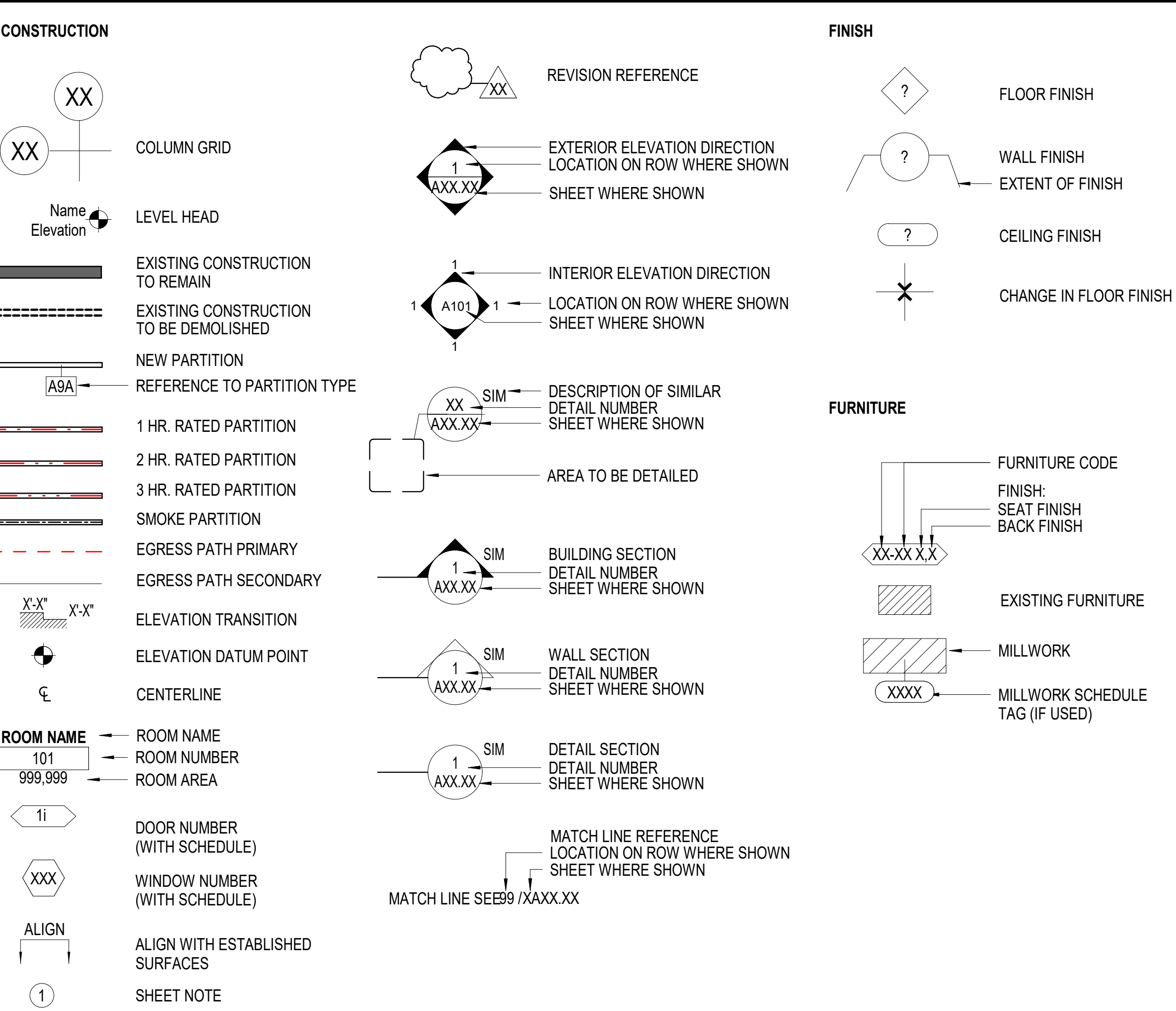


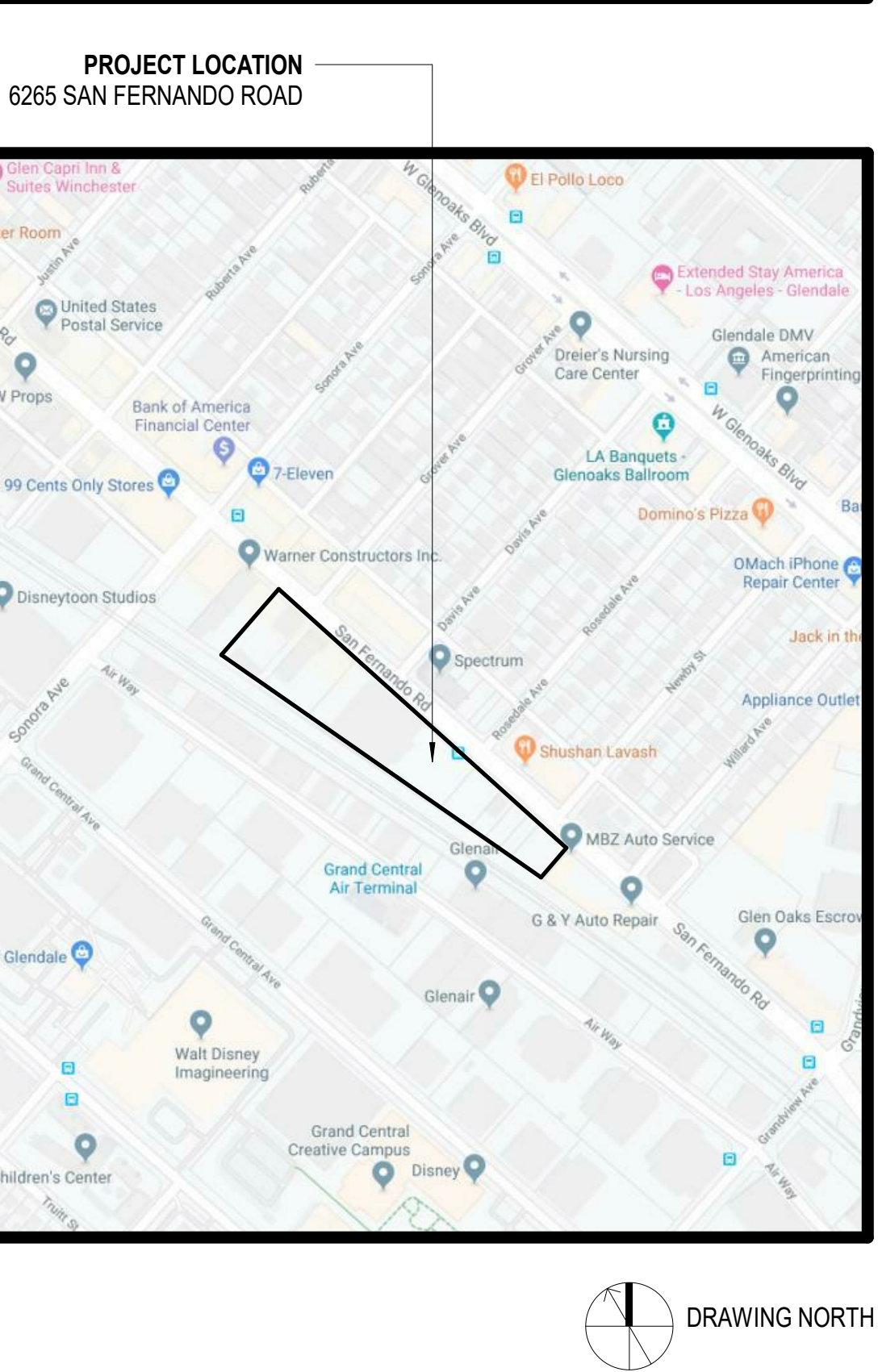
ABBREVIATIONS

<b>S</b>		<b>N</b>		<b>H</b>		<b>D</b>		<b>A</b>	
SCR	SCRIBE	NIC	NOT IN CONTRACT	HD	HEAD	DN	DOWN	ACCES	ACCESSORY
SECUR	SECURITY	NO	NUMBER	HDWD	HARDWOOD	\$	DOLLAR (US CURRENCY)	ACOUS	ACOUSTIC(AL)
SF	SQUARE FEET	NTS	NOT TO SCALE	HWDE	HARDWARE	DR	DOOR	AFF	ABOVE FINISHED FLOOR
SGL	SINGLE	<b>O</b>		HM	HOLLOW METAL	DISCON	DISCONNECT	AL	ALUMINUM
SHORG	SHORING	ORNA	ORNAMENTAL	HORIZ	HORIZONTAL	DWR	DRAWER	ALT	ALTERNATE
SIM	SIMILAR	OVFL	OVERFLOW	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	<b>E</b>		ANNUNC	ANNUNCIATOR
SST	STAINLESS STEEL	OVHD	OVERHEAD	<b>I</b>		ELAST	ELASTOMERIC	ANOD	ANODIZED
STD	STANDARD	OPNG	OPENING(S)	INSTRUM	INSTRUMENT(ATION)	ELEC	ELECTRICAL	APPL	APPLIANCE
STL	STEEL	OPR	OPERABLE	INSUL	INSULATION	EMBED	EMBEDDED(ED)(ING)	ARCH	ARCHITECT(URAL)
STRFR	STOREFRONT	<b>P</b>		INTLK	INTERLOCK(ING)	ENGR	ENGINEER(ED)	AUTO	AUTOMATIC
STRUCT	STRUCTURAL	PTN	PARTITION	INT	INTERIOR	ENTR	ENTRANCE	AVG	AVERAGE
SURF	SURFACE	PBD	PARTICLE BOARD	INFILTR	INFILTRATION	EQ	EQUAL	&	AND
SUSP	SUSPENDED SYSTEM(S)	PNL	PANEL	<b>J</b>		EQUIP	EQUIPMENT	<b>B</b>	
<b>T</b>		POB	POINT OF BEGINNING	JAN	JANITOR	EXIST	EXISTING	BLDG	BUILDING
THK	THICK	POLYST	POLYSTYRENE	<b>K</b>		EXP JT	EXPANSION JOINT	BOLL	BOLLARD
TLT	TOILET	PORT	PORTABLE	KIT	KITCHEN	EXPS	EXPOSE(D)	BD	BOARD
TRAF	TRAFFIC	PREFIN	PREFINISHED	KEC	KITCHEN EQUIPMENT CONTRACTOR	EXT	EXTERIOR	BLKG	BLOCKING
