



**CITY OF GLENDALE, CALIFORNIA**

Community Development  
Planning

633 E. Broadway, Suite 103  
Glendale, CA 91206-4311  
Tel. (818) 548-2140 Fax (818) 240-0392  
glendaleca.gov

October 11, 2019

Khan Consulting Inc.  
C/O Rodney V. Khan  
1111 N. Brand Blvd. STE 403  
Glendale, CA 91202

**RE: 429 AND 431 NORTH BRAND BLVD  
ADMINISTRATIVE DESIGN REVIEW CASE NO. PDR 1911538**

Dear Mr. Khan:

The Director of Community Development will render a final decision on or after **October 21, 2019**, for the following project:

**PROJECT DESCRIPTION:** Facade remodel and an approximately 1,780 square-foot floor area addition (office use) to the existing 24,366 square-foot, four-story office building (built in 1962), located on an 8,795 square-foot lot in the the Downtown Specific Plan/Gateway District (DSP/GAT) Zone. There is no proposed change to the existing 24 parking spaces. Parking Exception Permit No. PPPEX1828294 was approved with conditions on February 2, 2019, to allow the proposed 1,780 square-foot floor area addition without providing the additionally required four (4) parking spaces onsite.

**STAFF RECOMMENDATION: APPROVE WITH CONDITIONS**

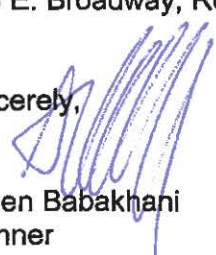
***For more information or to submit comments, please contact the case planner, Aileen Babakhani, at 818-937-8331 or [ababakhani@glendaleca.gov](mailto:ababakhani@glendaleca.gov).***

Comments must be received prior to **October 21, 2019**, in order to be considered by the Director.

**DECISION:** A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206.

Sincerely,

  
Aileen Babakhani  
Planner

**City of Glendale  
Community Development Department  
Design Review Staff Report – Commercial/Industrial**

<b>Meeting/Decision Date:</b> October 21, 2019	<b>Address:</b> 429 and 431 North Brand Boulevard
<b>Review Authority:</b> <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	<b>APN:</b> 5643-003-001
<b>Case Number:</b> PDR 1911538	<b>Applicant:</b> Khan Consulting Inc.
<b>Prepared By:</b> Aileen Babakhani, Planner	<b>Owner:</b> Glendale Holdings LLC & Glendale Capital Group LLC.

**Project Summary**

Facade remodel and an approximately 1,780 square-foot floor area addition (office use) to the existing 24,366 square-foot, four-story office building (built in 1962), located on an 8,795 square-foot lot in the Downtown Specific Plan/Gateway District (DSP/GAT) Zone. There is no proposed change to the existing 24 parking spaces. Parking Exception Permit No. PPPEX1828294 was approved with conditions on February 2, 2019, to allow the proposed 1,780 square-foot floor area addition without providing the additionally required four (4) parking spaces onsite.

The proposed work includes:

- Demolition of 342 square-foot office space from the first floor
- Demolition of approximately 67 square feet of office space from the second floor
- Demolition of the entire existing 840.86 square feet of office space from the fourth floor
- Floor area addition of 3,032 square feet at the fourth floor
- New roof top terrace attached to the fourth floor addition
- Facade remodeling
- Interior remodeling

**Existing Property/Background**

The existing project site is a corner lot on the southwest corner of Brand Boulevard and Milford Street with primary frontage on Brand Boulevard. The 8,795 square-foot lot was developed in 1962 with an existing 24,366 square-foot, four-story rectangular commercial building with office use. The building features stucco, masonry block, and curtain wall for exterior cladding. There are currently 24 parking spaces, including 22 on-site parking spaces in an underground parking garage and two parking spaces at the ground level on the west side of the building with vehicular accesses from a public alley. There is no proposed change to the existing 24 parking spaces and Parking Exception Permit No. PPPEX1828294 was approved with conditions on February 2, 2019 to allow the addition of the proposed 1,780 square-foot floor area without providing the additional required four (4) parking spaces onsite. As proposed, approximately 48 percent of the existing roofs and exterior walls will be removed or abandoned in place. If demolition were to exceed 50% of the total outside walls and roof area during construction (in accordance with GMC 30.60.040), the project would have to comply with all current zoning code and the Glendale Downtown Specific Plan requirements for a new 4-story commercial/office building in the DSP/GAT Zone.

**Staff Recommendation**

Approve     Approve with Conditions     Return for Redesign     Deny

**Last Date Reviewed / Decision**

First time submittal for final review.  
 Other:

Zone: DSP Height District: GAT

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

- None
- Other: Parking Exception Permit No. PPPEX1828294

**CEQA Status:**

- The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition will not result in an increase of more than 2,500 square feet of floor area; (15301(e)(1)).
- The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because
- The project is exempt from CEQA review as a Class 32 "Infill Development" exemption pursuant to Section 15332 of the State CEQA Guidelines because
- Other:

**Site Slope and Grading**

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

- yes  n/a  no

*If "no" select from below and explain:*

- Located at or near front property line
- Conforms to prevailing setbacks on the street
- Maintains appropriate sidewalk width

**Usable Open Space**

- yes  n/a  no

*If "no" select from below and explain:*

- Incorporates outdoor pedestrian space
- Integrated with design and overall context
- Appropriate relationship with adjoining properties

**Access and Parking**

- yes  n/a  no

*If "no" select from below and explain:*

- Parking location is appropriate to the site and its neighborhood context
- Appropriate pedestrian and vehicle access points
- Appropriate service and loading locations

- Landscape screening for street-facing parking
- Techniques employed to reduce stormwater runoff
- Decorative or colored paving to delineate pedestrian areas

**Landscape Design**

yes    n/a    no

*If "no" select from below and explain:*

- Complementary to building design
- Appropriately sized and located

**Walls, Fences, and Retaining Walls**

yes    n/a    no

*If "no" select from below and explain:*

- Minimize use whenever possible
- Use decorative material to complement building and/or landscape design
- Provide landscaping to minimize visual impact

**Screening**

yes    n/a    no

*If "no" select from below and explain:*

- Mechanical equipment appropriately screened
- Trash bins appropriately located and screened

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- There is no significant change to the existing site planning. The building is rectangular in shape and has zero setbacks from the property lines on the north side (along Milford Street), south side (adjacent to neighboring, two-story commercial building), east side (along Brand Boulevard), and west side (along a public alley). However, the subject building is setback 25'-2" from the street curb along the Brand Boulevard frontage (east) and 10'-2" from the street curb along Milford Street (north). The proposed floor area reduction on the first floor will provide an additional setback of 2'-0" from the east property line. This will increase the existing substantial public right-of-way setback along one of the city's signature and pedestrian-oriented streets (Brand Blvd) as intended by the Downtown Specific Plan.
- Three entry doors will be added to the primary facade along the Brand Boulevard frontage. This will create active street level uses as intended by the Downtown Specific Plan.
- There are no proposed changes to the existing vehicular access to the subterranean parking garage and surface parking spaces from the rear public alley (on the west side).
- The existing roof top equipment, towards the rear of the property (west), is not visible from public view and is proposed to remain unchanged.

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**Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

yes    n/a    no

*If "no" select from below and explain:*

- Appropriate proportions and transitions
- Articulation, solid/void balance, and open space relate to predominant pattern

**Building Relates to Existing Topography**

yes  n/a  no

*If "no" select from below and explain:*

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope to minimize height

**Consistent Architectural Concept**

yes  n/a  no

*If "no" select from below and explain:*

- Concept governs massing and height

**Scale and Proportion**

yes  n/a  no

*If "no" select from below and explain:*

- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located

**Massing**

yes  n/a  no

*If "no" select from below and explain:*

- Larger masses broken into separate volumes
- Long, unbroken street walls avoided
- Visual impact of larger building minimized

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed facade remodel and floor area addition will not substantially alter the massing and scale of the existing four-story building.
- The proposed modulation on the north and east facades, expansion of the fourth floor, and the new roof top terrace are consistent with the intent of the Urban Design Standards and Guidelines of the Glendale Downtown Specific Plan. The proposal will give the building an attractive contemporary style consistent with the surrounding multi-story and high-rise commercial buildings.
- The proposed facade articulation and building projections create proportions that provide visual interest, particularly in its relationship to the pedestrian realm.
- The proposed alteration will increase the overall height of the building by seven feet, bringing it to 61 feet, which is appropriate to the surrounding buildings because the scale and

proportion of the building would not be changed significantly and the building will maintain its four-story volume.

- The proposed design and floor area extension preserve the existing views of the mountains and other local landmarks as encouraged by the Urban Design Standards and Guidelines of the Glendale Downtown Specific Plan.

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## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

yes  n/a  no

If "no," explain:

### Entryway

yes  n/a  no

If "no" select from below and explain:

- Well integrated into design
- Location promotes pedestrian activity
- Design provides appropriate focal point

### Storefronts and Windows

yes  n/a  no

If "no" select from below and explain:

- Maximize transparency at ground floor
- 12-15' floor-to-floor height at ground-floor is encouraged
- Coordinate design with overall style of building
- Use durable materials for windows, such as aluminum or steel
- Locate security gates/grilles inside commercial spaces, preferably set back from storefront

### Awnings and Canopies

yes  n/a  no

If "no" select from below and explain:

- Integrate awnings and canopies into overall building design
- Avoid long treatments spanning multiple openings
- Back-lit awnings are not allowed

### Lighting

yes  n/a  no

If "no" select from below and explain:

- Light fixtures are appropriate to the building design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

No exterior lighting is shown on the project drawings. A condition of approval is recommended to provide a lighting design/detail that is compatible with the proposed design concept and design standards of the Glendale Downtown Specific Plan.

### Finish Materials and Color

yes  n/a  no

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, durable materials used, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate cladding appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

### **Paving Materials**

yes    n/a    no

If "no" select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

### **Roof Forms**

yes    n/a    no

If "no" select from below and explain:

- Configure roofline to provide visual interest and deemphasize mass
- Roof forms are consistent with overall design
- Continue roofs and parapets around building or terminate in logical manner

## **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed design is consistent with the intent of the Urban Design Standards and Guidelines of the Glendale Downtown Specific Plan. It will result in a building with a contemporary style that is consistent with the surrounding buildings.
- The design emphasizes pedestrian friendly design, which attracts pedestrians and reinforces pedestrian activity in the Glendale's signature street, Brand Boulevard.
- The proposed design and detailing will include high quality materials and details including metal panels (VMZINC panels), new storefronts and windows, new stucco finish (grey color), parapet railings, and glass curtain walls. The proposed metal panel is a durable and environmentally friendly material. The new decorative metal cladding system consists of rectangular shaped panels with horizontal projecting panels for the joints.
- No exterior lighting is shown on the project drawings. A condition of approval is recommended to provide a lighting design/detail that is compatible with the proposed design concept and design standards of the Glendale Downtown Specific Plan.
- The new aluminum windows will feature a combination of picture and awning sash creating glass curtain walls on the north and east facades.
- The new flat roof of the fourth floor and new parapet match the existing roof and details.

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## **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

### **Conditions:**

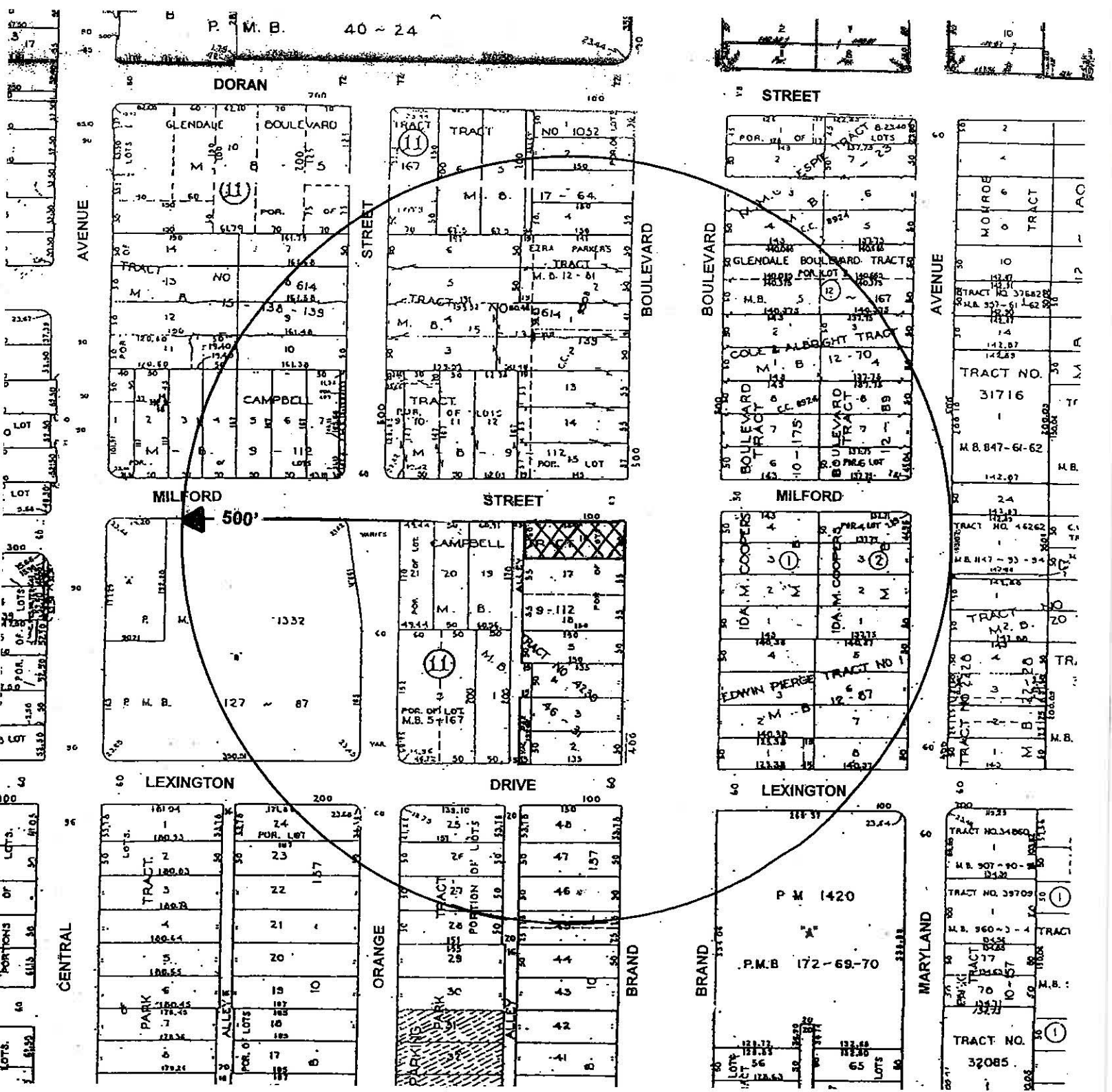
1. Provide an exterior lighting plan (design/detail) and cut sheets depicting lighting fixtures that are compatible with the proposed design concept and the design standards of the Glendale Downtown Specific Plan.

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## **Attachments**

1. Location Map
2. Neighborhood Survey
3. Photos of Existing Property
4. Reduced Plans





# 500' RADIUS MAP

**SITE: 429-431 N BRAND BOULEVARD  
GLENDALE CA 91203**

**CASE NO:  
SCALE: 1" = 200'**

**KHAN CONSULTING INC  
1111 N BRAND BLVD STE 403  
GLENDALE CA 91202  
(818) 507-1605**

**OWNER: GLENDALE HOLDINGS LLC &  
GLENDALE CAPITAL GROUP LLC  
14250 VENTURA BLVD - 2<sup>ND</sup> FLOOR  
SHERMAN OAKS CA 91423**

**LOCATION MAP**



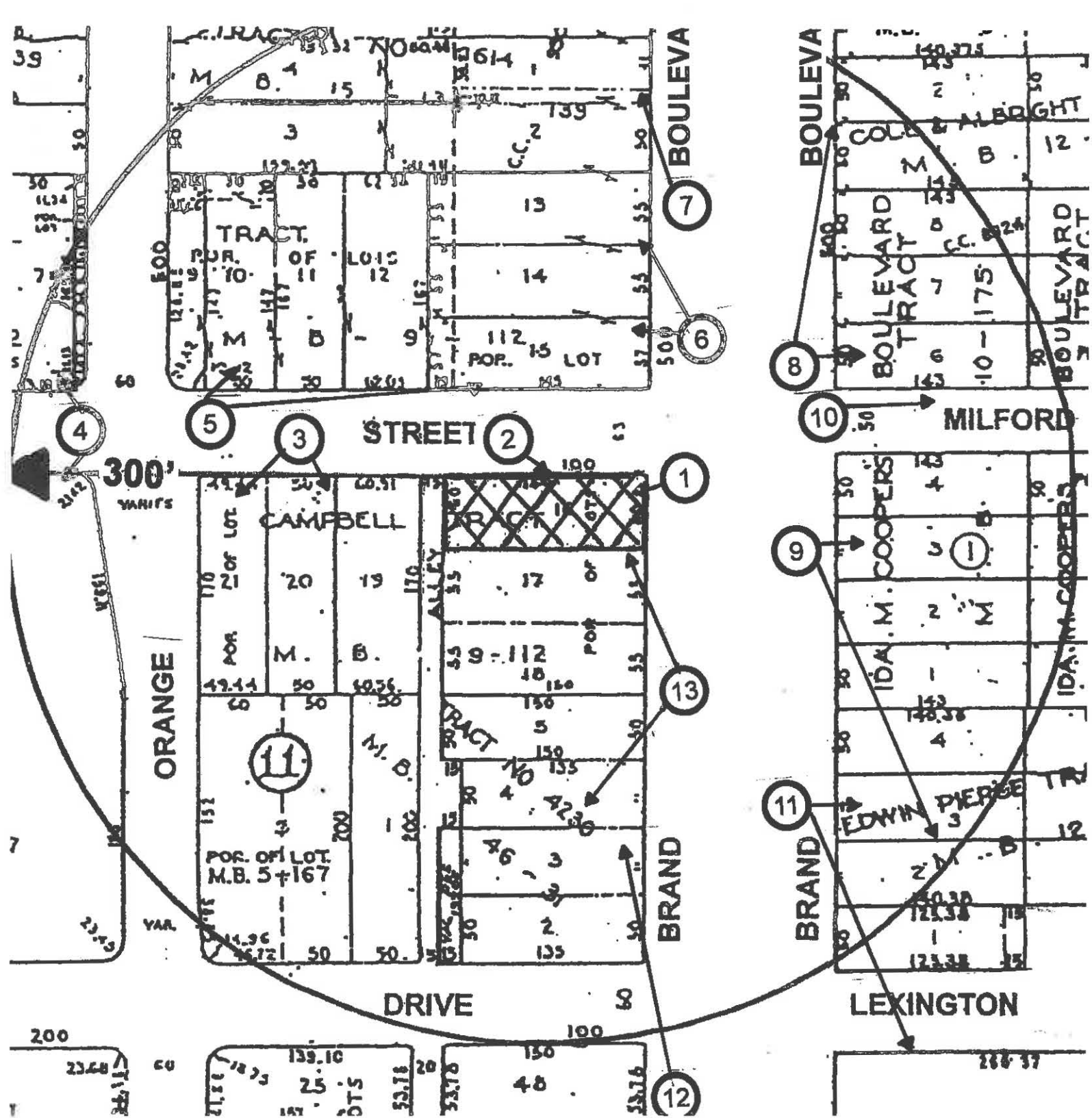
2019 JUN 13 AM 9:38

DIVISION

# **PHOTOS**

## ***DESIGN REVIEW***

**429-431 N BRAND BLVD  
GLENDALE CA 91203  
(AIN 5643-003-001)**



# 300' RADIUS MAP

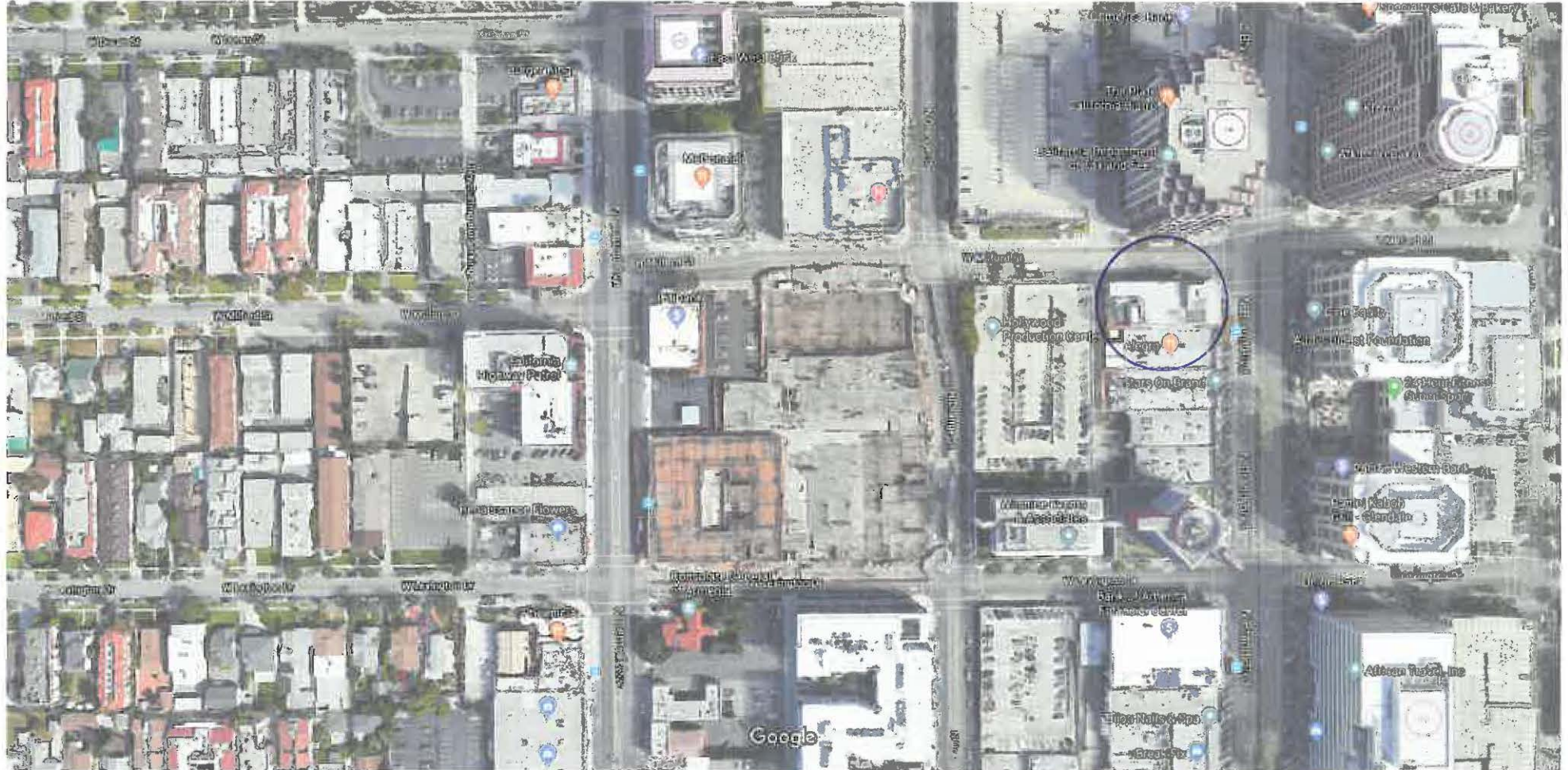
SITE: 429-431 N BRAND BOULEVARD  
GLENDALE CA 91203

CASE NO:  
SCALE: 1" = 100'

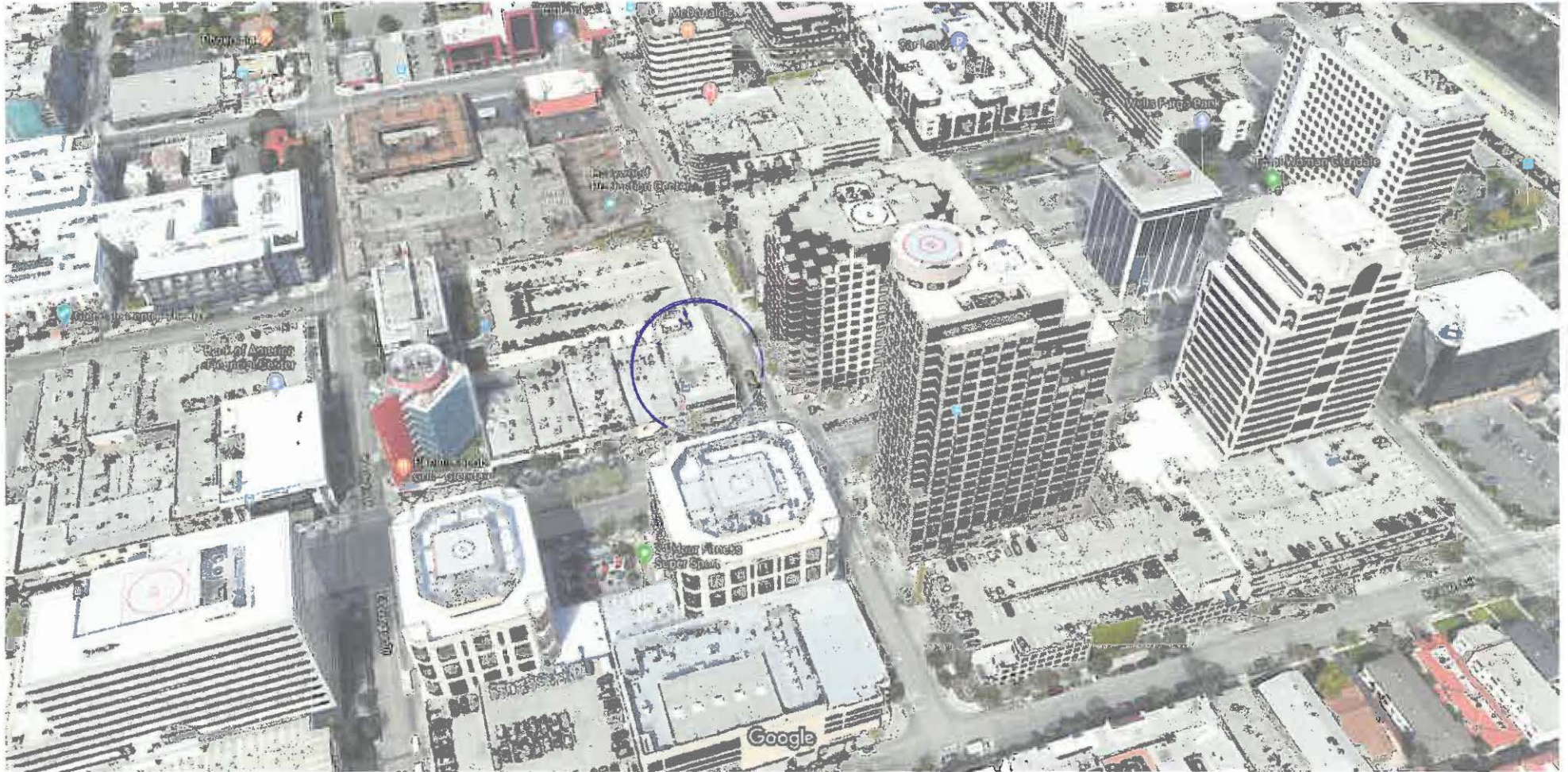
KHAN CONSULTING INC  
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14250 VENTURA BLVD - 2<sup>ND</sup> FLOOR  
SHERMAN OAKS CA 91423

PHOTOGRAPHIC  
SURVEY MAP



**BIRD'S EYE VIEW OF SITE  
AND SURROUNDING AREA**



Imagery ©2018 Google, Map data ©2018 Google 100 ft

### BIRD'S EYE VIEW OF SITE AND SURROUNDING AREA



Image capture: Mar 2018 © 2018 Google

Glendale, California

Google, Inc.

Street View - Mar 2018

(1)

**SUBJECT PROPERTY  
NORTH & EAST ELEVATIONS**





Image capture: Feb 2018 © 2018 Google

Glendale, California  
Google, Inc.  
Street View - Feb 2018

(2)

**SUBJECT PROPERTY  
WEST ELEVATION**





**WEST ELEVATION**  
**SUBJECT PROPERTY: 429-431 NORTH BRAND BOULEVARD**





**EAST ELEVATION**  
**SUBJECT PROPERTY: 429-431 NORTH BRAND BOULEVARD**



**NORTH ELEVATION**  
**SUBJECT PROPERTY: 429-431 NORTH BRAND BOULEVARD**



**SOUTH ELEVATION**  
**SUBJECT PROPERTY: 429-431 NORTH BRAND BOULEVARD**



Image capture: Feb 2018 © 2018 Google

Glendale, California

Google, Inc.

Street View - Feb 2018

(3)  
WEST OF  
SUBJECT PROPERTY





Glendale, California

Google, Inc.

Street View - Feb 2018

Image capture: Feb 2018 © 2018 Google

(4)  
 CITIBANK SITE  
 UNDER CONSTRUCTION



Bakers and Cakes



Glendale, California

Google, Inc.

Street View - Feb 2018

Image capture: Feb 2018 © 2018 Google

(5)  
 NORTH OF  
 SUBJECT PROPERTY



History and Data



Image capture: Dec 2017 © 2018 Google

Glendale, California

Google, Inc.

Street View - Dec 2017

(6)  
NORTH OF  
SUBJECT PROPERTY





Google

Image capture: Dec 2017 © 2018 Google

Glendale, California

Google, Inc.

Street View - Dec 2017



(7)  
NORTH OF  
SUBJECT PROPERTY





Image capture: Mar 2018 © 2018 Google

Glendale, California

Google, Inc.

Street View - Mar 2018

(8)

**NORTHEAST OF  
SUBJECT PROPERTY**





Google

Image capture: Mar 2018 © 2018 Google

Glendale, California

Google, Inc.

Street View - Mar 2018

(9)  
 EAST OF  
 SUBJECT PROPERTY





Image capture: Feb 2018 © 2018 Google

Glendale, California

Google, Inc.

Street View - Feb 2018

(10)

**NORTHEAST OF  
SUBJECT PROPERTY**



Google Maps 403 N Brand Blvd



Image capture: Mar 2018 © 2018 Google

Glendale, California

Google, Inc.

Street View - Mar 2018

(11)  
EAST OF  
SUBJECT PROPERTY





Image capture: Dec 2017 © 2018 Google

Glendale, California



Street View - Dec 2017

(12)  
SOUTH OF  
SUBJECT PROPERTY





Image capture: Dec 2017 © 2018 Google

Glendale, California

Google, Inc.

