 1'-0"

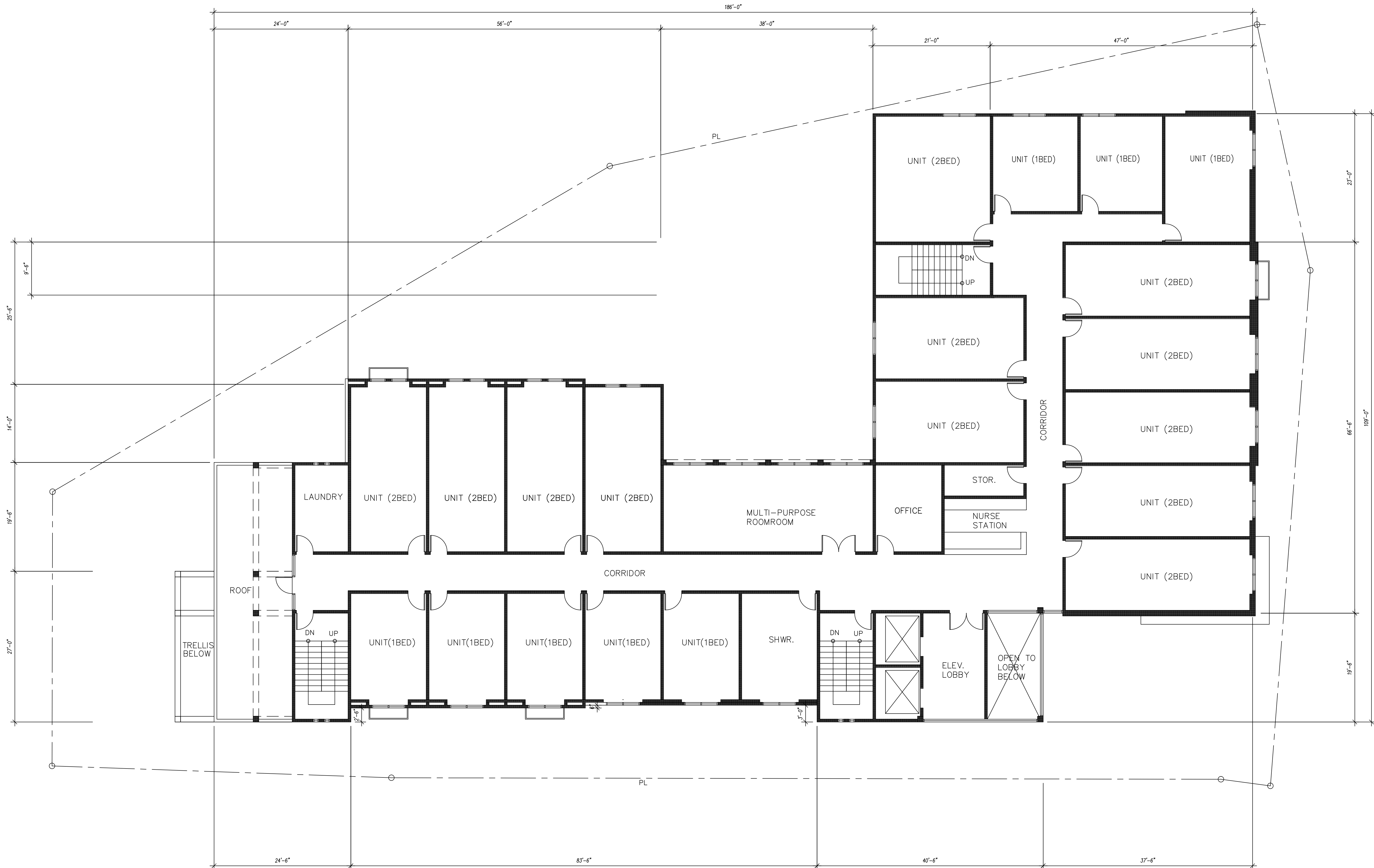
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Checked by	Date

SHEET TITLE
ROOF PLAN

SHEET NO.
A104



NOTE:
 1. CONTRACTOR SHALL USE OF MOISTURE RESISTANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
 2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
 3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS.(SEE MECHANICAL DWG.)
 4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSG 16 CER 1201) OR A (ANSI Z97.1).
 5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
 6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
 7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- ① DOOR #, SEE DOOR SCHED/ A500
- ② WINDOW #, SEE WINDOW SCHED/ A500
- EXISTING SINGLE PEDESTAL WALKER
- EXISTING DOUBLE PEDESTAL WALKER
- EXISTING OUTLET (POWER)
- OUTLET (POWER)
- SWITCH - NEW
- TELEPHONE - NEW
- FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
- ** USE EXISTING ELECTRICAL PANEL
- NEW 3 5/8" MET. STUD @ 16" O.C. WITH TYPE X GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
- NEW 1 HR WALL -TYP.
- NEW CONC. BLK WALLS
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW PARTITION
- ILLUM. EXIT SIGN SEE ELECT. DWG.
- EMERGENCY BATTERY PACK UNIT
- MAX. OCC. LOAD SIGN
- TACTILE EXIT SIGN

**NEW BUILDING
 THIRD FLOOR PLAN**

SCALE: 1/8" = 1'-0"
 11,990 SQ.FT.

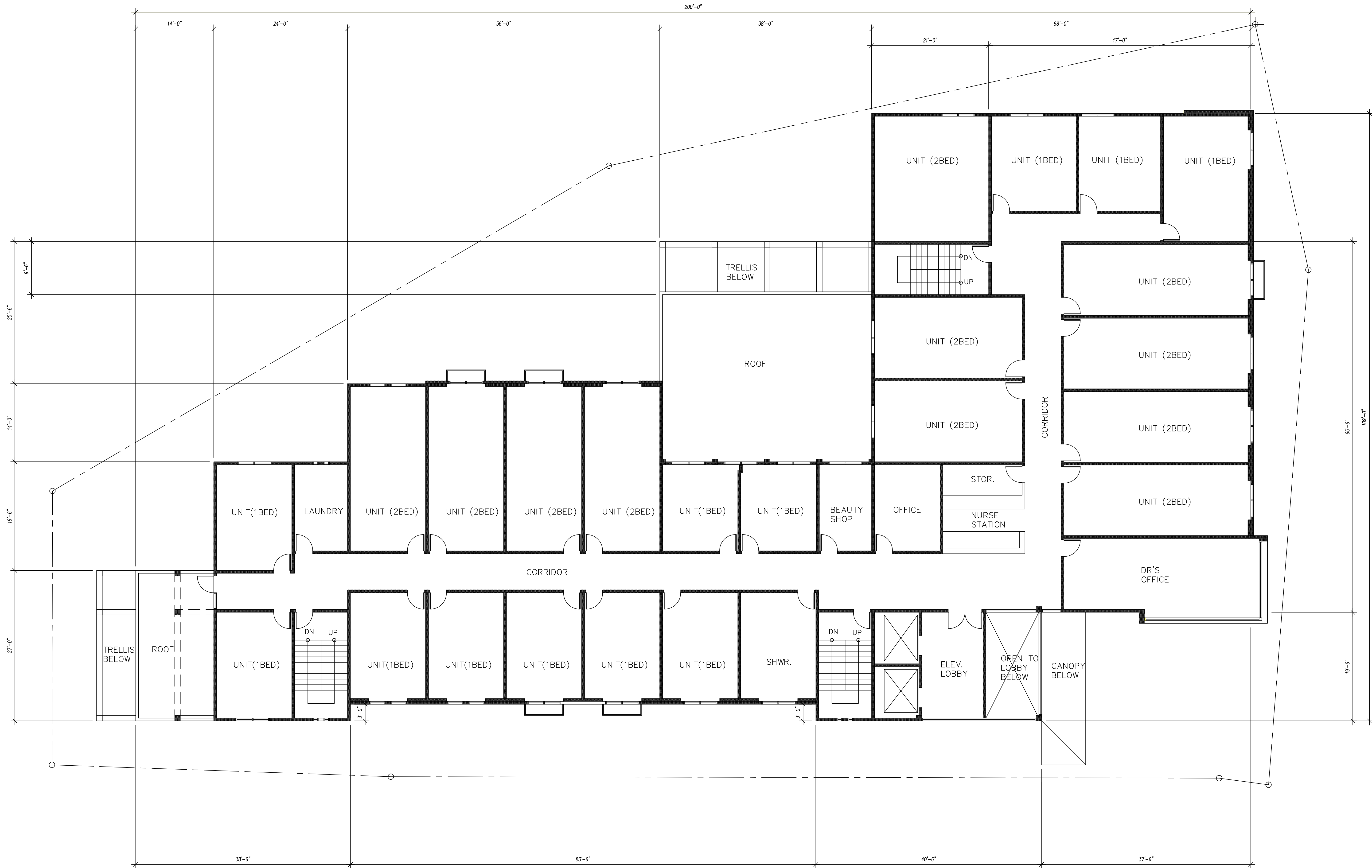
PROJECT NAME
**LA CANADA
 ASSISTED LIVING**
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

A&H ARCHITECTS, INC.
 Architecture, Planning and Interiors
 2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
 TEL. (213) 804-2255 E-MAIL: ahararchitects,inc@gmail.com

REVISIONS	
Date	Revisions indicated thus: A-

SHEET TITLE
THIRD FLOOR PLAN

SHEET NO.
A103



NOTE:
 1. CONTRACTOR SHALL USE OF MOISTURE RESISTANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
 2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
 3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS.(SEE MECHANICAL DWG.)
 4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSC 16 CFR 1201) OR A (ANSI Z97.1)
 5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
 6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 903.5.
 7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

- ① DOOR #, SEE DOOR SCHED/ A500
- ② WINDOW #, SEE WINDOW SCHED/ A500
- EXISTING SINGLE PEDESTAL WALKER
- EXISTING DOUBLE PEDESTAL WALKER
- EXISTING OUTLET (POWER)
- OUTLET (POWER)
- SWITCH - NEW
- TELEPHONE - NEW
- FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW
- ** USE EXISTING ELECTRICAL PANEL
- NEW 3 5/8" MET. STUD @ 16" O.C. WITH TYPE X GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
- NEW 1 HR WALL -TYP.
- NEW CONC. BLK WALLS
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW PARTITION
- ILLUM. EXIT SIGN SEE ELECT. DWG.
- EMERGENCY BATTERY PACK UNIT
- MAX. OCC. LOAD SIGN
- TACTILE EXIT SIGN

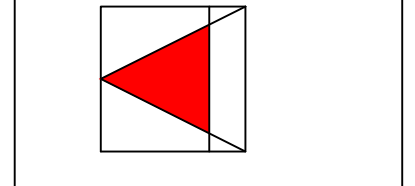
**NEW BUILDING
 SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

12,636 SQ.FT.

PROJECT NAME
**LA CANADA
 ASSISTED LIVING**
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

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 TEL. (213) 804-2255 E-MAIL: ahandr@aaharchitects.com



REVISIONS	
Date	Revisions indicated thus A:

SHEET TITLE
SECOND FLOOR PLAN

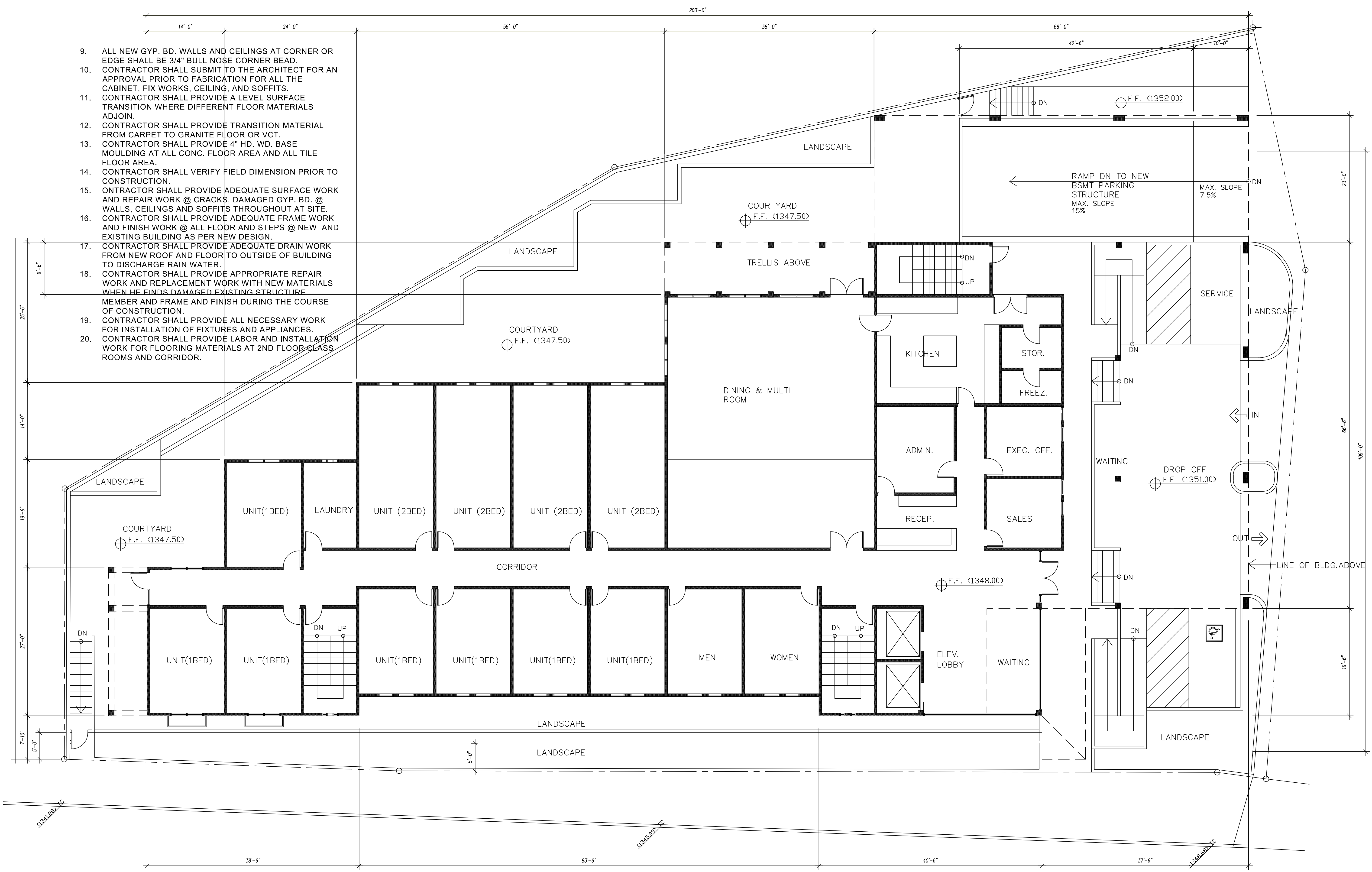
SHEET NO.
A102

REVISIONS	
Date	Revisions Indicated Thus

SHEET TITLE
GROUND FLOOR PLAN

SHEET NO.
A101

9. ALL NEW GYP. BD. WALLS AND CEILINGS AT CORNER OR EDGE SHALL BE 3/4" BULL NOSE CORNER BEAD.
10. CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR AN APPROVAL PRIOR TO FABRICATION FOR ALL THE CABINET, FIX WORKS, CEILING, AND SOFFITS.
11. CONTRACTOR SHALL PROVIDE A LEVEL SURFACE TRANSITION WHERE DIFFERENT FLOOR MATERIALS ADJOIN.
12. CONTRACTOR SHALL PROVIDE TRANSITION MATERIAL FROM CARPET TO GRANITE FLOOR OR VCT.
13. CONTRACTOR SHALL PROVIDE 4" HD. WD. BASE MOULDING AT ALL CONC. FLOOR AREA AND ALL TILE FLOOR AREA.
14. CONTRACTOR SHALL VERIFY FIELD DIMENSION PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL PROVIDE ADEQUATE SURFACE WORK AND REPAIR WORK @ CRACKS, DAMAGED GYP. BD. @ WALLS, CEILINGS AND SOFFITS THROUGHOUT AT SITE.
16. CONTRACTOR SHALL PROVIDE ADEQUATE FRAME WORK AND FINISH WORK @ ALL FLOOR AND STEPS @ NEW AND EXISTING BUILDING AS PER NEW DESIGN.
17. CONTRACTOR SHALL PROVIDE ADEQUATE DRAIN WORK FROM NEW ROOF AND FLOOR TO OUTSIDE OF BUILDING TO DISCHARGE RAIN WATER.
18. CONTRACTOR SHALL PROVIDE APPROPRIATE REPAIR WORK AND REPLACEMENT WORK WITH NEW MATERIALS WHEN HE FINDS DAMAGED EXISTING STRUCTURE MEMBER AND FRAME AND FINISH DURING THE COURSE OF CONSTRUCTION.
19. CONTRACTOR SHALL PROVIDE ALL NECESSARY WORK FOR INSTALLATION OF FIXTURES AND APPLIANCES.
20. CONTRACTOR SHALL PROVIDE LABOR AND INSTALLATION WORK FOR FLOORING MATERIALS AT 2ND FLOOR CLASS ROOMS AND CORRIDOR.

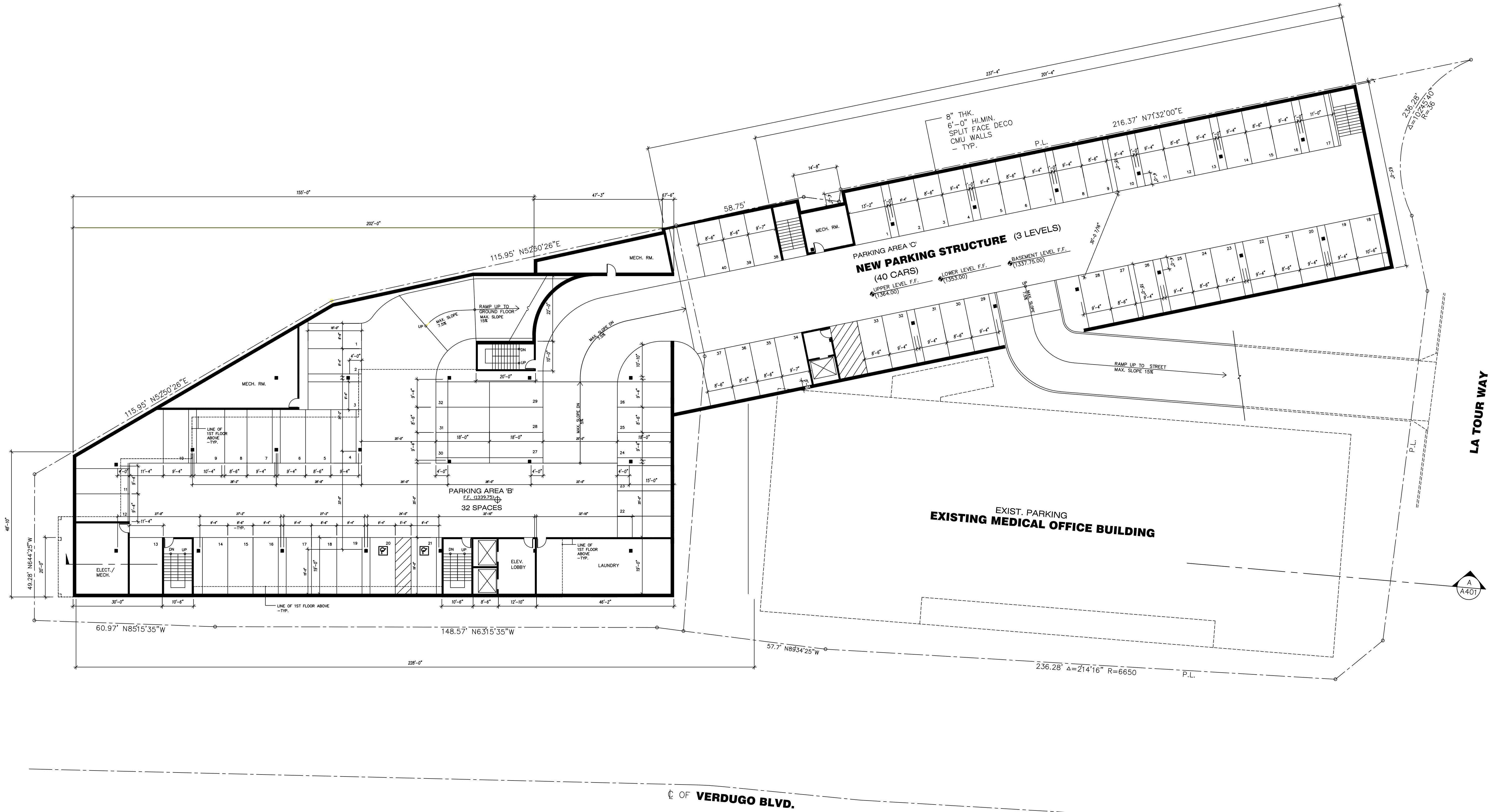


NOTE:
 1. CONTRACTOR SHALL USE OF MOISTURE RESISTANT GYPSUM BOARD BACKING IN THE RESTROOM. -TYP.
 2. BEARING WALL AND SHEAR WALLS SHALL BE FIELD VERIFY IS REQUIRED.
 3. CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION TO ALL RESTROOMS, (SEE MECHANICAL DWG.)
 4. GLAZING OVER 9 SQ.FT. IN AREA WITH BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR SHALL HAVE A MINIMUM CATEGORY CLASSIFICATION OF II (CPSG 16 CER 1201) OR A (ANSI 237.1).
 5. WHERE THE MAIN EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS WHERE THERE IS A READILY VISIBLE DURABLE SIGN STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED".
 6. THE FRAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLES 803.9.
 7. COMPLY WITH CAL GREEN SECTION 301.3 & CHAPTER 5 NON RESIDENTIAL MANDATORY MEASURES REQUIREMENTS (SEE DWG. AN400)

LEGEND

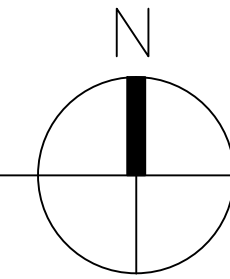
① DOOR #, SEE DOOR SCHED/ A500	NEW 3 5/8" MET. STUD @ 16" O.C. WITH TYPE X GYP. BD. BOTH SIDES-TYP. SEE TYP. DETAIL
② WINDOW #, SEE WINDOW SCHED/ A500	NEW 1 HR. WALL -TYP.
⊠ EXISTING SINGLE PEDESTAL WALKER	NEW CONC. BLK WALLS
⊡ EXISTING DOUBLE PEDESTAL WALKER	EXISTING WALLS AND PARTITIONS TO BE REMOVED
⊙ EXISTING OUTLET (POWER)	NEW PARTITION
⊕ OUTLET (POWER)	ILLUM. EXIT SIGN SEE ELECT. DWG.
⊥ SWITCH - NEW	EMERGENCY BATTERY PACK UNIT
⊗ TELEPHONE - NEW	MAX. OCC. LOAD SIGN
⊙ FLOOR OUTLET (POWER) TELEPHONE AND COMPUTER - NEW	TACTILE EXIT SIGN
** USE EXISTING ELECTRICAL PANEL	

**NEW BUILDING
 GROUND FLOOR PLAN**
 SCALE: 1/8" = 1'-0"
 10,374 SQ.FT.



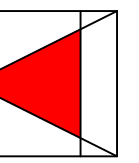
OVERALL BASEMENT PARKING PLAN

SCALE: 1/16" = 1'-0"



PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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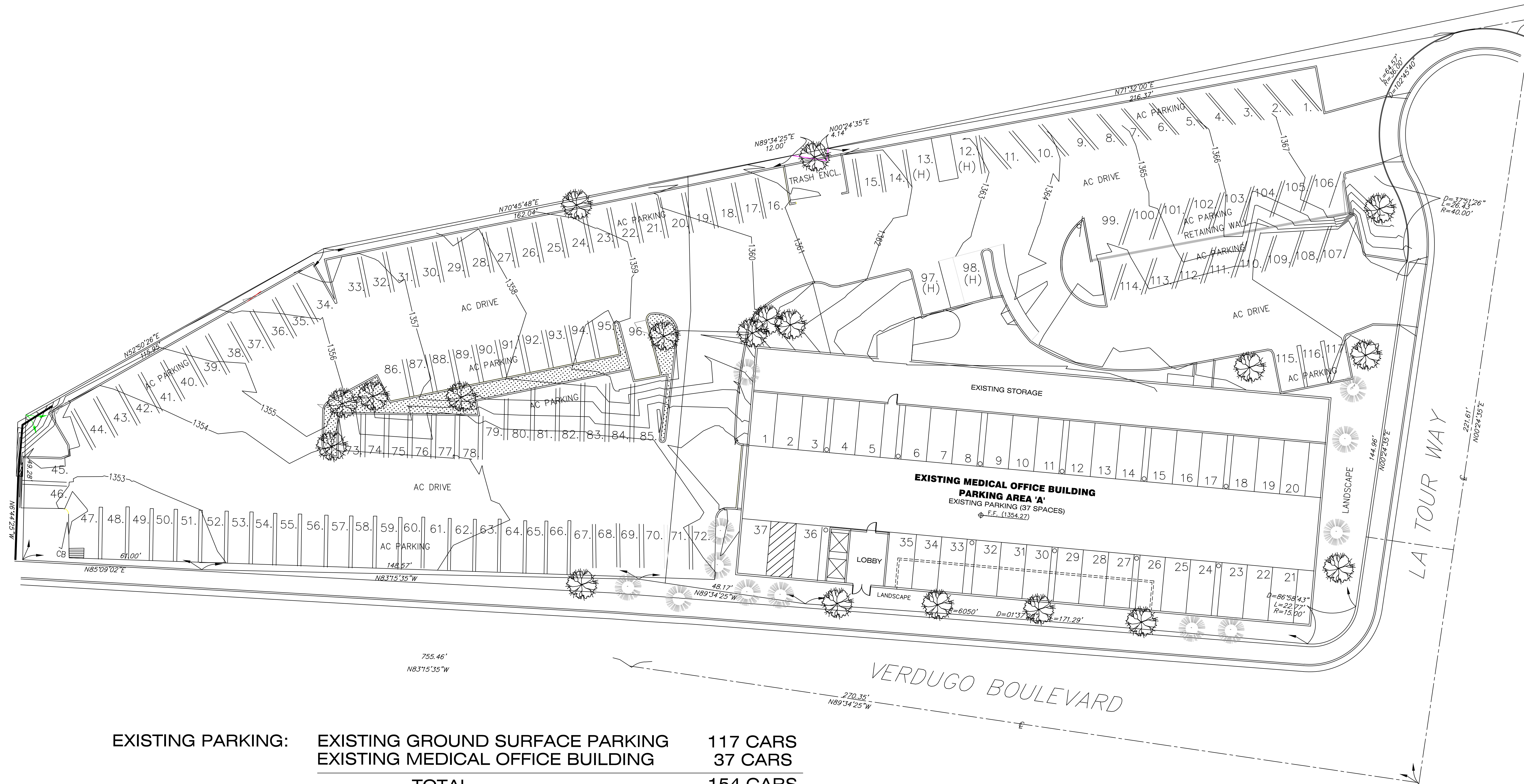


REVISIONS	
Date	Revisions indicated thus A:

SHEET TITLE
OVERALL BASEMENT PARKING PLAN

SHEET NO.