TRANS	TRANSPARENT	PREFAB	PREFABRICATED	<b>L</b>		<b>F</b>		BRDLM	BROADLOOM
TRTD	TREATED	PLAM	PLASTIC LAMINATE	LAV	LAVATORY	FAB	FABRICATION	BU	BUILT UP
T&G	TONGUE AND GROOVE	PLSTC	PLASTIC	LB	POUND	FD	FLOOR DRAIN	<b>C</b>	
TYP	TYPICAL	PLYWD	PLYWOOD	£	BRITISH POUND (CURRENCY)	FE	FIRE EXTINGUISHER	CAB	CABINET
<b>U</b>		PRTECN	PROTECTION	LT	LIGHT	FHC	FIRE HOSE CABINET	CPT	CARPET
UNDRLAY	UNDERLAYMENT	<b>R</b>		LVLG	LEVELING	FIN	FINISH	CEM	CEMENT(ITIOUS)
UTIL	UTILITY	RDR	READER	LVR	LOUVER	FLDG	FOLDING	CER	CERAMIC
UNO	UNLESS NOTED OTHERWISE	RECES	RECESSED	<b>M</b>		FPLC	FIREPLACE	CLG	CEILING
VEH	VEHICLE	RECP	RECEPTACLE	MAX	MAXIMUM	FR	FIRE RATING(ED)	COATG	COATING
VERT	VERTICAL	REF	REFER(ENCE)	MFD	MANUFACTURED	FRMG	FRAMING	COILG	COILING
VIF	VERIFY IN FIELD	REFL	REFLECTED	MFR	MANUFACTURER	CONC	CONCRETE	CONSTR	CONSTRUCTION
<b>W</b>		REFR	REFRIGERATOR	MECH	MECHANICAL	CONT	CONTINUOUS(ATION)	CONTR	CONTRACT(OR)
W/	WITH	REQD	REQUIRED	MET	METAL	COV	COVER	CMU	CONCRETE MASONRY UNIT
WC	WATER CLOSET	RESIS	RESIST(ANT)(IVE)	MEMB	MEMBRANE	<b>D</b>			
WD	WOOD	REINF	REINFORCE(D)(ING)(MENT)	MEZZ	MEZZANINE	DBL	DOUBLE		
WDW	WINDOW	RESIL	RESILIENT	MIN	MINIMUM	DEPT	DEPARTMENT		
W/O	WITHOUT	RFG	ROOFING	MISC	MISCELLANEOUS	DES	DESIGN(ED)		
WT	WEIGHT	RM	ROOM	MLWK	MILLWORK	DET	DETAIL		
WTRPRF	WATERPROOFING	RO	ROUGH OPENING	MOT	MOTOR(IZED)	DF	DRINKING FOUNTAIN		
				MTD	MOUNTED	DIA	DIAMETER		

SYMBOLS



VICINITY MAP