Street View - Dec 2017

(13)  
 SOUTH OF  
 SUBJECT PROPERTY



# 431 N. BRAND BLVD. GLENDALE, CA. 91203

## REMODELING LESS THAN 50% OF THE EXISTING ENVELOPE 24,366.40 SF. 4 STORY OFFICE BUILDING & 1,780.13 S.F. TOTAL NEW ADDITION

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:

ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9898

MEP ENGINEER:  
PARH INC. AU DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

ABBREVIATIONS	LEGEND	MATERIALS	SUMMARY	DRAWING INDEX	STRUCTURE DRAWING:																
<p>A.B. ANCHOR BOLT A/C AIR CONDITIONING ALUM. ALUMINUM ARCH. ARCHITECTURAL</p> <p>BD. BOARD BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING B.W. BACK OF WALL</p> <p>C. COMPACT C.O. CLEAR OUT CONC. CONCRETE CONT. CONTINUOUS CSB. CONCRETE SPLASH BLOCK</p> <p>D. DRYER DBL. DOUBLE DN. DOWN DWS. DRAWING D.S. DOWN SPOUT DWR. DRAWER</p> <p>EL. ELEVATION EXISTG. EXISTING EXT. EXTERIOR</p> <p>F.F. FINISHED FLOOR FG. FIXED GLASS FIN. FINISH/FINISHED FL. FLOOR F.O.S. FACE OF STUD OR STRUCTURE F.P. FIXED PANEL F.S. FINISHED SURFACE FT. FOOT/FEET</p> <p>GA. GAUGE GALV. GALVANIZED GR. GRADE GYP. GYPSUM</p> <p>H.C. HOLLOW CORE HORZ. HORIZONTAL</p> <p>INT. INTERIOR INV. INVERT MANF. MANUFACTURING MANUF. MANUFACTURER MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM M.T. METAL THRESHOLD</p> <p>N.C. NOT IN CONTRACT N.T.S. NOT TO SCALE</p> <p>O.H. OVERHANG</p> <p>P.C. PULL CORD P.L. PROPERTY LINE P&amp;S POLE AND SHELF PLYWD. PLYWOOD</p> <p>REC. RECREATION REINF. REINFORCED RM. ROOM R.S. ROUGH SWAN</p> <p>S.C. SOLID CORE SCH. SCHEDULE SBL. SIMILAR STD. STANDARD STL. STEEL STRUC. STRUCTURAL SQ. SQUARE</p> <p>T.C. TOP OF CURB T&amp;G TONGUE &amp; GROOVE THRU THROUGH T.O.P. TOP OF PLATE T.O.S. TOP OF SLAB T.W. TOP OF WALL TYP. TYPICAL</p> <p>VERT. VERTICAL</p> <p>W. WASHER WTH WITH WOOD WOOD WP. WATERPROOF OR WEATHERPROOF</p>	<p>① WALL LINE: NUMBERS VERTICAL LETTERS HORIZONTAL</p> <p>○ DOOR SYMBOL NUMBERS</p> <p>○ WINDOW TYPE - LETTERS</p> <p>② DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>③ SECTIONAL DETAIL SHEET WHERE DETAIL IS DRAWN</p> <p>④ SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>⑤ INTERIOR ELEVATION IDENTIFICATION</p> <p>⑥ SHEAR WALL-LETTERS REVISION - NUMBERS CLOUD AROUND REVISION OPTICAL</p> <p>⑦ MATCH LINE SHADDED PORTION IS THE SIDE CONSIDERED</p> <p>⑧ WORK POINT</p> <p>⑨ NEW OR FINISHED CONTOURS</p> <p>⑩ EXISTING CONTOURS</p> <p>⑪ PROPERTY LINE</p> <p>⑫ CENTER LINE</p>	<p>EARTH</p> <p>SAND, MORTAR, PLASTER</p> <p>CONCRETE</p> <p>BRICK</p> <p>CONC. BLOCK</p> <p>METAL</p> <p>METAL LATH</p> <p>WOOD FINISH</p> <p>WOOD FRAMING (THRU MEMBER)</p> <p>WOOD FRAMING (INTERRUPTED MEMBER)</p> <p>PLYWOOD</p> <p>GLASS</p> <p>GYPSUM BOARD</p> <p>INSULATION, BATT</p> <p>INSULATION, RIGID</p>	<p>OWNER NAME: AMIR TEHRANI</p> <p>OWNER ADDRESS: 118 S. GREINA GREEN LA, CA. 90049 TEL: (817)968-3142</p> <p>BUILDING CODE EDITION: LABC 2014</p> <p>LEGAL DESCRIPTION: TRACT: BLOCK: LOT:</p> <p>BUILDING TYPE: TYPE V-A</p> <p>SPRINKLERS: THROUGHOUT W/ AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE W/ SECTION R313.3 OR NFPA130. (R313, 12.21A17(d)). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.</p> <p>MAX HEIGHT: -</p> <p>ZONE: DSP-GAT</p> <p>LOT AREA: 8795.01 SF.</p> <p>NUMBER OF UNITS: 10</p> <p>OCCUPANCY GROUP: B</p> <p>EXISTG &amp; NEW USE: OFFICE SPACE</p> <p>(SET BACKS)</p> <table border="1"> <tr> <td>FRONT YARD:</td> <td>EXISTING</td> </tr> <tr> <td>                  :</td> <td>0.00</td> </tr> <tr> <td>SIDE YARD:</td> <td>0.00</td> </tr> <tr> <td>REAR YARD:</td> <td>0.00</td> </tr> <tr> <td>EXISTING HEIGHT:</td> <td>54.00'</td> </tr> <tr> <td>NEW HEIGHT:</td> <td>61.00'</td> </tr> </table> <p>EXISTING BUILDING = 24,366.40 SF. NEW ADDITION = 1,780.13 SF. 1,780.13 SF./1000sq = REQUIRED 4 PARKING SPACES FOR NEW ADDITION FOR PROVIDED # OF PARKING SPACE FOR THE NEW ADDITION SEE EXCEPTION CASE # PPEX 182994 ON PAGE A01</p> <table border="1"> <tr> <td>EXISTING PARKING:</td> <td>24 SPACES</td> </tr> <tr> <td># OF PARKING SPACE FOR THE EXISTG &amp; NEW ADDITION:</td> <td>24 SPACES</td> </tr> </table>	FRONT YARD:	EXISTING	:	0.00	SIDE YARD:	0.00	REAR YARD:	0.00	EXISTING HEIGHT:	54.00'	NEW HEIGHT:	61.00'	EXISTING PARKING:	24 SPACES	# OF PARKING SPACE FOR THE EXISTG & NEW ADDITION:	24 SPACES	<p>ARCHITECTURAL DRAWING:</p> <p>A0.0 COVER SHEET A0.1 PARKING EXCEPTION CASE # PPEX 182994 A1.1 SURVEY PLAN A2.1 EXISTING FIRST FLOOR PLAN A2.2 EXISTING SECOND FLOOR PLAN A2.3 EXISTING THIRD FLOOR PLAN A2.4 EXISTING FOURTH FLOOR PLAN A3.0 EXISTING NORTH ELEVATION A3.1 EXISTING EAST ELEVATION A3.2 EXISTING SOUTH ELEVATION A3.3 EXISTING WEST ELEVATION A4.1 EXISTING SECTION A-A A4.2 EXISTING SECTION B-B A4.3 EXISTING SECTION C-C A5.1 EXISTING ROOF PLAN A5.2 EXISTING BASEMENT PLAN A6.0.1 PROPOSED SITE PLAN A6.0.2 PROPOSED NEIGHBORHOOD SITE PLAN A6.1 PROPOSED FIRST FLOOR PLAN A6.2 PROPOSED SECOND FLOOR PLAN A6.3 PROPOSED THIRD FLOOR PLAN A6.4 PROPOSED FOURTH FLOOR PLAN A7.0 PROPOSED NORTH ELEVATION A7.1 PROPOSED EAST ELEVATION A7.2 PROPOSED WEST ELEVATION A7.3 PROPOSED SOUTH ELEVATION A7.4 PROPOSED COLORED ELEVATIONS A7.5 RENDERED PERSPECTIVE A8.0 PROPOSED SECTION A-A A8.1 PROPOSED SECTION B-B &amp; C-C A8.2 PROPOSED WALL SECTIONS A8.3 PROPOSED WALL SECTIONS A8.4 PROPOSED WALL SECTIONS A9.1 PROPOSED ROOF FLOOR PLAN A9.2 EXISTING BASEMENT PLAN A10.0 PROPOSED DOOR &amp; WINDOW SCHEDULE A10.1 50% DEMOLITION CALCULATION A10.2 50% DEMOLITION CALCULATION A10.3 50% DEMOLITION CALCULATION</p>	<p>STRUCTURE DRAWING:</p>
FRONT YARD:	EXISTING																				
:	0.00																				
SIDE YARD:	0.00																				
REAR YARD:	0.00																				
EXISTING HEIGHT:	54.00'																				
NEW HEIGHT:	61.00'																				
EXISTING PARKING:	24 SPACES																				
# OF PARKING SPACE FOR THE EXISTG & NEW ADDITION:	24 SPACES																				
<p>SCOPE OF PROJECT:</p> <ul style="list-style-type: none"> <li>- REMODELING LESS THAN 50% OF THE EXISTING ENVELOPE 24,366.40 SF. 4 STORY OFFICE BUILDING.</li> <li>- NO ADDITION TO THE EXISTING 24 PARKING SPACES AT BASEMENT AND ALLEY LEVELS.</li> <li>- ONLY ARCHITECTURAL ELEMENTS PROJECT AT BRAND BLVD. AND MILFORD AVE. E. WIDTH OF THE SIDEWALK AT BRAND BLVD. (25'-3") E. WIDTH OF THE SIDEWALK AT MILFORD AVE. (10'-2")</li> <li>- EXISTING 840.86 SF. @ 4TH. FLOOR TO BE REMOVED.</li> <li>- AREA OF 69.53 SF. @ 2ND. FLOOR TO BE REMOVED.</li> <li>- AREA OF 342.00 SF. @ 1ST. FLOOR TO BE REMOVED.</li> <li>- TOTAL NEW ADDITION @ 4TH FLOOR = 3,032.52 SF.</li> <li>- TOTAL NEW ADDITION = 3,032.52 SF. NEW ADDITION @ 4TH. FLOOR = 342.00 S.F. @ 1ST. FLOOR - 840.86 SF. E. 4TH FLOOR PLAN - 69.53 SF. (REMOVED FROM 2ND. FLOOR) = <b>1,780.13 SF.</b></li> </ul>			<p>CONSULTANTS</p> <p>ARCHITECT: SHAHRAM SHOKOUFANDEH GROUP "S" INC. 8909 W. OLYMPIC BLVD. SUITE 103 BEVERLY HILLS, CA. 90211 TEL: (424)777-0427, FAX: (424)777-0506 CEL: (310)926-9898</p> <p>MEP ENGINEER: AU DANESH PARH INC. 5010 CERRILLOS DR. WOODLAND HILLS, CA. 91364</p> <p>CIVIL ENGINEER: AMIR MIRZADEH AMC ENGINEERING CORP. P.O. BOX 572110 TARZANA, CA. 91357</p>																		

Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
COVER SHEET

Sheet No.:  
A0.0



**CITY OF GLENDALE, CALIFORNIA**  
Community Development  
Planning

633 E. Broadway Suite 202  
Glendale, CA 91205-4311  
Tel: (818) 248-2840 Fax: (818) 248-0392  
glendale.gov

February 12, 2018

Khan Consulting Inc.  
C/O Rodney V. Khan  
1111 North Brand Boulevard, Suite 403  
Glendale, CA 91202

RE: 428-431 NORTH BRAND BLVD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

Dear Mr. Khan:

Pursuant to the provisions of the Glendale Municipal Code, Title 30, Chapter 30.32.020, the Director of Community Development has processed an application for a Parking Exception for the property located at 428-431 North Brand Boulevard, in the "DSP/IGAT" - Down Town Specific Plan/Gateway District, and described as Lot 16 of the Campbell Tract, Exclusive of alley, in the City of Glendale, County of Los Angeles.

The application is hereby APPROVED, based on the following analysis and findings, and subject to the following conditions.

**PROJECT PROPOSAL**

The applicant is requesting to add an approximately 1,780 square-foot office space to the existing 24,386 square-foot four-story office building located at 428-431 North Brand Boulevard without providing the additional required four parking spaces on-site.

**ENVIRONMENTAL DETERMINATION**

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption, pursuant to State CEQA Guidelines Sections 15301 (4)(1), because the proposed addition to the existing office building will not result in an increase of more than 2,500 square feet of floor area. The project involves an addition of 1,780 square feet of floor area and a facade remodel.

**SUMMARY AND BACKGROUND**

The project site is currently developed with a four-story, 24,386 square-foot office building built in 1962-1963. The subject site is located at the southwest corner of Brand Boulevard and Milford Street in the DSP/IGAT - Downtown Specific Plan/Gateway District. Currently, the building has a total of 24 on-site parking spaces, including two ADA parking spaces, with access from a public alley on the west side of the building. Two of the parking spaces are located on the ground

428-431 NORTH BRAND BOULEVARD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

- That any other changes on this project shall be subject to review and approval of the Director of Community Development.
- That Business Registration Certificate (BRC) shall be obtained to reflect the new expanded office space.
- That all necessary permits shall be obtained from the Building and Safety Division and all construction shall be in compliance with the Glendale Building Code and all other applicable regulations.
- That access to the premises shall be made available to all City of Glendale Community Development Department, Police Department, and Fire Department staff upon request for the purpose of verifying compliance with all laws and conditions of this approval.

**APPEAL PERIOD**

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper City and public agency.

Under the provisions of the Glendale Municipal Code, Title 30, Chapter 30.62, any person affected by the above decision has the right to appeal said decision to the Planning Commission if it is believed that the decision is in error or that procedural errors have occurred, or if there is substantial new evidence which could not have been reasonably presented. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms within fifteen (15) days following the actual date of the decision. Information regarding appeals and appeal forms will be provided by the Permit Services Center (PSC) or the Community Development Department (CDD) upon request and must be filed with the prescribed fee prior to expiration of the 15-day period, on or before February 27, 2018, at the Permit Services Center (PSC), 633 East Broadway, Room 104, Monday thru Friday 7:00 a.m. to 12:00 p.m., or at the Community Development Department (CDD), 633 East Broadway, Room 105, Monday thru Friday 12:00 p.m. to 6 p.m.

APPEAL FORMS available on-line  
<https://www.glendaleca.gov/home/showdocument?id=1928>

**VIOLATIONS OF THESE CONDITIONS**

Violations of conditions required by this determination may constitute a misdemeanor or infraction under section 1.20.010 of the Glendale Municipal Code (GMC) and/or a violation of other local, State or Federal laws or regulations. Unless a specific penalty is provided, any person convicted of a misdemeanor shall be punished by a fine not to exceed one thousand dollars (\$1,000.00), or imprisonment for a term not to exceed six (6) months, or by both fine and imprisonment. Infractions are punishable by a fine not exceeding the sum of five hundred dollars (\$500.00) for each violation. Violations of conditions required by this determination may be grounds for a revocation.

428-431 NORTH BRAND BOULEVARD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

level of the building and 22 parking spaces are located in an underground parking garage. As proposed, a total of 1,390 square feet of the existing office spaces within the building on the first, second, and fourth floors will be demolished and a total of 3,170 square-foot office space will be added to the existing building on the first, second, and fourth floors resulting in a 1,780 square-foot office space addition. As such, the parking shortfall for the total of 1,780 square-foot office space addition will be four parking spaces, which cannot be accommodated on the subject site.

**PARKING EXCEPTION REQUEST**

The applicant is requesting a parking exception to allow an addition of 1,780 square-foot office space to expand the existing first, second, and fourth floors without providing the additional four required parking spaces on site.

Pursuant to Section 30.32.030 (B)(1) of the Glendale Municipal Code, upon enlargement of a building, which creates an increase in floor area devoted to a use, additional parking and loading spaces shall be provided for such new floor area without diminishing the existing parking provided for the existing use. In some cases, a strict application of the parking code to require full on-site parking for these uses is not practical or desirable, and would prevent businesses from locating in the project area.

In accordance with Section 30.32.050 of the Glendale Municipal Code, office uses in the DSP require two (2) parking spaces per 1,000 square feet of floor area; therefore, the parking shortfall for the 1,780 square-foot floor area addition for the office use will be four parking spaces. These spaces cannot be accommodated on the subject site due to the current constraints on the property as the existing building footprint covers the entire lot and it is impractical to expand the underground garage.

**REQUIRED/MANDATED FINDINGS**

After considering the evidence presented with respect to this application, the Director of Community Development has determined that Parking Exception Case No. PPPEX 1828294, a request for a four-space parking exception in conjunction with a 1,780 square-foot office space addition to the existing office building located at 428-431 North Brand Boulevard, meets the findings of Section 30.32.020 as follows:

A. Parking spaces required for the proposed use or construction proposal cannot reasonably be provided in site, configuration, number of spaces or locations specified by the provisions of this title without impairment of the project's viability.

The required number of parking spaces for the additional office space cannot reasonably be provided on-site.

The subject site is located on the southwest corner of Brand Boulevard and Milford Street. The site is 5,780 square feet in area and bounded by Milford Street to the north, Brand Boulevard to the east, an alley to the west, and a commercial building to the south. The existing four-story office building with an underground parking garage covers the entire lot. The proposal includes construction of approximately 3,170 square feet of office space including a mezzanine on the fourth floor of the existing 24,386 square-foot office building. However, a total of 1,390 square

428-431 NORTH BRAND BOULEVARD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

**REVOCAION, CONTINUING JURISDICTION**

Section 30.64.020 - Revocation - The Community Development Department shall have continuing jurisdiction over parking exception permits. To consider the revocation, the Community Development Department shall hold a public hearing after giving notice by the same procedure as for consideration of a parking exception permit at least ten (10) days' notice by mail to the applicant or permittee. Continuing jurisdiction over any case is the purview of the Director of Community Development.

**GMC CHAPTER 30.44 PROVIDES FOR:**

**TERMINATION**

Every right or privilege authorized by a parking exception permit shall terminate two (2) years after the granting of such, unless the exercise of such right or privilege has commenced in good faith prior to such time, except as otherwise provided for.

**EXTENSION**

An extension of the parking exception permit may be requested one time and extended for up to a maximum of one (1) additional year upon receipt of a written request from the applicant and demonstration that a reasonable effort to act on such right and privilege has commenced within the two (2) years of the approval date. In granting such extension, the applicable review authority shall make a written finding that neighborhood conditions have not substantially changed since the granting of the parking exception.

**RENEWAL**

Any parking exception may be terminated by the review authority upon any interruption or cessation of the use permitted by the parking exception for one year or more in the continuous exercise in good faith of such right and privilege.

**NOTICE - subsequent contacts with this office**

The applicant is further advised that all subsequent contact with this office regarding this determination must be with the case planner. This would include clarification, verification of condition compliance and plans or building permit applications, etc. and shall be accomplished By Appointment Only, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well. You should have any questions regarding this issue, please do not hesitate to contact the case planner, Aileen Babikian at (818) 887-8331 or ababikian@glendaleca.gov

Sincerely,

Philip Lazzarone  
Director of Community Development  
PLK:KAB:am

428-431 NORTH BRAND BOULEVARD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

feet of office space within the existing building will be removed resulting in a 1,780 square-foot floor area addition to the existing building. The increase in floor area of 1,780 square feet for office uses will require an additional four parking spaces. Based on the current development of the property including the existing building location, there is no additional space to accommodate the additional parking spaces. The applicant would have to make significant modifications to the existing building, which would impair the viability of the proposed addition. As there are no on-site alternatives to locate the four additional parking spaces, the required four parking spaces in conjunction with the proposed 1,780 square-foot office space addition cannot reasonably be provided on-site.

B. The parking exception will serve to promote specific goals and objectives of the adopted plan for the former Central Redevelopment Area and will be consistent with the various elements of the General Plan and will promote the general welfare and economic well-being of the area.

The project is consistent with the intent of the goals and objectives of the former Central Redevelopment Project and the Downtown Specific Plan. Applicable goals include promoting the general welfare and economic well-being of the area. The site is located in the Gateway District of the Downtown Specific Plan (DSP) that is home to numerous corporate headquarters and businesses whose multi-storied towers are visible from the various viewpoints throughout the city and the 134 Freeway. One of the goals and objectives of the Gateway District is to focus and encourage promotion and location of corporate headquarters. The preferred land uses in this district are high-rise office and residential, hotels, and other uses which support the adjacent office uses and employees. The project will promote the economic well-being of the area by adding new office spaces. Furthermore, the proposed facade remodel will help to create an attractive visual image of Glendale for freeway users.

The project is consistent with the various elements and objectives of the General Plan. The Land Use Element encourages a vibrant array of commercial (retail, service, office, and entertainment) uses, in addition to very high density, urban housing and mixed-use developments. The Circulation Element classifies Brand Boulevard as a Major Arterial that can accommodate the traffic and circulation patterns of the proposed office expansion. Milford Street is classified as an urban collector in the Circulation Element and can also adequately accommodate the traffic and circulation patterns of the proposed addition. The site is not designated for a future park or open space in the Open Space and Conservation Element or the Recreation Element. The site is not in an active fault zone as shown in the Safety Element. For all of these reasons, the project will be consistent with the various elements and objectives of the Glendale General Plan.

C. The project involves exceptional circumstances or conditions applicable to the property involved, or the intended use or development of the property that do not apply generally to other property in the area.

There are conditions applicable to the subject property and the intended use that do not apply generally to other property in the area. The existing building footprint covers the entire site making it infeasible to alter the size or configuration of the structure to accommodate the four additional on-site parking spaces required by the Zoning Code. Currently, the project site is a four-story, 24,386 square-foot multi-tenant office building located on the southwest corner of Brand Boulevard and Milford Street. The building was originally developed in 1962-1963 with 22 on-site parking spaces in an underground parking garage and two parking spaces at the ground level on the west side of the building with vehicular access from a public alley. The proposed office use expansion of 1,780 square feet is parked at 2 spaces per 1,000 square feet of floor

428-431 NORTH BRAND BOULEVARD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

CC: City Clerk (K.Chuz); Police Dept. (A.Jenks/Z.Avila); City Attorney's Dept. (G. van Mynden/V. Neudjan); Fire Prevention Engineering Section (J.Halpern); Traffic & Transportation Section (Larry Tan/S. Vartanian); General Manager for Glendale Water and Power (S.Zam); Glendale Water & Power-Water Section (G. Tom/S. Boghosian); Glendale Water & Power-Electric Section (V. Avedian/S. Ortiz); Parks, Recreation and Community Services Dept. (T. Alekian); Neighborhood Services Division (Rena Bada); Integrated Waste Management Admin. (D. Harwell); Maintenance Services Section Admin. (D. Handgrove); Street and Field Services Admin.; Engineering and Environmental Management (C.Chew/R. Villalona); letters and emails received; and case planner Aileen Babikian.

428-431 NORTH BRAND BOULEVARD  
PARKING EXCEPTION CASE NO. PPPEX 1828294

area; therefore, four additional on-site parking spaces are required. Based on the current development on the site, including building location, it would not be possible to extend the building or accommodate additional parking spaces without significantly altering the existing building, which would impair the project's viability. Therefore, there are exceptional circumstances that warrant approval of the requested parking exception for this project

D. There are mitigating circumstances whereby the exception will not be materially detrimental to the public welfare or injurious to property or improvements in the vicinity of the property or in the neighborhood in which the property is located.

The granting of the parking exception to allow the expansion of the existing office building with four parking spaces shortfall will not be detrimental to the public welfare or other developments in the surrounding neighborhood. The proposed office expansion is not anticipated to increase the demand for parking. The subject site is located in the Downtown Specific Plan (DSP). The DSP governs development of the site and surrounding area. Goals of the DSP include strengthening downtown's pedestrian, bicycle and transit-oriented characteristics while ensuring vehicular access to downtown destinations and preserving and enhancing the distinctive character of Glendale's downtown buildings, streets and views. Furthermore, the site is adjacent to a public parking structure (Orange Street Parking Structure) and to City Parking Lot 6 to the south. Both provide parking for surrounding uses and are located within short walking distances from the subject site. Therefore, the approval of a four parking space deficit is not expected to be detrimental to the public welfare or surrounding neighborhood.

Lastly, pursuant to GMC Section 30.32.020, approval of the parking exception is valid so long as the land use remains the same as at the time of permit issuance. The approval of this Parking Exception permit does not run with the land. Accordingly, the parking provided will be sufficient for the proposed use, and any potential future uses would need to obtain a new parking exception, if required.

Therefore, Parking Exception PPPEX1828294 is hereby APPROVED, subject to the following conditions:

**CONDITIONS OF APPROVAL**

- That the development shall be in substantial accord with the plans submitted with the application except for any modifications as may be required to meet specific code standards or other conditions stipulated herein to the satisfaction of the Director of Community Development. Nothing in this approval letter shall authorize its proposed project to deviate from any other Zoning Code requirements that are not specifically advertised in this application.
- That all necessary licenses, approvals and permits as required from Federal, State, County or City authorities including the City Clerk shall be obtained and kept current at all times.
- That the Parking Exception is valid only insofar as the specific use for which it was granted remains the same. The permit runs with the office use as long as there is no intensification of the use or that other uses proposed will not require more parking as provided herein as determined by the Director of Community Development.

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

**Consultants:**

ARCHITECT:  
SHARHAB SHOKOUFANDEN  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424) 777-0427  
MOBILE: (310) 928-9888

MEP ENGINEER:  
PARN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

**Notes:**

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM





















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Date: JULY, 2019  
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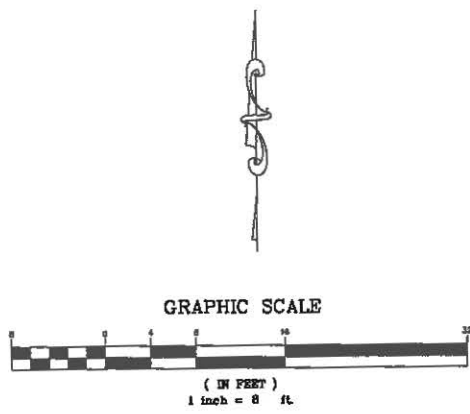
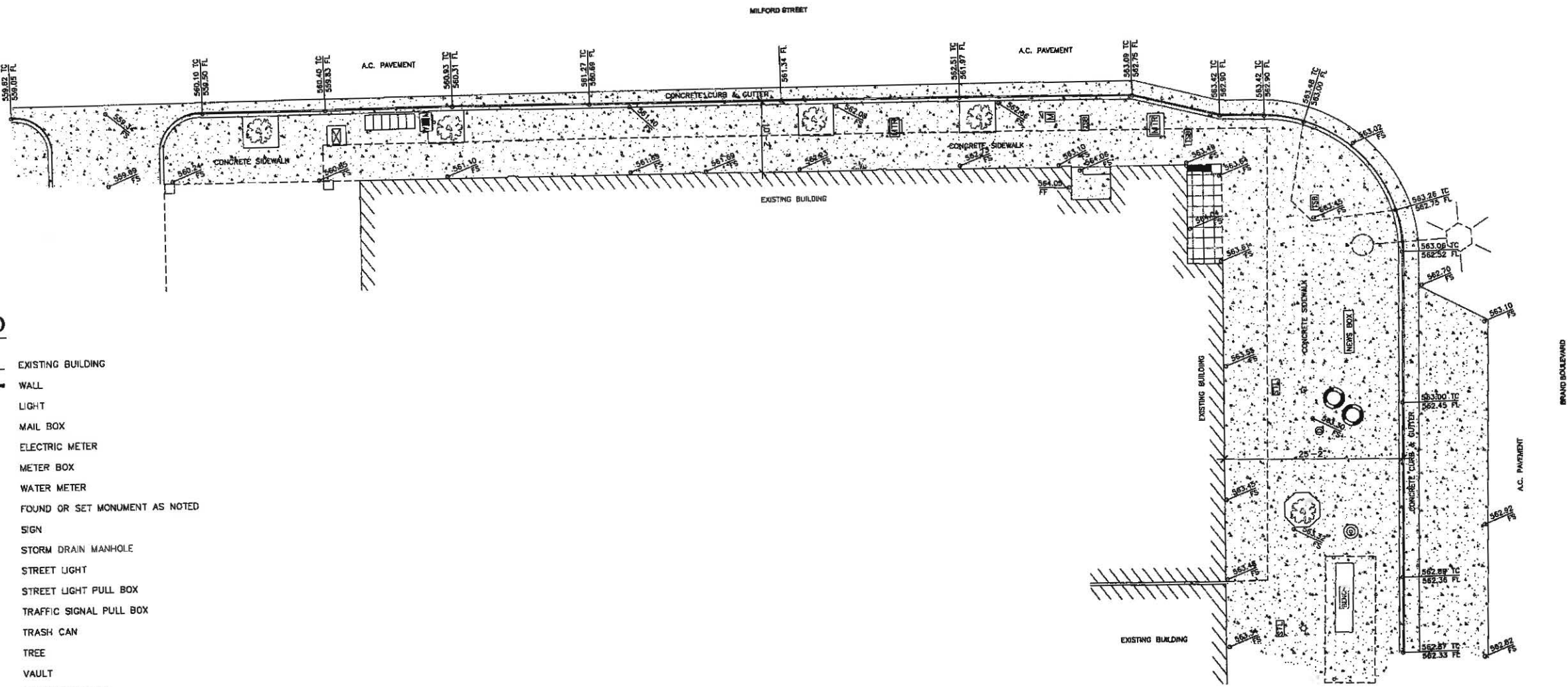
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PARKING EXCEPTION CASE

Sheet No.:  
A0.1



**LEGEND**

-  EXISTING BUILDING
-  WALL
-  LIGHT
-  MAIL BOX
-  ELECTRIC METER
-  METER BOX
-  WATER METER
-  FOUND OR SET MONUMENT AS NOTED
-  SIGN
-  STORM DRAIN MANHOLE
-  STREET LIGHT
-  STREET LIGHT PULL BOX
-  TRAFFIC SIGNAL PULL BOX
-  TRASH CAN
-  TREE
-  VAULT
-  FINISHED SURFACE
-  FINISHED FLOOR
-  FLOWLINE
-  TOP OF CURB



**BENCHMARK:**  
 CITY OF GLENDALE BENCHMARK NO. BM2329,  
 FOUND BRASS DISK IN NLY CURB MILFORD ST 1.0 FT WLY OF BCR  
 N-WLY CORNER. STAMPED 'BM2329 SET 2007'.  
 ELEVATION= 563.89'

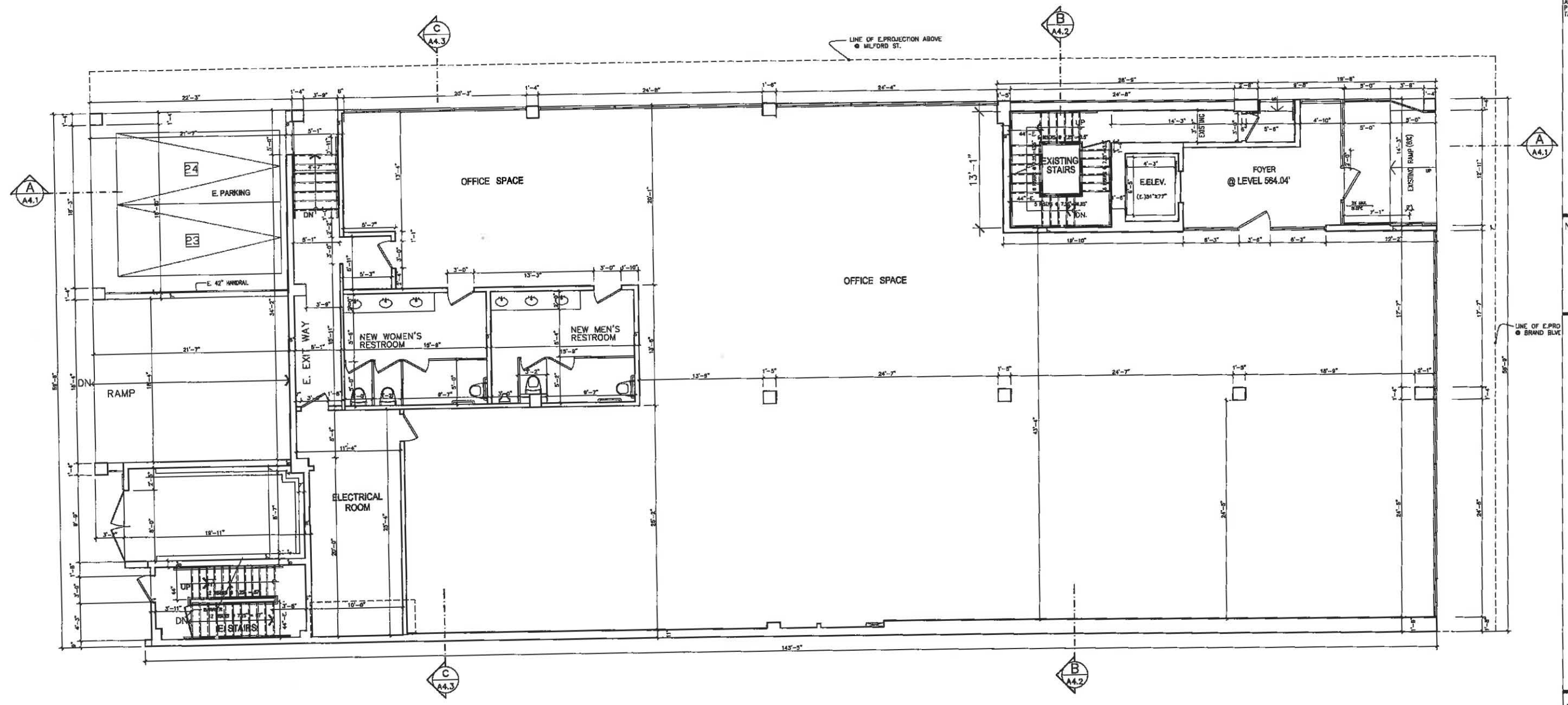
HOOSHMAND JAHANPOUR-BURKE, LS 8280 DATE

<p>TOPOGRAPHIC SURVEY</p> <p><b>431 BRAND BOULEVARD</b></p> <p><b>GLENDALE, CALIFORNIA</b></p>	<p><b>H.J. BURKE, INC.</b></p> <p>830 S. DURANGO DR., # 100, LAS VEGAS, NEVADA 89145</p> <p>T: (310) 693-1213, (702) 4528755, F: (702) 562-8876, EMAIL: info@hjburke.com</p> <p>DRAWN BY: ATJ DATE OF SURVEY: 3-25-2017</p> <p>CHECKED BY: JOHN DWG. NAME: 431 BRAND BLVD</p>	<p>APPROVED BY:</p> <p>REVISIONS</p> <p>DATE</p>
<p>SHEET:</p> <p><b>1 OF 1</b></p>		

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
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Notes:

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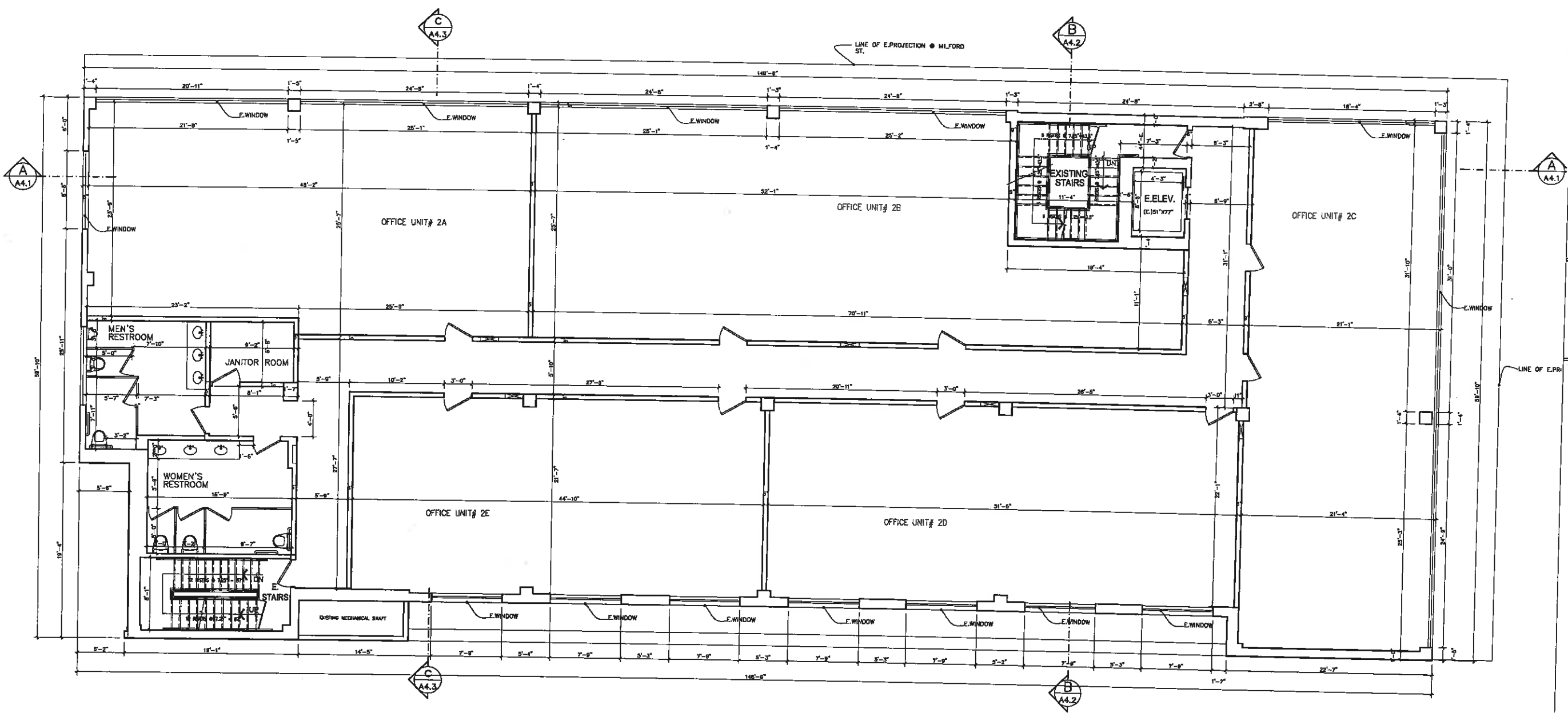
**EXISTING FIRST FLOOR PLAN**  
7413.40 SF.      sc: 3/16" = 1'-0"

Drawn By: s.s  
Checked By: s.s  
Date: JULY. 2019  
Scale:  
Sheet Title:  
**EXISTING FIRST PLAN**  
Sheet No.:  
**A2.1**

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAH SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)928-9898  
MEP ENGINEER:  
PARM INC. ALI DANESH  
5010 GERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357



Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

### EXISTING SECOND FLOOR PLAN

8056.07 SF.

sc: 3/16" = 1'-0"

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING SECOND PLAN

Sheet No.:  
A2.2

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9858  
MEP ENGINEER:  
PARVIZ H. ALI DANEH  
5070 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