A100A

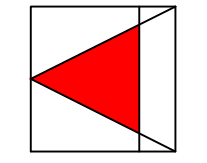


EXISTING PARKING:	EXISTING GROUND SURFACE PARKING	117 CARS
	EXISTING MEDICAL OFFICE BUILDING	37 CARS
	TOTAL	154 CARS

EXHIBIT B1 TOPOGRAPHIC & EXISTING PARKING SURVEY

PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

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REVISIONS	
Revisions indicated thus A:	
Approved for the Owner by	Date
Approved for the Architect by	Date
Drawn by	Date
Checked by	Date

SHEET TITLE
PARKING SURVEY

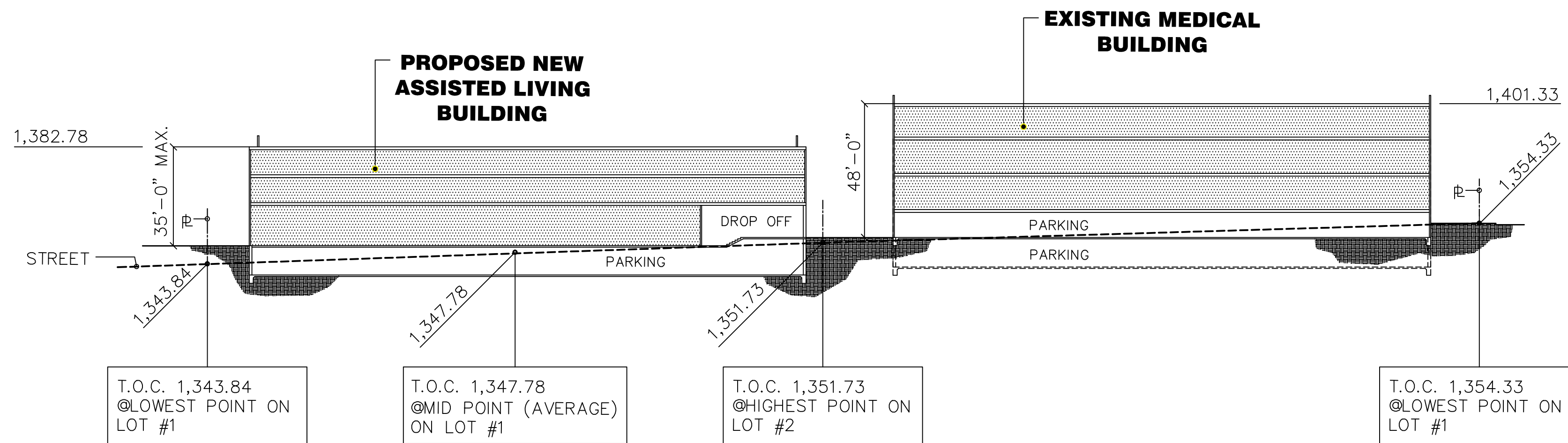
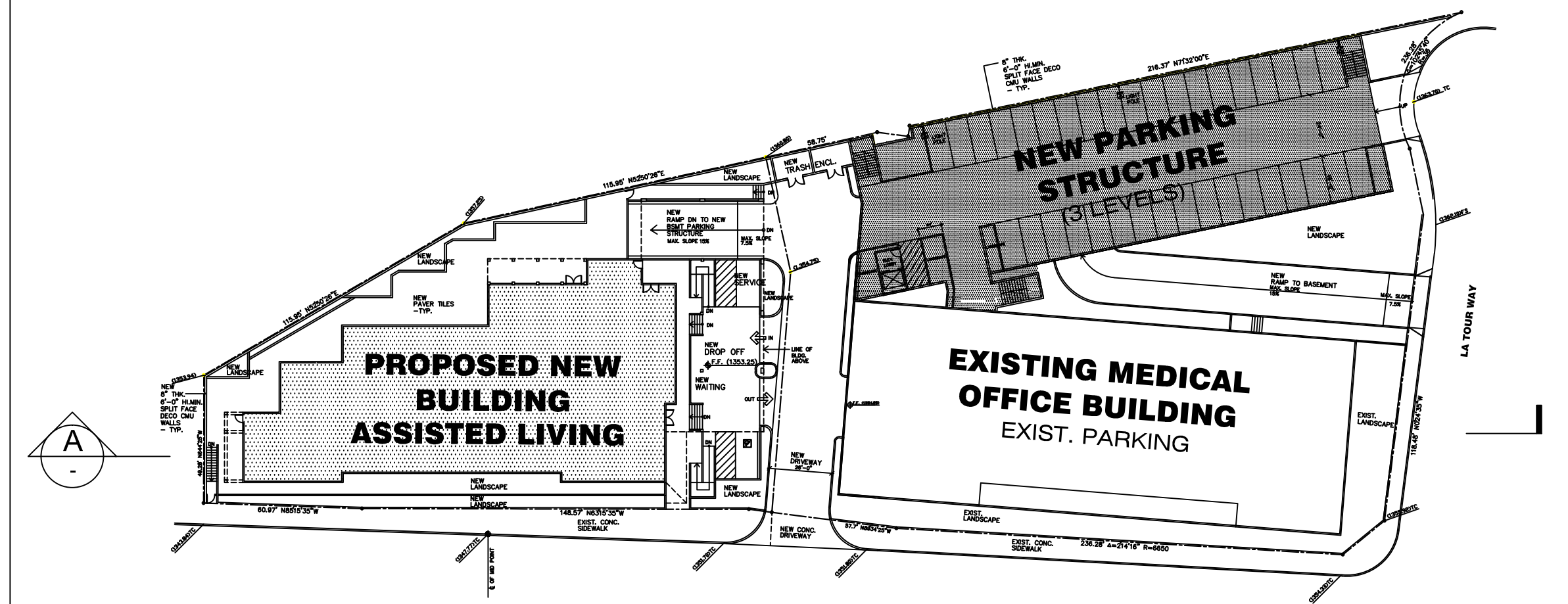
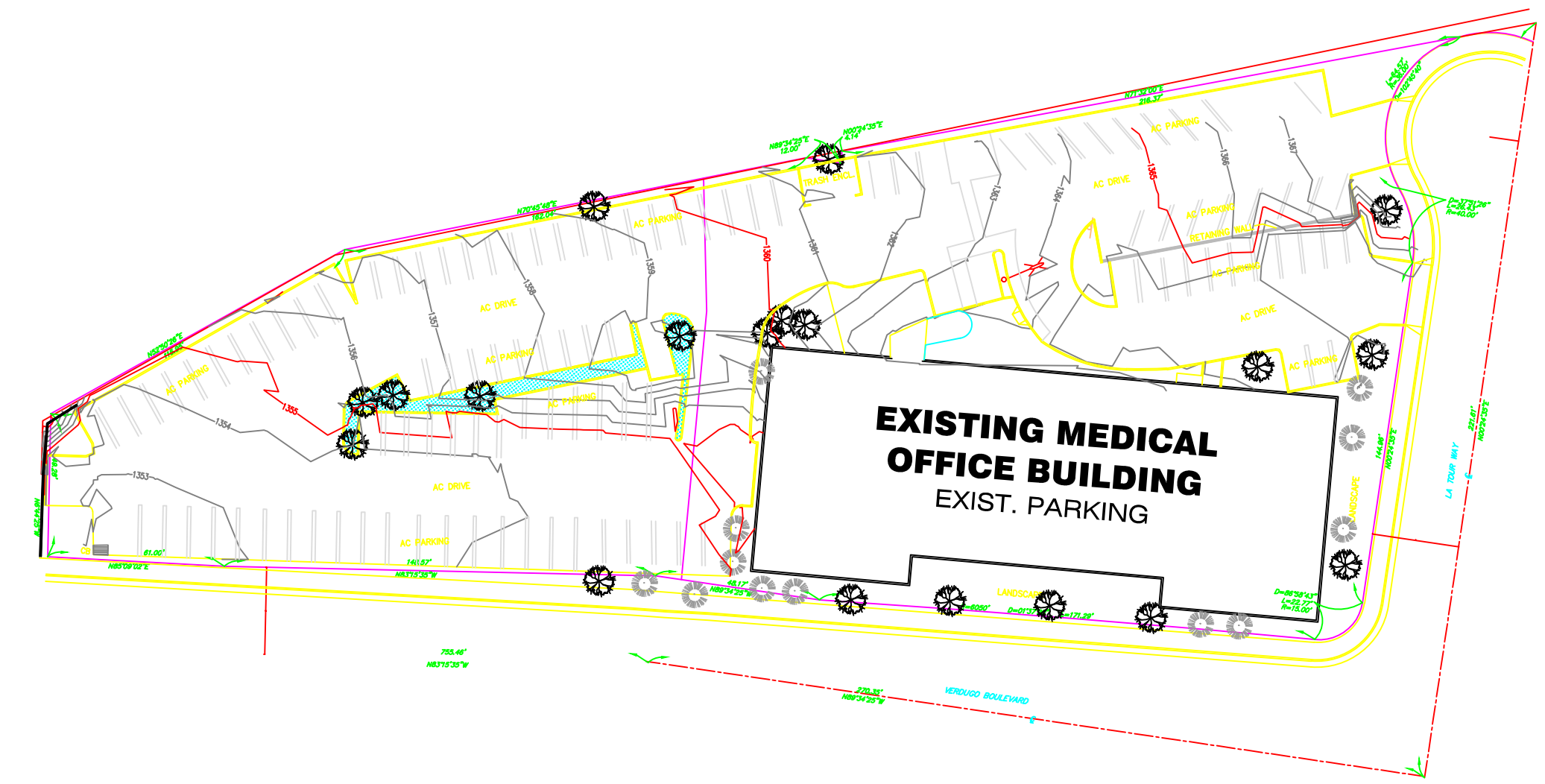
SHEET NO.
A002

OCCUPANT

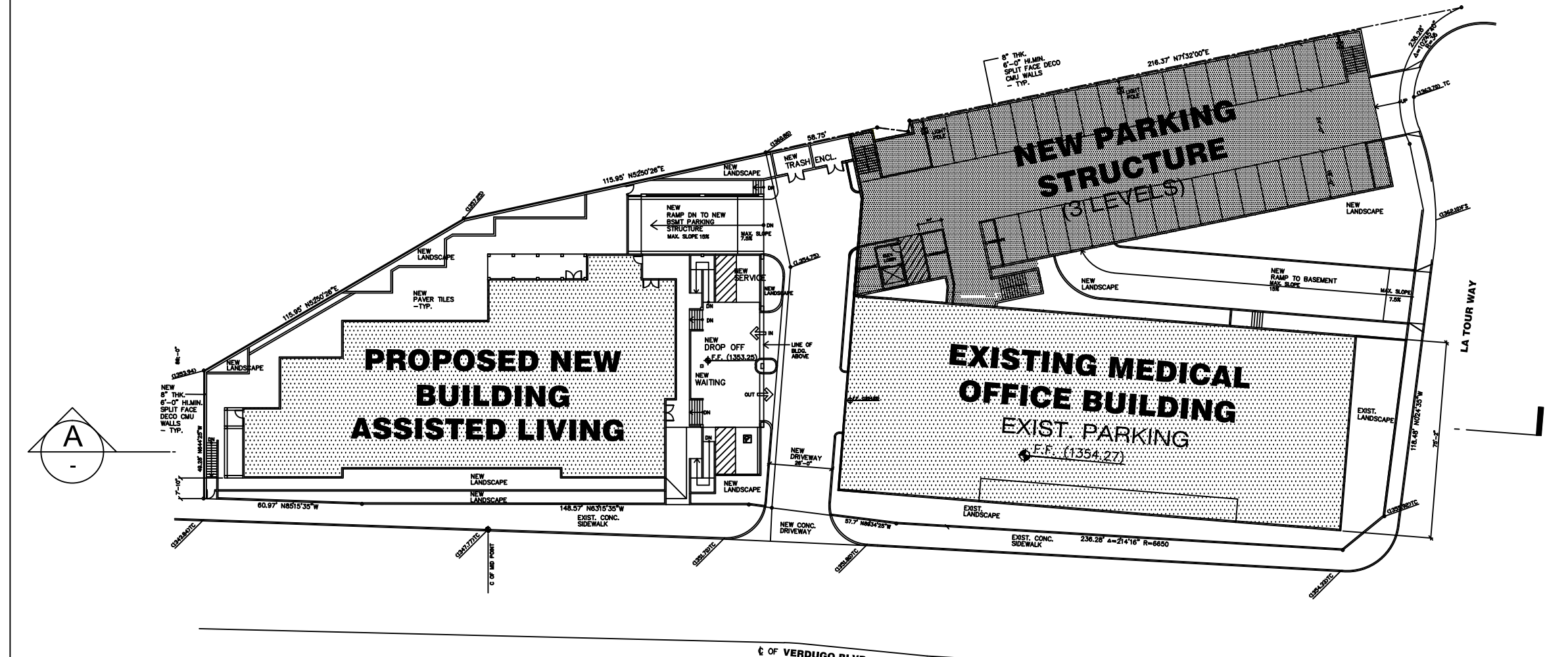
FLOOR	SINGLE	DOUBLE	TOTAL BED
1	7	4	15
2	12	10	32
3	8	12	32
TOTAL	27X1=27	26X2=52	79

PROJECT SUMMARY

- NEW 3 STORY 35,000 S.F. RESIDENTIAL CONGREGATIONAL LIVING: NEW CONSTRUCTION OF 52 ROOM (27 SINGLES PLUS 26 DOUBLES) FOR 79 BEDS "ASSISTED LIVING" FACILITY FOR SENIOR RESIDENTIAL LIVING WITH SKILLED NURSING SERVICE.
- REMOVE EXISTING SURFACE PARKING LOT AND PROVIDE NEW PARKING STRUCTURES:
 - CONSTRUCT ONE LEVEL SUBTERRANEAN PARKING GARAGE BELOW THE NEW PROPOSED ASSISTED LIVING FACILITY (APPROX. 19,078 S.F.)
 - CONSTRUCT TWO LEVEL PARKING STRUCTURE ON EXISTING LOT BEHIND THE EXISTING MEDICAL BUILDING.(APPROX. 36,780 S.F. FOR 3 LEVELS)
- EXISTING PARKING GARAGE BELOW THE MEDICAL BUILDING WILL STAY THE SAME. (36 SPACES, 11,834 SQ.FT.)
- NEW DRIVEWAY WILL BE CONSTRUCTED ENTERING AND EXISTING FROM VERDUGO BLVD.: THE NEW PROPOSED TWO WAY DRIVEWAY WILL BE IN THE MIDPOINT OF THE ENTIRE COMPLEX ALONG VERDUGO BLVD AND WILL BE LOCATED BETWEEN THE EXISTING MEDICAL BUILDING AND NEW PROPOSED ASSISTED LIVING PROJECT.
- LAND: LOT #1 AND LOT #2 TRACT 37160
 - LOT #1 - 41,409 S.F, (APN 5813-004-089 AND 5813-004-090)
 - LOT #2 - 23,086 S.F. (APN 5813-004-077)
- LOCATION: THE ENTIRE COMPLEX IS BOUNDED BY VERDUGO BLVD. ON THE SOUTH, LA TOUR WAY ON THE EAST AND GLENDALE FREEWAY RAMP ON THE NORTH.
- HEIGHT OF THE NEW BUILDING: 35 FEET
THE NEW BUILDING WILL BE LOCATED ON THE LOT #2, THE VACANT PARKING LOT.
THE HIGHEST TOP OF CURB ELEVATION ALONG VERDUGO BLVD. ON LOT #1 IS 1,351.73. AND THE LOWEST TOP OF CURB ELEVATION ON VERDUGO BLVD. ON LOT #1 IS 1,343.84 AND THEREFORE THE MID POINT TOP OF CURB ELEVATION ON VERDUGO BLVD. IS 1,347.78 AND THEREFORE THE TOP OF THE ROOF OF THE NEW BUILDING SHOULD BE LOWER THAN 1,382.78
- AMOUNT OF GRADING: APPROX. 14,106 CUBIC YARD.

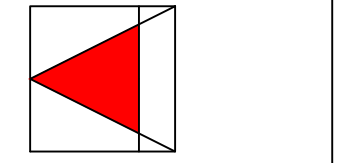


BLDG. SECTION A N.T.S.