Rios Clementi Hale Studios

PROJECT ID

19005

CONSULTANT

NOT FOR CONSTRUCTION

APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE  
2016 CALIFORNIA GREEN BUILDING CODE  
2016 CALIFORNIA MECHANICAL CODE  
2016 CALIFORNIA ELECTRICAL CODE  
2016 CALIFORNIA PLUMBING CODE  
2016 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA FIRE CODE  
ALL W/ GLENDALE AMENDMENTS

6325, 6311, 6265, 6231 San Fernando Road

6325-6231 San Fernando Rd Glendale, CA 91201

NOT FOR CONSTRUCTION

PROJECT TEAM

**CLIENT**  
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SOLARGY  
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**E-MAIL: RAFFI@SOLARGY.COM**

PROJECT DESCRIPTIONS

**6325 SAN FERNANDO ROAD, GLENDALE, CA 91201 (5627-021-014)**  
**BUILDING AB**  
ADAPTIVE REUSE OF ON EXISTING TYPE V BAKERY AND ONE EXISTING TYPE V BAKERY STORAGE BUILDINGS TO CREATIVE OFFICES.  
• ADD A 6200 SF ADDITION BETWEEN THE TWO EXISTING BUILDINGS. EXISTING SF: 6,087 SF. TOTAL SF: 12,287 SF.  
• KEEP MAJORITY OF BUILDING EXTERIOR MATERIALS (PRIMARILY BRICK AND CMU) WHILE SELECTIVELY REPAINT A FEW AREAS. NEW ADDITION EXTERIOR MATERIALS WILL BE STUCCO.  
• REPLACE EXISTING EXTERIOR DOORS AND WINDOWS WITH NEW DARK ANODIZED ALUMINUM DOORS AND WINDOWS WHILE SELECTIVELY KEEP A FEW EXISTING STEEL WINDOWS.  
• RESTRIPE ENTIRE PARKING LOT WITH 33 PARKING SPACES AND 1297 SF OF NEW LANDSCAPE AREA.  
• NEW RESTROOMS AND MECHANICAL.