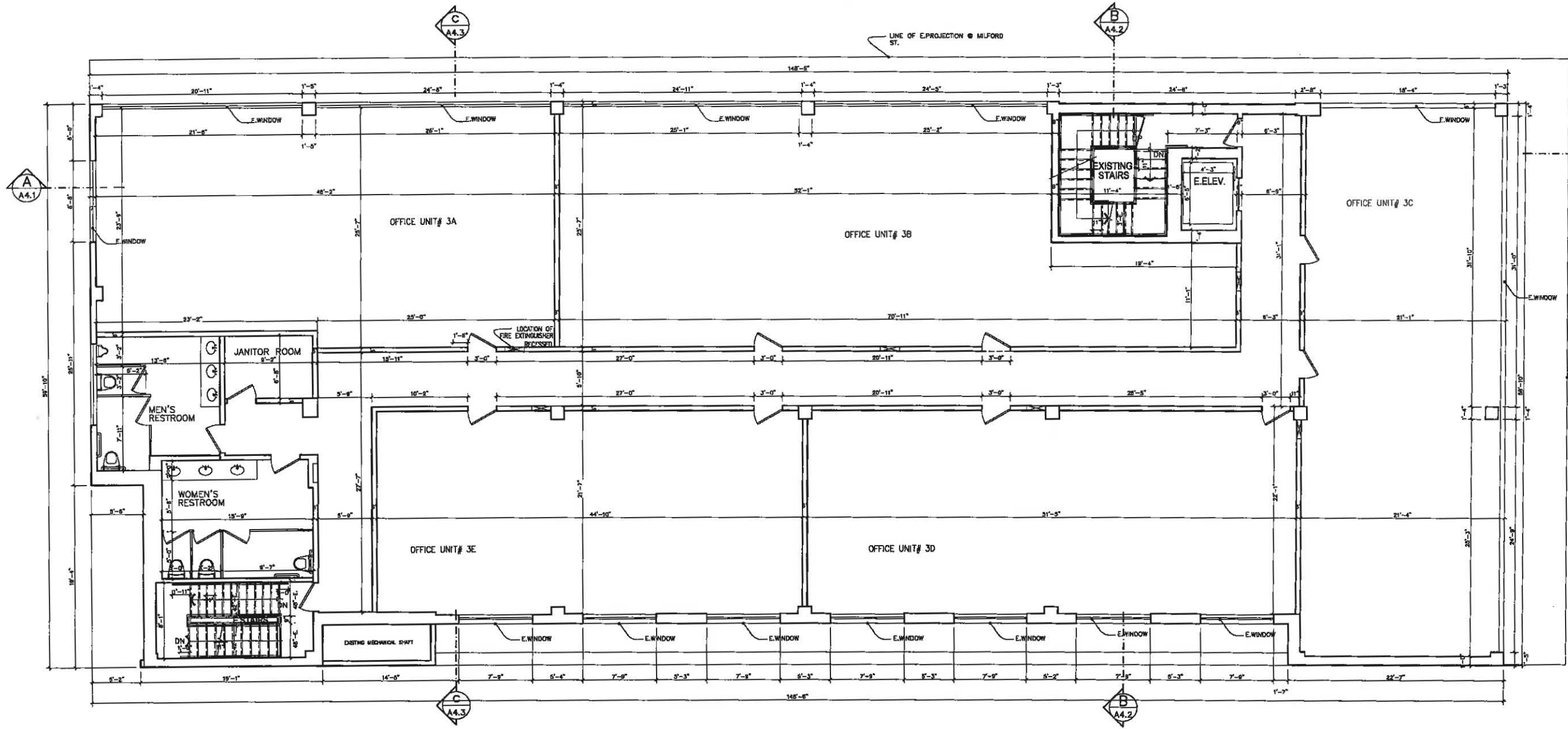
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING THIRD PLAN

Sheet No.:  
A2.3

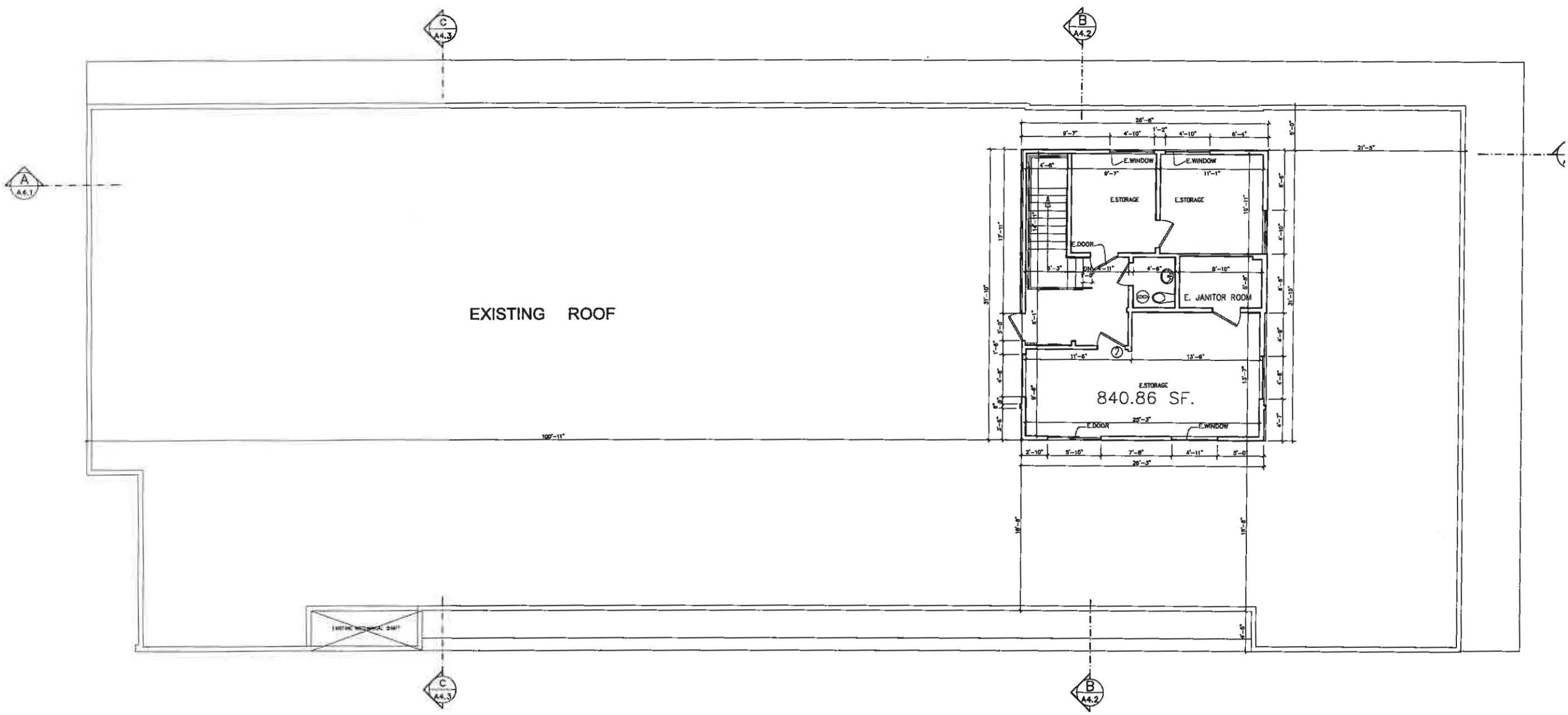


**EXISTING THIRD FLOOR PLAN**  
8056.07 SF. sc: 3/16" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARHAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9888  
MEP ENGINEER:  
PARRY INC. ALI DANESH  
3010 CERILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA 91357



Notes:

### EXISTING FOURTH FLOOR PLAN

sc: 3/16" = 1'-0"

840.86 SF.

**GROUP S INC.**  
8909 W. OLYMPIC BLVD # 103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY. 2019  
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Sheet Title:  
EXISTING FOURTH PLAN

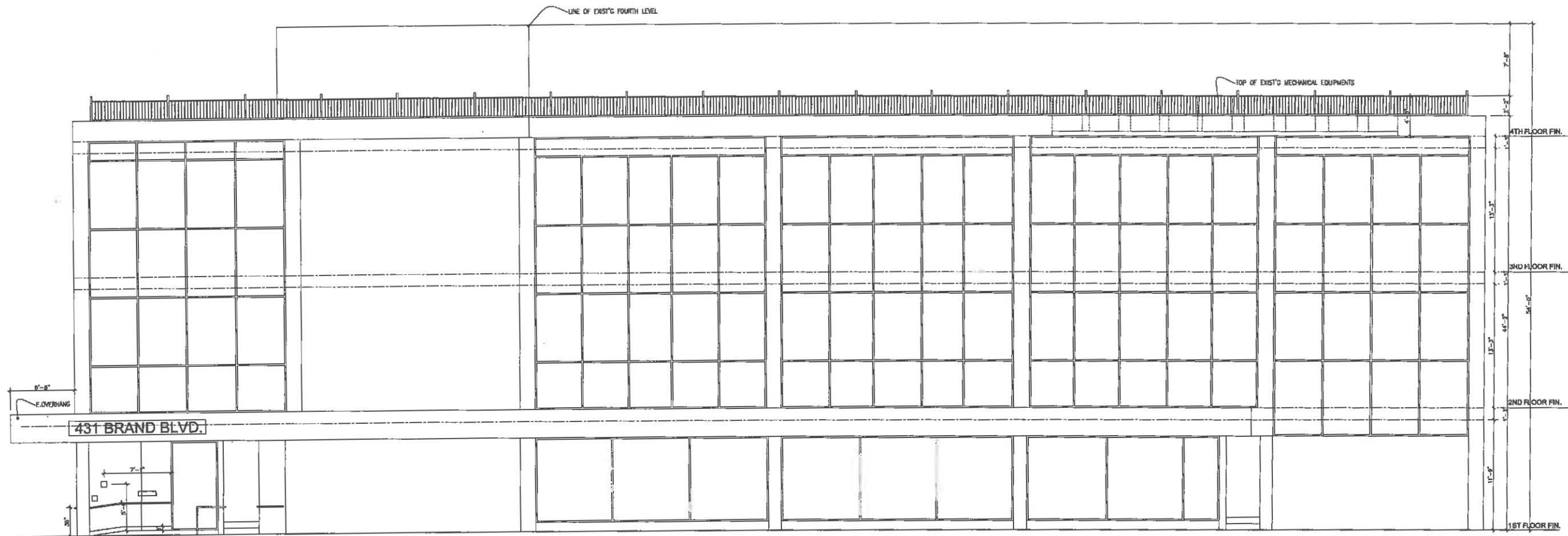
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A2.4

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9898  
MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 GERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:



**EXISTING NORTH ELEVATION**

sc: 3/16" = 1'-0"

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING NORTH ELEVATION

Sheet No.:  
**A3.0**

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

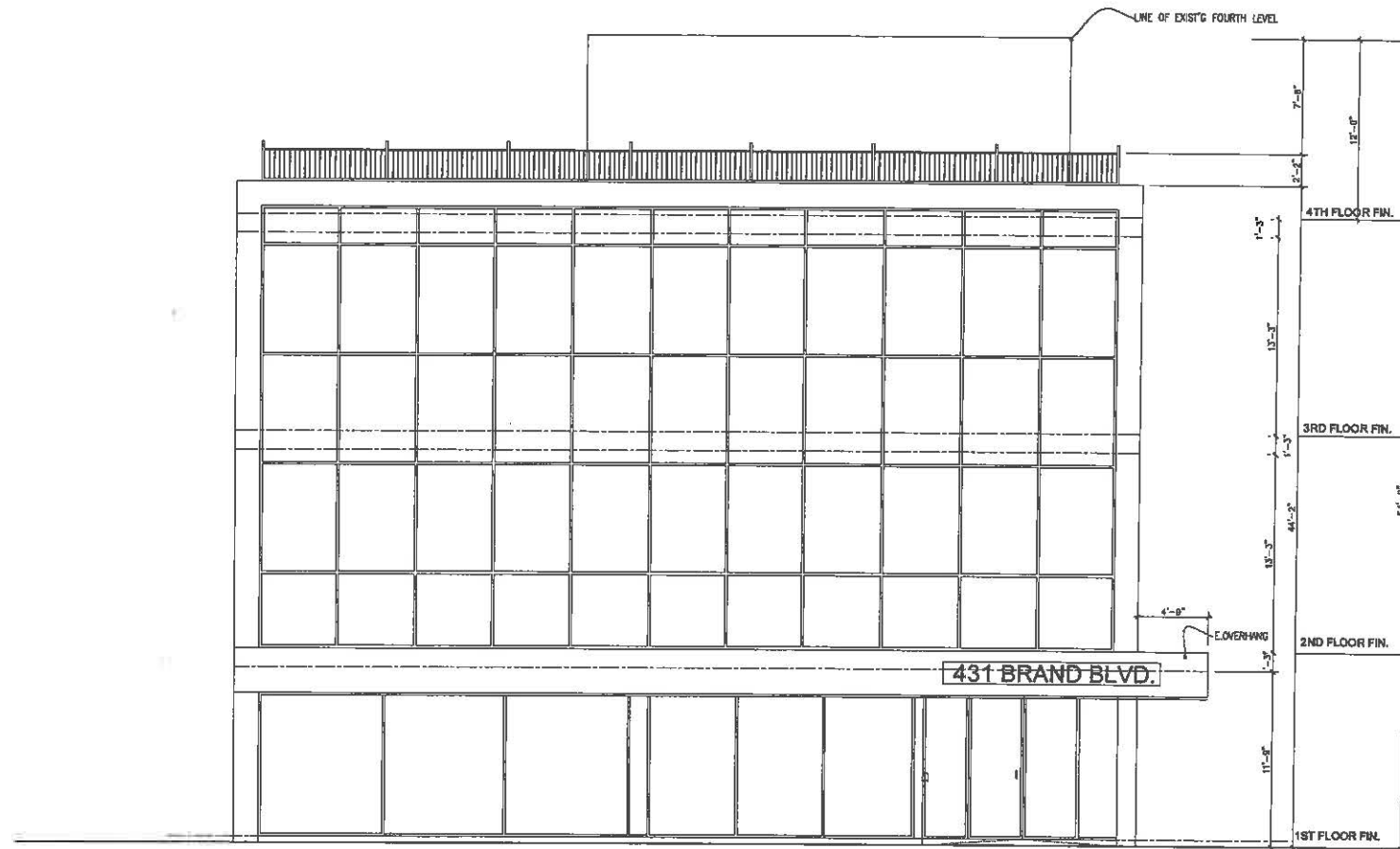
Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAH SHAKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)928-9888

MEP ENGINEER:  
PARIN INC., ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA. 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:



**EXISTING EAST ELEVATION**

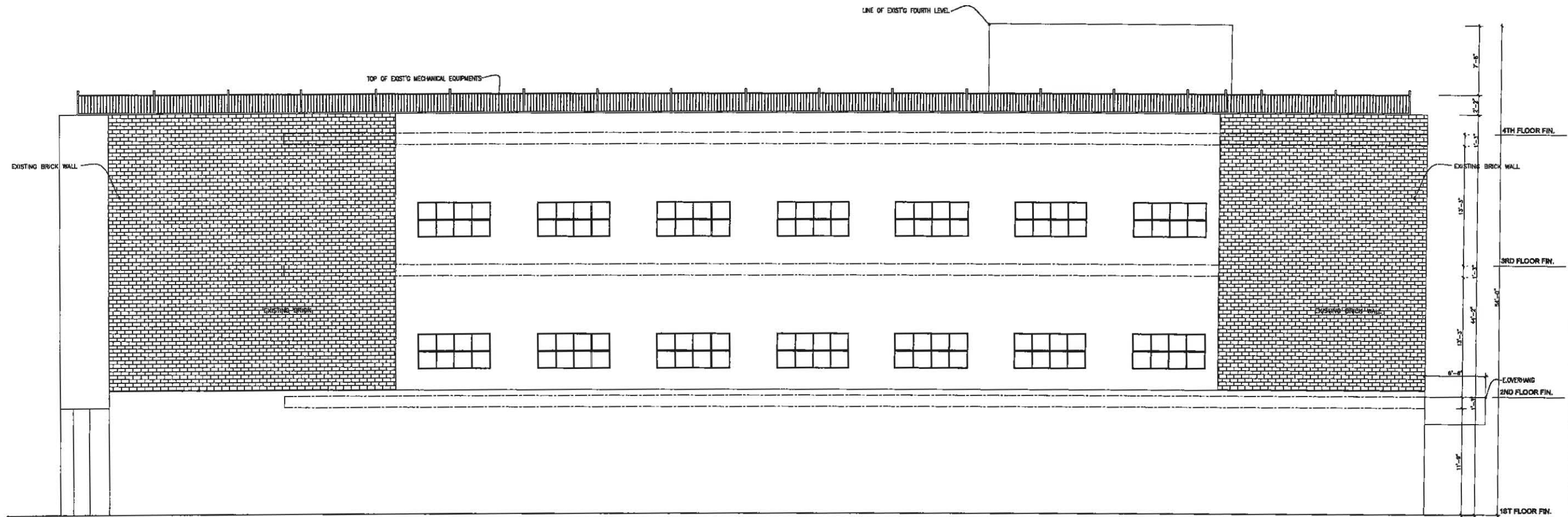
sc: 3/16" = 1'-0"

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING EAST ELEVATION

Sheet No.:  
A3.1



**EXISTING SOUTH ELEVATION**

sc: 3/16" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9899

MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572119  
TARZANA, CA. 91357

Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING SOUTH ELEVATION

Sheet No.:  
A3.2

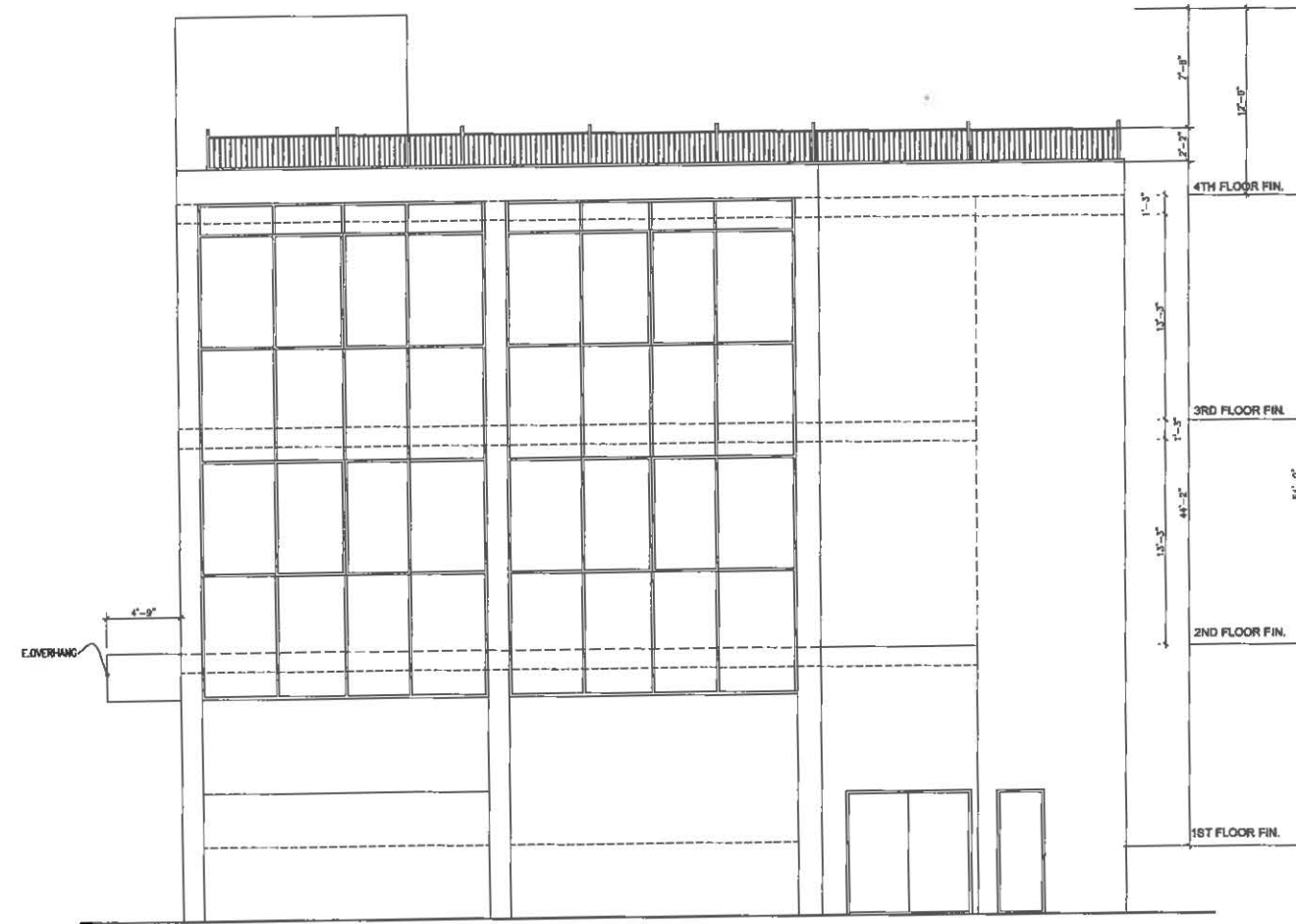


Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9898  
MEP ENGINEER:  
PARN INC., AJ DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:



**EXISTING WEST ELEVATION**

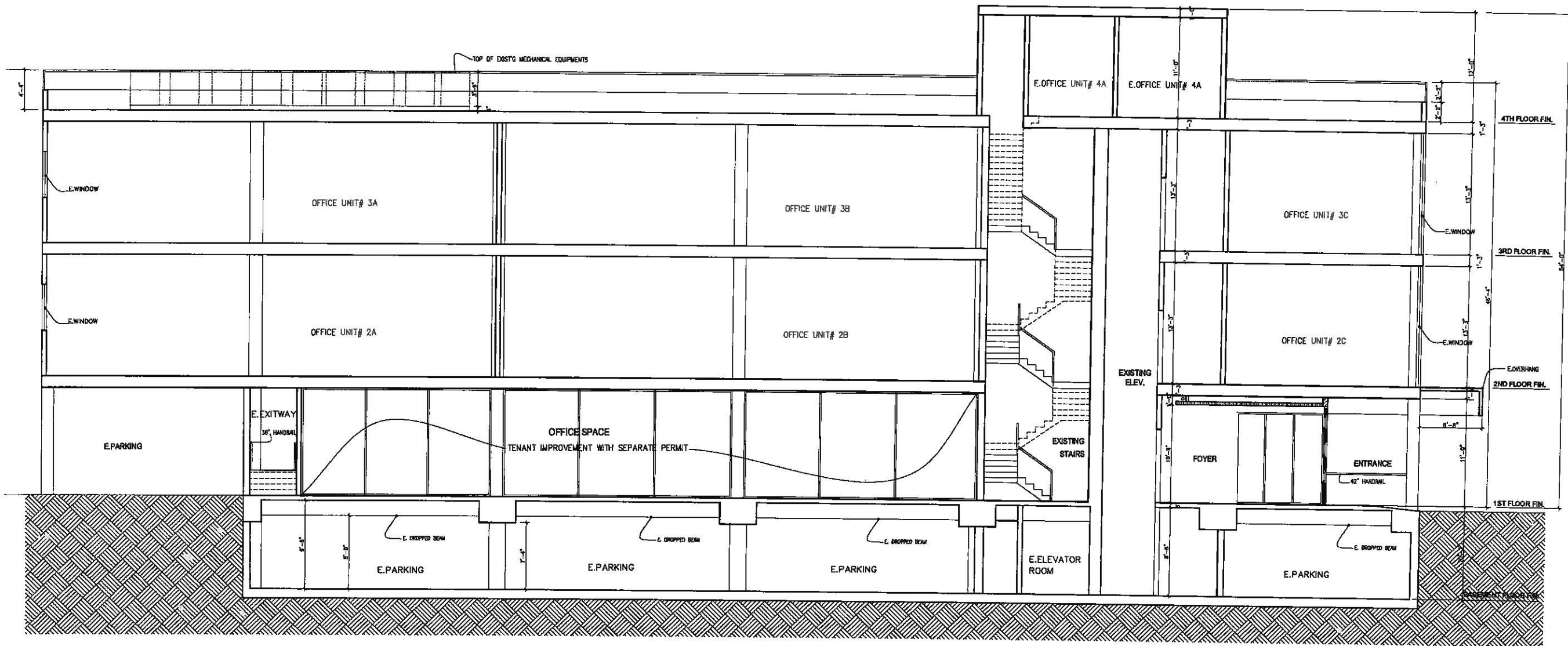
sc: 3/16" = 1'-0"

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Checked By: s.s  
Date: JULY. 2019  
Scale:

Sheet Title:  
EXISTING WEST ELEVATION

Sheet No.:  
**A3.3**



**EXISTING SECTION A-A**

sc: 3/16" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)826-8888

MEP ENGINEER:  
PARIN INC. ALI DANESH  
5050 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
A&C ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY. 2019  
Scale:

Sheet Title:  
EXISTING SECTION A

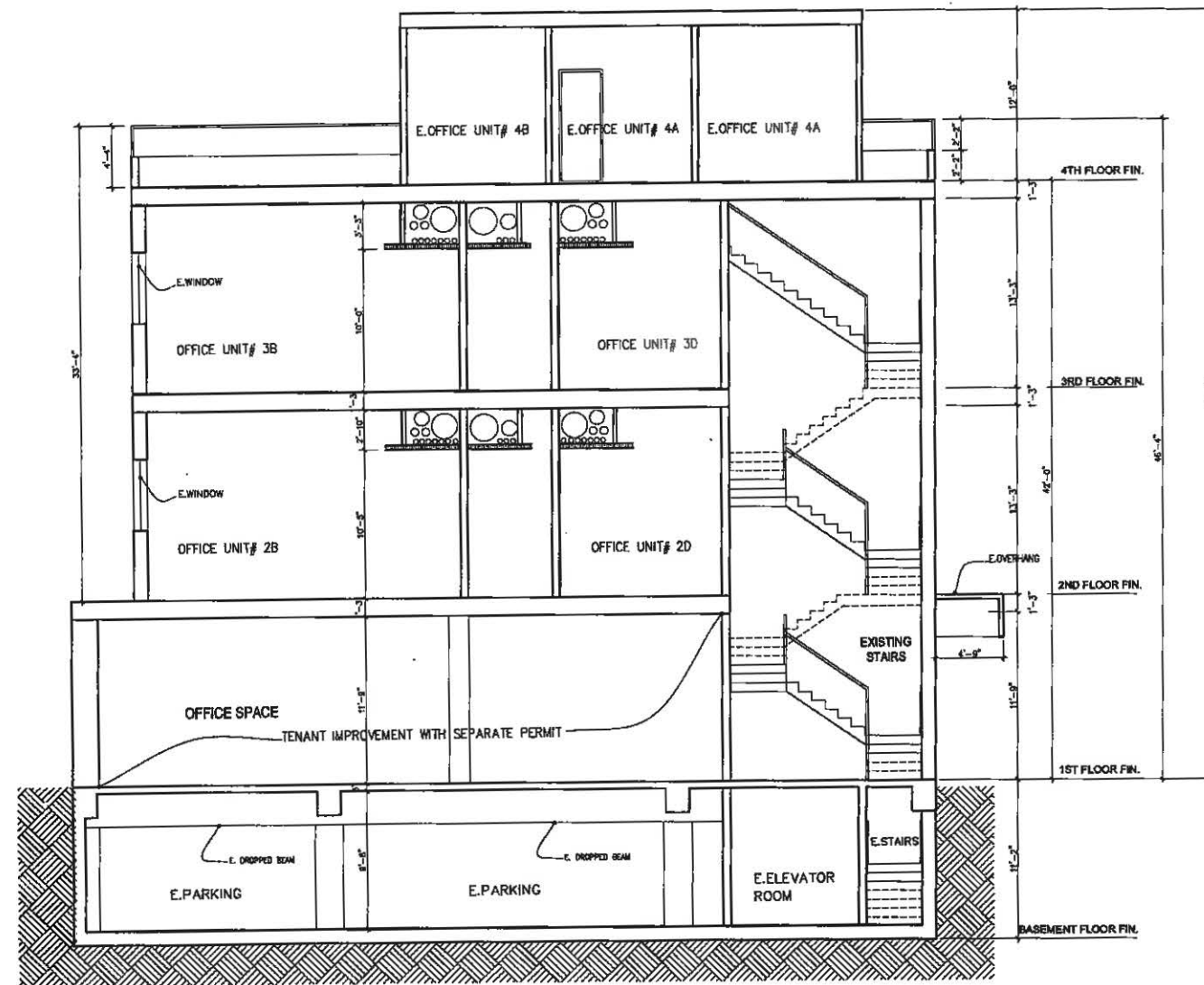
Sheet No.:  
A4.1

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)928-9898  
MEP ENGINEER:  
PARM INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572319  
TARZANA, CA. 91357

Notes:



**EXISTING SECTION B-B**

sc: 3/16" = 1'-0"

**GROUP S INC.**  
8909 W. OLYMPIC BLVD#103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
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Sheet Title:  
EXISTING SECTION B

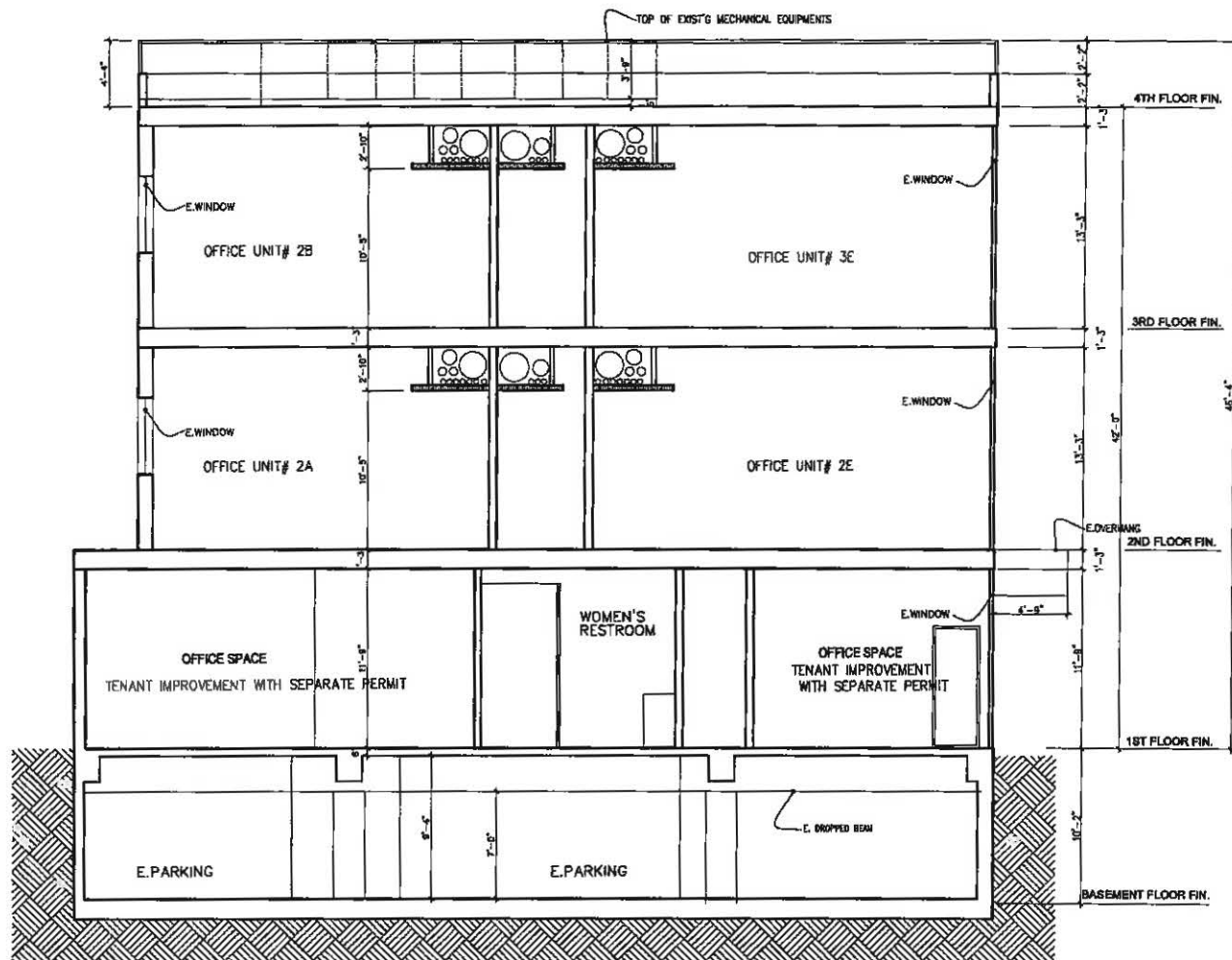
Sheet No.:  
A4.2

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAH SHIKOLFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)925-8868  
MEP ENGINEER:  
PARN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA. 91384  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:



**EXISTING SECTION C-C**  
sc: 3/16" = 1'-0"

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING SECTION B

Sheet No.:  
A4.3

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHIRAZ SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424) 777-0427  
MOBILE: (310) 926-9898

MEP ENGINEER:  
PARN INC., ALI DANESH  
5010 CENTINOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

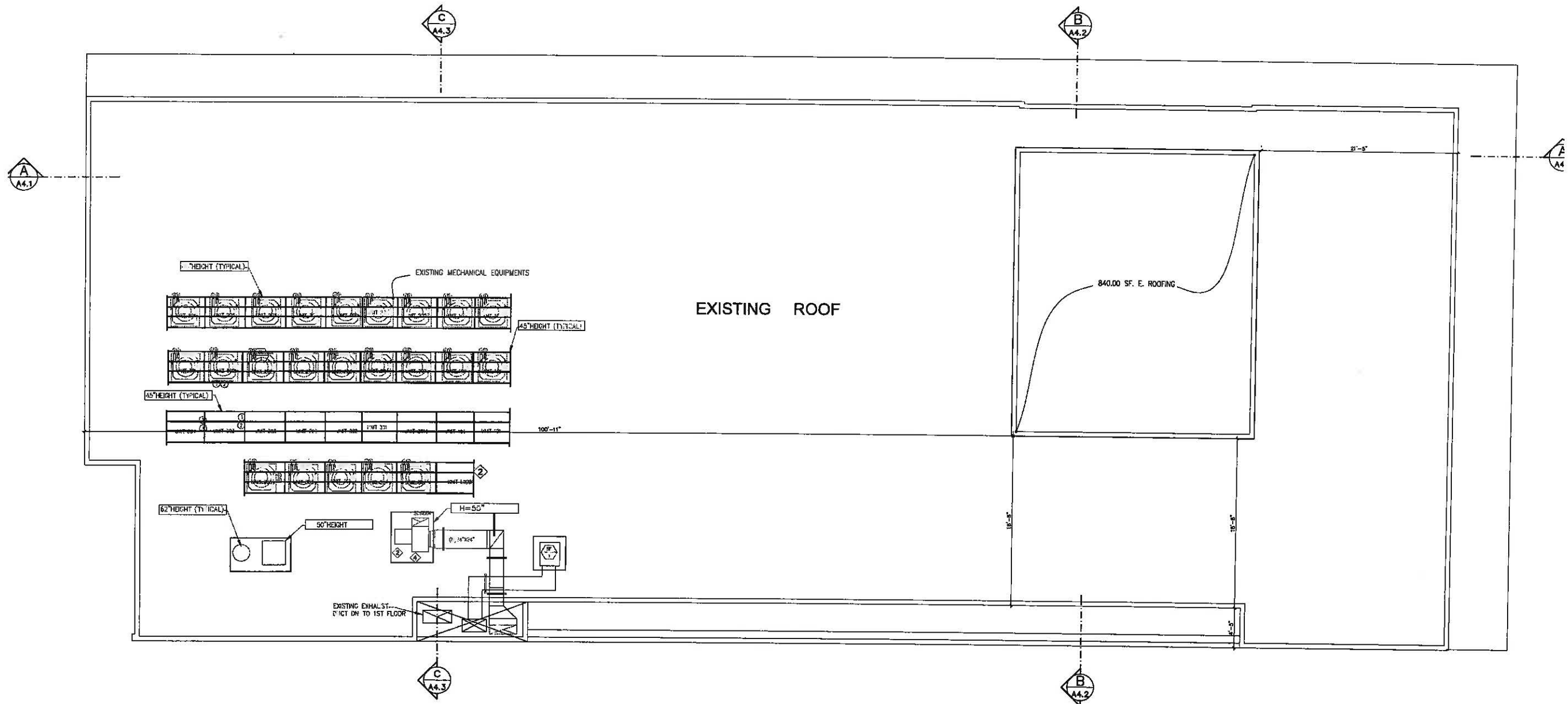
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING ROOF PLAN