PROJECT NAME
LA CANADA ASSISTED LIVING
1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.
Architecture, Planning and Interiors
2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
TEL. (213) 804-2255 E-MAIL: aharhitects.inc@gmail.com



REVISIONS

Revisions indicated thus: A.

Date	By

Approved for the Owner by _____
Approved for the Architect by _____
Drawn by _____
Checked by _____

SHEET TITLE
DEVELOPMENT PLAN

SHEET NO.
A001



- A CASCADE METAL PANEL
- B CASCADE METAL PANEL
- C CASCADE METAL PANEL
- D TEMP. GL. GUARD RAIL
- E EXTERIOR STUCCO SMOOTH FINISH
- F STOREFRONT PANEL AND WINDOW SYSTEM
- G EXTERIOR STUCCO VERY FINE FINISH WITH PREMIUM COLOR
- H METAL WRAP CANOPY

PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

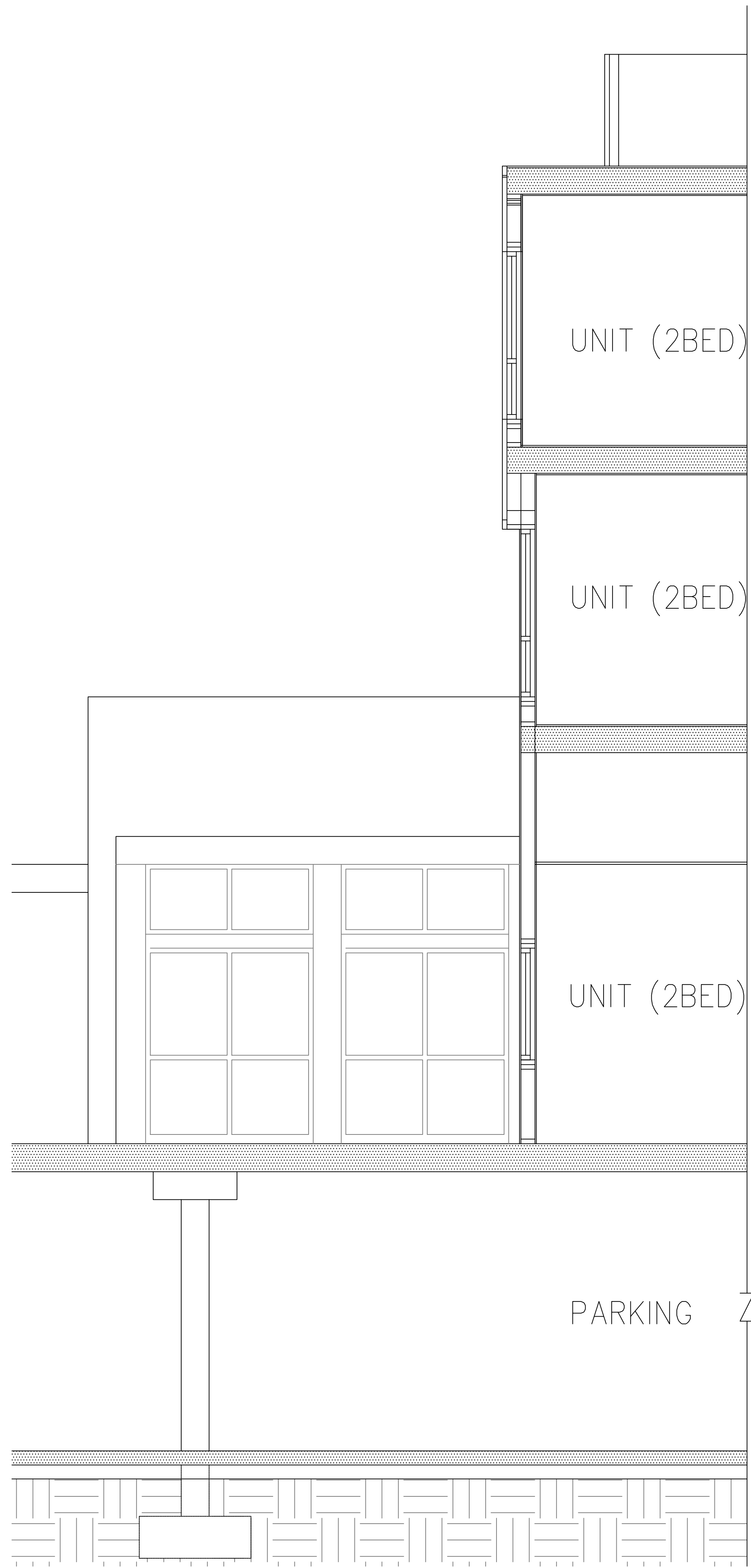
A&H ARCHITECTS, INC.
 Architecture, Planning and Interiors
 2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
 TEL. (213) 804-2255 E-MAIL: aarchitects,inc@gmail.com

REVISIONS	
Date	Revisions Indicated Thus A:

APPROVED FOR THE OWNER BY: _____
 APPROVED FOR THE ARCHITECT BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____

SHEET TITLE
 SOUTH ELEVATION
 SHEET NO.
A300

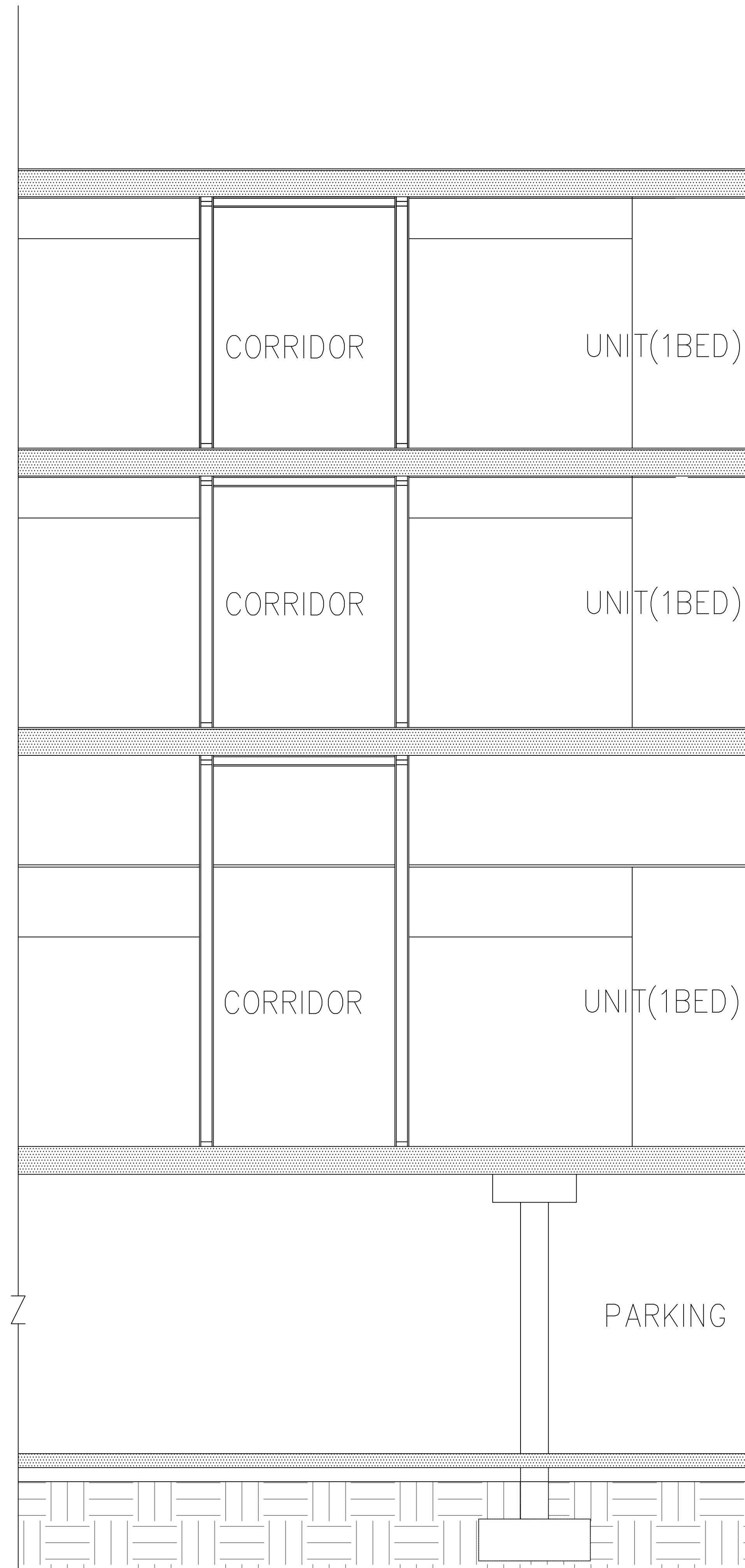
SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



WALL SECTION

SCALE : 3/8" = 1'-0"

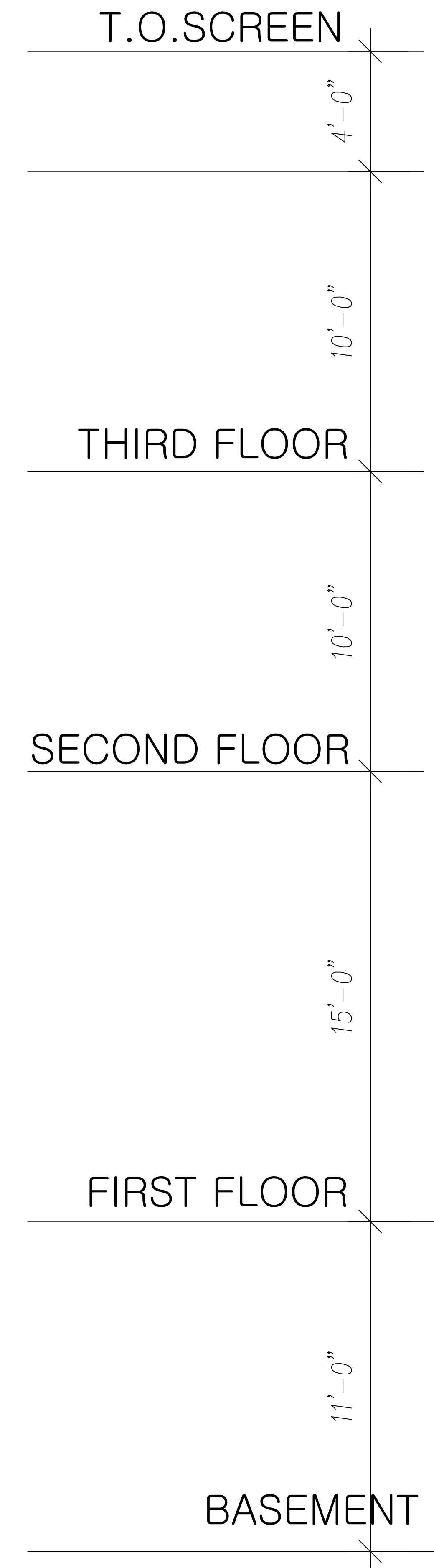
B



WALL SECTION

SCALE : 3/8" = 1'-0"

A



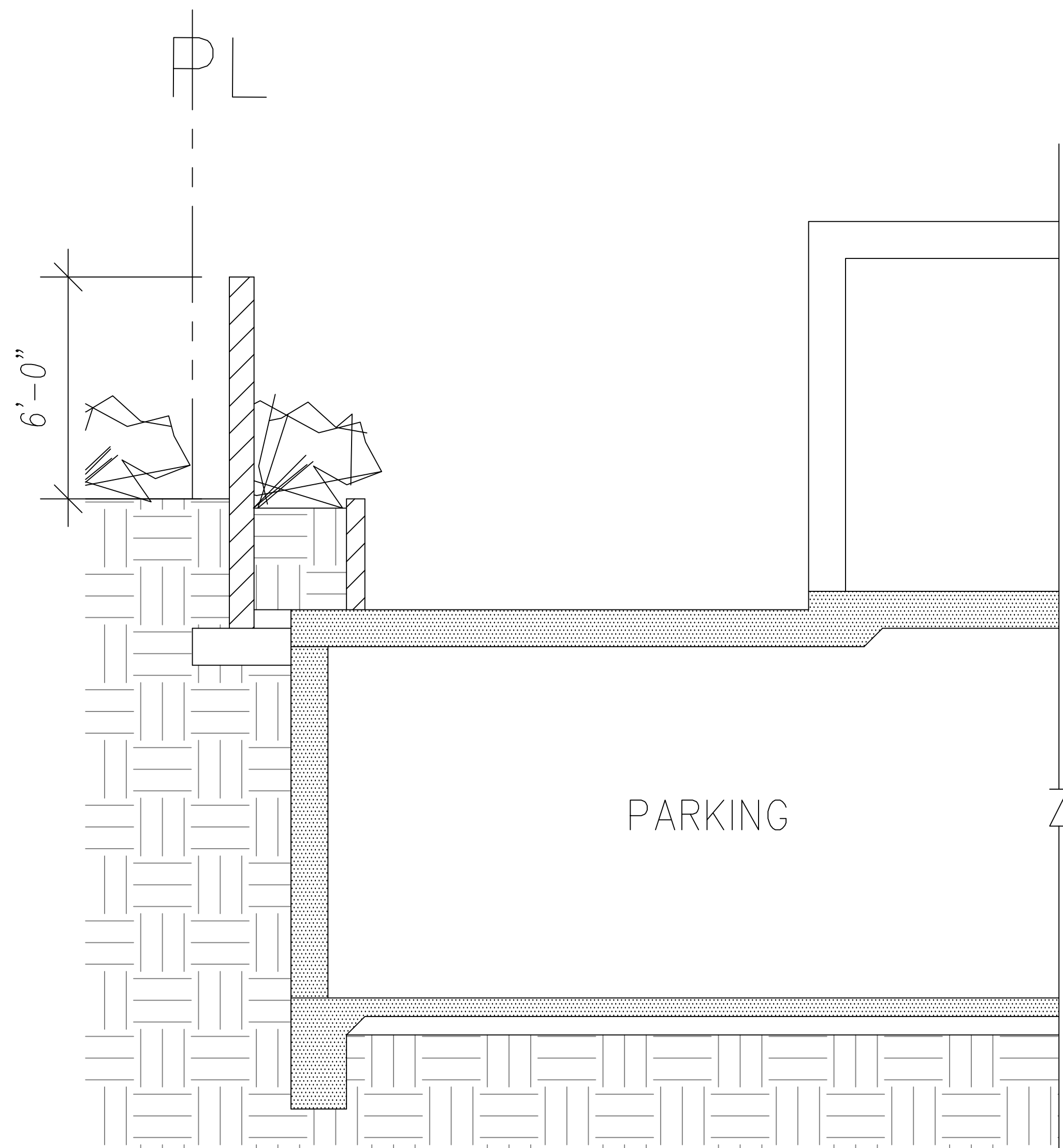
PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