**6311 SAN FERNANDO ROAD, GLENDALE, CA 91201 (5627-021-016)**  
**BUILDING C**  
ADAPTIVE REUSE OF EXISTING WAREHOUSE BUILDING INTO NEW CREATIVE OFFICE SPACE.  
• KEEP EXISTING FOOTPRINT AND STRUCTURE MEMBERS. ADD A 4820 SF SECOND FLOOR. ENCLOSE EXISTING STRUCTURE FACING SAN FERNANDO ROAD: 2,780 SF (CONSIDER AS NEW BUILDING AREA). EXISTING SF: 9,410 SF. TOTAL SF: 14,260 SF.  
• ADD ONE NEW ELEVATOR AND TWO NEW STAIRS.  
• KEEP EXISTING NORTH CMU EXTERIOR WALL AND REPLACE OTHER EXTERIOR ENCLOSURES WITH NEW TYPE V WALLS.  
• NEW DARK ANODIZED ALUMINUM WINDOWS AND DOORS.  
• RESTRIPE ENTIRE PARKING LOT WITH 38 PARKING SPACES AND 1247 SF OF NEW LANDSCAPE.  
• NEW RESTROOMS AND MECHANICAL.

**6265 SAN FERNANDO ROAD, GLENDALE, CA 91201 (5627-022-012)**  
**BUILDING D**  
CORE AND SHELL REMODEL OF EXISTING TWO-STORY OFFICE BUILDING.  
• ADD ONE NEW ELEVATOR AND ONE NEW STAIR TO THE EXISTING LOBBY.  
• CONVERT EXISTING SECOND FLOOR ROOF TO ACCESSIBLE ROOF DECKS.  
• REMOVE A PARTIAL OF THE BUILDING AT THE CENTURY COURTYARD.  
• REMOVE DECORATIVE AWNING, COLUMNS ON THE FAÇADE FACING SAN FERNANDO ROAD.  
• NEW EXTERIOR DARK ANODIZED ALUMINUM WINDOWS AND DOORS.  
• NEW RESTROOMS.  
• NEW MECHANICAL WHILE SELECTIVELY KEEP A FEW EXISTING MECHANICAL EQUIPMENT.  
• RESTRIPE ENTIRE PARKING LOT WITH 141 PARKING SPACES AND 2265 SF OF NEW LANDSCAPE.

**6231 SAN FERNANDO ROAD, GLENDALE, CA 91201, (5627-022-005)**  
**BUILDING E**  
ADAPTIVE REUSE OF EXISTING CONFERENCE CENTER TO OFFICE.  
• ADD A 7,789 SF NEW ADDITION, TYPE V. EXISTING SF: 2211. TOTAL: 10,000 SF.  
• NEW DARK ANODIZED ALUMINUM WINDOWS AND DOORS.  
• NEW INTERNAL COURTYARD WITH EXISTING TREE.  
• RESTRIPE ENTIRE PARKING LOT WITH 27 PARKING SPACES AND 1760 SF OF NEW LANDSCAPE.  
• NEW RESTROOMS  
• NEW LANDSCAPING

PROJECT DATA

6325 SAN FERNANDO RD. (BUILDING AB)	
APN:	5627-021-014
OCCUPANCY TYPE:	BUSINESS
PROPOSED USE:	OFFICE
ZONING:	C3
EXISTING BUILDING AREA:	6,087 SF
ADDITION:	6,200 SF
BUILDING AREA:	12,287 SF
OUTDOOR AREA:	673 SF
MAXIMUM HEIGHT LIMIT:	50'-0"
PROJECT HEIGHT:	19'-4"
STORIES:	01
CONSTRUCTION TYPE:	V

6311 SAN FERNANDO RD. (BUILDING C)	
APN:	5627-021-016
OCCUPANCY TYPE:	BUSINESS
PROPOSED USE:	OFFICE
ZONING:	IMU
EXISTING BUILDING AREA:	6,648 SF
ADDITION:	7,612 SF
BUILDING AREA:	14,260 SF
OUTDOOR AREA:	1,300 SF
MAXIMUM HEIGHT LIMIT:	50'-0"
PROJECT HEIGHT:	35' - 1"
STORIES:	02
CONSTRUCTION TYPE:	V