Sheet No.:  
A5.1



### EXISTING ROOF PLAN

sc: 3/16" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARRAH SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-8958  
MEP ENGINEER:  
PARH INC. ALI DAMESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA. 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

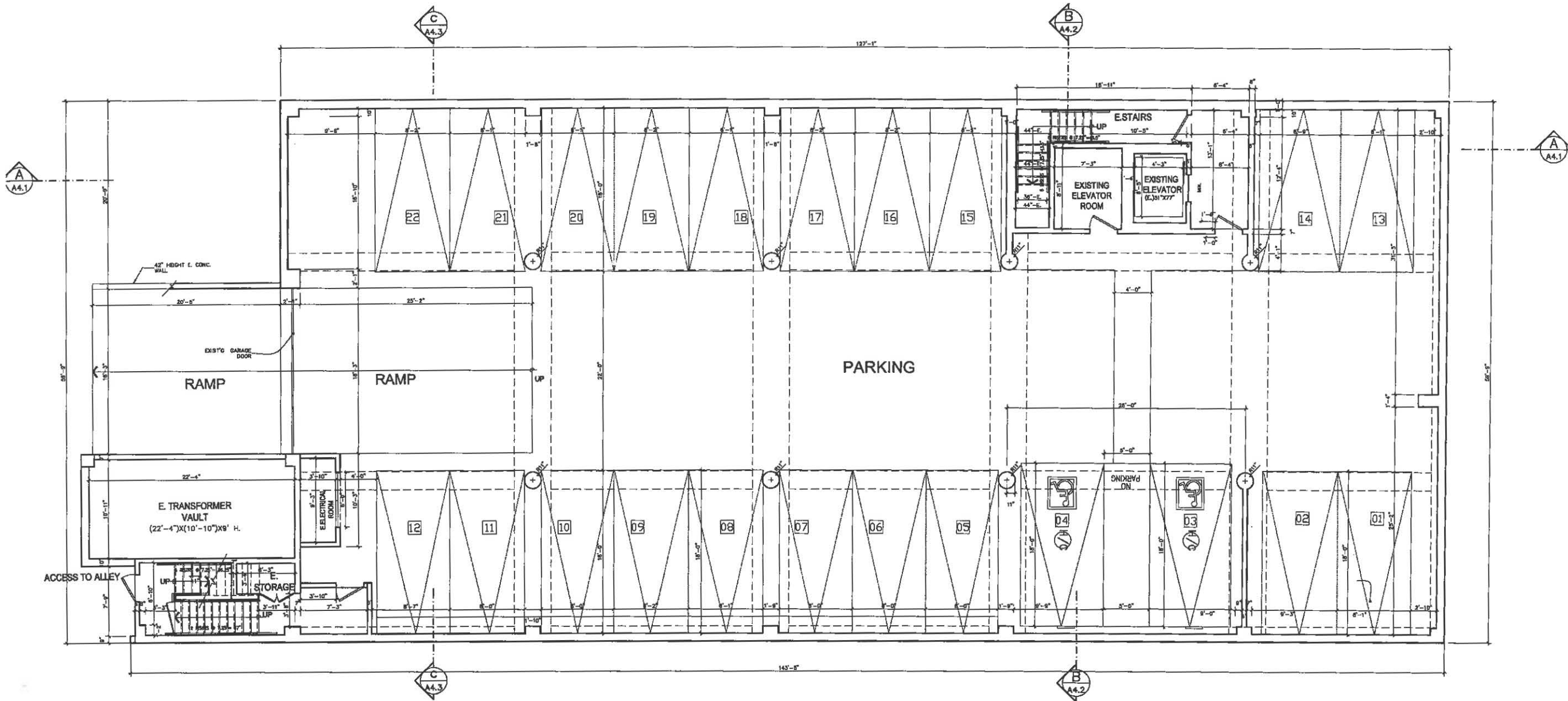
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD#103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING BASEMENT PLAN

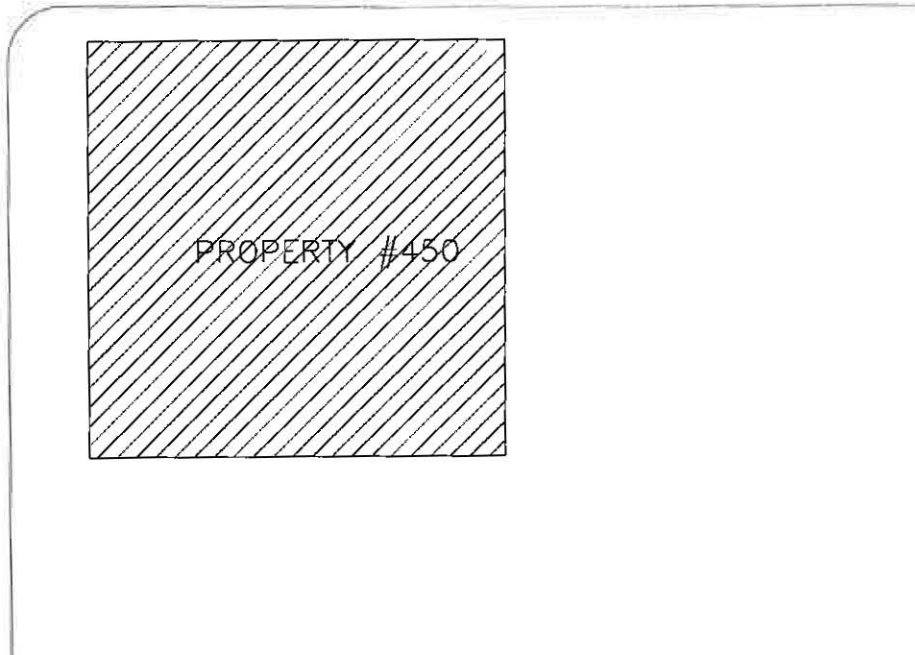
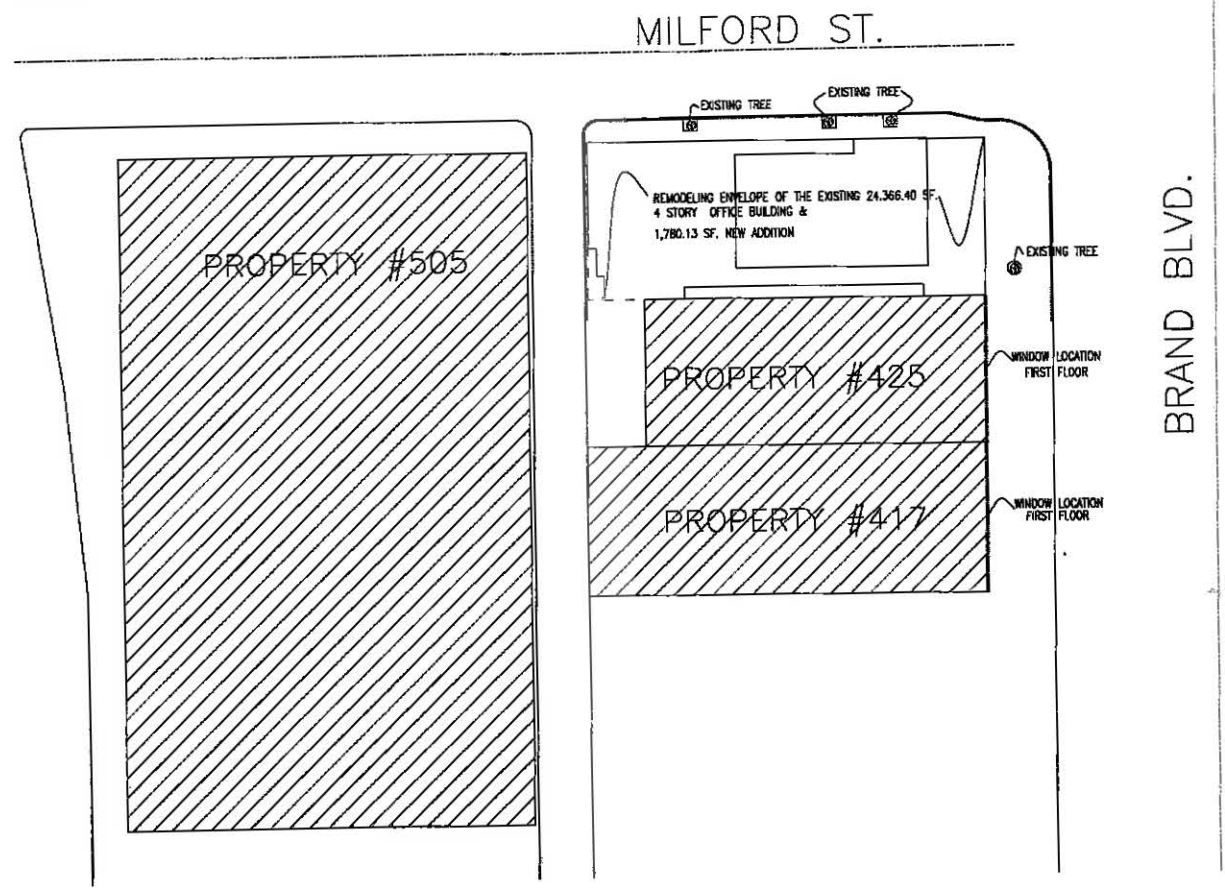
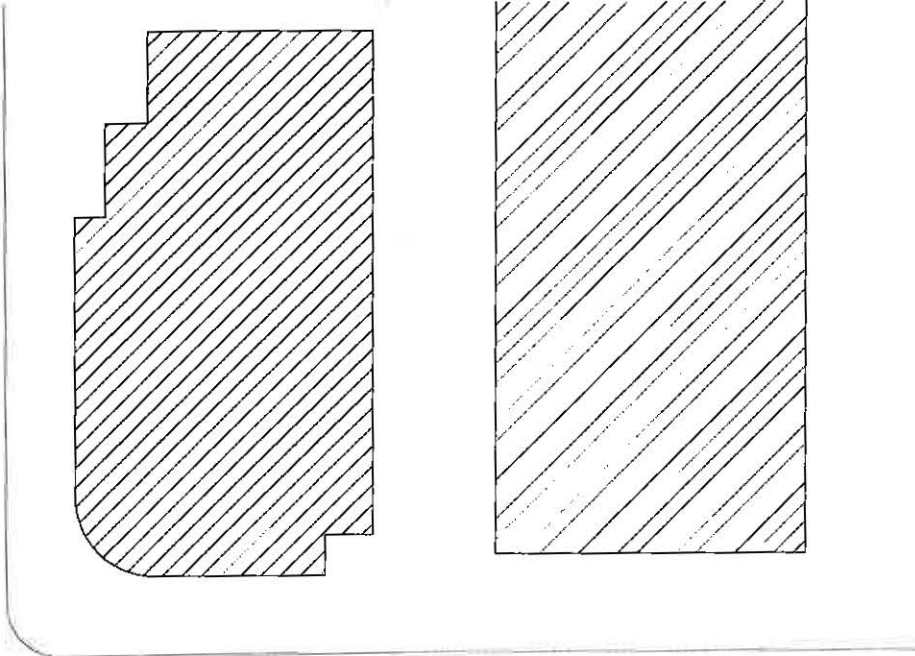
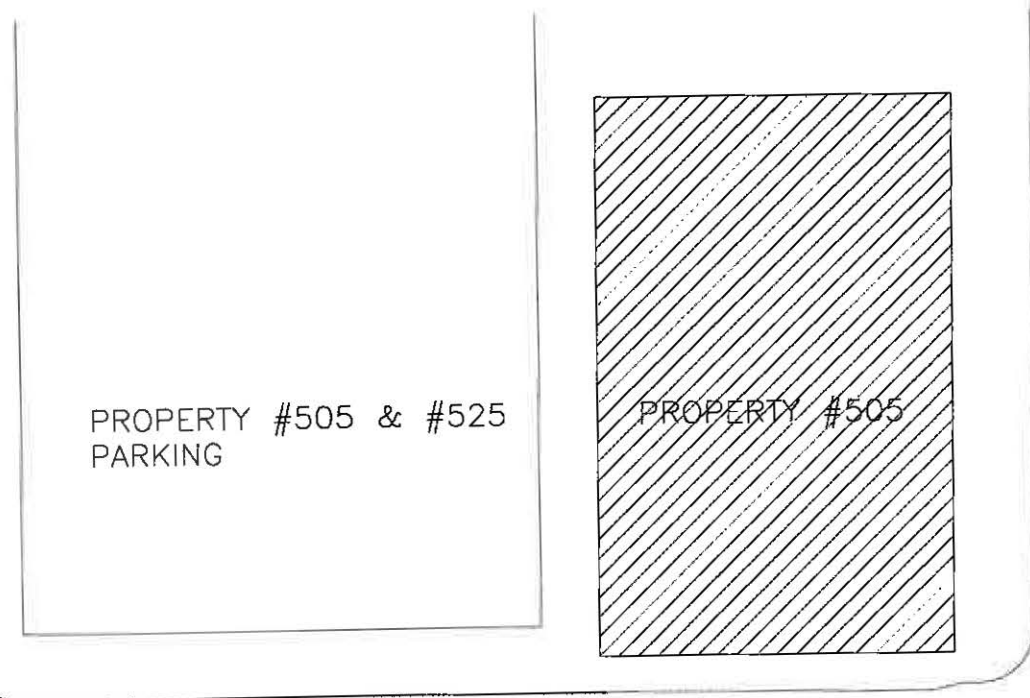
Sheet No.:  
A5.2



**EXISTING BASEMENT PLAN**

7639.21 SF.

sc: 3/16" = 1'-0"



NEIGHBORHOOD SITE PLAN

PROPERTY

sc: 1/32" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:

ARCHITECT:  
SHARAH SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9898

MEP ENGINEER:  
PARM INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY. 2019  
Scale:

Sheet Title:  
NEIGHBORHOOD SITE PLAN

Sheet No.:  
A6.0.1

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)928-9888

MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91384

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TAYLOR, CA. 91357

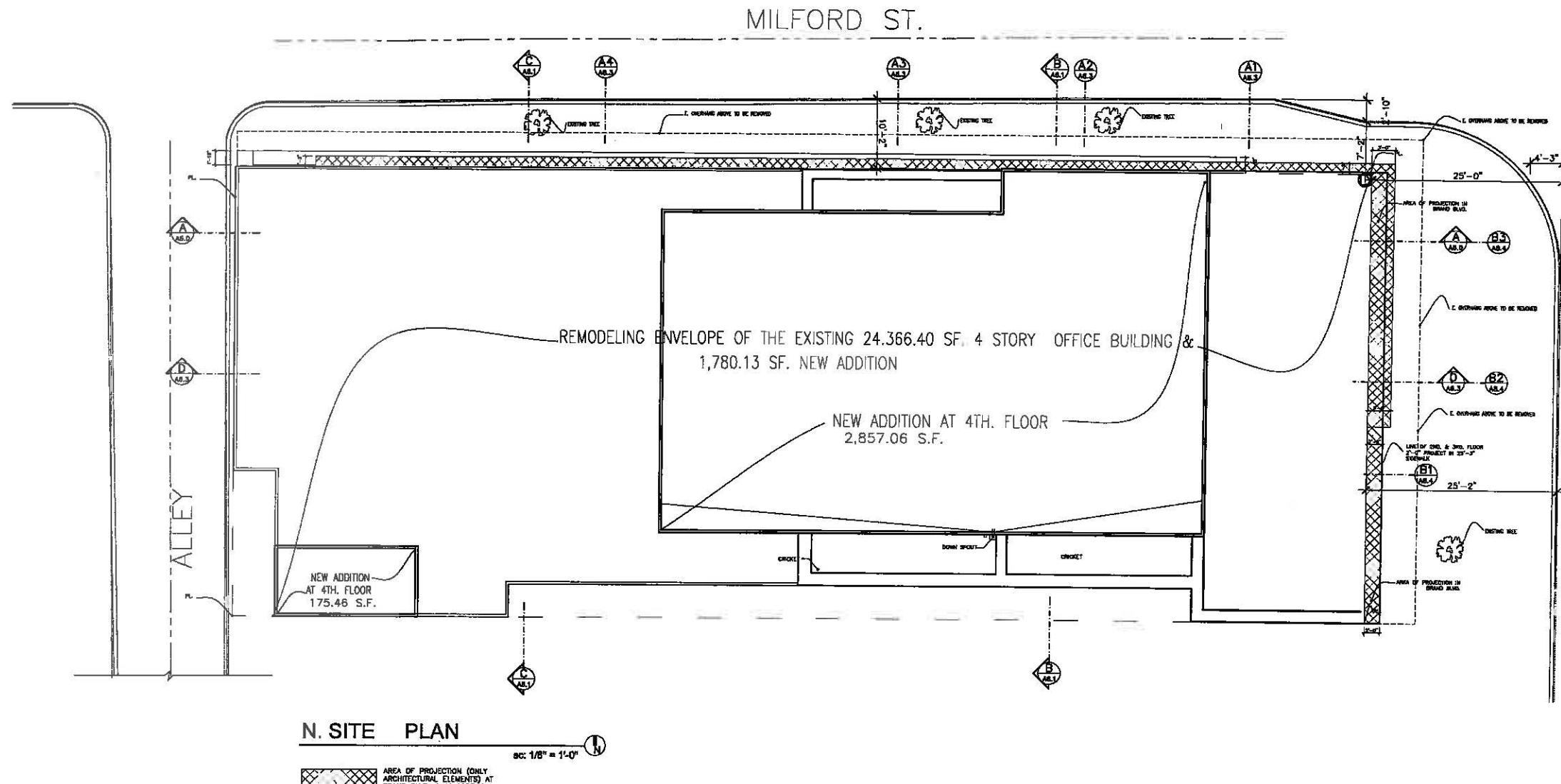
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD # 103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY. 2019  
Scale:

Sheet Title:  
PROPOSED SITE PLAN

Sheet No.:  
A6.0.2



RATIO OF LOT COVERAGE TO LOT AREA : LOT COVERAGE 8400.50 / LOT AREA 8795.01 = 0.95

RATIO OF TOTAL FLOOR AREA TO LOT AREA : TOTAL FLOOR AREA 26146.53 S.F. / 8795.01 S.F. = 2.97

	TOTAL S.F. EXISTING	ADD s.f	REMOVE s.f	TOTAL S.F. PROPOSED
FIRST FLOOR AREA	7413.40 S.F.	-	342.00 SF.	7071.40 SF.
SECOND FLOOR AREA	8056.07 S.F.	-	69.53 SF.	7986.54 SF.
THIRD FLOOR AREA	8056.07 S.F.	-	-	8056.07 SF.
FORTH FLOOR AREA	840.86 S.F.	3032.52 SF.	840.86 S.F.	2191.66 SF.
TOTAL	24,366.40 S.F.	3032.52 SF.	1,252.39 S.F.	26,146.53 S.F.
		3032.52-1252.39=1780.13 S.F.		



Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:

ARCHITECT:  
SHARHAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-8888

MEP ENGINEER:  
PARIN INC. AH DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA. 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TAYZANA, CA. 91357

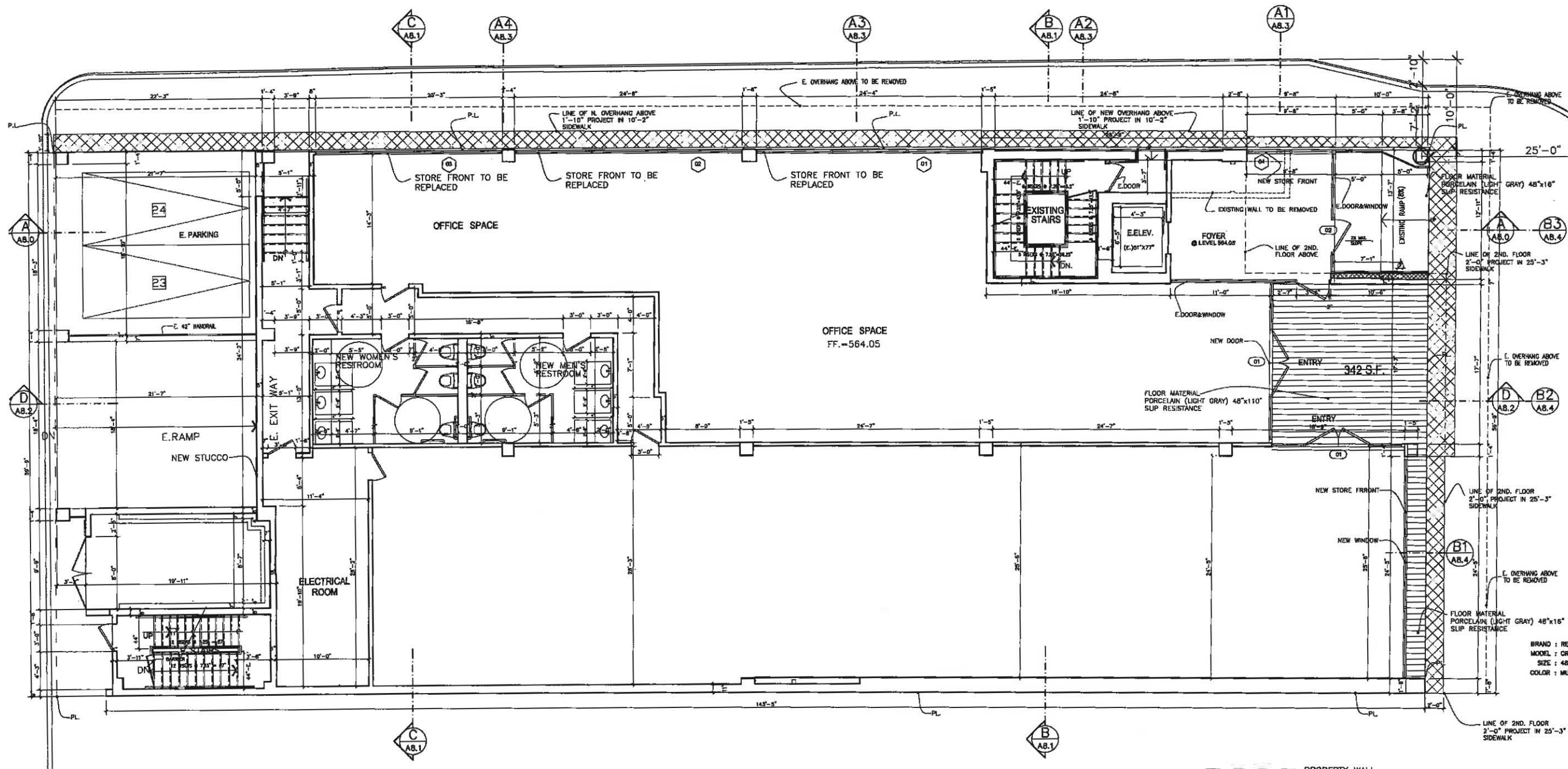
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED FIRST PLAN

Sheet No.:  
A6.1



**PROPOSED FIRST FLOOR PLAN**

6896.01 SF.

sc: 3/16" = 1'-0"

- SEE DOOR SCHEDULE - SHEET A9.1
- ◊ SEE WINDOW SCHEDULE - SHEET A9.1
- SEE CURTAIN WALL SCHEDULE - SHEET A9.1

- PROPERTY WALL
- WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL
- AREA OF EXIST'G BUILD'G TO BE REMOVED @ BRAND BLVD. "DEDICATED TO THE SIDE YARD"
- NEW CURTAIN WALL, STOREFRONT, WINDOWS & DOORS INSTALL AT THE SAME LOCATION OF THE EXIST'G.
- AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHAM SHOKOUFANDEH  
GROUP S INC.  
8809 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9888

MEP ENGINEER:  
PARH INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

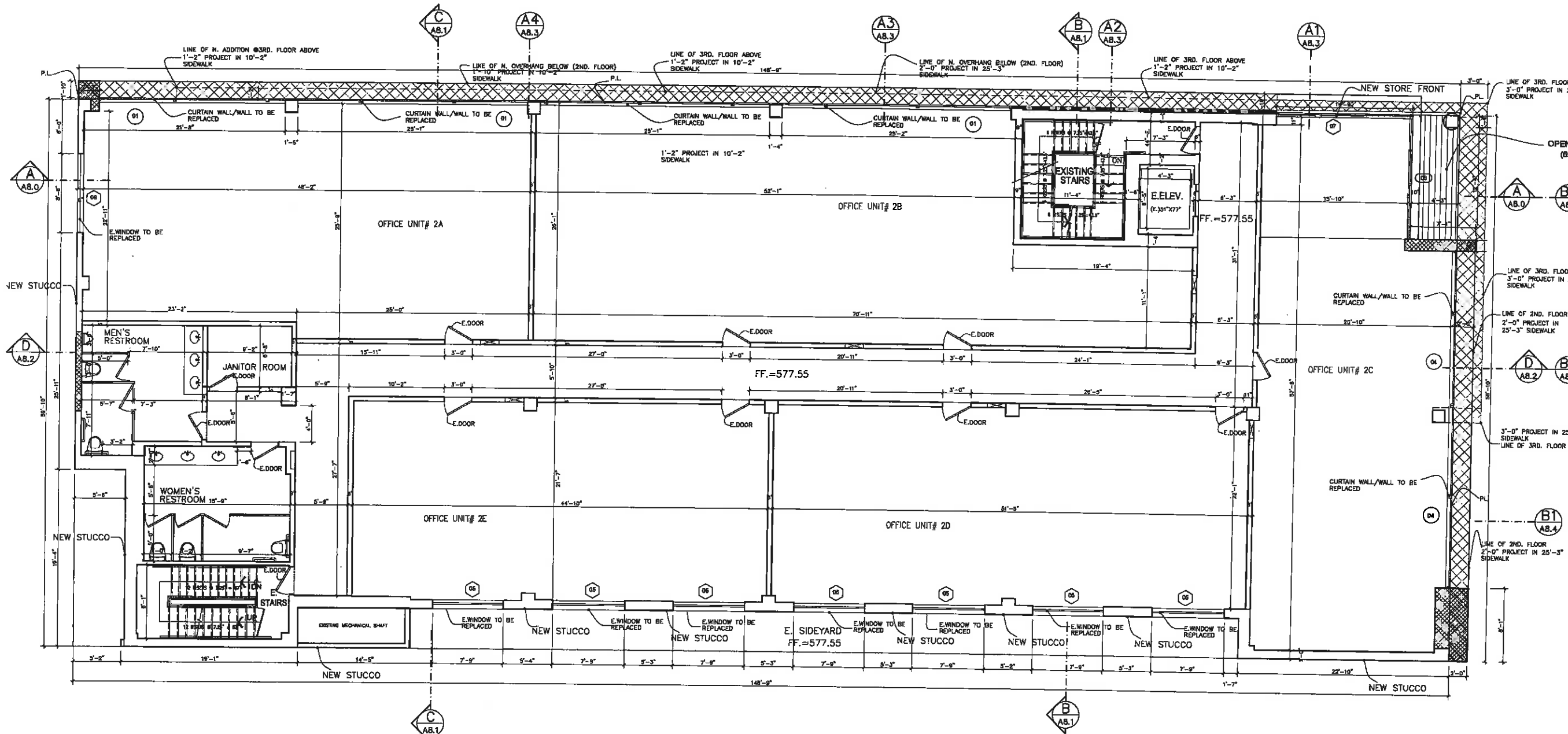
Notes:

**GROUP S INC.**  
8809 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED SECOND PLAN

Sheet No.:  
A6.2



**PROPOSED SECOND FLOOR PLAN**

8038.63 SF.

sc: 3/16" = 1'-0"

- SEE DOOR SCHEDULE - SHEET A9.1
- SEE WINDOW SCHEDULE - SHEET A9.1
- SEE CURTAIN WALL SCHEDULE - SHEET A9.1

- PROPERTY WALL
- E. WALL TO BE REMOVED
- ===== EXISTING WALL
- XXXXXX NEW WALL
- ||||| AREA OF EXIST'G 2ND. FLOOR LEVEL TO BE REMOVED
- ////// NEW FLOOR TO BE ADDED @ 2ND FLOOR
- ===== NEW CURTAIN WALL, STOREFRONT, WINDOWS & DOORS INSTALL AT THE SAME LOCATION OF THE EXIST'G.
- XXXXXX AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9888  
MEP ENGINEER:  
PARN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

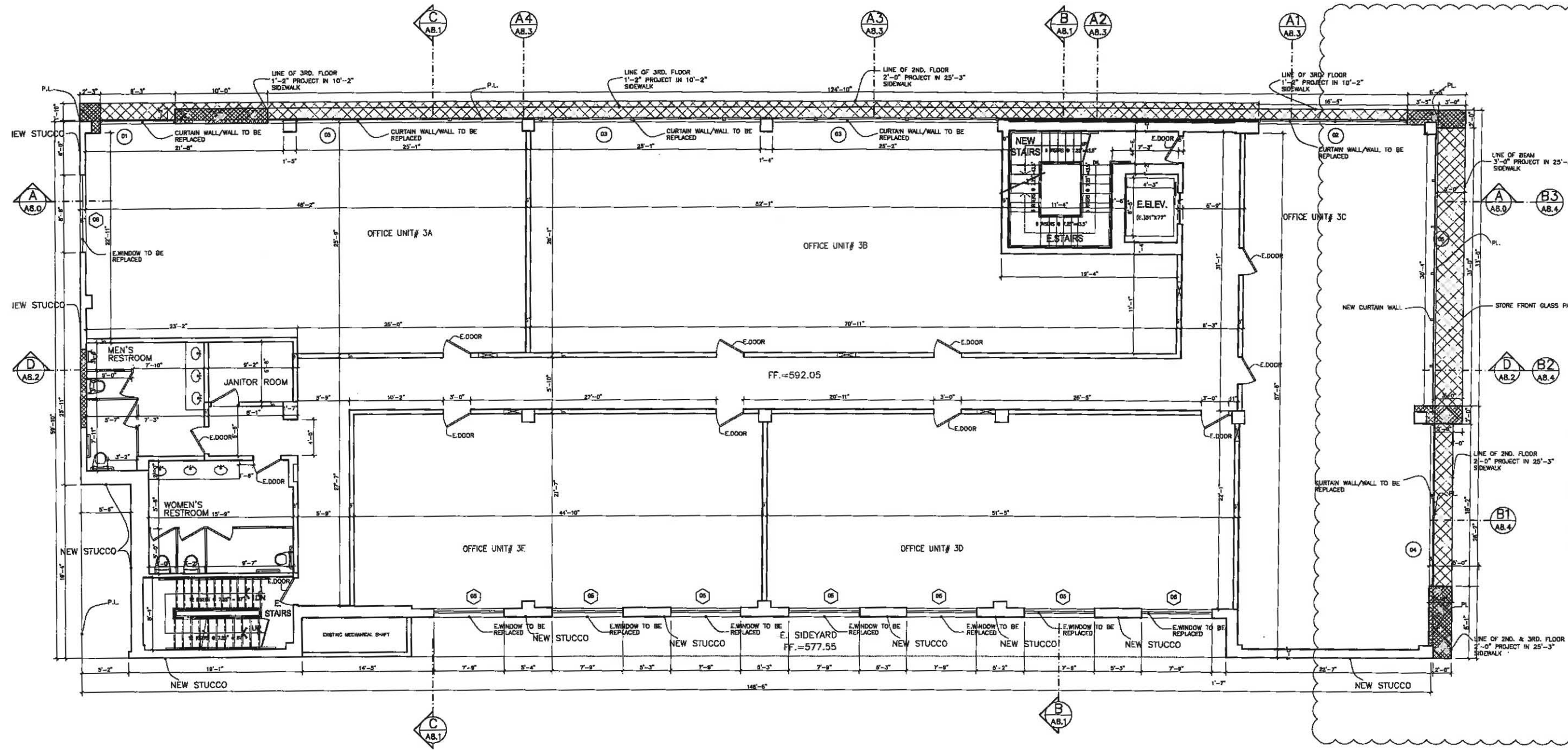
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
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Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED THIRD FLOOR PLAN

Sheet No.:  
A6.3



**PROPOSED THIRD FLOOR PLAN**

8327.84 SF.

sc: 3/16" = 1'-0"

- SEE DOOR SCHEDULE - SHEET A9.1
- SEE WINDOW SCHEDULE - SHEET A9.1
- SEE CURTAIN WALL SCHEDULE - SHEET A9.1

- PROPERTY WALL
- - - - - WALL TO BE REMOVED
- ===== EXISTING WALL
- ▨ NEW WALL
- ===== NEW CURTAIN WALL, STOREFRONT, WINDOWS & DOORS  
INSTALL AT THE SAME LOCATION OF THE EXIST'G.
- ▨ AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)



Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARAF SHOKOUFANDEH  
GROUP 5 INC.  
8809 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9888  
MEP ENGINEER:  
PARIN INC. ALI DANESH  
5000 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

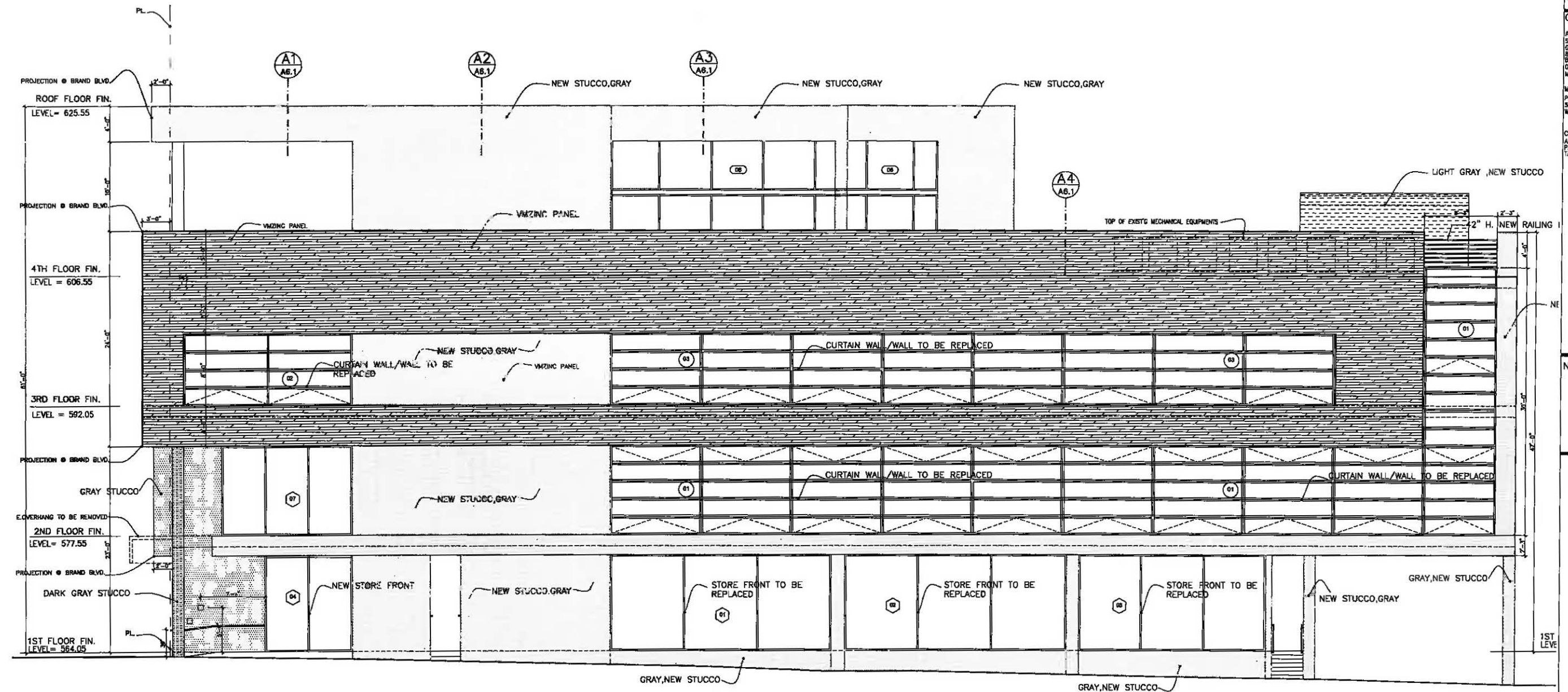
Notes:

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OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED NORTH ELEVATION

Sheet No.:  
A7.0


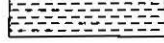




**PROPOSED NORTH ELEVATION**

sc: 3/16" = 1'-0"

\*\*\* CURTAIN WALL/WALL TO BE REPLACED :  
"REMOVE EXISTING CURTAIN WALL AND INSTALL NEW CURTAIN WALL AT THE SAME LOCATION".