A&H ARCHITECTS, INC.
 Architecture, Planning and Interiors
 2560 W. OLYMPIC BLVD., SUITE 505, LOS ANGELES, CALIF. 90006
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REVISIONS	
Revisions indicated thus A:	
Approved by the Owner by	Date
Approved by the Architect by	
Drawn by	
Checked by	
	Date

SHEET TITLE
WALL SECTIONS

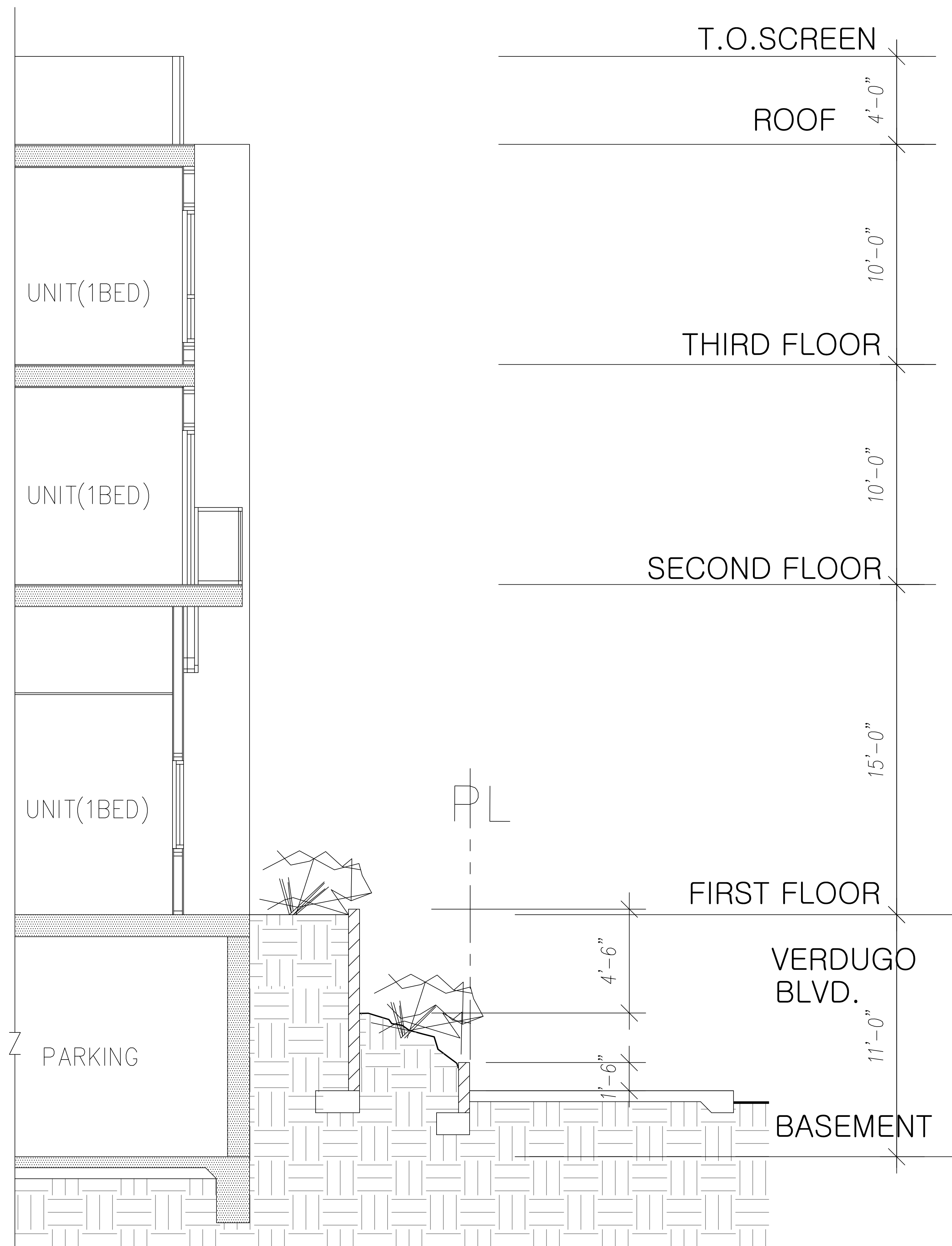
SHEET NO.
A404



WALL SECTION

SCALE : 3/8" = 1'-0"

B



WALL SECTION

SCALE : 3/8" = 1'-0"

A

SHEET TITLE

WALL SECTIONS

SHEET NO.

A403

REVISIONS

Revisions indicated thus A:

Date

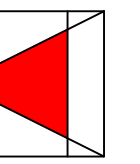
Approved for the Owner by

Approved for the Architect by

Drawn by

Checked by

Date



A&H ARCHITECTS, INC.
 Architecture, Planning and Interiors

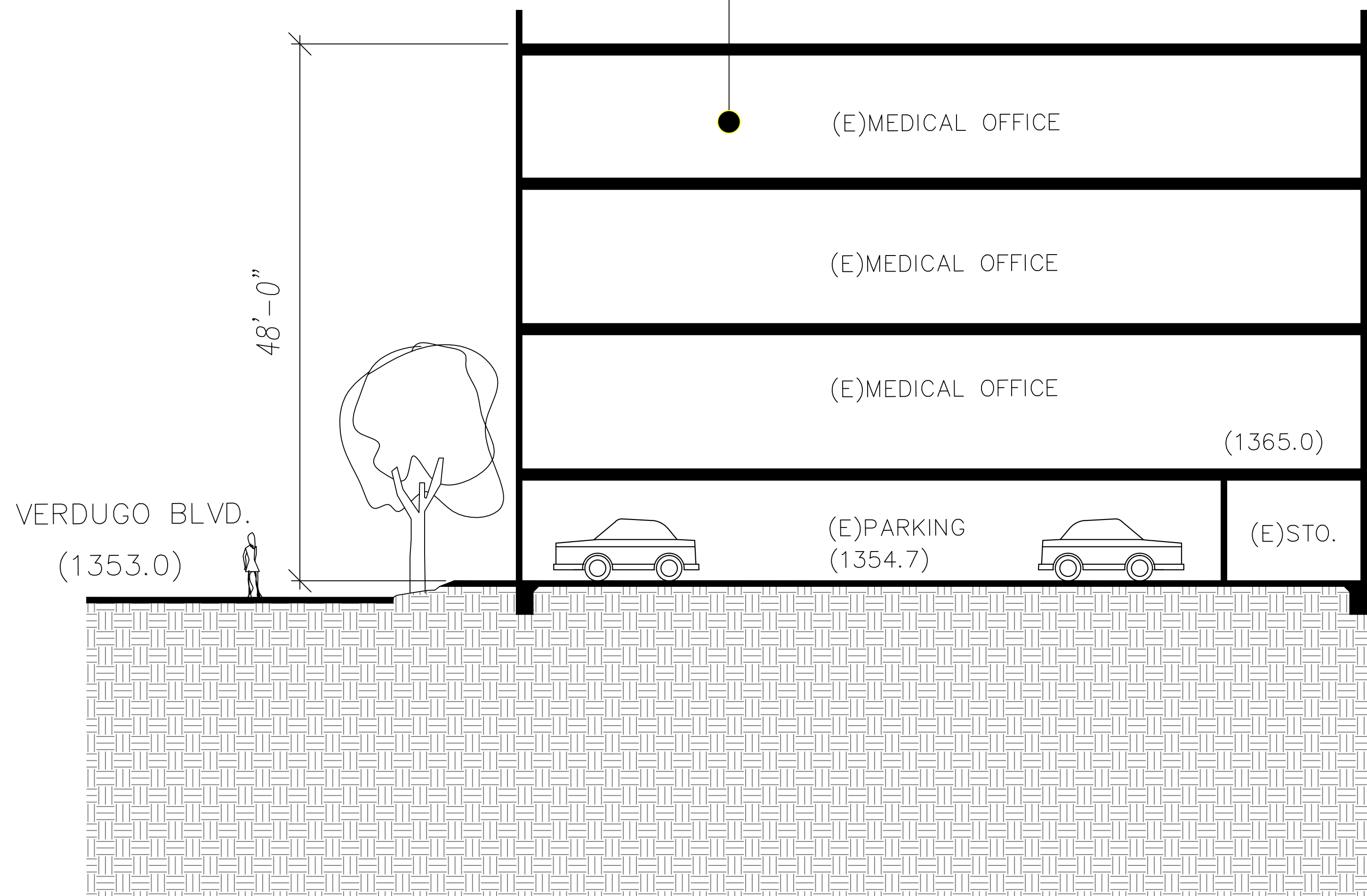
2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
 TEL. (213) 804-2255 E-MAIL: aarchitects.inc@gmail.com

PROJECT NAME

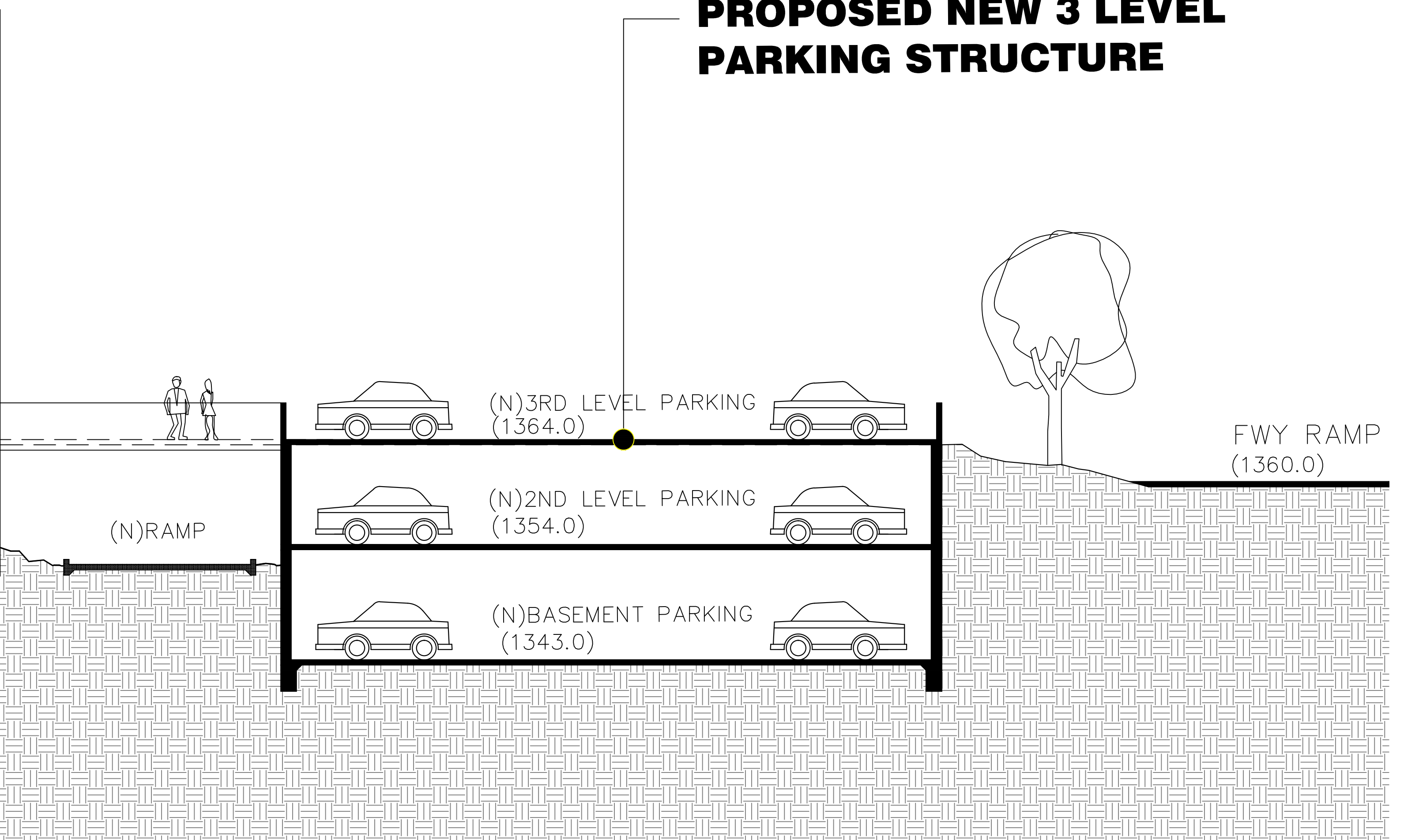
LA CANADA ASSISTED LIVING

1809 VERDUGO BLVD.
 GLENDALE, CA 91208

EXISTING MEDICAL BUILDING



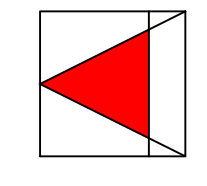
PROPOSED NEW 3 LEVEL PARKING STRUCTURE



CROSS SECTION
N.T.S. B

PROJECT NAME
LA CANADA ASSISTED LIVING
1809 VERDUGO BLVD.
GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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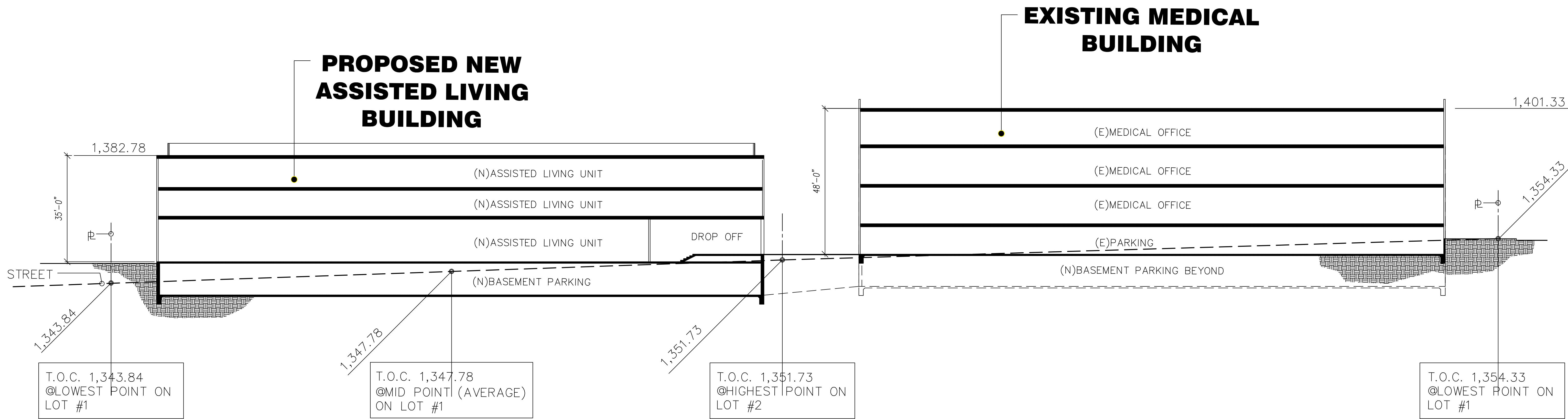