6265 SAN FERNANDO RD. (BUILDING D)	
APN:	5627-022-012
OCCUPANCY TYPE:	BUSINESS
PROPOSED USE:	OFFICE
ZONING:	IMU
EXISTING BUILDING AREA:	52,848 SF
DEMOLISHED AREA:	848 SF
TOTAL BUILDING AREA:	52,000 SF
OUTDOOR AREA:	4,755 SF
MAXIMUM HEIGHT LIMIT:	50'-0"
PROJECT HEIGHT:	31'-2"
STORIES:	02
CONSTRUCTION TYPE:	V

6231 SAN FERNANDO RD. (BUILDING E)	
APN:	5627-022-005
OCCUPANCY TYPE:	BUSINESS
PROPOSED USE:	OFFICE
ZONING:	IMU
EXISTING BUILDING AREA:	2,211SF
ADDITION:	7,789 SF
TOTAL BUILDING AREA:	10,000SF
OUTDOOR AREA:	1,040 SF
MAXIMUM HEIGHT LIMIT:	50'-0"
PROJECT HEIGHT:	16' 7"
STORIES:	01
CONSTRUCTION TYPE:	V

BUILDING AREA CALCULATIONS				
BUILDING	EXISTING	DEMOLISHED	ADDITION	TOTAL
BUILDING AB	6,087 SF	0 SF	+ 6,200 SF	12,287 SF
BUILDING C	6,648 SF	0 SF	+ 7,612 SF (1ST FL: 2780 SF, 2ND FL: 4832 SF)	14,260 SF
BUILDING D	52,848 SF	- 848 SF	0 SF	52,000 SF
BUILDING E	2,211 SF	0 SF	+ 7,789 SF	10,000 SF
<b>TOTAL</b>	<b>67,794 SF</b>	<b>- 848 SF</b>	<b>+ 21,601 SF</b>	<b>88,547 SF</b>

BUILDING AREA RATIOS	
EXISTING BUILDING AREA	67,794 SF
PROPOSED BUILDING AREA	88,547 SF
TOTAL LOT AREA	193,230 SF
LOT COVERAGE : LOT AREA	88,547 SF : 193,230 SF

PARKING SUMMARY			
REQUIRED PARKING (CODE REQUIRED SEC 30.32.50 - 2.7 SPACES/ 1,000 SF)			
BUILDING	REQUIRED (INCLUDING ADA & EV)	ADA	EV
BUILDING AB (12,287SF / 1000 x 2.7)	33	2	2
BUILDING C (14,260SF / 1000 x 2.7)	39	2	2
BUILDING D (52,000SF / 1000 x 2.7)	140	5	7
BUILDING E (10,000 SF / 1000 x 2.7)	27	2	2
<b>TOTAL:</b>	<b>239</b>	<b>11</b>	<b>13</b>

PROVIDED PARKING			
BUILDING	PROVIDED (INCLUDING ADA & EV)	ADA	EV
BUILDING AB	33	2	2
BUILDING C	39	2	2
BUILDING D	142	5	7
BUILDING E	27	2	2
<b>TOTAL:</b>	<b>241</b>	<b>11</b>	<b>13</b>

ADDITIONAL PARKING PROVIDED			
TANDEM SPACES *	22		
<b>TOTAL PARKING PROVIDED:</b>	<b>285 SPACES</b>		

SHEET INDEX

SHEET LIST PLANNING			
SHEET NO.	SHEET NAME	DRB ISSUE 1 08/19/2019	DRB ISSUE 2 10/28/2019
A00.01	INDEX, PROJECT INFORMATION, NOTES & SYMBOLS	•	•
A01.10	RENDERINGS	•	•
A02.01	EXISTING SITE PLAN	•	•
A02.02	PROPOSED SITE PLAN	•	•
A02.03	PROPOSED PARKING PLAN	•	•
A02.10	BLDG A&B PLANNING FLOOR PLAN	•	•
A02.11	BLDG A&B ROOF PLAN	•	•
A02.20	BLDG C PLANNING FLOOR PLANS	•	•
A02.21	BLDG C ROOF PLAN	•	•
A02.30	BLDG D PLANNING FLOOR PLAN- LEVEL 1	•	•
A02.31	BLDG D PLANNING FLOOR PLAN- LEVEL 2	•	•
A02.32	BLDG D ROOF PLAN	•	•
A02.40	BLDG E PLANNING FLOOR PLANS	•	•
A02.43	BLDG E ROOF PLAN	•	•
A03.10	BLDG A&B ELEVATIONS	•	•
A03.20	BLDG C ELEVATIONS	•	•
A03.30	BLDG D ELEVATIONS	•	•
A03.40	BLDG E ELEVATIONS	•	•
A04.10	BLDG SECTIONS	•	•
A08.01	WINDOW SCHEDULE FOR BUILDING AB & C	•	•
A08.02	WINDOW SCHEDULE FOR BUILDING D & E	•	•
A08.03	DOOR SCHEDULE BUILDING AB & C	•	•
A08.04	DOOR SCHEDULE BUILDING D & E	•	•
D01.10	BLDG A&B DEMOLITION PLAN	•	•
D01.20	BLDG C DEMOLITION PLAN	•	•
D01.30	BLDG D DEMOLITION PLAN-LEVEL 1	•	•
D01.31	BLDG D DEMOLITION PLAN-LEVEL 2	•	•
D01.40	BLDG E DEMOLITION PLAN	•	•