HATCH LEGENDS:

-  GRAY STUCCO
-  LIGHT GRAY STUCCO
-  VMZINC PANEL  
COMPANY: DRI-DESIGN WALL PANELS SYSTEM  
FINISH: ANTHRA-ZINC,
-  DARK GRAY STUCCO

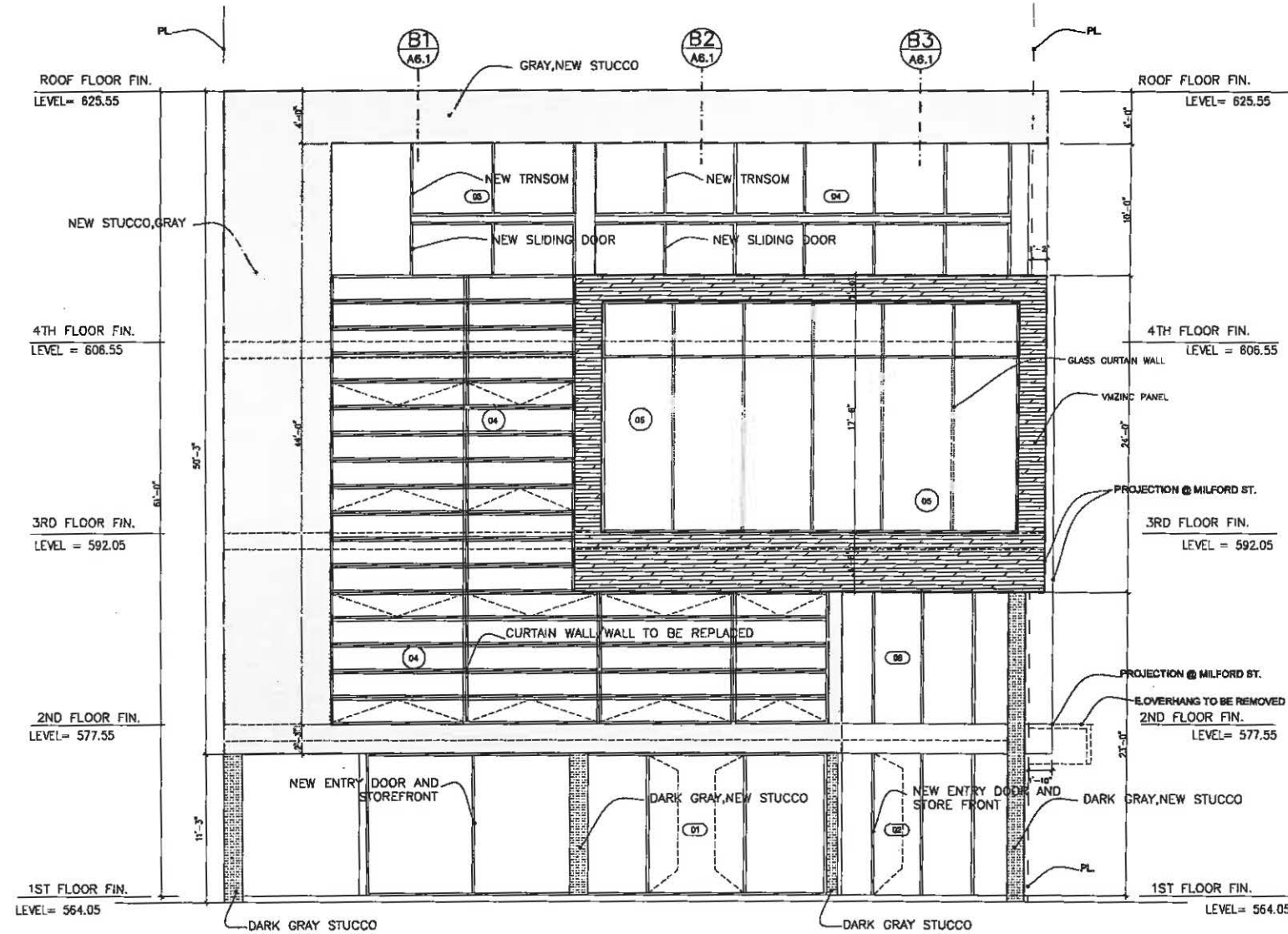
\*\*\* SEE SHEET A7.4 FOR COLORED ELEVATIONS

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARIF SHOKUFANDEH  
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MOBILE: (310)928-9888  
MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:



### PROPOSED EAST ELEVATION

sc: 3/16" = 1'-0"

\*\*\* CURTAIN WALL/WALL TO BE REPLACED :  
"REMOVE EXISTING CURTAIN WALL AND INSTALL NEW CURTAIN WALL AT THE SAME LOCATION".

HATCH LEGENDS:

 GRAY STUCCO

 LIGHT GRAY STUCCO

 VMZINC PANEL  
COMPANY: DRI-DESIGN WALL PANELS SYSTEM  
FINISH: ANTHRA-ZINC,

 DARK GRAY STUCCO

\*\*\* SEE SHEET A7.4 FOR COLORED ELEVATIONS

**GROUP S INC.**  
8909 W. OLYMPIC BLVD # 103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Checked By: s.s  
Date: JULY. 2019  
Scale:

Sheet Title:  
PROPOSED EAST ELEVATION

Sheet No.:  
A7.1

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECTS:  
SHARAH SHOKUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9898  
MEP ENGINEER:  
PARR INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

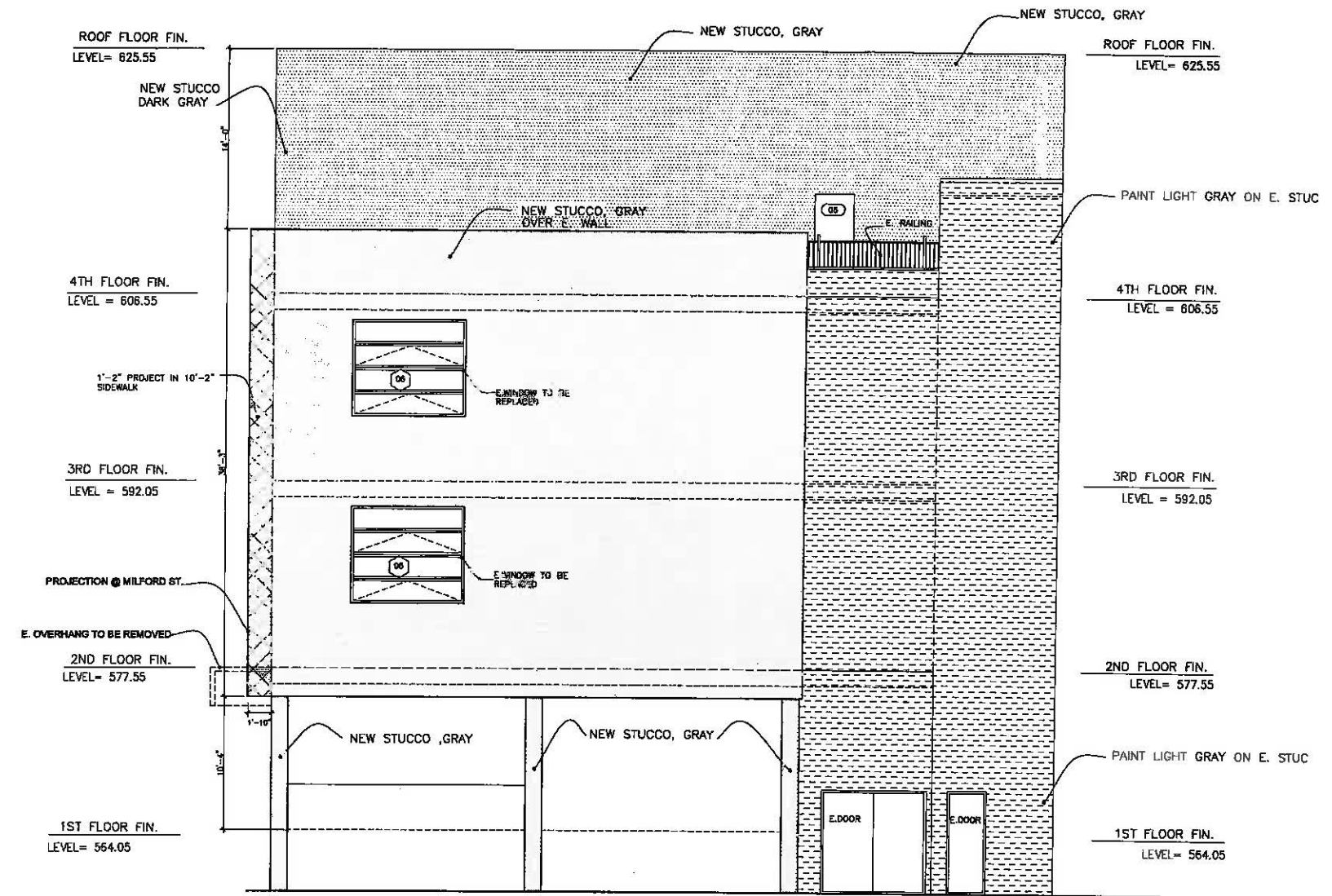
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8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
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Date: JULY, 2018  
Scale:

Sheet Title:  
PROPOSED WEST ELEVATION

Sheet No.:  
A7.2



**PROPOSED WEST ELEVATION**

sc: 3/16" = 1'-0"

HATCH LEGENDS:

	GRAY STUCCO
	DARK GRAY STUCCO
	LIGHT GRAY STUCCO

\*\*\* SEE SHEET A7.4 FOR COLORED ELEVATIONS

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHAM SHOKOLFANDEH  
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MOBILE (310)928-9898

MEP ENGINEER:  
PARSH INC., ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

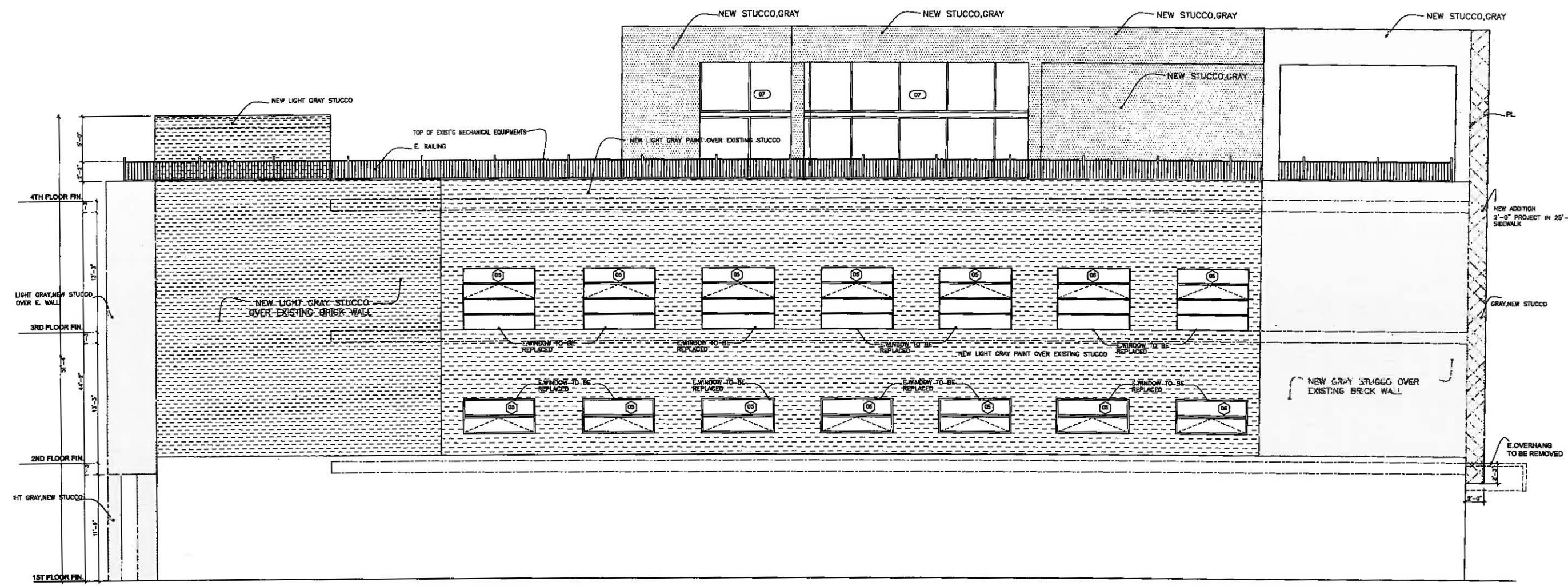
Notes:

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8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
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Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED SOUTH ELEVATION

Sheet No.:  
A7.3



**PROPOSED SOUTH ELEVATION**

sc: 3/16" = 1'-0"

HATCH LEGENDS:

	EXISTING BRICK WALL TO BE REMAINED		DARK GRAY STUCCO
	LIGHT GRAY STUCCO		GRAY STUCCO

\*\*\* SEE SHEET A7.4 FOR COLORED ELEVATIONS



Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARAF ARCHITECTURE  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90011  
OFFICE: (424) 777-0427  
MOBILE: (310) 656-4888  
MEP ENGINEER:  
PARR INC. AD. DANESH  
2010 CAMPBELL DR.  
WESTLAND HILLS, CA. 91384  
CIVIL ENGINEER:  
ARC. ENGINEERING CORP.  
P.O. BOX 27010  
TAYLOR, CA. 91033

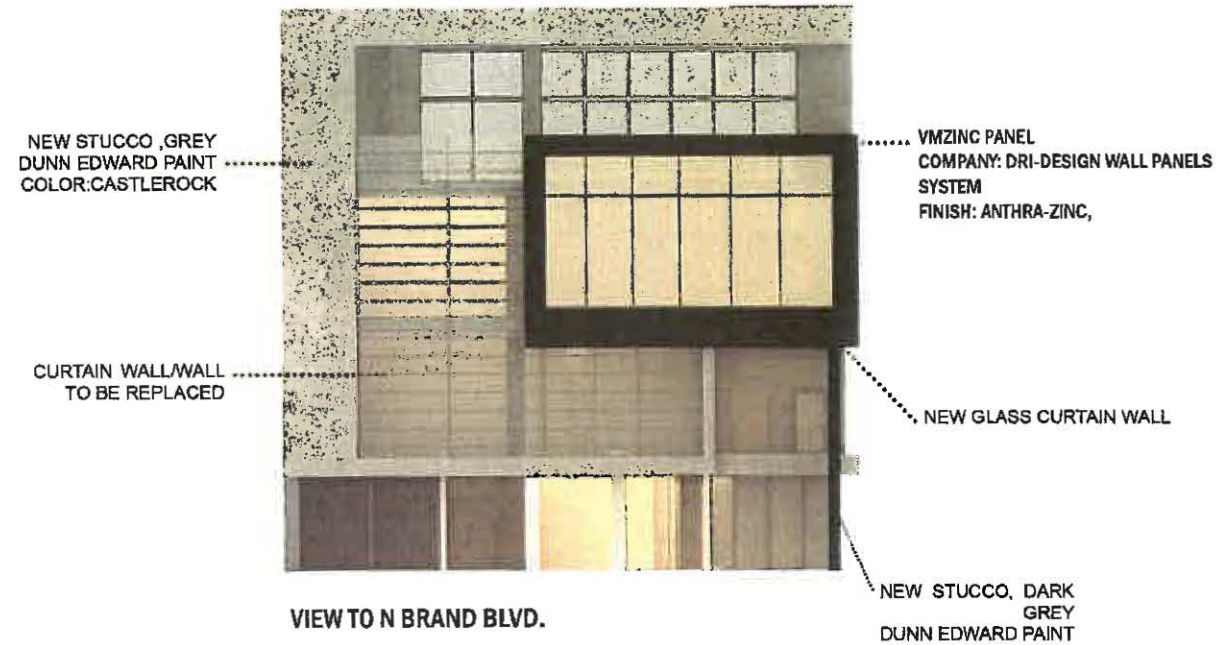
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**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90021  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

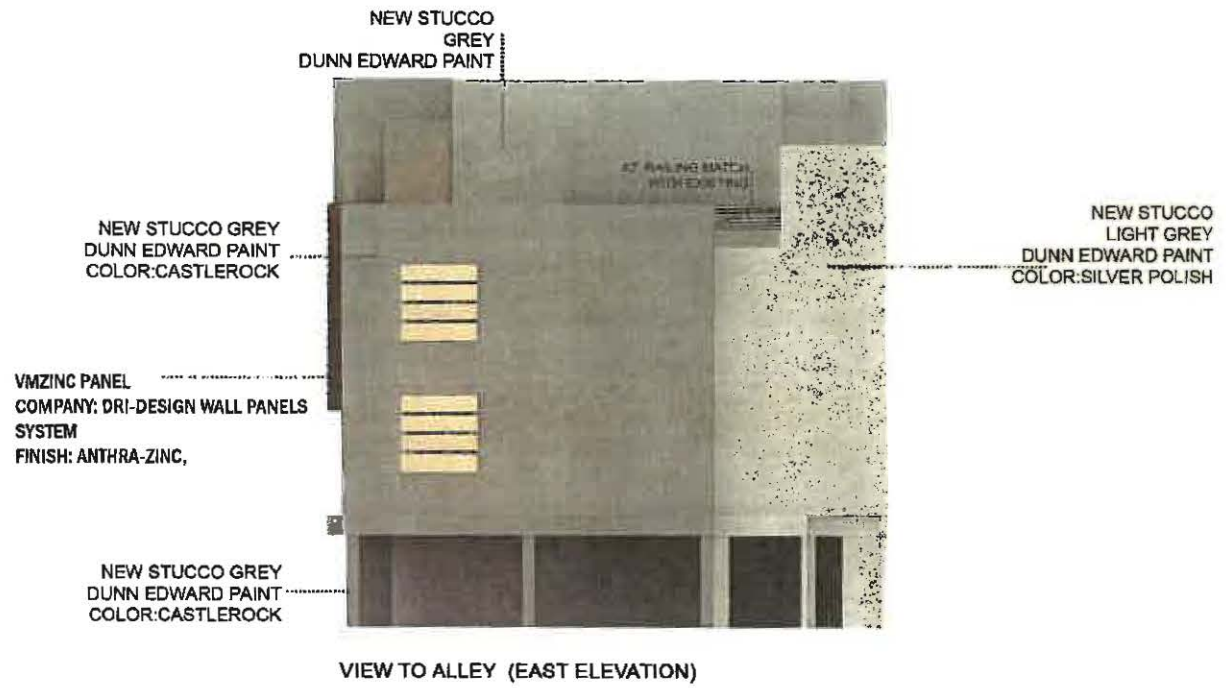
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Date: JULY 2019  
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Sheet Title:  
PROPOSED COLORED ELEVATIONS

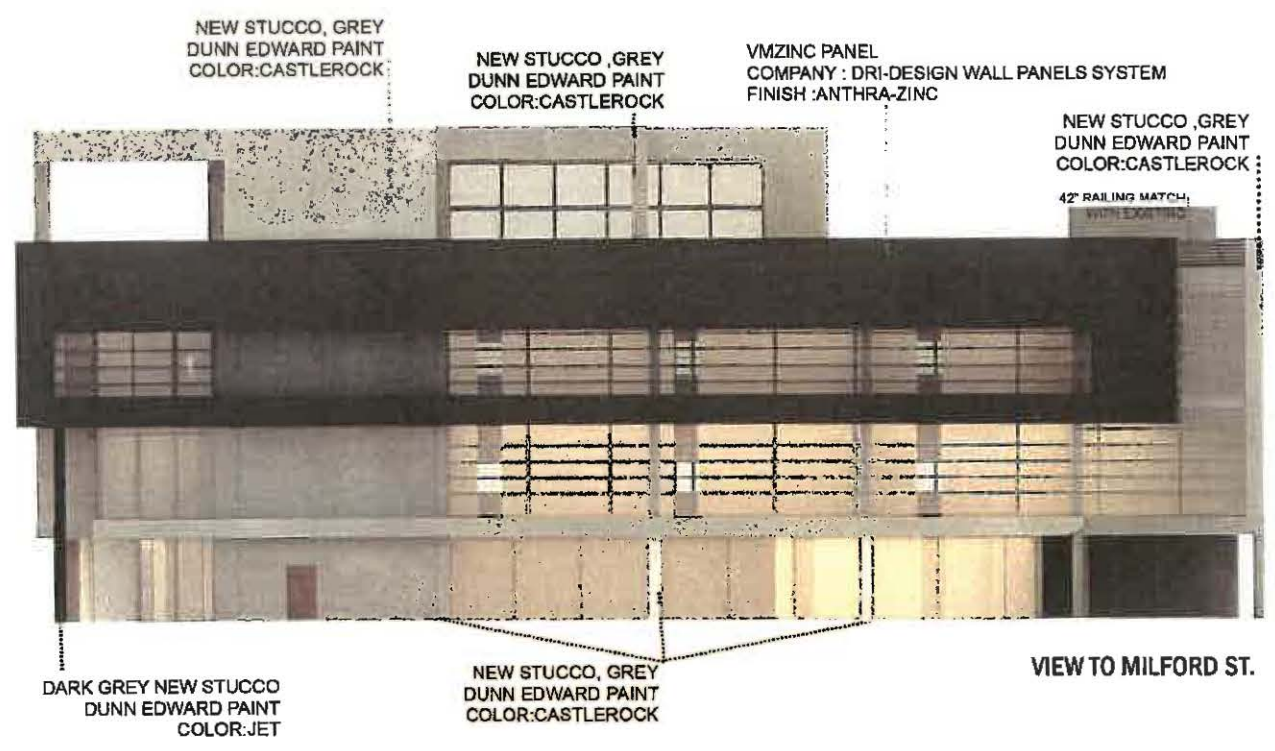
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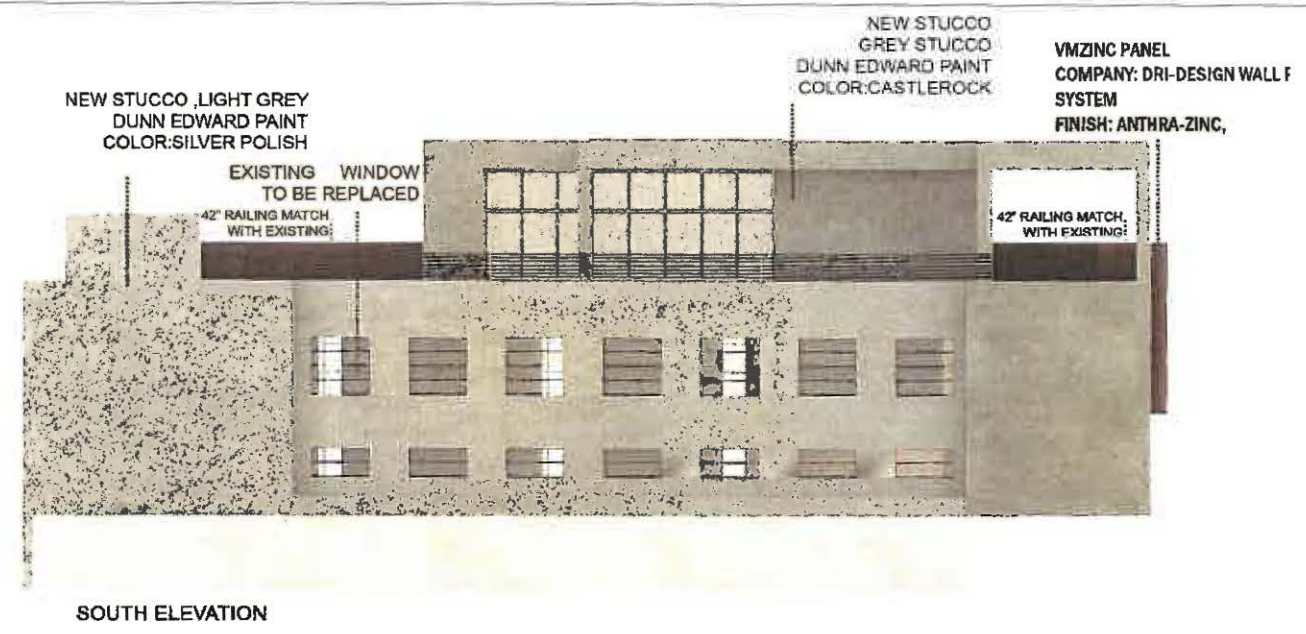
VIEW TO N BRAND BLVD.



VIEW TO ALLEY (EAST ELEVATION)



VIEW TO MILFORD ST.



SOUTH ELEVATION



Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9898  
MEP ENGINEER:  
PARIN INC., ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

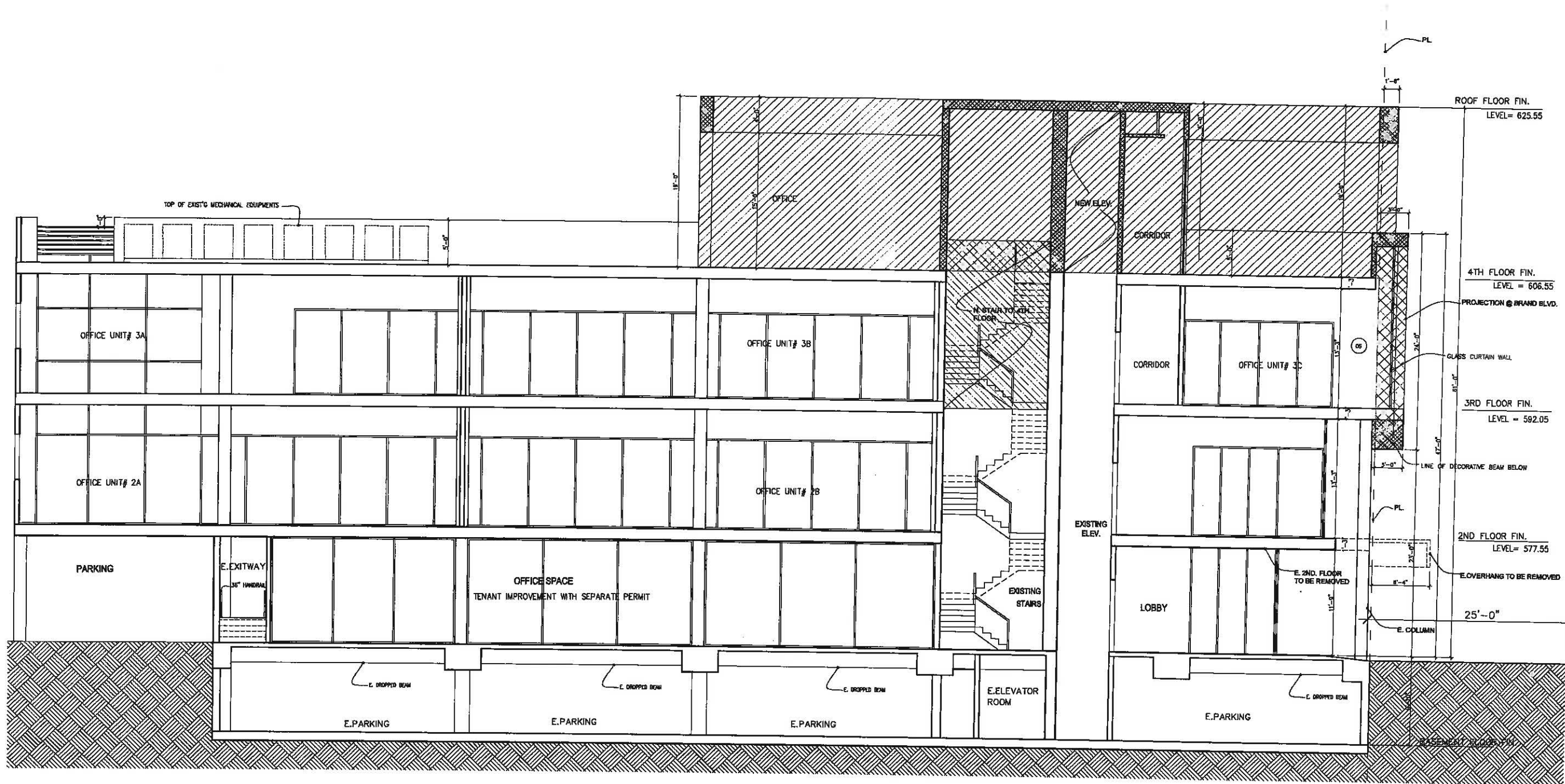
Notes:

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8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Date: JULY, 2019  
Scale:

Sheet Title:  
RENDERED PERSPECTIVE

Sheet No.:  
A7.5



Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARAH SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
BEVERLY HILLS, CA. 90211  
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MOBILE (310)926-9888  
MEP ENGINEER:  
PARN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARRANT, CA. 91357

Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD # 103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED SECTION A

Sheet No.:  
A8.0

**PROPOSED SECTION A-A**

sc: 3/16" = 1'-0"

- PROPERTY WALL
- - - - - WALL TO BE REMOVED
- ==== EXISTING WALL
- ===== NEW WALL
- ▨ NEW STAIRS & ELEVATOR TO 4TH. FLOOR
- ▩ AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)
- ▧ NEW FLOOR TO BE ADDED @ 2ND FLOOR
- ▨ AREA OF NEW ADDITION AT 4TH. FLOOR

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDER  
GROUP S INC.  
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BEVERLY HILLS, CA. 90211  
OFFICE (424)777-0427  
MOBILE (310)926-9898  
MEP ENGINEER:  
PARN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

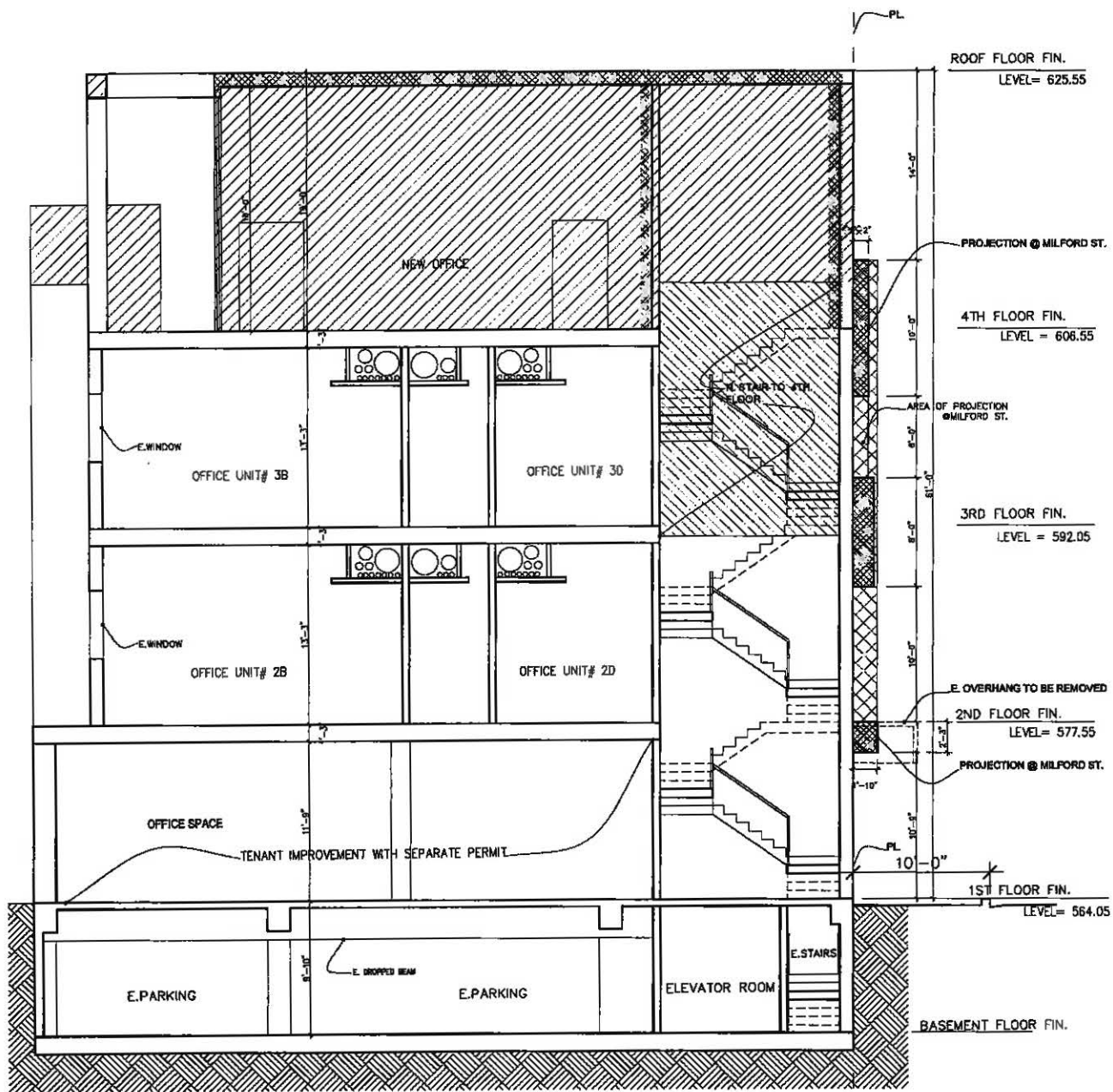
Notes:

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8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
PROPOSED SECTION B&C

Sheet No.:  
A8.1

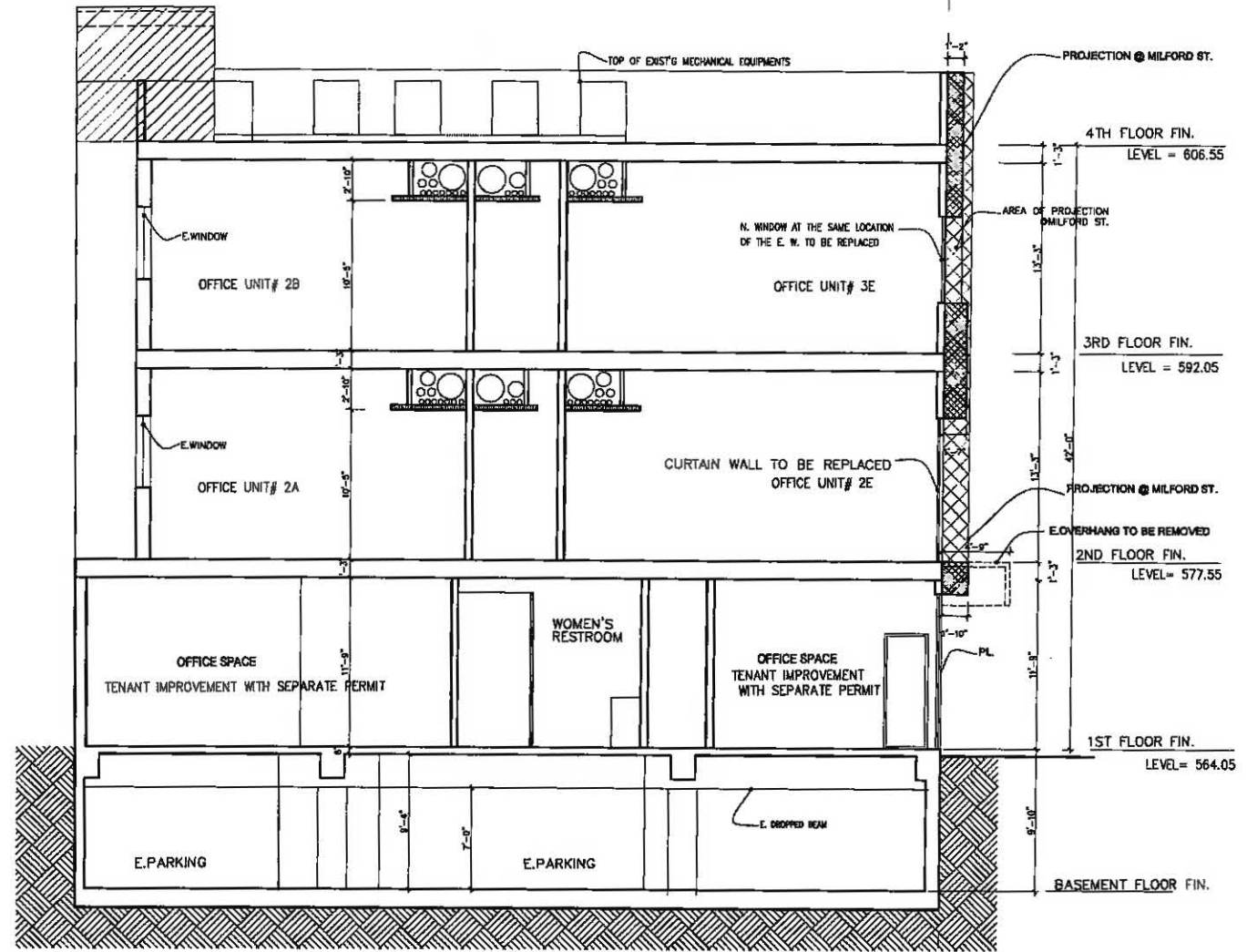


**PROPOSED SECTION B-B**

sc: 3/16" = 1'-0"

- PROPERTY WALL
- WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL

- AREA OF NEW ADDITION AT 4TH. FLOOR
- AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)
- N. STAIR TO 4TH. FLOOR



**PROPOSED SECTION C-C**

sc: 3/16" = 1'-0"

- AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)
- AREA OF NEW ADDITION AT 4TH. FLOOR

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

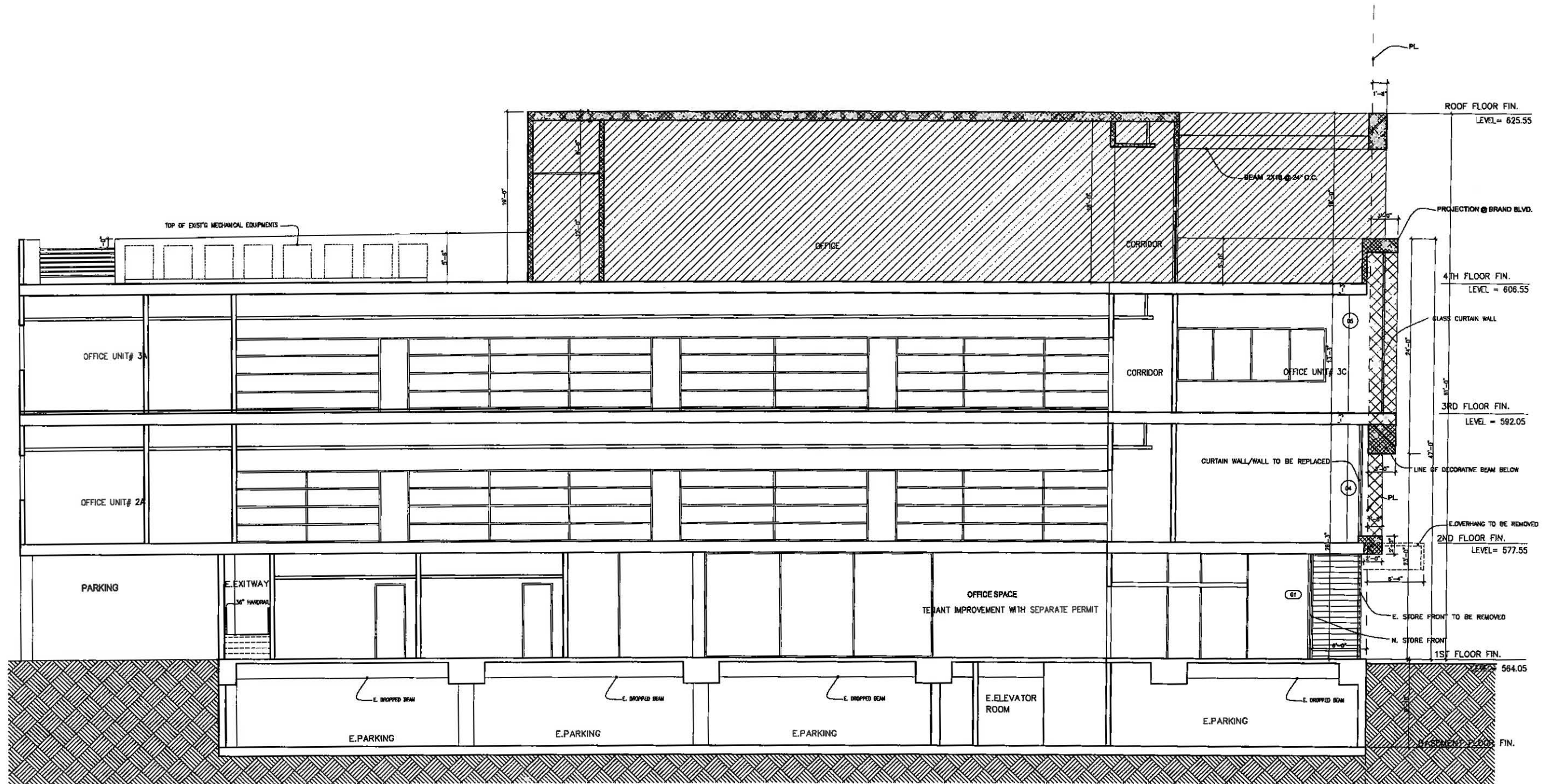
Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOFAANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-9898

MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA 91357

Notes:



**PROPOSED SECTION D-D**

sc: 3/16" = 1'-0"

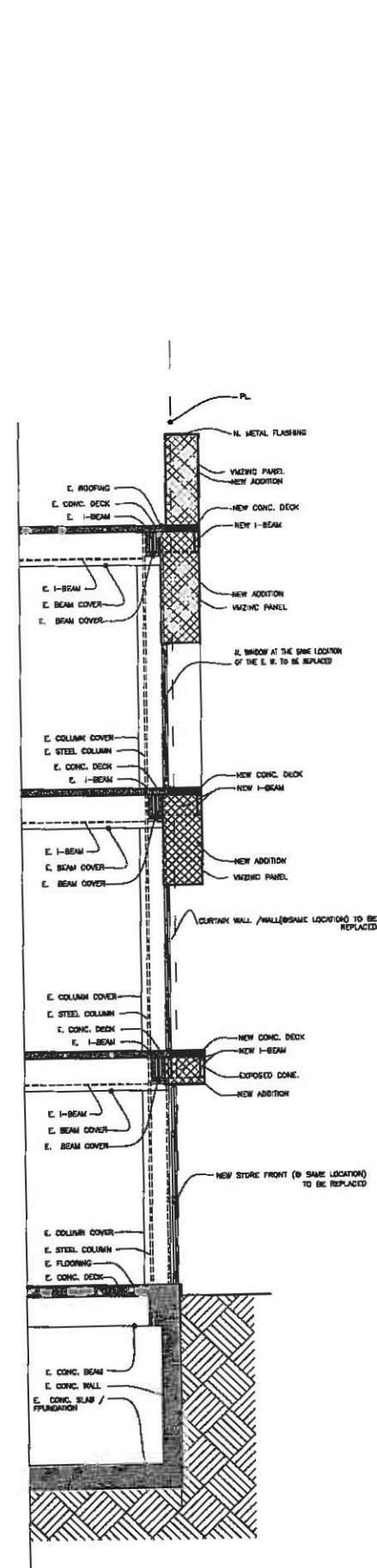
- PROPERTY WALL
- WALL TO BE REMOVED
- ===== EXISTING WALL
- ===== NEW WALL
- ===== AREA OF EXIST'G BUILD'G TO BE REMOVED @ BRAND BLVD. "DEDICATED TO THE SIDE YARD"
- ===== AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)
- ===== AREA OF NEW ADDITION AT 4TH. FLOOR

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
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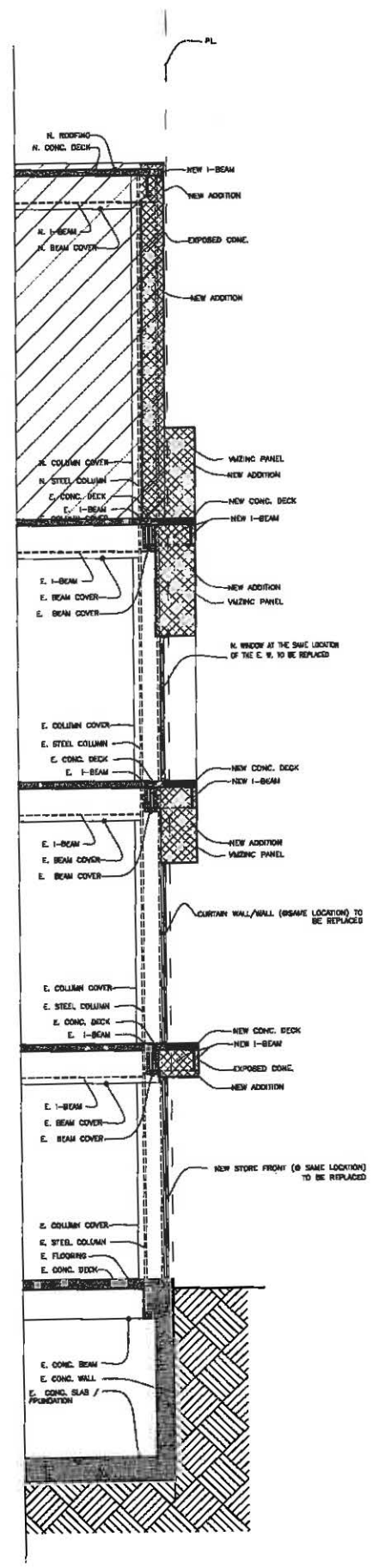
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Date: JULY, 2019  
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PROPOSED SECTION D

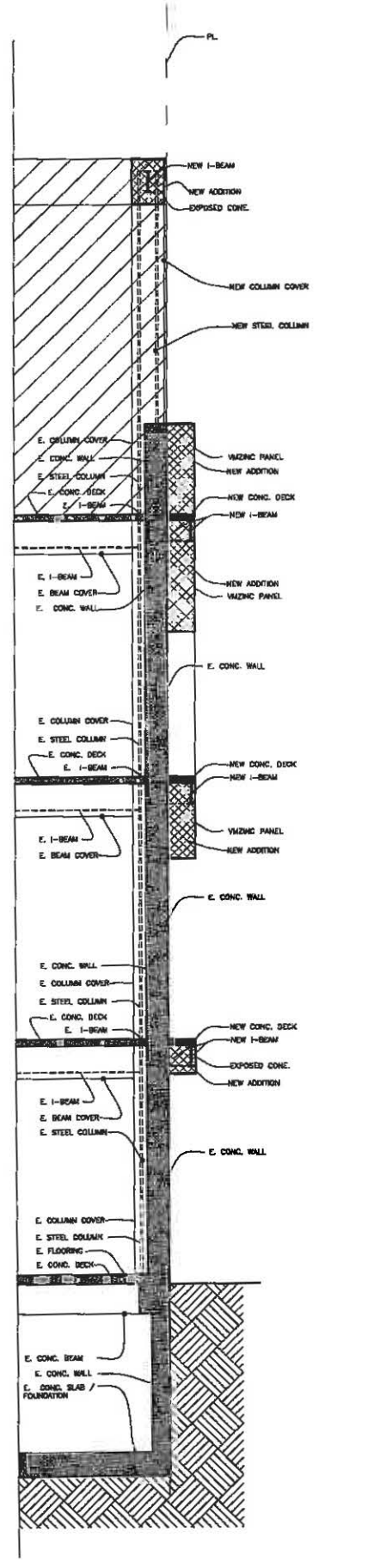
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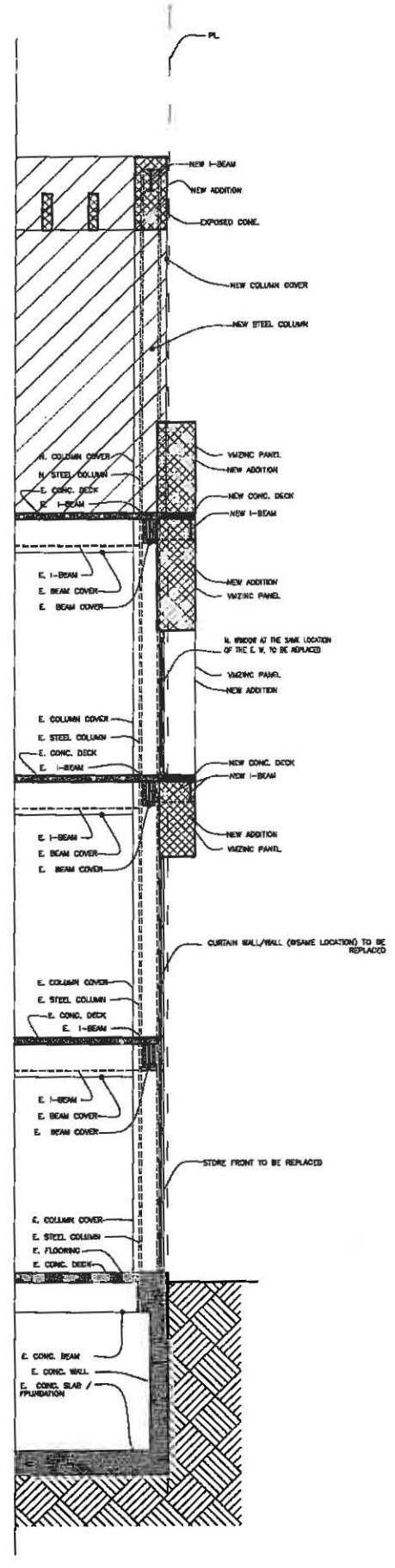
PROPOSED WALL SECTION- A4  
SC 1/4" = 1'-0"



PROPOSED WALL SECTION- A3  
SC 1/4" = 1'-0"



PROPOSED WALL SECTION- A2  
SC 1/4" = 1'-0"



PROPOSED WALL SECTION- A1  
SC 1/4" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD., SUITE 103  
BEVERLY HILLS, CA. 90211  
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MOBILE: (310)826-9888  
MEP ENGINEER:  
PAREN INC., ALI DANESH  
8510 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

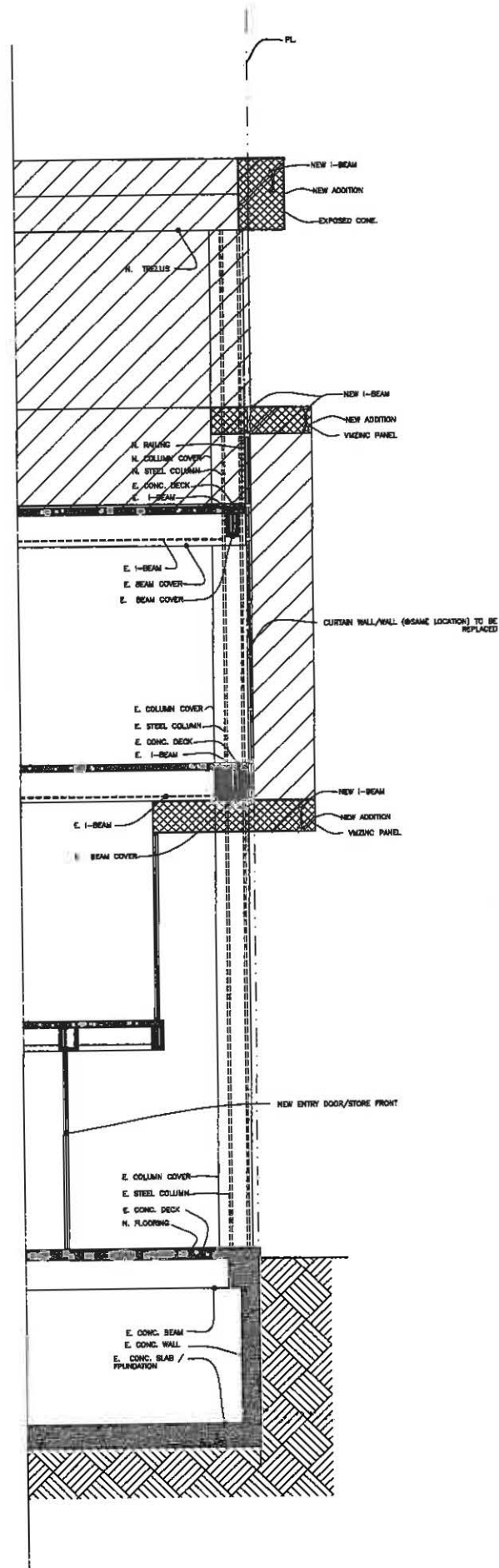
Notes:

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OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

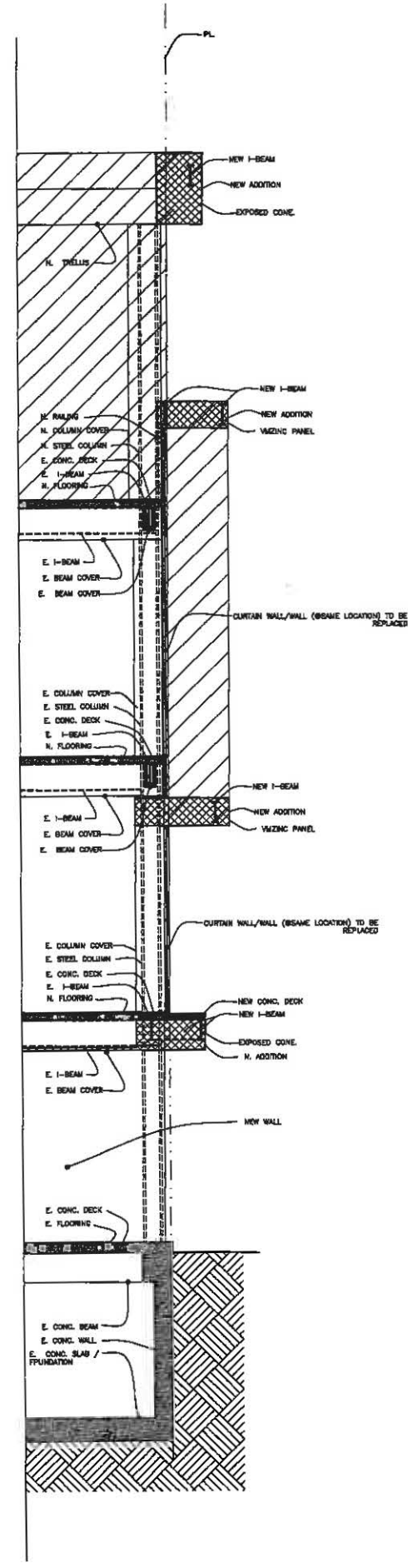
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Date: JULY. 2019  
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Sheet Title:  
PROPOSED WALL SECTIONS

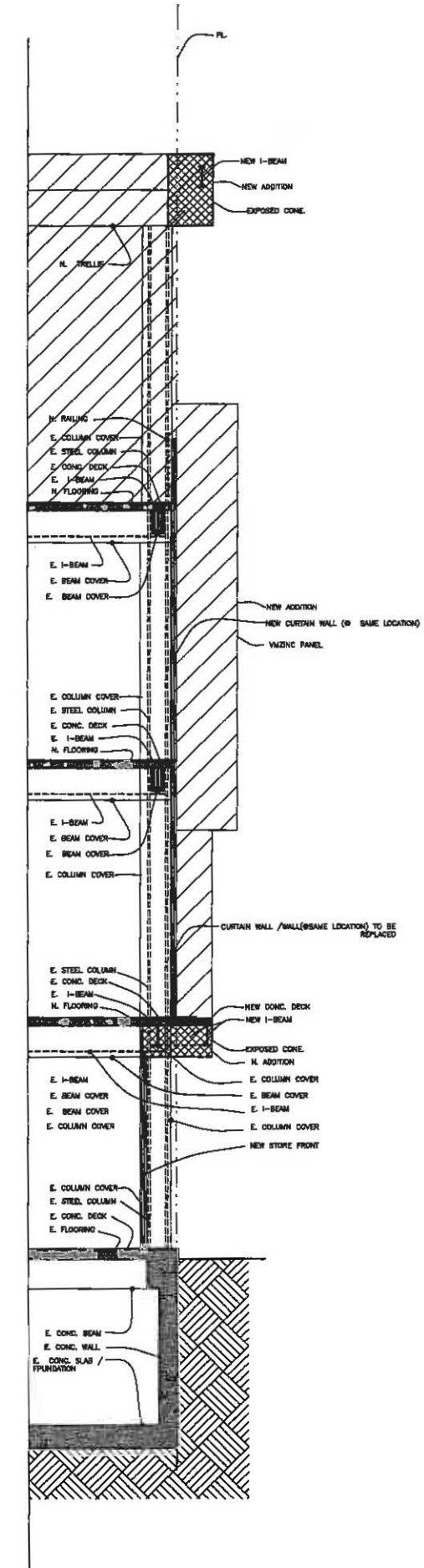
Sheet No.:  
A8.3



PROPOSED WALL SECTION- B3  
SCALE: 1/4" = 1'-0"



PROPOSED WALL SECTION- B2  
SCALE: 1/4" = 1'-0"



PROPOSED WALL SECTION- B1  
SCALE: 1/4" = 1'-0"

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAH SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
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PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

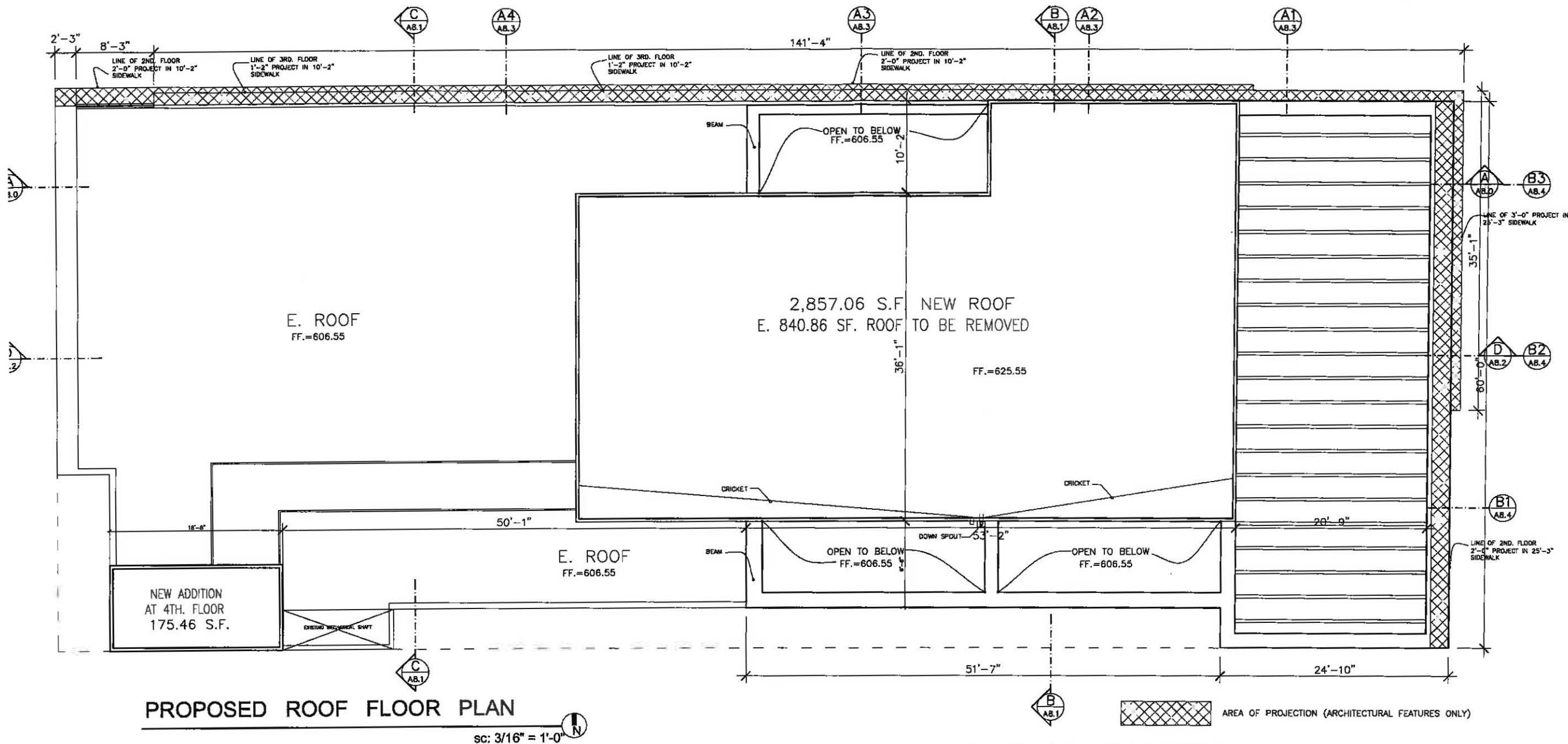
Notes:

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8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

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Checked By: s.s  
Date: JULY. 2019  
Scale:

Sheet Title:  
PROPOSED WALL SECTIONS

Sheet No.:  
A8.4



**PROPOSED ROOF FLOOR PLAN**

sc: 3/16" = 1'-0"

AREA OF PROJECTION (ARCHITECTURAL FEATURES ONLY)

**Project:**  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

**Client:**  
MR. AMIR TEHRANI

**Consultants:**  
ARCHITECT:  
SHARAF SHOKOOFANDEH  
GROUP S INC.  
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BEVERLY HILLS, CA. 90271  
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MOBILE (310)926-9898

MEP ENGINEER:  
PARN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572710  
TARZANA, CA. 91357

**Notes:**

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 WWW.GROUP-S-INC.COM

Drawn By: s.s

Checked By: s.s

Date: JULY, 2019

Scale:

Sheet Title:

PROPOSED ROOF PLAN

Sheet No.:

A9.1

**CR Cool Roof Deck Sheets** - The Easiest Way to Title 24 Compliance

When compliance with California Title 24 regulations is required, and a traditional roofing system is preferred, there is no more efficient than early CR sheets.

CR Cool Sheets are white, polystyrene, and feature a reflective surface. They are used on the horizontal, sloped, and vertical surfaces of roofs and walls. The coating, 100-percent polyurethane, offers protection to the polystyrene and provides a reflective, moisture resistant surface that meets California Title 24 and LEED requirements.

With a reflective surface and high solar reflectance, CR Cool Sheets meet all requirements for compliance with California Title 24 regulations and qualify for LEED points. CR Cool Sheets have strong UV and UV ratings for both hot and cold roofs.

Before CR Cool Sheets, the system for achieving Title 24 compliance included applying a reflective coating over an asphalt system, or installing a TPO or PVC single ply system. From CR Cool Sheets, you have a choice between the standard CR and CR Cool Cool Sheets.

CR Cool Sheets meet Title 24 requirements through the mechanical approach, which means a professional contractor or building owner can easily install them without the need for a specialized installation team. All products are produced and tested in the United States.

The pieces of metal that connect with the top, and bottom of insulation and roof systems.

The reflective surface development of single ply, polystyrene, and other roofing systems has brought many benefits to the building and roofing industries. Many owners, specifiers and installers are still most comfortable with the multi-ply roofing systems of an asphalt based roofing system.

CR Cool Sheets have an enhanced top surface for added toughness and are also 24-compliant. The reflective coating is factory-applied over the polystyrene, ensuring the coating adhesion while retaining the powder protective benefits.

**Lighter and Whiter - To Stop the Heat Cycle**  
The greater reflectivity and whiteness of CR Cool Sheets ensure that they reflect more energy and reduce demand during peak periods. The system also energy reflected back to the sky and lateralized from the surface causes less heat to be transferred into the building.

**CR Cool Sheets on Traditional Deck Sheets**

**Cool Roof Roofing Systems Set Standards for Reliability and Efficiency**

This is a summary of the CR Cool Sheets system. It covers the design, materials, and installation requirements for the system. The system is designed to provide a long-lasting, energy-efficient roofing solution that meets California Title 24 and LEED requirements.

**Product**

Product	Manufacturer	Material	Color
JM PVC	JM	PVC	White
JM TPO	JM	TPO	White
JM CR	JM	CR	White
JM CR Cool	JM	CR Cool	White

**Installation**

The CR Cool Sheets system is designed to be installed over a variety of roof types, including asphalt, TPO, and PVC. The system is easy to install and requires minimal maintenance.

**Benefits**

The CR Cool Sheets system offers several benefits, including energy efficiency, durability, and ease of installation. It is a cost-effective solution for building owners and specifiers.

**ICC-ES Evaluation Report**

ESR-3572

**DECK FLEX WALKING DECK AND ROOF COVERING SYSTEMS**

ICC-ES Evaluation Report ESR-3572

ICC-ES, 1915 East 15th Avenue, Suite 200, Denver, CO 80202

ICC-ES is a leading authority in the development and publication of technical reports and evaluation reports for building products and systems.

This report provides a detailed evaluation of the Deck Flex Walking Deck and Roof Covering Systems, including a description of the products, their intended use, and the results of testing and evaluation.

**ICC-ES Evaluation Report**

ESR-3572

**DECK FLEX WALKING DECK AND ROOF COVERING SYSTEMS**

ICC-ES, 1915 East 15th Avenue, Suite 200, Denver, CO 80202

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The report includes a list of references, a list of authors, and a list of reviewers. It also includes a list of related reports and a list of related products.

**ICC-ES Evaluation Report**

ESR-3572

**DECK FLEX WALKING DECK AND ROOF COVERING SYSTEMS**

ICC-ES, 1915 East 15th Avenue, Suite 200, Denver, CO 80202

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The report includes a list of references, a list of authors, and a list of reviewers. It also includes a list of related reports and a list of related products.



Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD, SUITE 103  
BEVERLY HILLS, CA. 90211  
OFFICE: (424)777-0427  
MOBILE: (310)926-8898

MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

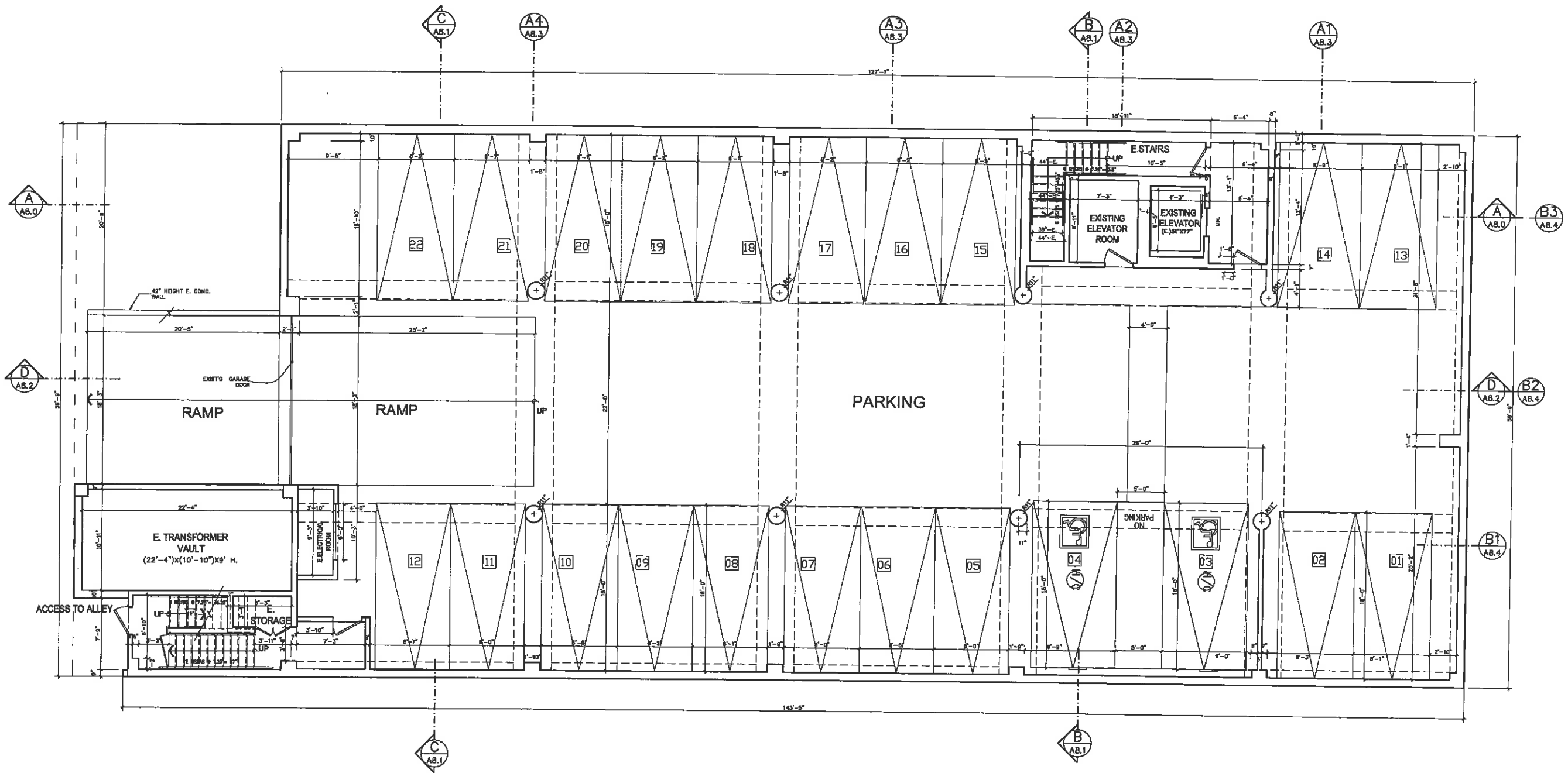
Notes:

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
EXISTING BASEMENT PLAN

Sheet No.:  
A9.2



EXISTING BASEMENT PLAN (NO ADDITION TO PARKING STALLS)

sc: 3/16" = 1'-0"

7639.21 SF.

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHAHAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
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OFFICE: (424)777-0427  
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M/E/P ENGINEER:  
FARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364

CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357

Notes:

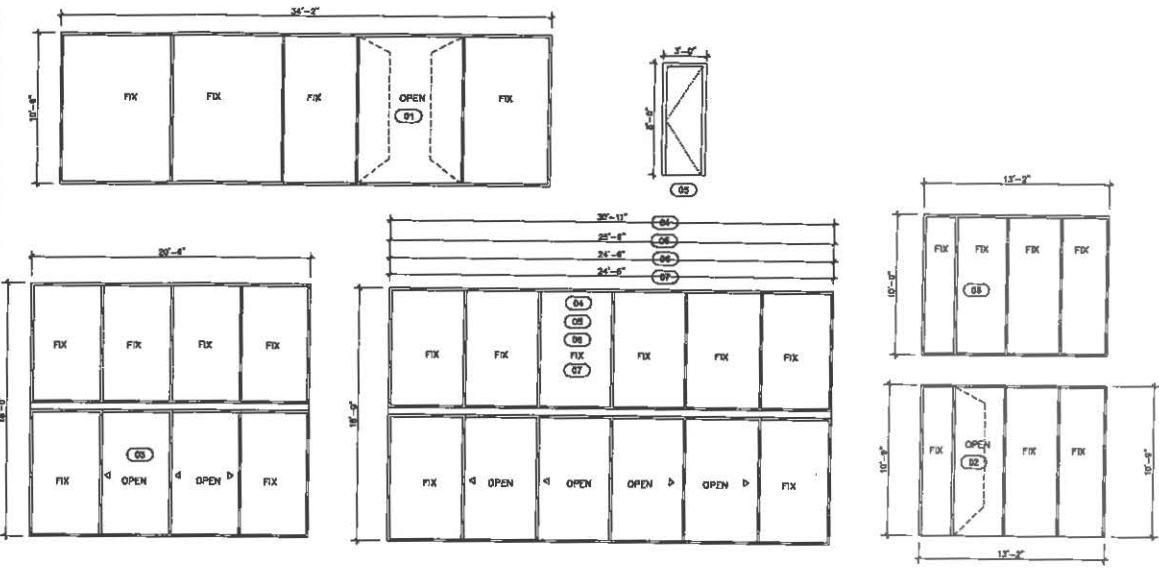
**GROUP S INC.**  
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OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

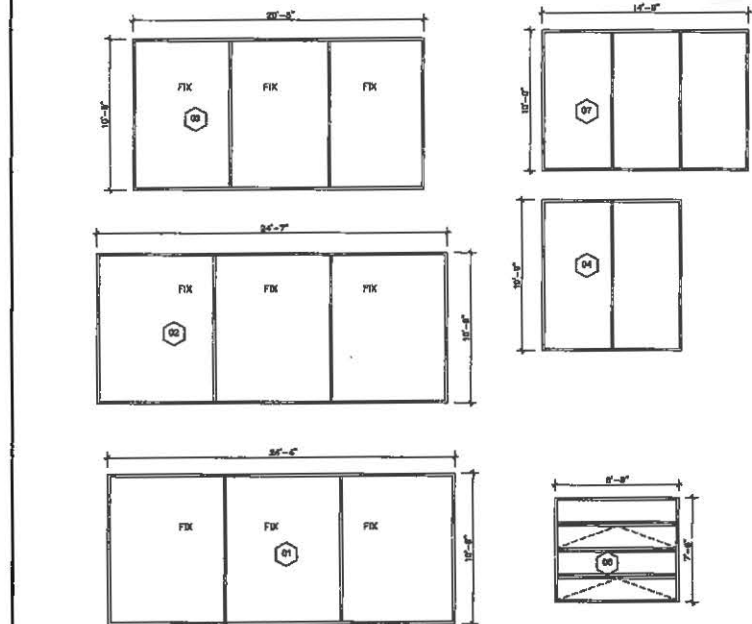
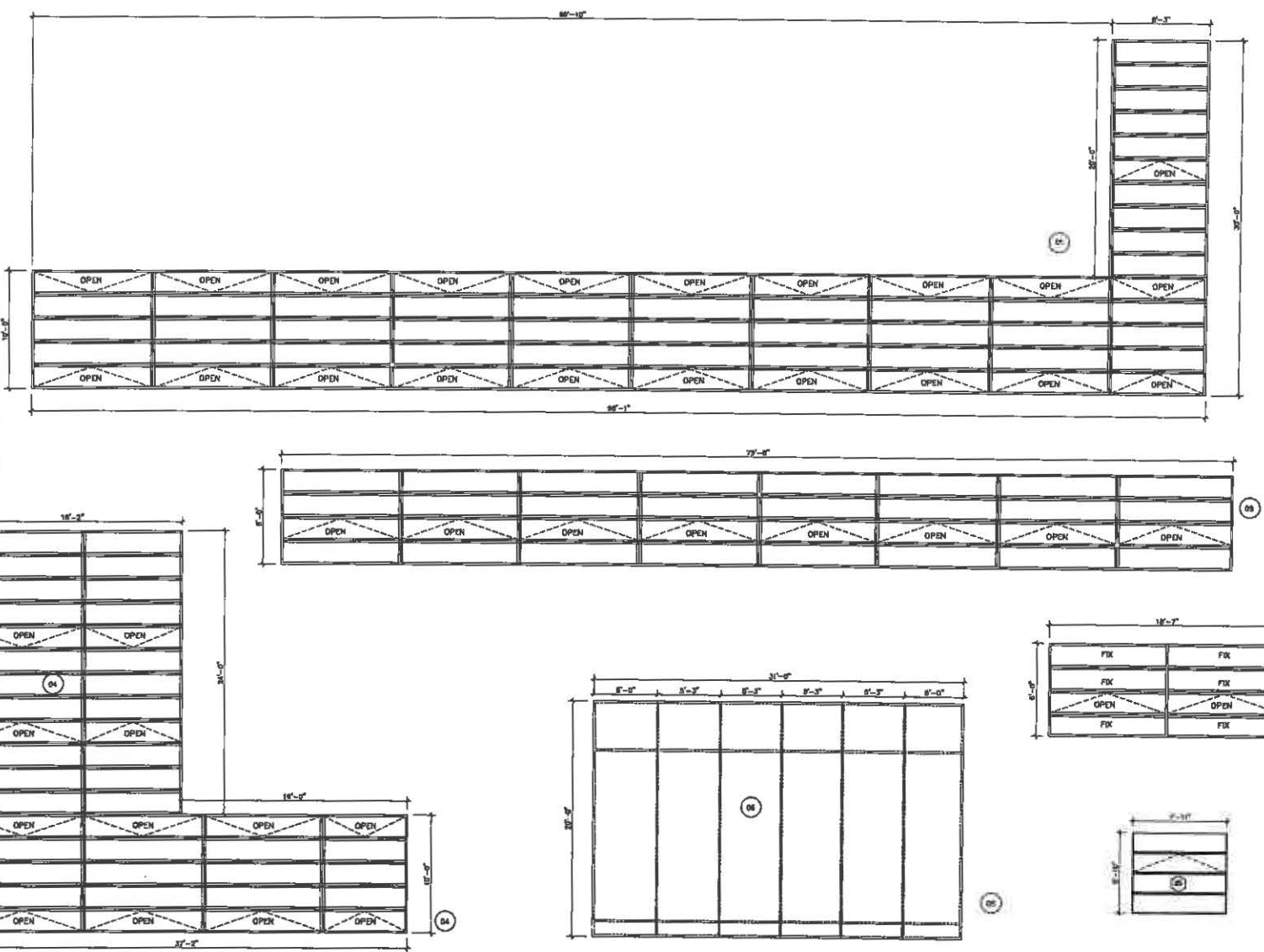
Sheet Title:  
PROPOSED DOOR  
& WINDOW SCHEDULE

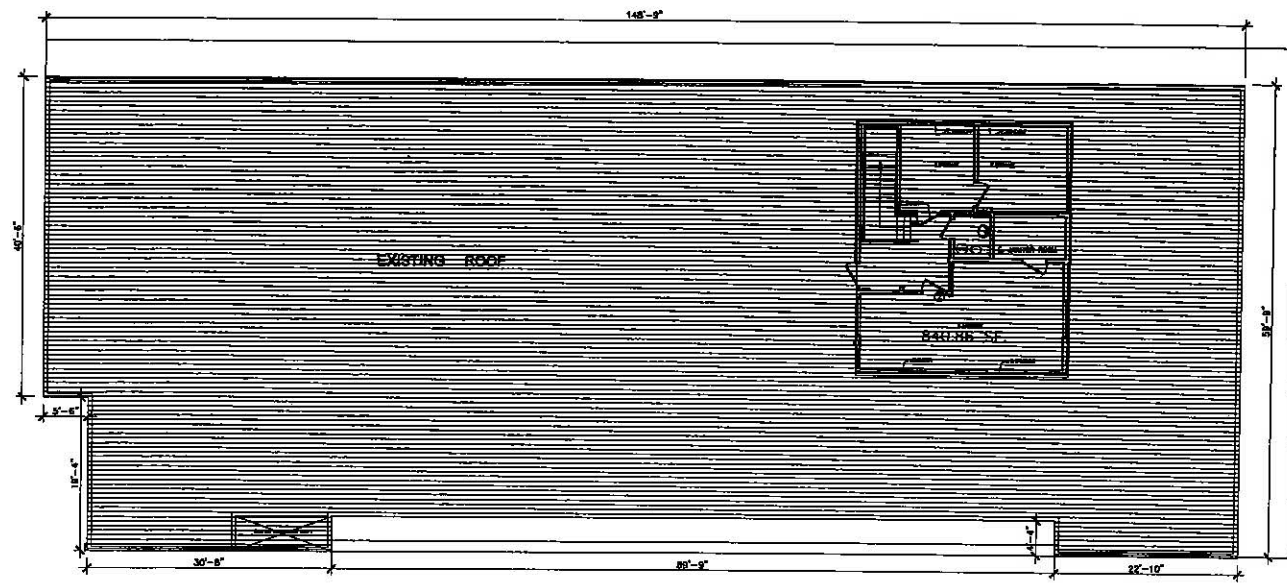
Sheet No.:  
A10.0

DOOR SCHEDULE																							
SYMBOL	SIZE		CONSTRUCTION				FINISH			GLASS			FRAME	REMARKS									
	WIDTH	HEIGHT	ALUMINUM	METAL	WOOD HOLLOW CORE	WOOD SOLID CORE	STEEL HOLLOW CORE	GLASS	PAINIT GRADE	ALUMINUM	WOOD CLAD	STAIN	TEMPERED		CLEAR PLATE	TEMPERED	CLEAR DUAL GLAZED	SANDBLASTED	WOOD	ALUMINUM	STEEL		
(D1)	34'-2"	10'-9"																					NEW ENTRY DOOR AND STOREFRONT
(D2)	13'-2"	10'-9"																					NEW ENTRY DOOR AND STOREFRONT
(D3)	11'-9"	18'-0"																					NEW DOOR @ PROPOSED FOURTH PLAN
(D4)	30'-11"	18'-0"																					NEW DOOR @ PROPOSED FOURTH PLAN
(D5)	3'-0"	8'-0"																					NEW DOOR @ PROPOSED FOURTH PLAN
(D6)	38'-0"	18'-0"																					NEW DOOR @ PROPOSED FOURTH PLAN
(D7)	37'-4"	18'-0"																					NEW DOOR @ PROPOSED FOURTH PLAN
(D8)	13'-2"	10'-0"																					NEW ENTRY DOOR AND STOREFRONT



WINDOW/CURTAIN WALL SCHEDULE												
SYMBOL	SIZE		MATERIAL			GLASS				REMARKS		
	WIDTH	HEIGHT	WOOD CLAD	ALUMINUM	WOOD	CLEAR PLATE	DUAL INSULATION	SOLAR BRONZE	TEMPERED		OPAQUE	SANDBLASTED
(W1)	98'-1"	30'-0"										CURTAIN WALL/WALL TO BE REPLACED
(W2)	18'-7"	8'-0"										CURTAIN WALL/WALL TO BE REPLACED
(W3)	79'-8"	6'-0"										CURTAIN WALL/WALL TO BE REPLACED
(W4)	37'-2"	34'-0"										CURTAIN WALL/WALL TO BE REPLACED
(W5)	24'-4"	10'-9"										STORE FRONT TO BE REPLACED
(W6)	24'-7"	10'-9"										STORE FRONT TO BE REPLACED
(W7)	20'-5"	10'-9"										STORE FRONT TO BE REPLACED
(W8)	9'-5"	10'-9"										NEW STORE FRONT
(W9)	7'-11"	3'-10"										E.WINDOW TO BE REPLACED
(W10)	8'-8"	7'-6"										E.WINDOW TO BE REPLACED
(W11)	14'-9"	10'-0"										E.WINDOW TO BE REPLACED

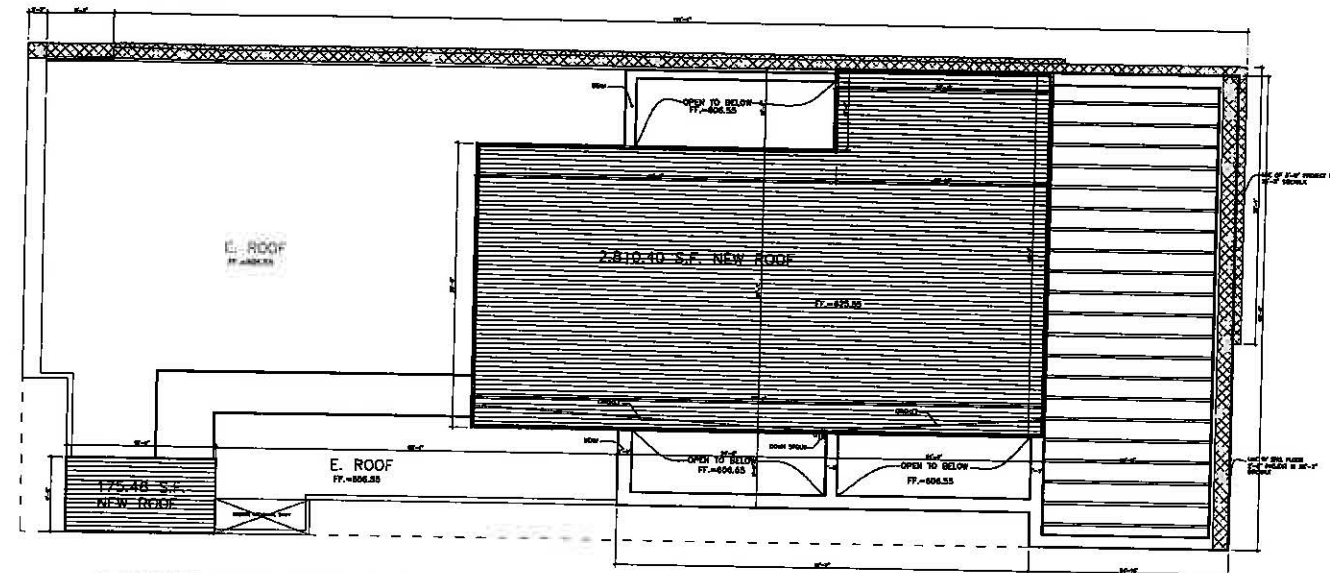




EXISTING FOURTH FLOOR PLAN

SCALE: 3/16" = 1'-0"

AREA OF THE EXISTING ROOF SURFACE = 8056.07 SF.



PROPOSED ROOF FLOOR PLAN

SCALE: 3/16" = 1'-0"

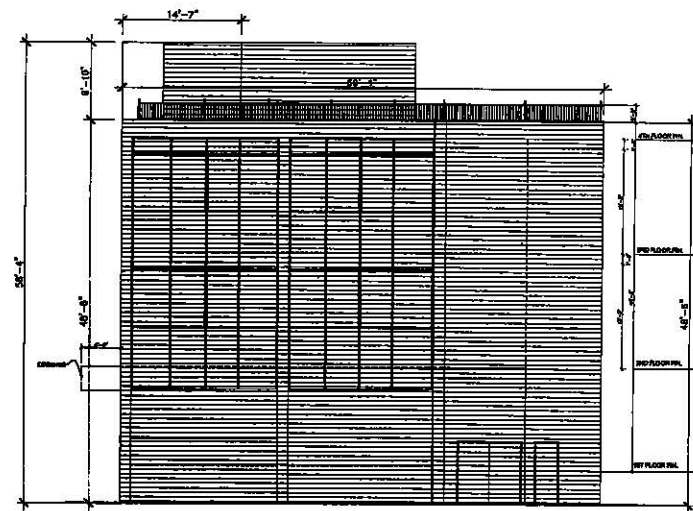
2,810.40 + 175.46 = 2,985.86 S.F. NEW ROOF

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

Consultants:  
ARCHITECT:  
SHARAF BAKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
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PATRICK INC. ALI DAKESH  
5010 CERRILLOS DR.  
ROCKLAND HILLS, CA 91064  
CIVIL ENGINEER:  
AMC ENGINEERING CORP  
P.O. BOX 572115  
TAMPA, FL 33657

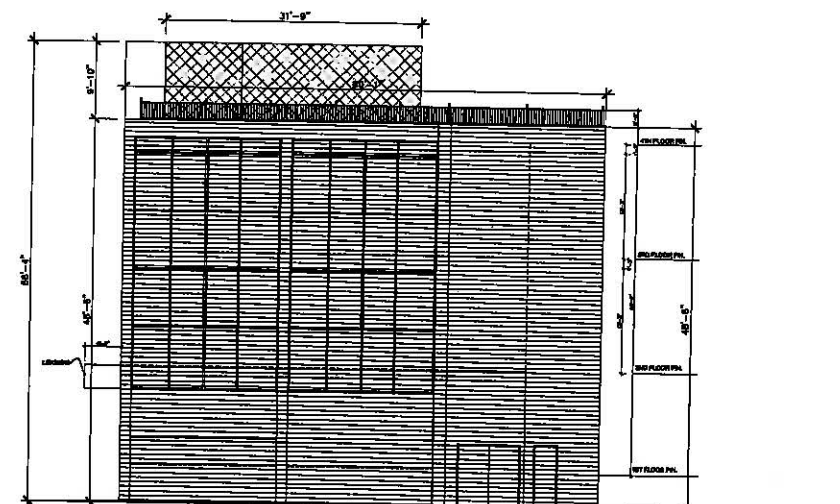
Notes:



EXISTING WEST ELEVATION

SCALE: 3/32" = 1'-0"

AREA OF THE EXISTING WALL SURFACE ON WEST ELEVATION = 3221.46 SF.



EXISTING WEST ELEVATION

SCALE: 3/32" = 1'-0"

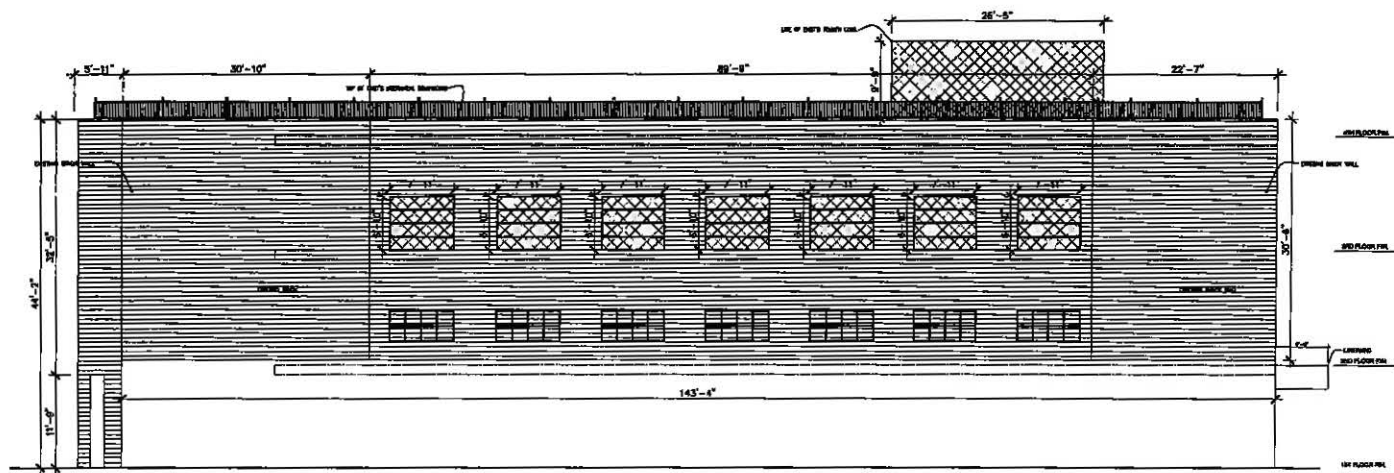
AREA OF THE REMOVAL ON WEST ELEVATION = 312.86 SF.

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: ss  
Checked By: ss  
Date: JULY, 2019  
Scale:

Sheet Title:  
MVA DEMOLITION CALCULATION

Sheet No.:  
A10.1

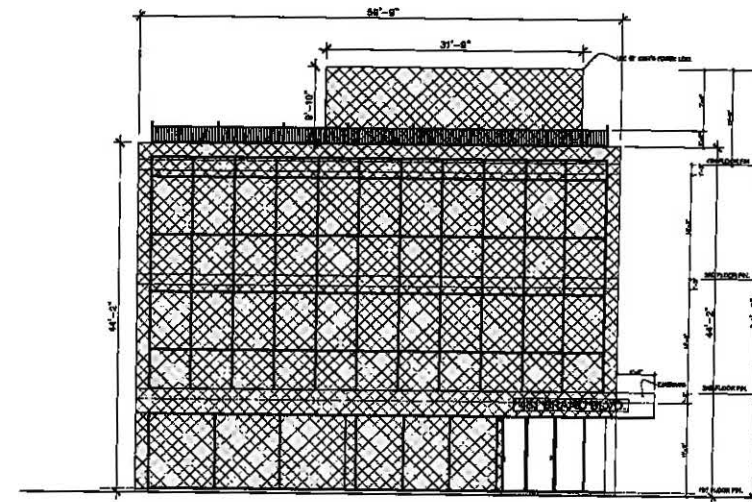


**EXISTING SOUTH ELEVATION**

sc: 3/32" = 1'-0"

AREA OF THE REMOVAL WALL SURFACE ON SOUTH ELEVATION = 639.00 SF.

HATCH LEGEND:  
 AREA OF THE REMOVAL/OR ABANDON WALL

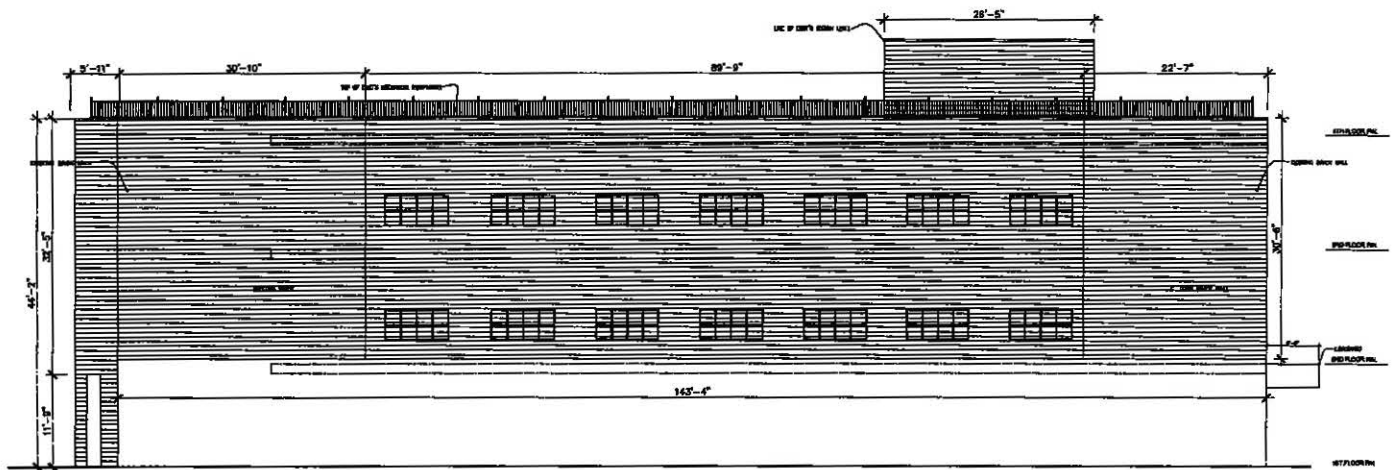


**EXISTING EAST ELEVATION**

sc: 3/32" = 1'-0"

AREA OF REMOVAL SURFACE ON EAST ELEVATION = 2789.79 SF.


HATCH LEGEND:  
 AREA OF THE REMOVAL/OR ABANDON WALL

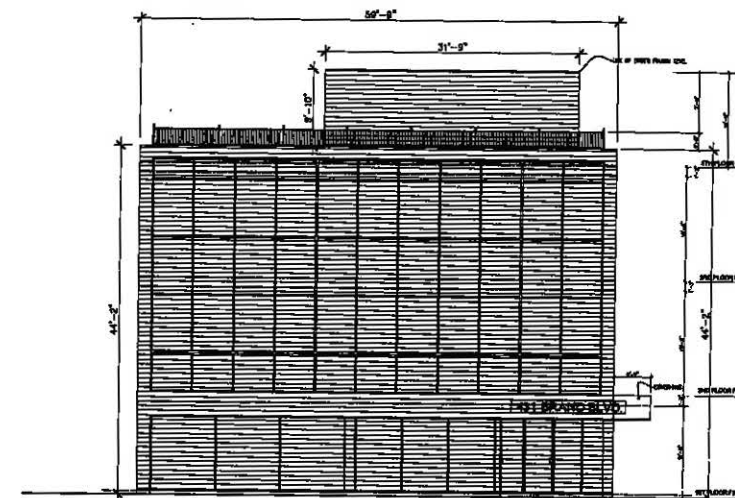


**EXISTING SOUTH ELEVATION**

sc: 3/32" = 1'-0"

AREA OF THE EXISTING WALL SURFACE ON SOUTH ELEVATION = 4842.19 SF.

HATCH LEGEND:  
 AREA OF THE EXISTING WALL SURFACE



**EXISTING EAST ELEVATION**

sc: 3/32" = 1'-0"

AREA OF THE EXISTING WALL SURFACE ON EAST ELEVATION = 2925.94 SF.

HATCH LEGEND:  
 AREA OF THE EXISTING WALL SURFACE

Project:  
 431 N. BRAND BLVD.  
 GLENDALE, CA. 91203

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 MR. AMIR TEHRANI

Consultants:  
 ARCHITECT:  
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CIVIL ENGINEER:  
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 TARCANA, CA. 91337

Notes:

**GROUP S INC.**  
 8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
 OFFICE: 424-777-0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
 Checked By: s.s  
 Date: JULY, 2019  
 Scale:

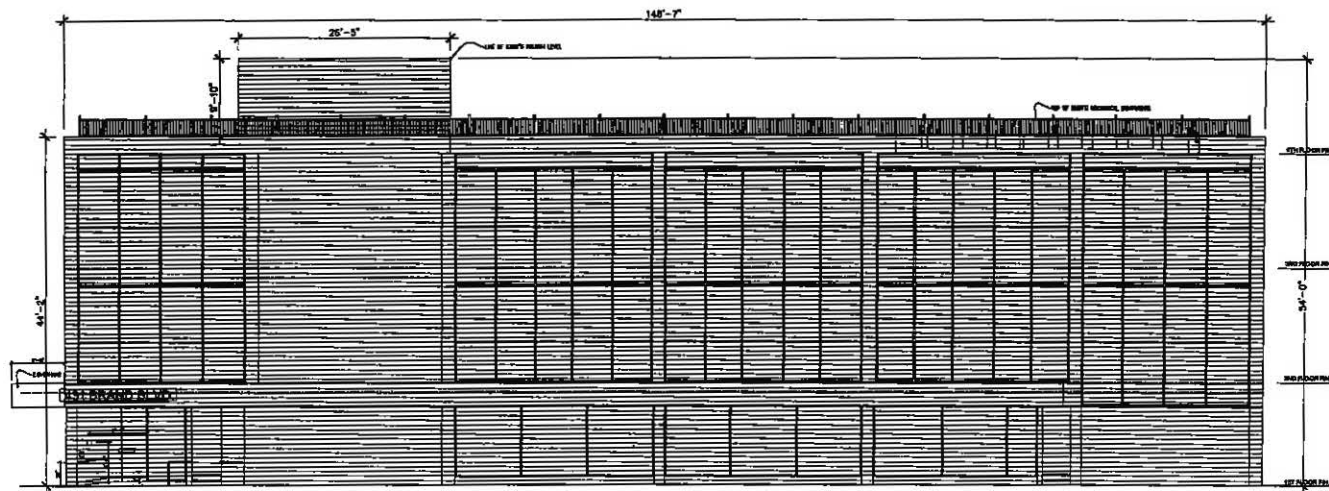
Sheet Title:  
 8% DEMOLITION CALCULATION

Sheet No.:  
 A10.2

Project:  
431 N. BRAND BLVD.  
GLENDALE, CA. 91203

Client:  
MR. AMIR TEHRANI

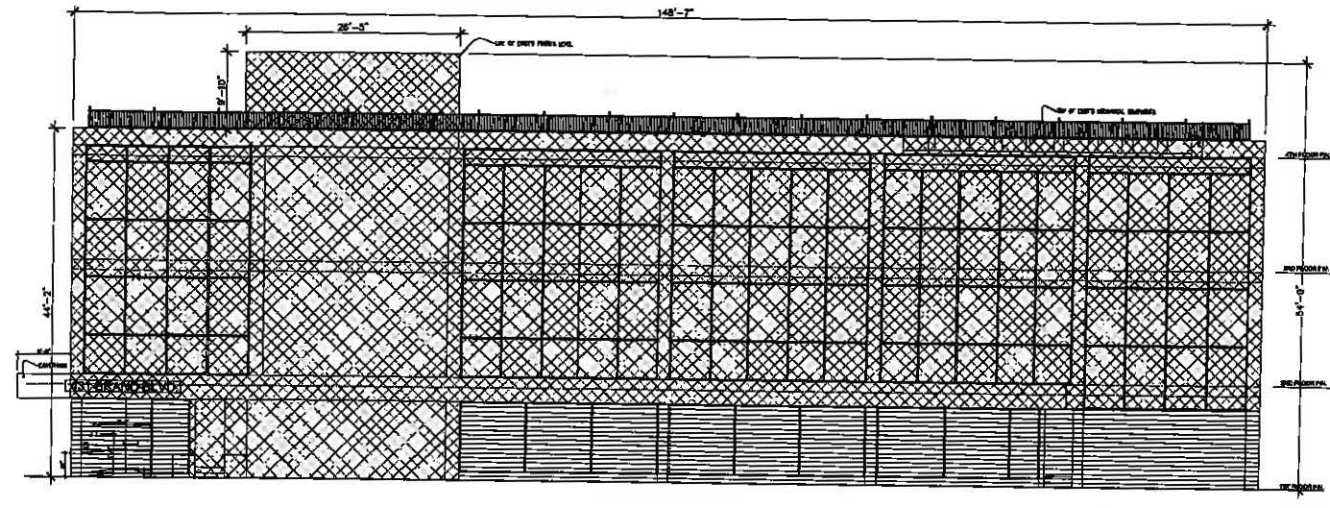
Consultants:  
ARCHITECT:  
SHAHRAM SHOKOUFANDEH  
GROUP S INC.  
8909 W. OLYMPIC BLVD. SUITE 103  
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MEP ENGINEER:  
PARIN INC. ALI DANESH  
5010 CERRILLOS DR.  
WOODLAND HILLS, CA 91364  
CIVIL ENGINEER:  
AMC ENGINEERING CORP.  
P.O. BOX 572110  
TARZANA, CA. 91357



**EXISTING NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

HATCH LEGEND:  
[Hatched Box] AREA OF THE EXISTING WALL SURFACE

AREA OF THE EXISTING WALL SURFACE ON NORTH ELEVATION = 6819.99 SF.