REVISIONS	
Date	Revisions Indicated Thus A:

Approved for the Owner by
Approved for the Architect by
Drawn by
Checked by
Date

SHEET TITLE
BUILDING SECTION

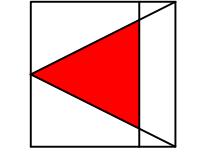
SHEET NO.
A402



LONGITUDINAL SECTION
 SCALE: 1/8" = 1'-0" **A**

PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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 2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
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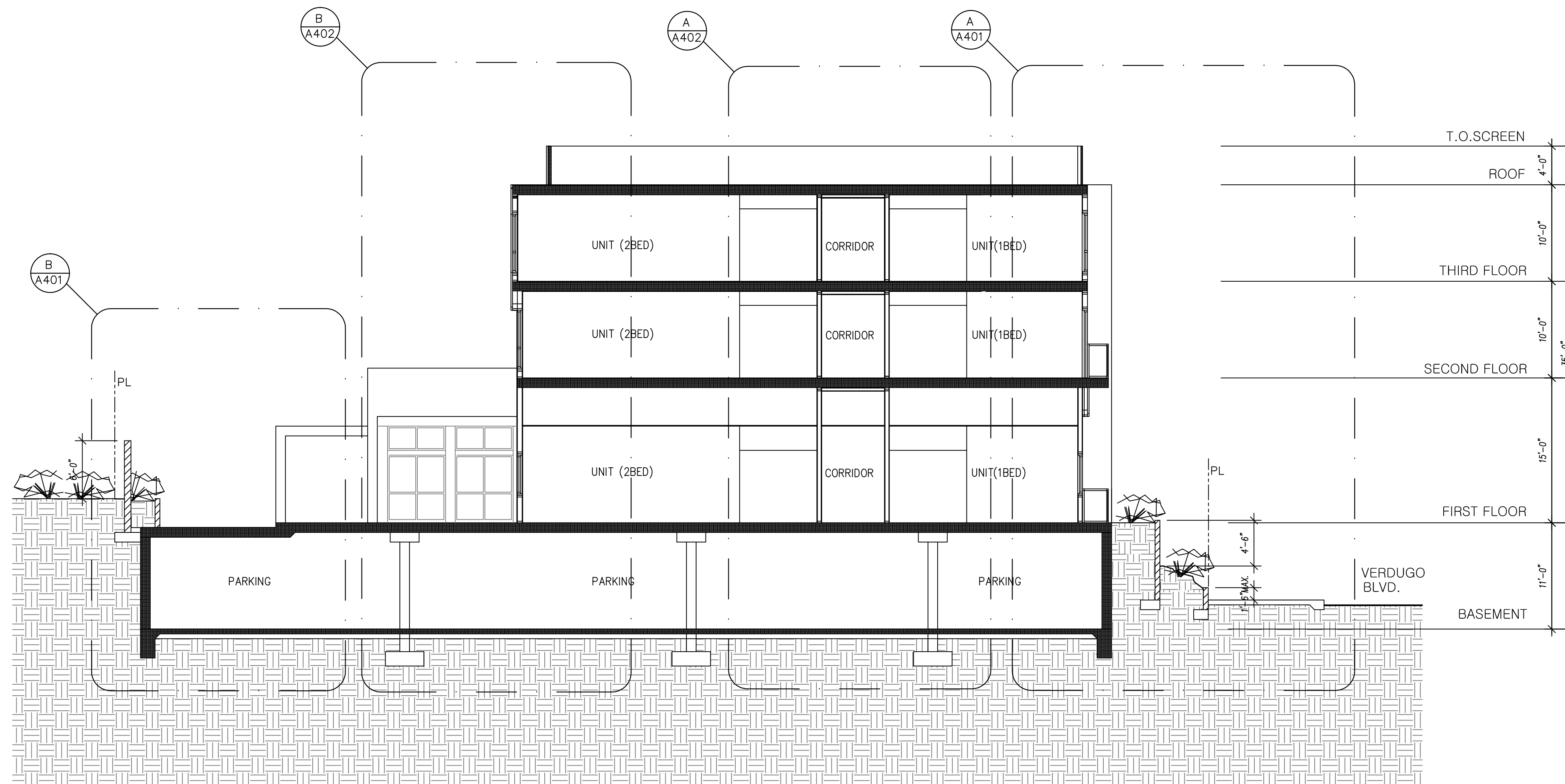
REVISIONS

Revisions indicated thus: A-

Revisions indicated thus: A-	Date
Approved for me Owner by	Date
Approved for me Architect by	Date
Drawn by	Date
Checked by	Date

SHEET TITLE
 LONGITUDINAL SECTION

SHEET NO.
A401



CROSS SECTION

SCALE: 1/8" = 1'-0"

A

SHEET TITLE

BUILDING SECTION

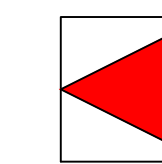
SHEET NO.

A400

REVISIONS

Revisions indicated thus: A-

Approved for the Owner by	Date
Approved for the Architect by <td> </td>	
Drawn by <td> </td>	
Checked by <td> </td>	
Date <td> </td>	



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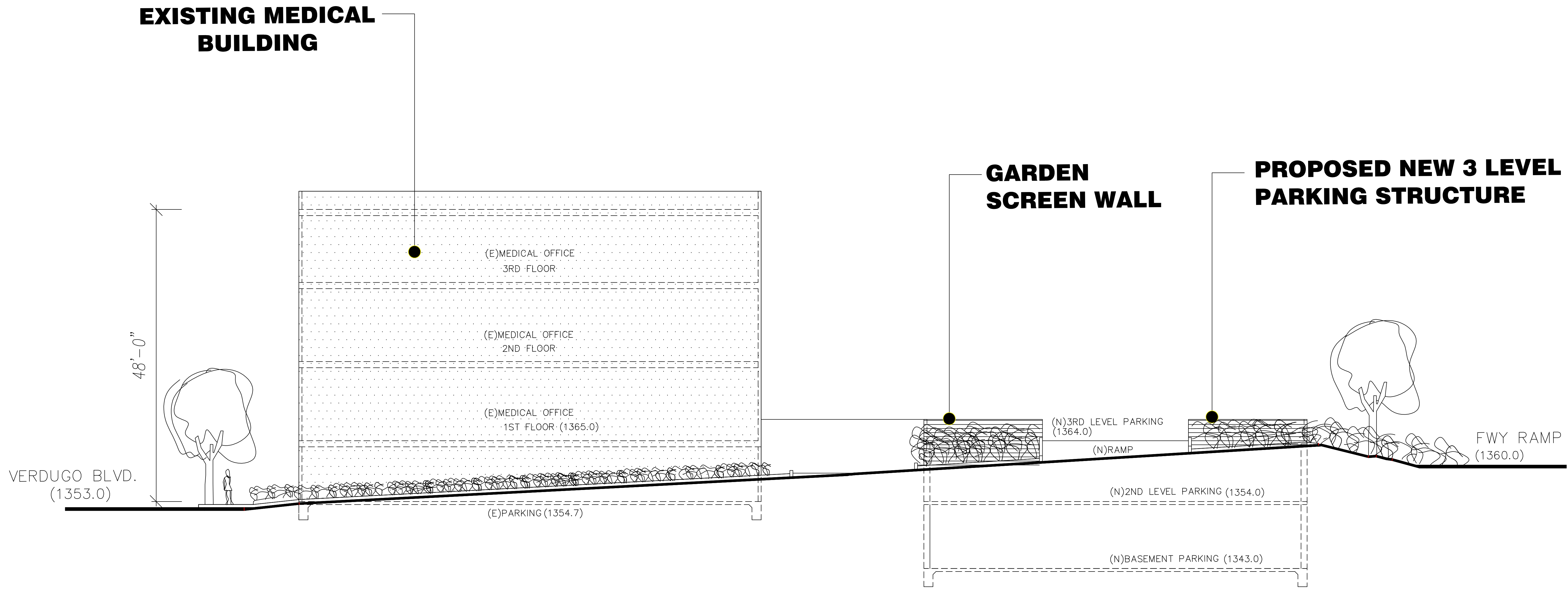
PROJECT NAME

LA CANADA ASSISTED LIVING

1809 VERDUGO BLVD.
 GLENDALE, CA 91208

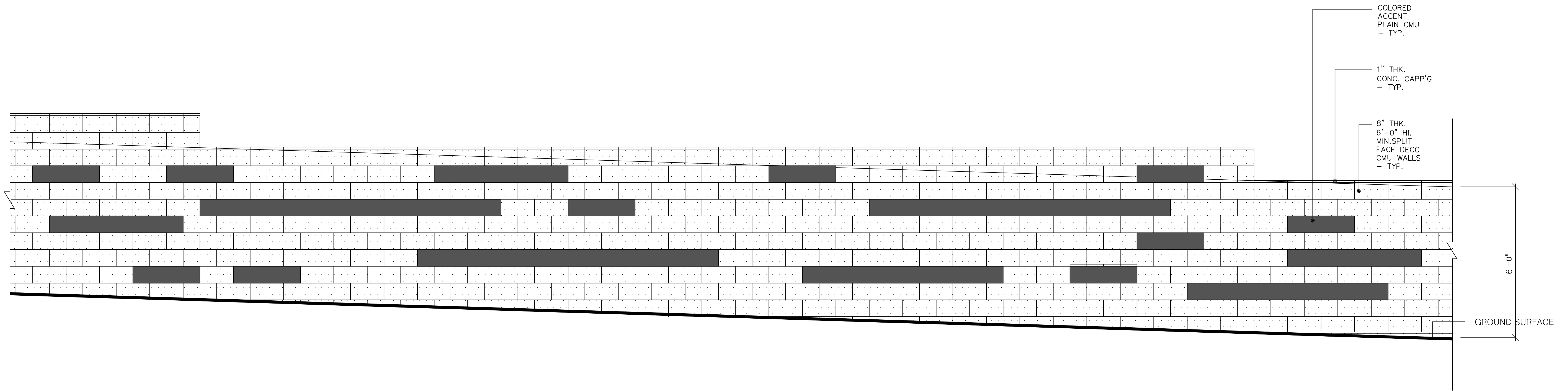
REVISIONS	
Revisions indicated thus: A.	
Date	

Approved for the Owner by	
Approved for the Architect by	
Drawn by	
Checked by	
Date	



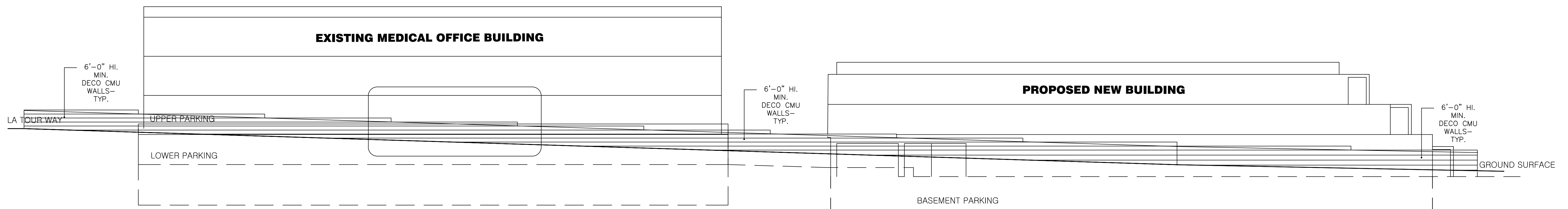
EAST ELEVATION (FROM LA TOUR WAY)

SCALE: 1/8" = 1'-0"



ENLARGED DECO CMU WALL ELEVATION

SCALE: 1" = 1'-0"

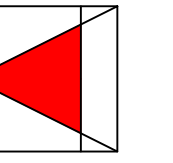


DECO CMU WALL ELEVATION FROM NORTH

SCALE: 1/16" = 1'-0"

PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

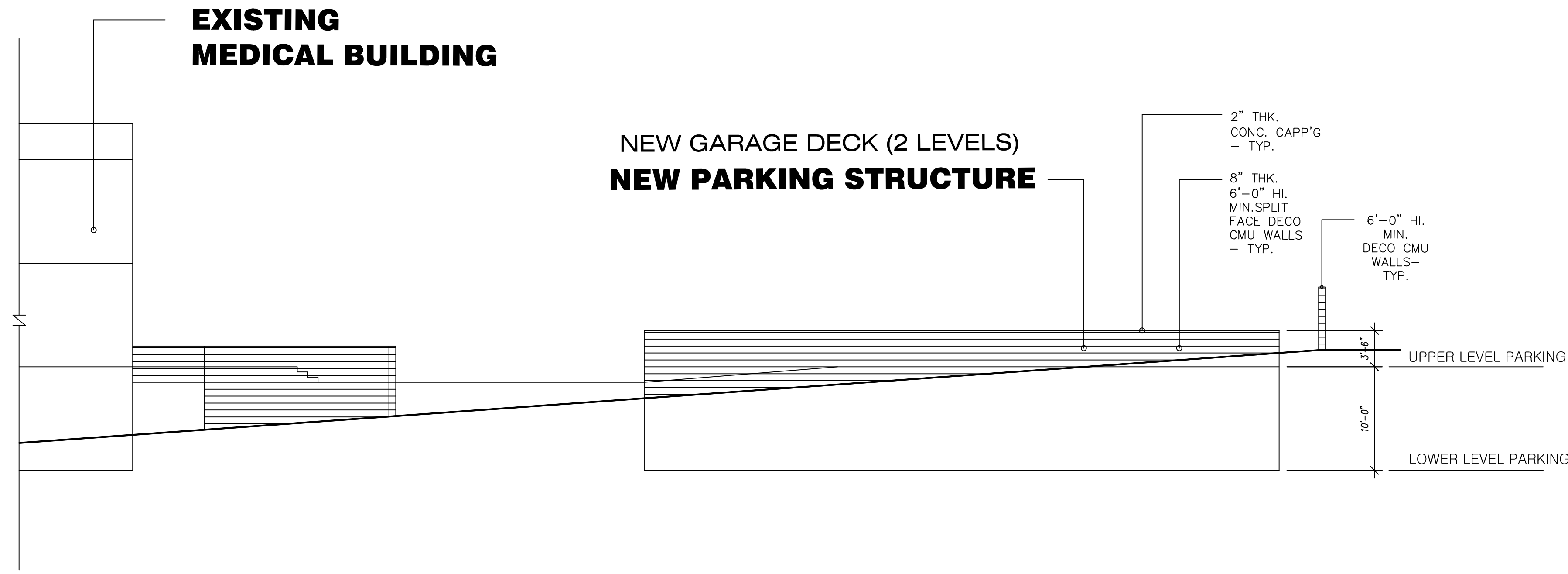
A&H ARCHITECTS, INC.
 Architecture, Planning and Interiors
 2560 W. OLYMPIC BLVD., SUITE 305, LOS ANGELES, CALIF. 90006
 TEL. (213) 804-2255
 E-MAIL: aaharchitects.inc@gmail.com