SHEET LIST LANDSCAPE			
SHEET NO.	SHEET NAME	DRB ISSUE 1 8/19/2019	DRB ISSUE 2 10/28/2019
L0.01	GENERAL NOTES	•	•
L7.01	IRRIGATION LEGEND AND NOTES	•	•
L7.10	IRRIGATION OVERALL	•	•
L7.21	IRRIGATION PLAN A	•	•
L7.22	IRRIGATION PLAN B	•	•
L7.23	IRRIGATION PLAN C	•	•
L7.24	IRRIGATION PLAN D	•	•
L7.25	IRRIGATION PLAN A	•	•
L7.31	IRRIGATION DETAILS	•	•
L7.32	IRRIGATION DETAILS	•	•
L8.00	EXISTING TREE PLAN	•	•
L8.01	PLANTING NOTES AND SCHEDULE	•	•
L8.10	TREE PLANING PLAN	•	•
L8.11	LANDSCAPE REQUIREMENTS	•	•
L8.21	PLANTING PLAN A	•	•
L8.22	PLANTING PLAN B	•	•
L8.23	PLANTING PLAN C	•	•
L8.24	PLANTING PLAN D	•	•
L8.25	PLANTING PLAN E	•	•
L9.01	PLANTING DETAILS	•	•

6325, 6311, 6265, 6231 San Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS

1 10/28/2019 DRB REV 1

ISSUES

08/19/2019

10/28/2019

PLAN

6325, 6311, 6265, 6231 San Fernando Road

DATE

10/28/2019 10:32:37 AM

SCALE

As indicated

PROJECT NO.

INDEX, PROJECT INFORMATION, NOTES & SYMBOLS

INDEX, PROJECT INFORMATION, NOTES & SYMBOLS

INDEX, PROJECT INFORMATION, NOTES & SYMBOLS

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INDEX, PROJECT INFORMATION, NOTES & SYMBOLS