**EXISTING NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

HATCH LEGEND:  
[Cross-hatched Box] AREA OF THE REMOVAL/OR ADDITION WALL

AREA OF THE REMOVAL WALL SURFACE ON NORTH ELEVATION = 5669.90 SF.

Notes:

**A = AREA OF THE EXISTING WALL SURFACE ON FOUR ELEVATIONS**

**A:** AREA OF THE EXISTING WALL SURFACE ON WEST ELEVATION = 3221.46 SF.  
 AREA OF THE EXISTING WALL SURFACE ON EAST ELEVATION = 2925.94 SF.  
 AREA OF THE EXISTING WALL SURFACE ON SOUTH ELEVATION = 4842.19 SF.  
 AREA OF THE EXISTING WALL SURFACE ON NORTH ELEVATION = 6819.99 SF.  
 TOTAL AREA OF THE EXISTING WALL SURFACE ON ALL ELEVATIONS = 17,809.58 SF.

**B:** AREA OF THE EXISTING ROOF SURFACE = 8056.07 SF.

**A + B = F (100% S.F.)**  
 17,809.58 SF. + 8056.07 S.F. = 25,865.65 S.F.

**F/2 (50 % S.F.)**  
 25,865.65 S.F. / 2 = 12,932.82 S.F.

**C = AREA OF THE WALL REMOVALS ON FOUR ELEVATIONS**

**C:** AREA OF THE WALL REMOVALS ON WEST ELEVATION = 312.86 SF.  
 AREA OF THE WALL REMOVALS ON EAST ELEVATION = 2789.79 SF.  
 AREA OF THE WALL REMOVALS ON SOUTH ELEVATION = 639.00 SF.  
 AREA OF THE WALL REMOVALS ON NORTH ELEVATION = 5669.90 SF.  
 TOTAL AREA OF THE WALL REMOVALS ON ALL ELEVATION = 9,411.55 SF.

**C + D < F/2**  
 9,411.55 SF. + 2985.86 S.F. = 12,397.41 S.F. < 12,722.51 S.F.

**D:** AREA OF THE ROOF REMOVAL = 2985.86 SF.

**GROUP S INC.**  
8909 W. OLYMPIC BLVD #103 BEVERLY HILLS, CA 90211  
OFFICE: 424.777.0427 | WWW.GROUP-S-INC.COM

Drawn By: s.s  
Checked By: s.s  
Date: JULY, 2019  
Scale:

Sheet Title:  
90% DEMOLITION CALCULATION

Sheet No.:  
**A10.3**

431 N BRAND BLVD, GLENDALE



**GROUP S INC.**

8909 W.OLYMPIC BLVD#103 BEVERLY HILLS,CA90211  
OFFICE: 424.777.0427 | [WWW.GROUP-S-INC.COM](http://WWW.GROUP-S-INC.COM)



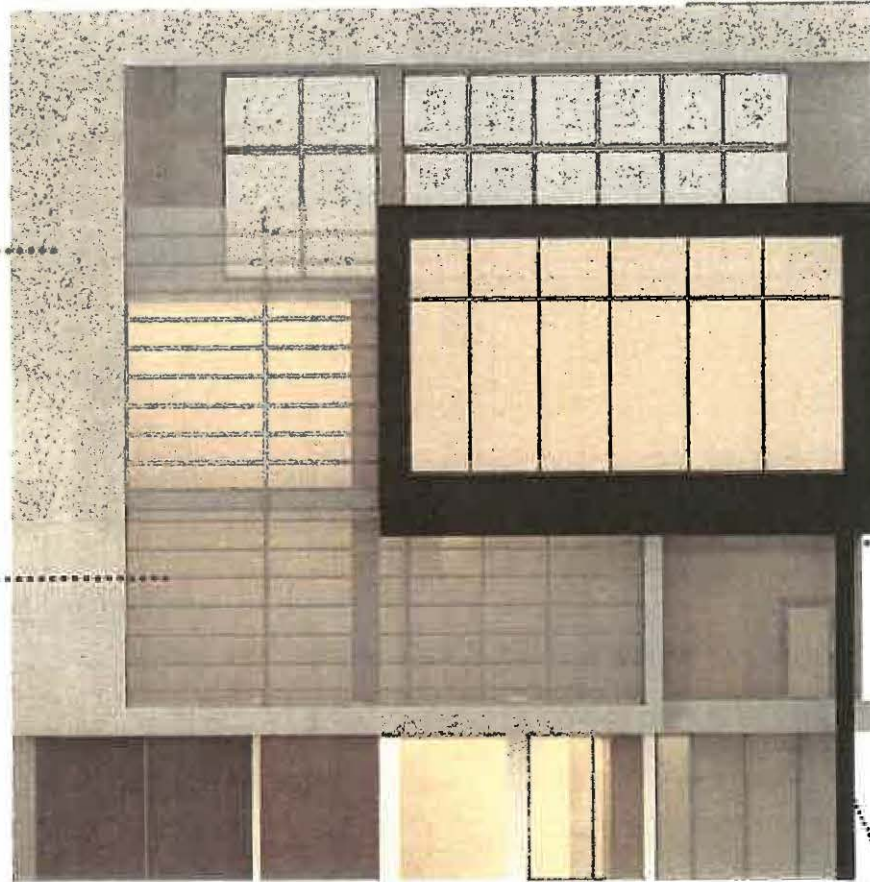






NEW STUCCO ,GREY  
DUNN EDWARD PAINT  
COLOR:CASTLEROCK

CURTAIN WALL/WALL  
TO BE REPLACED



VMZINC PANEL  
COMPANY: DRI-DESIGN WALL PANELS  
SYSTEM  
FINISH: ANTHRA-ZINC,

NEW GLASS CURTAIN WALL

NEW STUCCO, DARK  
GREY  
DUNN EDWARD PAINT

VIEW TO N BRAND BLVD.

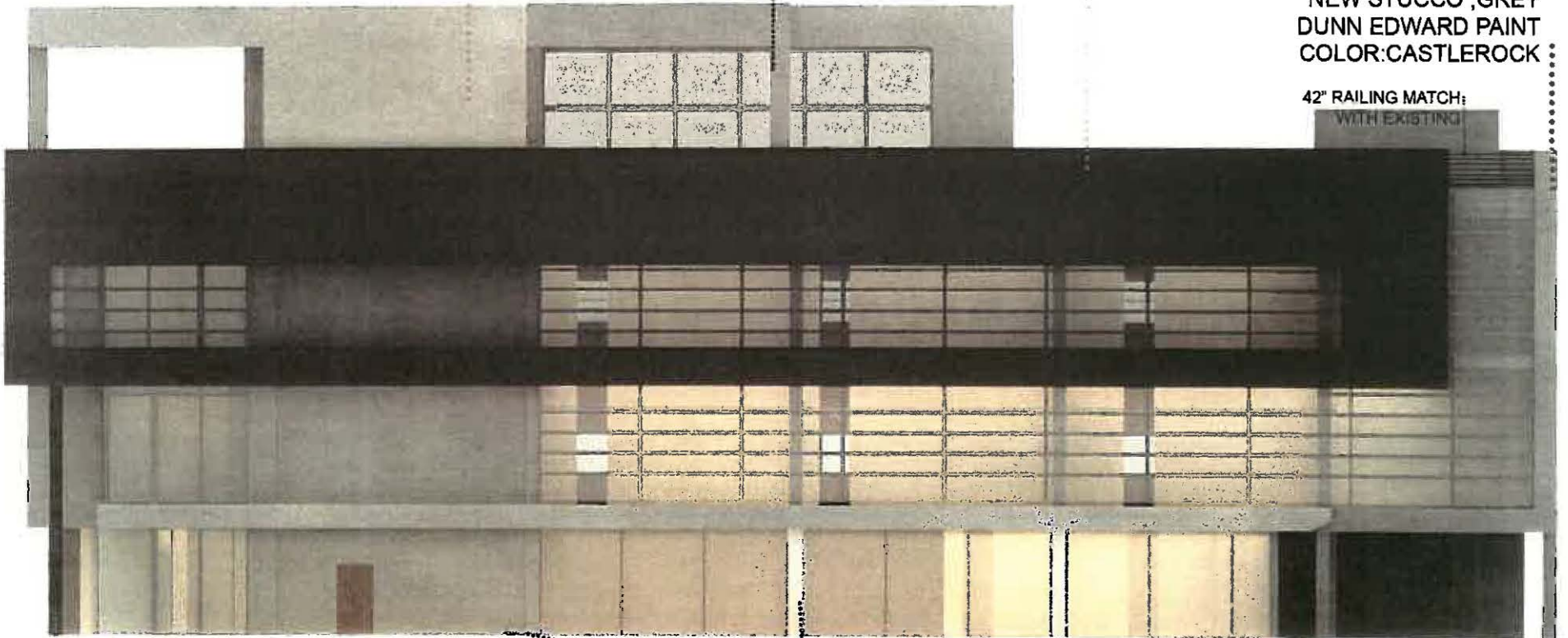
NEW STUCCO, GREY  
DUNN EDWARD PAINT  
COLOR:CASTLEROCK

NEW STUCCO ,GREY  
DUNN EDWARD PAINT  
COLOR:CASTLEROCK

VMZINC PANEL  
COMPANY : DRI-DESIGN WALL PANELS SYSTEM  
FINISH :ANTHRA-ZINC

NEW STUCCO ,GREY  
DUNN EDWARD PAINT  
COLOR:CASTLEROCK

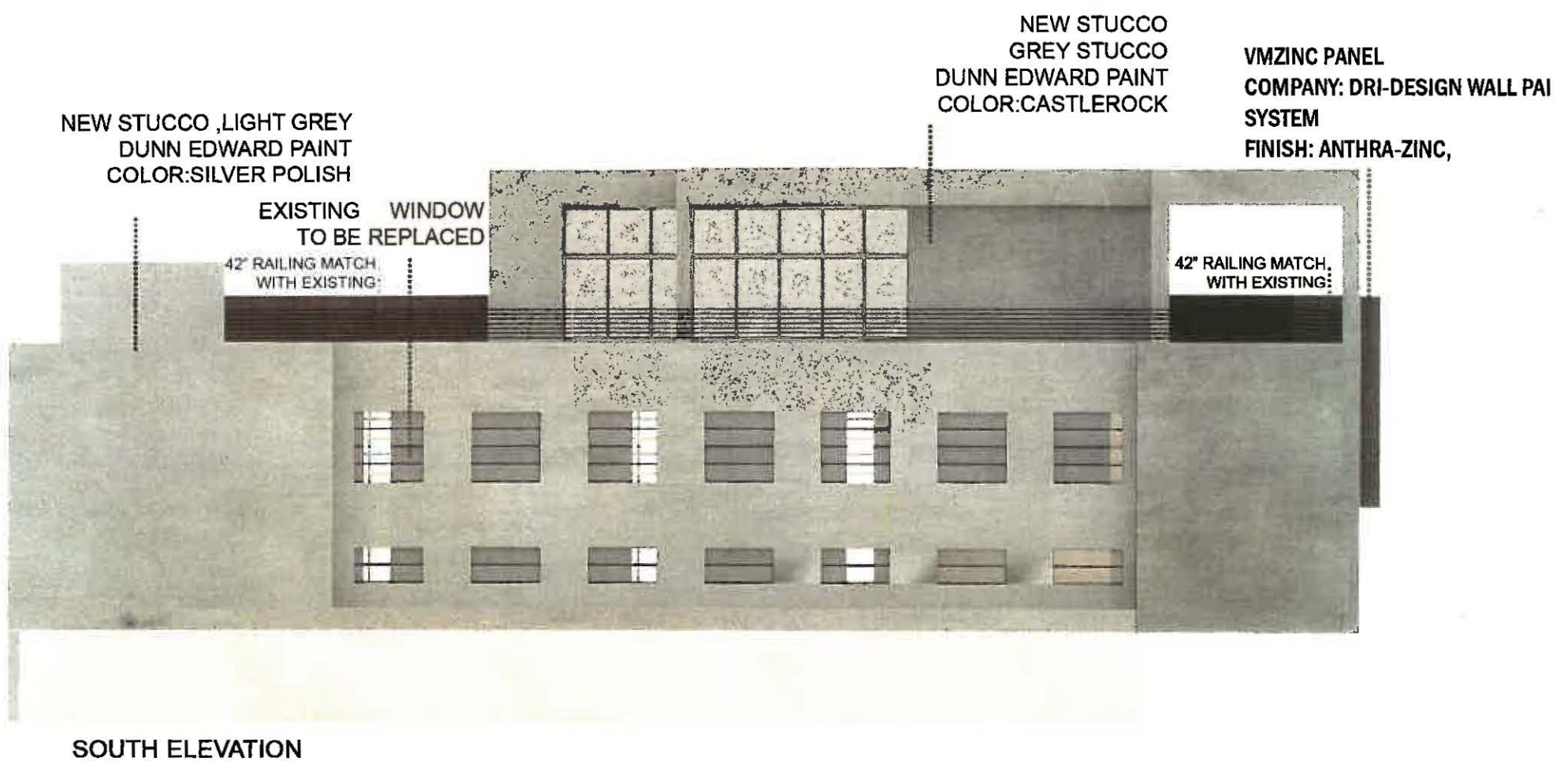
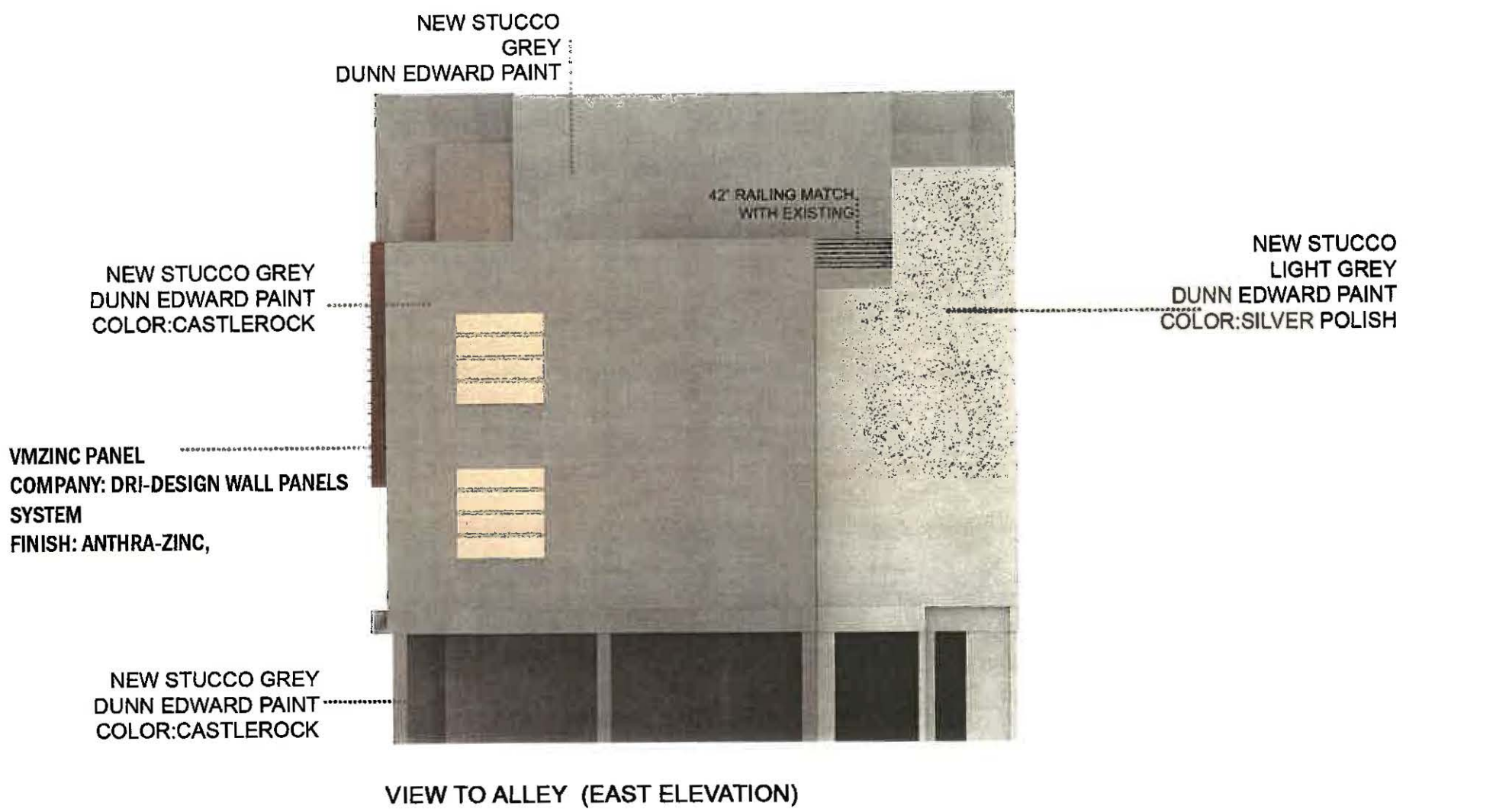
42" RAILING MATCH:  
WITH EXISTING



DARK GREY NEW STUCCO  
DUNN EDWARD PAINT  
COLOR:JET

NEW STUCCO, GREY  
DUNN EDWARD PAINT  
COLOR:CASTLEROCK

VIEW TO MILFORD ST.



## MATERIAL FINISHES

VMZINC®



VMZINC® Series Panels pull from the distinctive tones and textures of nature to create an exclusive, refined and unforgettable visual experience. Our VMZINC® panels are available in QUARTZ-ZINC®, ANTHRA-ZINC®, AZENGAR® and PIGMENTO® Series colors.

■ Technical Information:

**System Depth** - 1 ¼" nominal

**Material** - VMZINC®

**Material Thickness** - 1 mm, 1.5 mm

**Panel Joints** - ½" nominal standard (1/8" – 1" available)

**Finish** - Quartz, Anthra, Azengar, and Pigmento Series

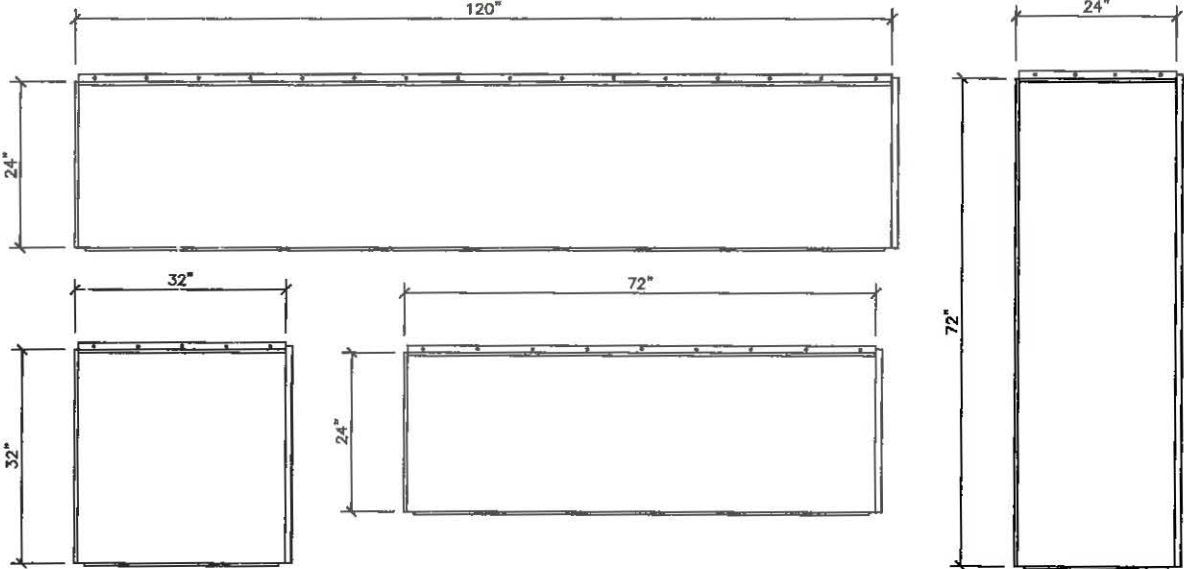
**Weight** - Less than 3 pounds per square foot

**Panel Size Parameters:**

These are the recommended maximum size panel guides. If the panel you would like fits inside these guides, Dri-Design can easily manufacture it. For larger sizes, please contact a Dri-Design representative to discuss your specific requirements.

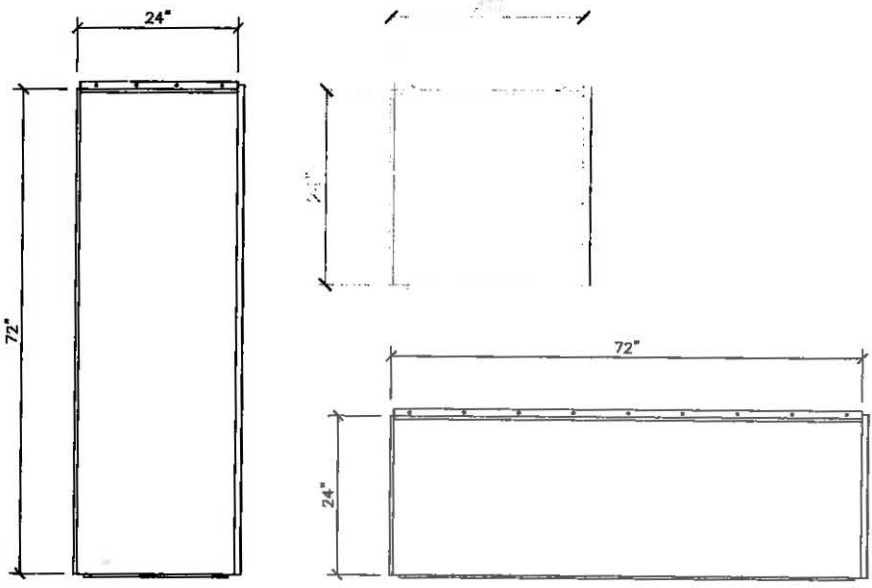


**1.5 mm ANTHRA-ZINC®, QUARTZ-ZINC®, PIGMENTO® and AZENGAR®**  
 Colors shown are representational only.



← PLEASE SEE SHEET 4

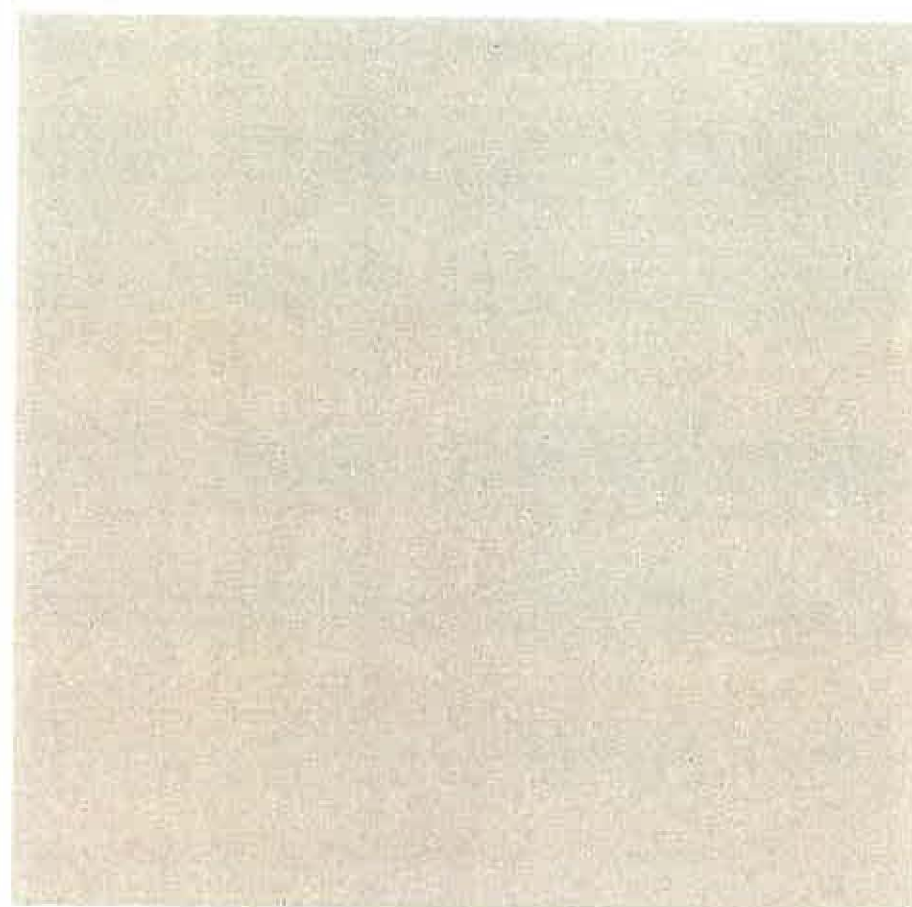
**1 mm ANTHRA-ZINC®, QUARTZ-ZINC®, PIGMENTO® and AZENGAR®**  
 Colors shown are representational only.



# CASTLEROCK DE6375

GRAY STUCCO

COLOR BRAND : DUNN EDWARD PAINT



## Castlerock

DE6375

Cool Neutrals, Perfect Palette®

LRV 37

Munsell HUE=91PB / VALUE=6.6 / CHROMA=0.4

TRIM

**Lace Veil**

DE6372

ACCENT

**Porpoise**

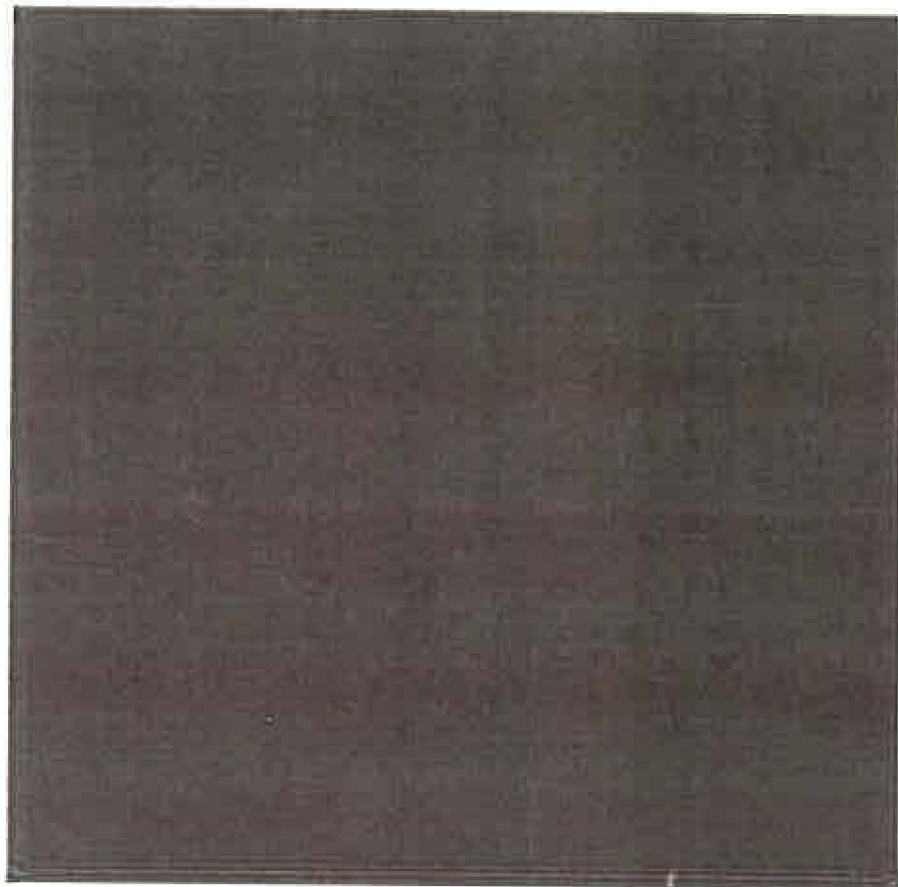
DE6373

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval of final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended.

**JET** DE6378

DARK GRAY STUCCO

COLOR BRAND : DUNN EDWARD PAINT



**Jet**

DE6378

Down Neutrals, Perfect Palette®

LRV 9

Munsell HUE=7.26Y / VALUE=3.5 / CHROMA=0.1

TRIM

**Whisper**  
DEW340

ACCENT

**Porpoise**  
DE6373

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval on final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended.



# SILVER POLISH DE6374

LIGHT GRAY STUCCO

BRAND : DUNN EDWARD PAINT



## Silver Polish

DE6374

Cool Neutrals Perfect Palette®

LRV 53

Munsell HUE=9.58B / VALUE=7.6 / CHROMA=0.2

TRIM

**Damask**  
DEW319

ACCENT



# Wide



## Slate recall

9 mm

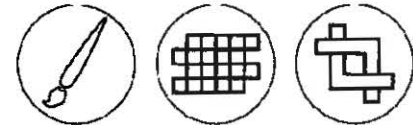
120x240/48"x96" R  
120x120/48"x48" R

9,5 mm

60x120/24"x48" R  
60x60/24"x24" R  
60x60/24"x24" R Strutt.  
30x60/12"x24" R  
30x60/12"x24" R Strutt.

20 mm OUT2.0

60x60/24"x24" R Strutt.



## FLOOR MATERIAL

BRAND : REFIN CERAMICHE

MODEL : WIDE

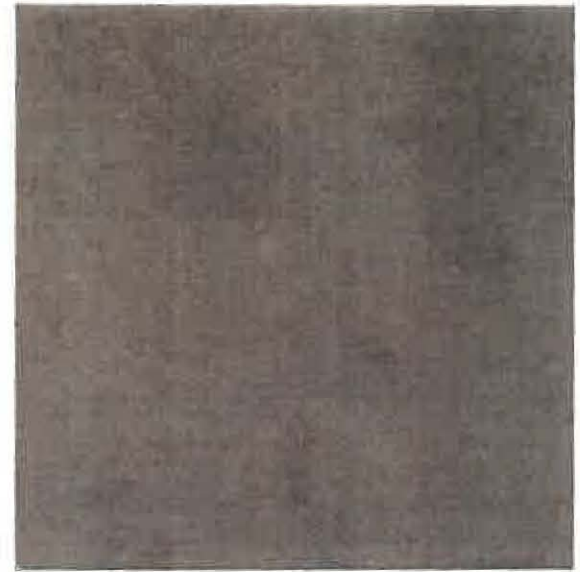
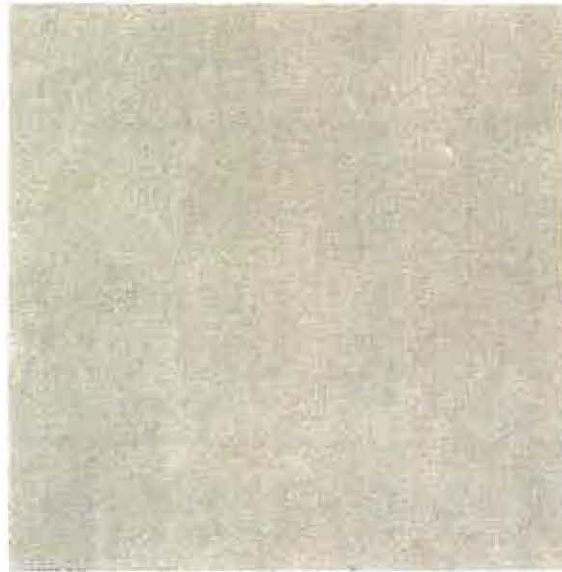
SIZE : 48"x110"

COLOR : LEAD

Gres porcellanato  
Porcelain stoneware  
Grès cérame fin vitrifié  
Feinsteinzeug  
Porseleingres  
Gres porcelánico

Fondi/Plain Tiles/Fonds/  
Grundfliesen/Fondsen/Fondos

V2  
Slight



**Chalk**  
120x240/48"x96" R  
120x120/48"x48" R  
60x120/24"x48" R  
60x60/24"x24" R  
30x60/12"x24" R

LJ18  
LJ08  
LJ74  
LJ79  
LJ84

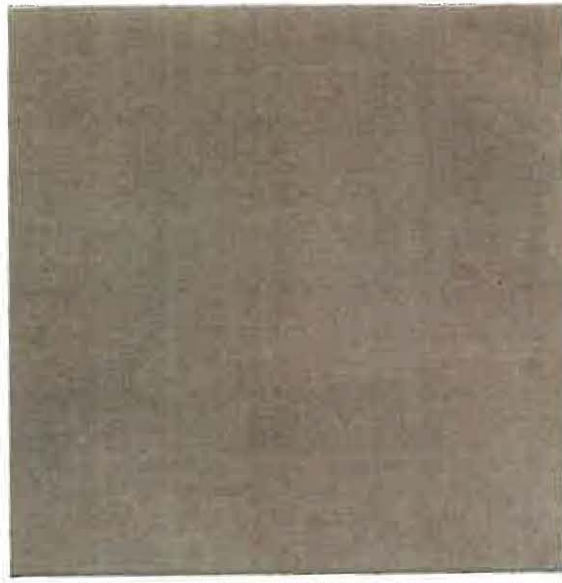
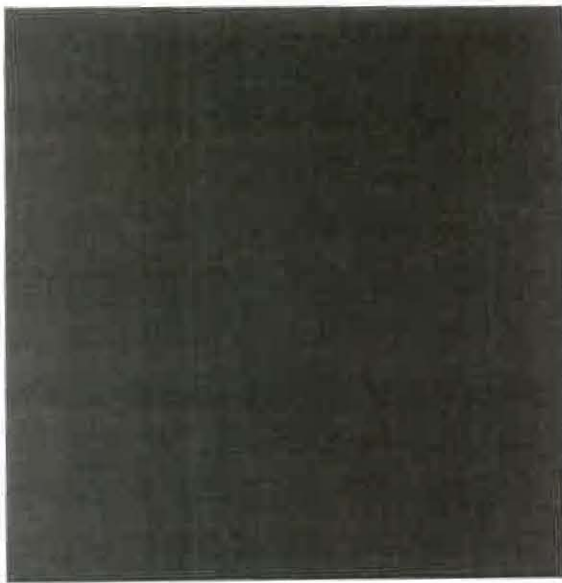
**Steel**  
120x240/48"x96" R  
120x120/48"x48" R  
60x120/24"x48" R  
60x60/24"x24" R  
30x60/12"x24" R

LJ21  
LJ11  
LJ77  
LJ82  
LJ87

**Lead**

120x240/48"x96" R  
120x120/48"x48" R  
60x120/24"x48" R  
60x60/24"x24" R  
30x60/12"x24" R

LJ19  
LJ09  
LJ75  
LJ80  
LJ85



**Carbon**  
120x240/48"x96" R  
120x120/48"x48" R  
60x120/24"x48" R  
60x60/24"x24" R  
30x60/12"x24" R

LJ17  
LJ07  
LJ73  
LJ78  
LJ83

**Olive**  
120x240/48"x96" R  
120x120/48"x48" R  
60x120/24"x48" R  
60x60/24"x24" R  
30x60/12"x24" R

LJ20  
LJ10  
LJ76  
LJ81  
LJ86