REVISIONS	
Date	Revisions indicated thus A:

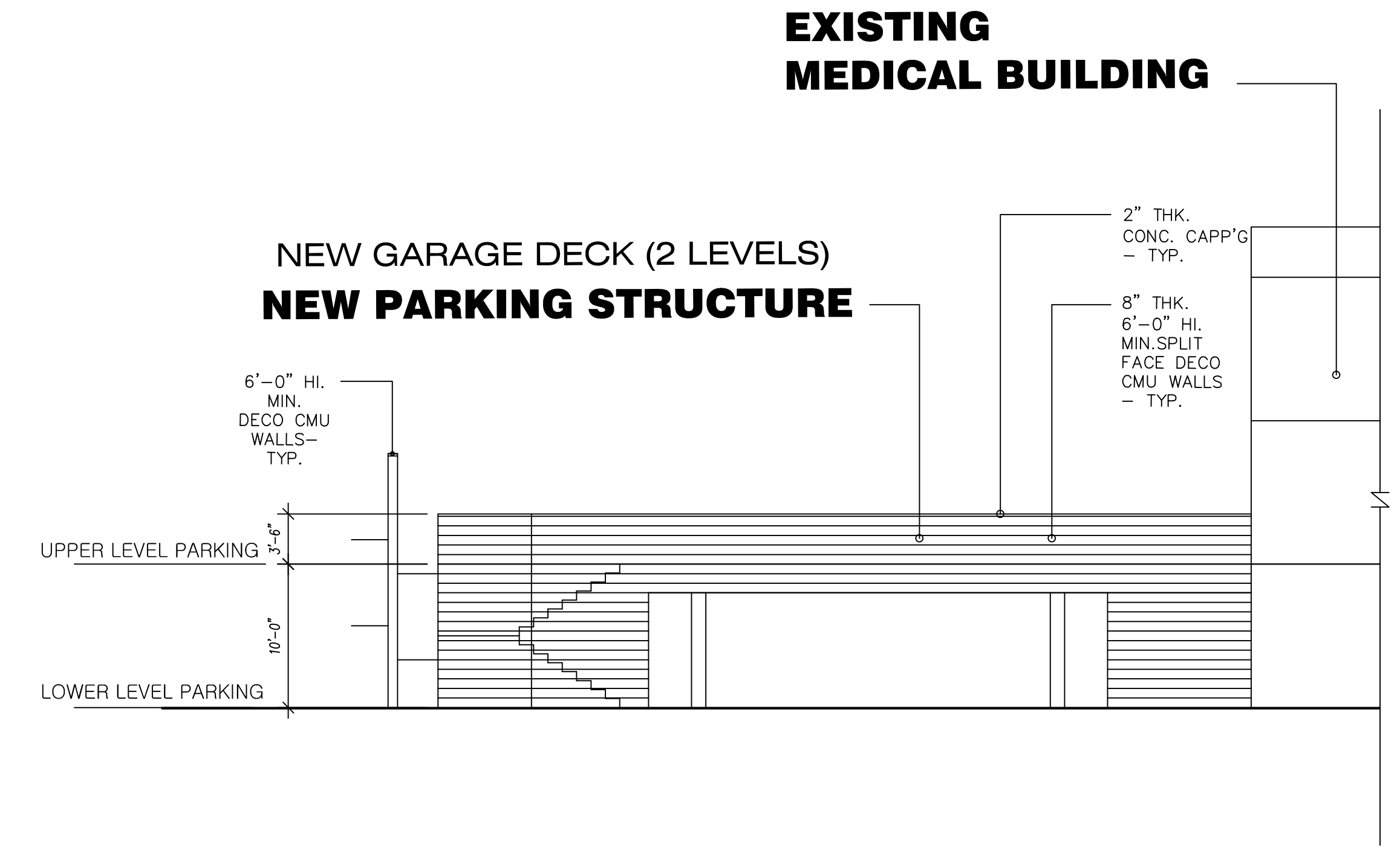
SHEET TITLE
DECO. CMU WALL ELEVATION

SHEET NO.
A304



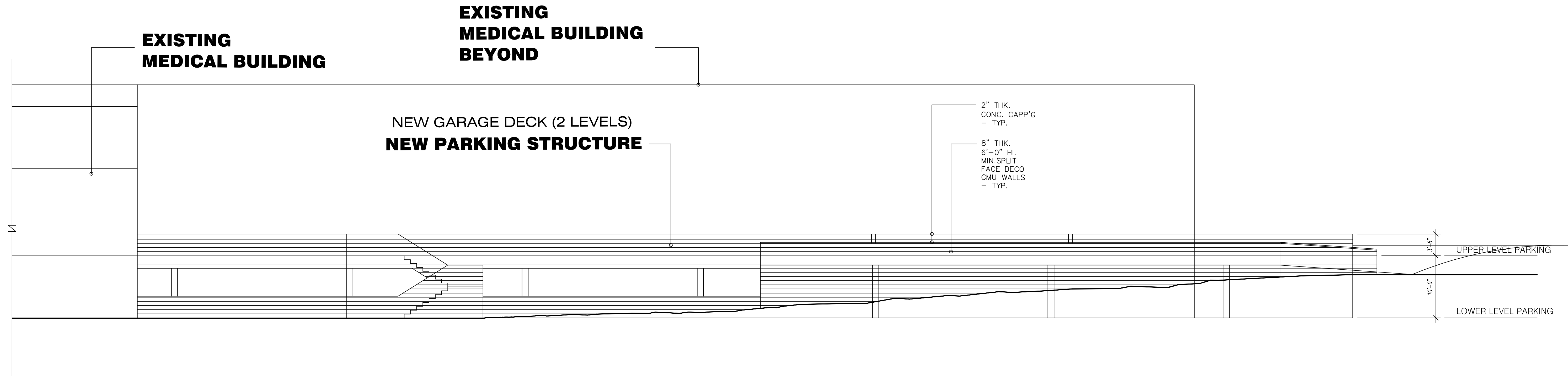
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

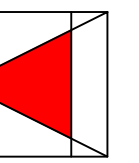


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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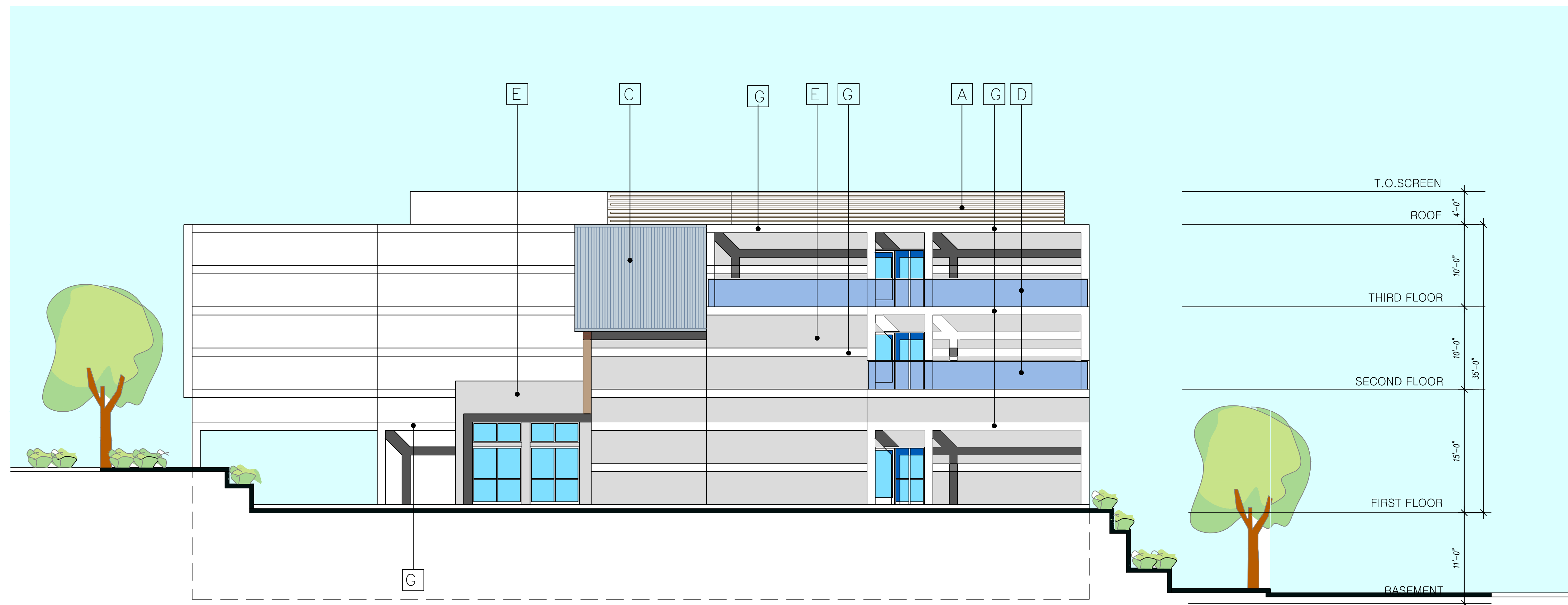
REVISIONS

Revisions Indicated Thus	Date

Approved for the Owner by _____
 Approved for the Architect by _____
 Drawn by _____
 Checked by _____
 Date _____

SHEET TITLE
OPEN DECK PARKING STRUCTURE ELEVATIONS
 SHEET NO.
A303

- B CASCADE METAL PANEL
- C CASCADE METAL PANEL
- D TEMP. GL. GUARD RAIL
- E EXTERIOR STUCCO SMOOTH FINISH
- F STOREFRONT PANEL AND WINDOW SYSTEM
- G EXTERIOR STUCCO VERY FINE FINISH WITH PREMIUM COLOR
- H METAL WRAP CANOPY



WEST ELEVATION

SCALE: 1/8" = 1'-0"

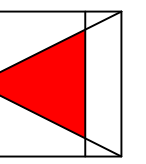


EAST ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NAME
LA CANADA ASSISTED LIVING
 1809 VERDUGO BLVD.
 GLENDALE, CA 91208

A&H ARCHITECTS, INC.
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 TEL. (213) 804-2255 E-MAIL: ahandr@aaharchitects.com



REVISIONS

Revisions indicated thus: A-

Date	Approved for the Owner by	Approved for the Architect by	Drawn by	Checked by

SHEET TITLE
EAST & WEST ELEVATION

SHEET NO.

A302



B
CASCADE METAL
PANEL

C
CASCADE METAL
PANEL

D

E

G

E

BASEMENT
11'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NAME
LA CANADA ASSISTED LIVING
1809 VERDUGO BLVD.
GLENDALE, CA 91208


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REVISIONS	
Revisions indicated thus: A-	
Approved for the Owner by	Date
Approved for the Architect by	
Drawn by	
Checked by	
	Date

SHEET TITLE
NORTH ELEVATION

SHEET NO.
A301

ASSISTED LIVING FACILITY
1809 VERDUGO BLVD
GLENDALE, CA

REVISIONS	DATE
1.	
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DRAWING STATUS:
50% CONSTRUCTION DOCUMENTS

DRAWN BY: JWM
CHECKED BY:
PROJECT NO. 17-0440
DATE: 2018.10.12

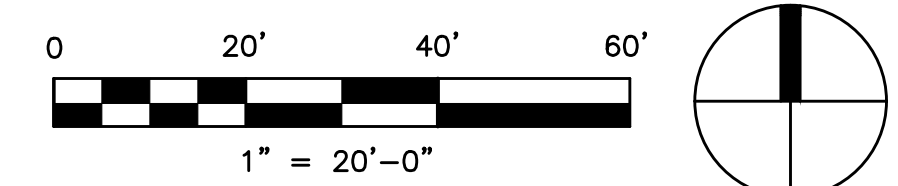
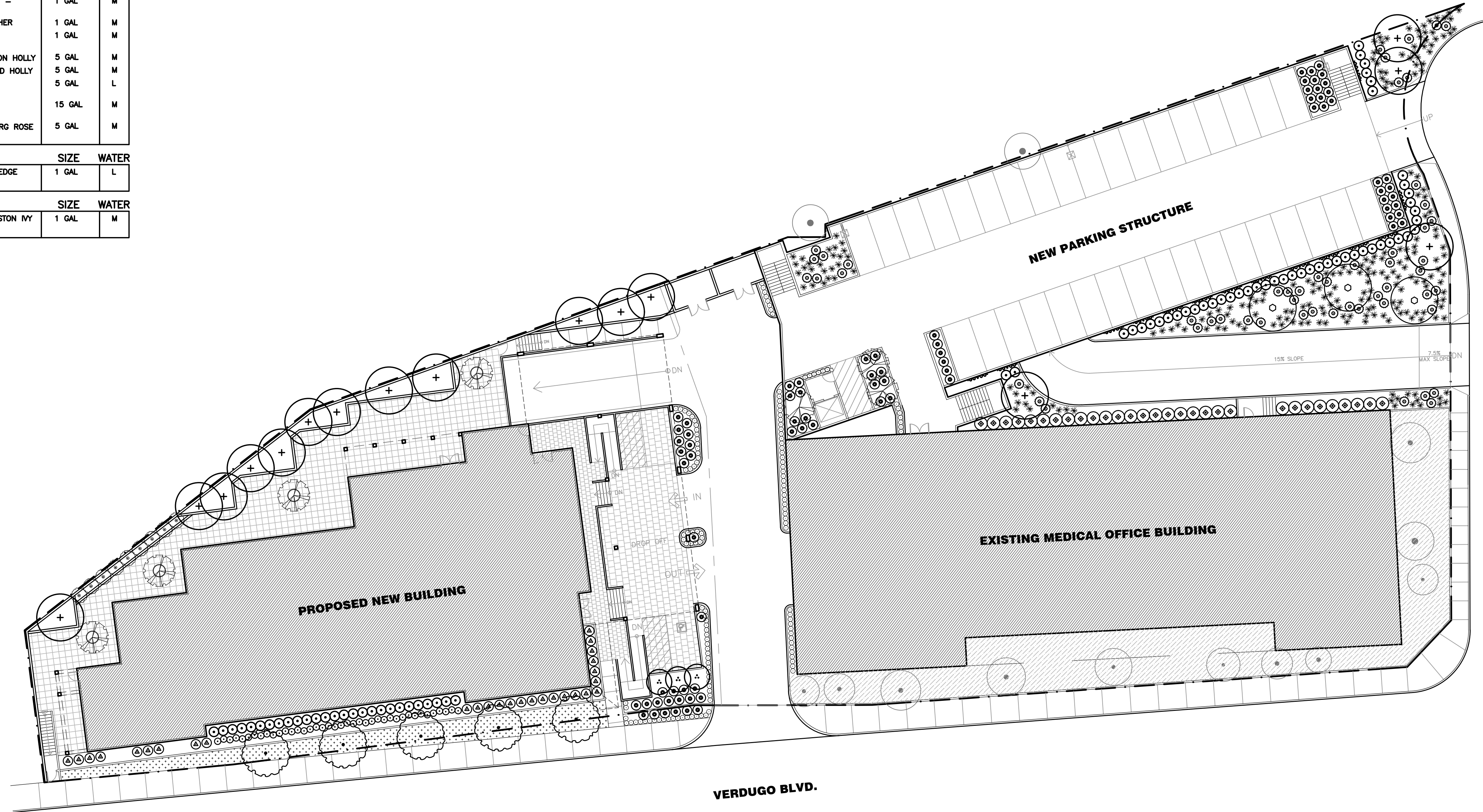
SHEET CONTENTS:

PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER:

L1.01

PLANT LEGEND		SIZE	WATER USE
TREES			
	KOELREUTERIA PANICULATA - GOLDEN RAIN TREE	24" BOX	L
	MAGNOLIA SOULANGEANA 'STAR WARS' - SAUCER MAGNOLIA	24" BOX	M
	PINUS CANARIENSIS - CANARY ISLAND PINE	24" BOX	L
	PODOCARPUS GRACILIOR - FERN PINE	24" BOX	M
	TABEUBIA IMPETIGINOSA - PURPLE/PINK TRUMPET TREE	24" BOX	M
	ELAEOCARPUS DECIPENS - JAPANESE BLUEBERRY TREE (COLUMNAR FORM)	24" BOX	M
SHRUBS			
	BUXUS SEMPERVIRENS 'SUFFRUTICOSA' - TRUE DWARF BOXWOOD	1 GAL	M
	CUPHEA HYSSOPIFOLIA - FALSE HEATHER	1 GAL	M
	DIANELLA CAERULEA 'CASSA BLUE' - BLUE FLAX LILY	1 GAL	M
	ILEX VOMITORIA 'MANA' - DWARF YAUJON HOLLY	5 GAL	M
	ILEX CORNUTA 'BURFORDII' - BURFORD HOLLY	5 GAL	M
	AGAVE ATTENUATA - FOXTAIL AGAVE	5 GAL	L
	PITOSPORUM TOBIRA 'VARIEGATUM' - VARIEGATED PITOSPORUM	15 GAL	M
	ROSA FLORIBUNDA 'ICEBERG' - ICEBERG ROSE	5 GAL	M
GROUND COVER			
	CAREX DMULSA - EUROPEAN GRAY SEDGE	1 GAL	L
VINES			
	PARTHENOCESSUS TRICUSPIDATA - BOSTON IVY	1 GAL	M



IRRIGATION EQUIPMENT LEGEND

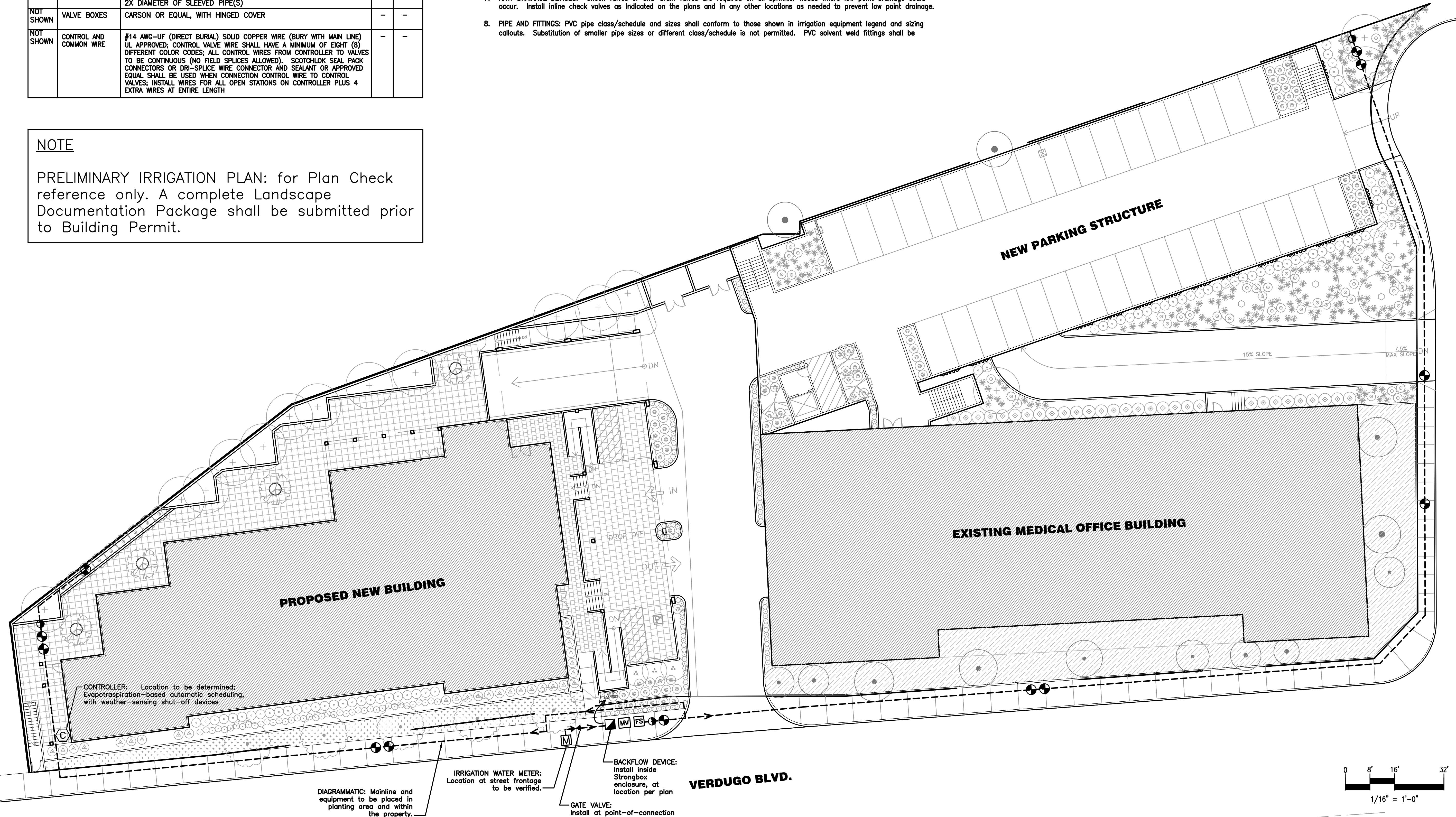
SYMBOL	ITEM	MANUFACTURER AND MODEL	REFERENCES	
			DTL	SHEET
⊕	LOW FLOW CONTROL ZONE	-	-	-
⊙	CONTROL VALVE	-	-	-
⊠	GATE VALVE	"NIBCO" T-113 BRONZE, WITH WHEEL HANDLE, SIZE PER MAINLINE	-	-
MV	MASTER VALVE	"SUPERIOR" NORMALLY OPEN, 3200, 1½"	-	-
FS	FLOW SENSOR	"C.T.S." FSI-T15-001 1½", PVC	-	-
⊙	QUICK COUPLER	"RAIN BIRD" 44-LRC IN 10" ROUND VALVE BOX	-	-
C	CONTROLLER	-	-	-
PB	PULL BOX	"CARSON" (OR EQUAL) #1419-12 STANDARD RECTANGULAR VALVE BOX	-	-
▣	BACKFLOW PREVENTOR	"FEBCO" (OR EQUAL) 825YD - 3"	-	-
---	MAINLINE	SIZE PER PLAN, SCHEDULE 40 PVC 1-1/2" AND SMALLER, CLASS 315 PVC 2" AND LARGER	-	-
---	LATERAL LINE	SCHEDULE 40 PVC, BURY 12" MINIMUM BELOW FINISH GRADE	-	-
---	SLEEVE	CLASS 315 PVC 2" THROUGH 4", CLASS 200 PVC 6" AND GREATER; 2X DIAMETER OF SLEEVED PIPE(S)	-	-
NOT SHOWN	VALVE BOXES	CARSON OR EQUAL, WITH HINGED COVER	-	-
NOT SHOWN	CONTROL AND COMMON WIRE	#14 AWG-UF (DIRECT BURIAL) SOLID COPPER WIRE (BURY WITH MAIN LINE) UL APPROVED; CONTROL VALVE WIRE SHALL HAVE A MINIMUM OF EIGHT (8) DIFFERENT COLOR CODES; ALL CONTROL WIRES FROM CONTROLLER TO VALVES TO BE CONTINUOUS (NO FIELD SPLICES ALLOWED). SCOTCHLOK SEAL PACK CONNECTORS OR DRI-SPLICE WIRE CONNECTOR AND SEALANT OR APPROVED EQUAL SHALL BE USED WHEN CONNECTION CONTROL WIRE TO CONTROL VALVES; INSTALL WIRES FOR ALL OPEN STATIONS ON CONTROLLER PLUS 4 EXTRA WIRES AT ENTIRE LENGTH	-	-

NOTE

PRELIMINARY IRRIGATION PLAN: for Plan Check reference only. A complete Landscape Documentation Package shall be submitted prior to Building Permit.

IRRIGATION NOTES

- DESIGN PRESSURE:** Irrigation design is based on a maximum demand of 00.0 GPM, and a minimum operating pressure of 00 PSI. The Contractor shall measure static pressure at the point of connection prior to installation. If the static pressure exceeds 000 PSI, install an inline pressure regulator as shown on the Backflow Preventor Detail, Sheet L1.02. Notify the Landscape Architect and Owner's Representative if the pressure is below the minimum operating pressure. Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified devices.
- VERIFY FIELD CONDITIONS:** Do not willfully install the irrigation system as shown on the Drawings when it is obvious in the field that obstructions, grade differences, or discrepancies in area dimensions exist that might not have been considered in engineering. Such obstructions or differences shall be brought to the attention of the Owner's Representative. In the event this notification is not performed, the irrigation contractor shall assume the full responsibility for any revision necessary.
- PLAN VIEW DRAWING IS DIAGRAMMATIC:** Due to the scale of drawings, it is not possible to indicate or show all offsets, fittings, sleeves, which may be required. The Contractor shall carefully investigate the structural and finish conditions affecting all of this work and plan work accordingly, furnishing such fittings, sleeves, etc., as may be required to meet site conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The Contractor shall install the work in such a manner as to avoid conflicts between irrigation systems, planting, other utilities and architectural features. Locations of trees to be planted takes precedence over irrigation pipes and equipment.
- MANUFACTURER'S DIRECTIONS:** Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturers of articles used in this Contract furnish directions covering points not shown in the Drawings.
- MATERIALS:** The Contractor shall furnish the articles, equipment, materials, or processes specified by name in the Drawings. A materials list shall be submitted prior to performing any work. Material list shall include manufacturer's name, model number, and description of all materials and equipment to be used. Substitutions of any equipment or materials for the equipment or materials listed on the Drawings may only be done with the written approval of the Owner's Authorized Representative. Equipment or materials installed or furnished without prior approval may be rejected and the Contractor may be required to remove such materials from the site at his own expense.
- BACKFLOW PREVENTION DEVICE:** All irrigation equipment installed shall be downstream of an approved, working Reduced Pressure type backflow prevention device as shown on plan.
- ANTI-DRAINAGE DEVICES:** Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur. Install inline check valves as indicated on the plans and in any other locations as needed to prevent low point drainage.
- PIPE AND FITTINGS:** PVC pipe class/schedule and sizes shall conform to those shown in irrigation equipment legend and sizing callouts. Substitution of smaller pipe sizes or different class/schedule is not permitted. PVC solvent weld fittings shall be Schedule 40. Solvent cement and primer shall be of type and installation methods prescribed by pipe manufacturer.
- NIPPLES AND RISERS:** Nipples and Risers shall be Schedule 80 PVC. Threaded ends shall be molded threads only. Machined threads not permitted.
- MAIN LINE LEAK TEST:** Test the entire main line piping system prior to the installation of valves for no less than 2 hours under hydrostatic pressure of 150 pounds per square inch and prove tight; apply pressure by a force pump provided by Contractor. If leaks develop, replace the joints, or pipe, and repeat test. Perform all tests prior to backfilling trenches. Perform test in presence of the Owner's Authorized Representative
- FIELD ADJUSTMENTS:** The Contractor may need to adjust the angles, directions and/or flowrate of the emitters/nozzles to obtain the intended coverage of the landscape area. The Contractor will provide any additional heads, special nozzles, or patterns to achieve proper coverage without additional cost to the Owner.
- FLUSH SYSTEM:** After all new irrigation system valves, pipelines and assemblies are in place and connected, and prior to installation of distribution tubing and emitters, the control valves shall be opened and a full head of water used to flush out the system.
- FINAL OBSERVATION:** The Contractor shall operate each system in its entirety for Owner's Authorized Representative at time of final observation. Any items deemed not acceptable by the Owner's Authorized Representative shall be reworked to the complete satisfaction of the Owner's Authorized Representative.
- TURNOVER:** Upon completion, furnish the following: Any required and necessary descriptive literature for installed equipment, manuals, operating instructions, and manufacturer's warranties. One (1) set of special tools required for removing, disassembling, and adjusting each type of device installed. Guarantee Form.
- IRRIGATION CHART:** A diagram of the irrigation plan showing all zones shall be provided and kept with the irrigation controller.



REVISIONS	DATE
1.	
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DRAWING STATUS:
50% CONSTRUCTION DOCUMENTS
DRAWN BY: JWM
CHECKED BY:
PROJECT NO. 17-0440
DATE: 2018.10.12

SHEET CONTENTS:

PRELIMINARY IRRIGATION PLAN

SHEET NUMBER:
L2.01