INDEX, PROJECT INFORMATION, NOTES & SYMBOLS

INDEX, PROJECT INFORMATION, NOTES & SYMBOLS





RÍOS  
CLEMENTI  
HALE  
STUDIOS

PROJECT ID  
19005

CONSULTANT

NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS

ISSUES  
08/19/2019  
10/28/2019

PLAN NAME  
6325, 6311, 6265, 6231 San Fernando Road

RENDERINGS

DATE  
10/28/2019 10:32:37 AM

SCALE  
INCHES PRINTED ON 36" X 48" SHEET

DRAWING NO.  
A01.10



PROJECT ID  
19005

CONSULTANT

NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS

ISSUES

PLAN NAME  
6325, 6311, 6265, 6231 San Fernando Road

RENDERINGS

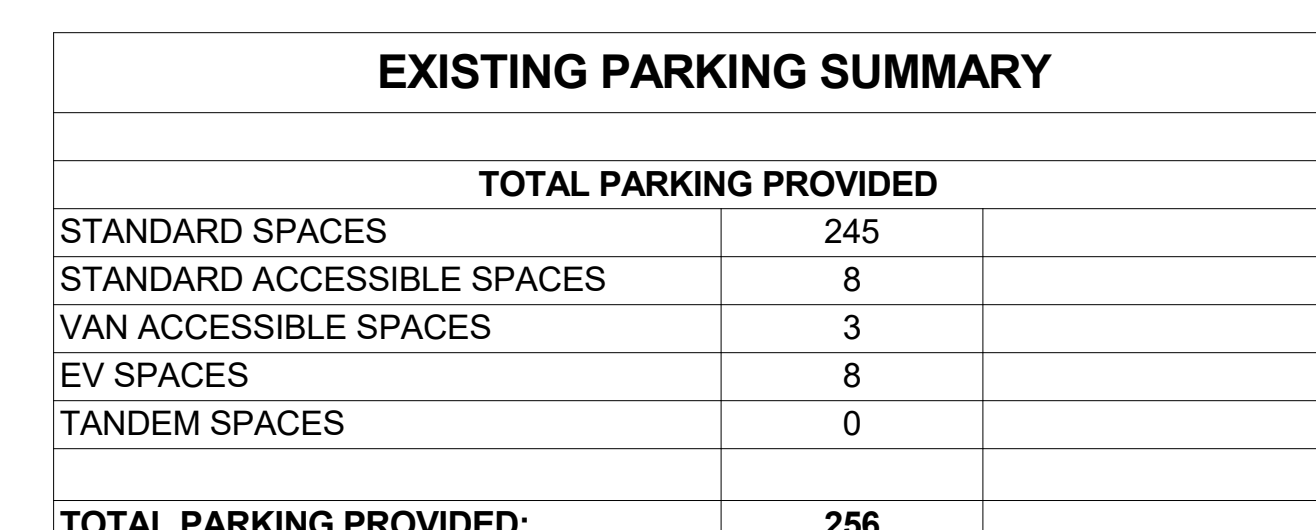
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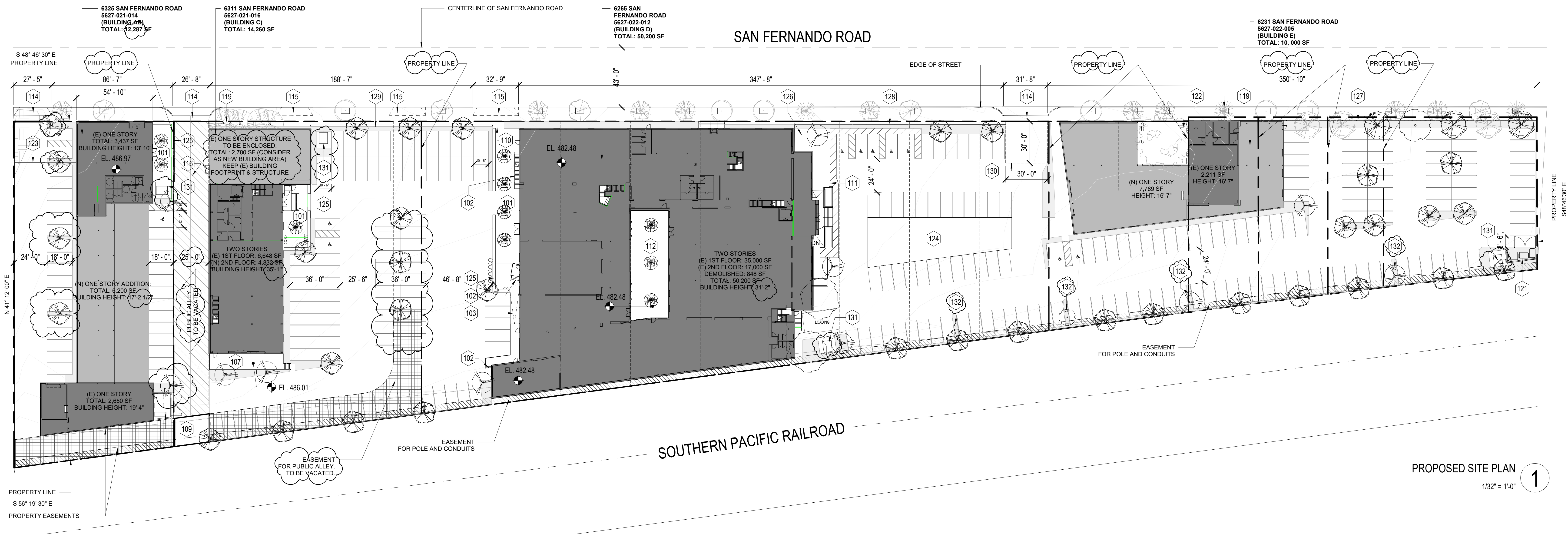
DRAWING NO.  
A01.11











## LEGEND

	(E) BUILDING TO REMAIN
	(N) ADDITION
	(N) LANDSCAPE SEE LANDSCAPE DWGS FOR MORE DETAILS
	PROPERTY LINE
	LOT LINE
	EASEMENT BOUNDARY

## KEYNOTE LEGEND

Key Value	Keynote Text
101	(N) OUTDOOR PATIO
102	(E) STAIRS
103	(E) RAMP
107	(E) ELEVATED DOCK
109	(N) TRASH ENCLOSURE FOR BULD AB&C
110	(N) PEDESTRIAN ENTRY GATE
111	ADA PATHWAY
112	(E) BUILDING COURTYARD WITH NEW PLANTING.
114	(E) CURB CUT TO REMAIN
115	(E) CURB CUT TO BE DEMOLISHED
116	(E) CONCRETE SWALE
119	(E) TREE TYP.
121	(N) TRASH ENCLOSURE FOR BUILDING D&E
122	(N) COURTYARD OPEN TO SKY WITH (E) TREE
123	(N) DRIVEWAY GATE
124	(N) OPEN OUTDOOR SPACE
125	(N) HEDGES. SEE LANDSCAPE DWG FOR DETAIL.
126	(N) RAISED CONCRETE PATIO
127	(E) CHAINLINK FENCE TO BE COVERED WITH NEW VINE. SEE LANDSCAPE DWG FOR DETAIL.
128	(E) CHAINLINK FENCE COVERED WITH (E) VINE
129	(E) BRICK WALL COVERED WITH (E) VINE
130	30' X 30' EASEMENT FOR TRAFFIC SIGNAL MAINTENANCE.
131	(N) TRANSFORMER
132	(E) LIGHT POLE TO REMAIN. REPLACE WITH (N) FIXTURE.

## BUILDING AREA CALCULATIONS

TOTAL BUILDING AREA				
BUILDING	EXISTING	DEMOLISHED	ADDITION	TOTAL
BUILDING AB	6,087 SF	0 SF	+ 6,200 SF	12,287 SF
BUILDING C	6,648 SF	0 SF	+ 7,612 SF (1ST FL: 2780 SF, 2ND FL: 4832 SF)	14,260 SF
BUILDING D	52,848 SF	- 848 SF	0 SF	52,000 SF
BUILDING E	2,211 SF	0 SF	+ 7,789 SF	10,000 SF
<b>TOTAL</b>	<b>67,794 SF</b>	<b>- 848 SF</b>	<b>+ 21,601 SF</b>	<b>88,547 SF</b>

\* ALL GROSS FLOOR AREA SQUARE FOOTAGE MEASURED FROM EXTERIOR WALLS

## PARKING SUMMARY

REQUIRED PARKING (CODE REQUIRED SEC 30.32.50 - 2.7 SPACES/ 1,000 SF)				
BUILDING	REQUIRED (INCLUDING ADA & EV)	ADA	EV	
BUILDING AB (12,287SF / 1000 x 2.7)	33	2	2	
BUILDING C (14,260SF / 1000 x 2.7)	39	2	2	
BUILDING D (52,000SF / 1000 x 2.7)	140	5	7	
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PROVIDED PARKING				
BUILDING	PROVIDED (INCLUDING ADA & EV)	ADA	EV	
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<b>TOTAL:</b>	<b>241</b>	<b>11</b>	<b>13</b>	
ADDITIONAL PARKING PROVIDED				
TANDEM SPACES *	22			
<b>TOTAL PARKING PROVIDED:</b>	<b>285 SPACES</b>			

\* TANDEM PARKING SPACES NOT INCLUDED IN REQUIRED PARKING SPACES PROVIDED



SAN FERNANDO ROAD

CENTERLINE OF SAN FERNANDO ROAD

EDGE OF STREET

PROPERTY LINE  
S44°46'30" E

SOUTHERN PACIFIC RAILROAD

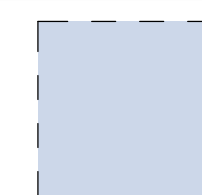
PROPOSED PARKING PLAN

1/32" = 1'-0"

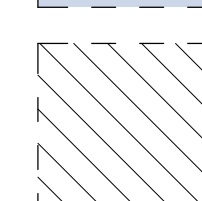
1

## PARKING LEGEND

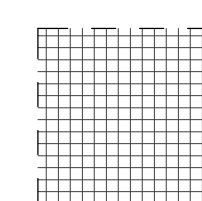
REQUIRED PARKING



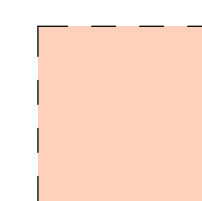
EV PARKING



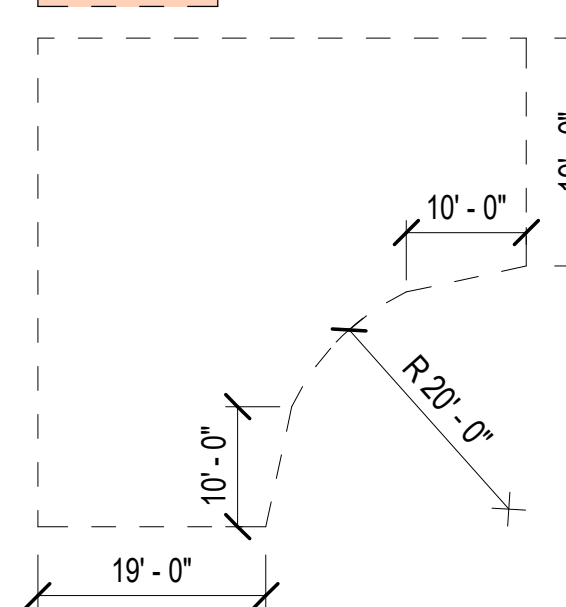
TANDEM PARKING



LOADING ZONE



TURNING RADIUS



## PARKING SUMMARY

### REQUIRED PARKING (CODE REQUIRED SEC 30.32.50 - 2.7 SPACES/ 1,000 SF)

BUILDING	REQUIRED (INCLUDING ADA & EV)	ADA	EV
BUILDING AB (12,287SF / 1000 x 2.7)	33	2	2
BUILDING C (14,260SF / 1000 x 2.7)	39	2	2
BUILDING D (52,000SF / 1000 x 2.7)	140	5	7
BUILDING E (10,000 SF / 1000 x 2.7)	27	2	2
<b>TOTAL:</b>	<b>239</b>	<b>11</b>	<b>13</b>

### PROVIDED PARKING

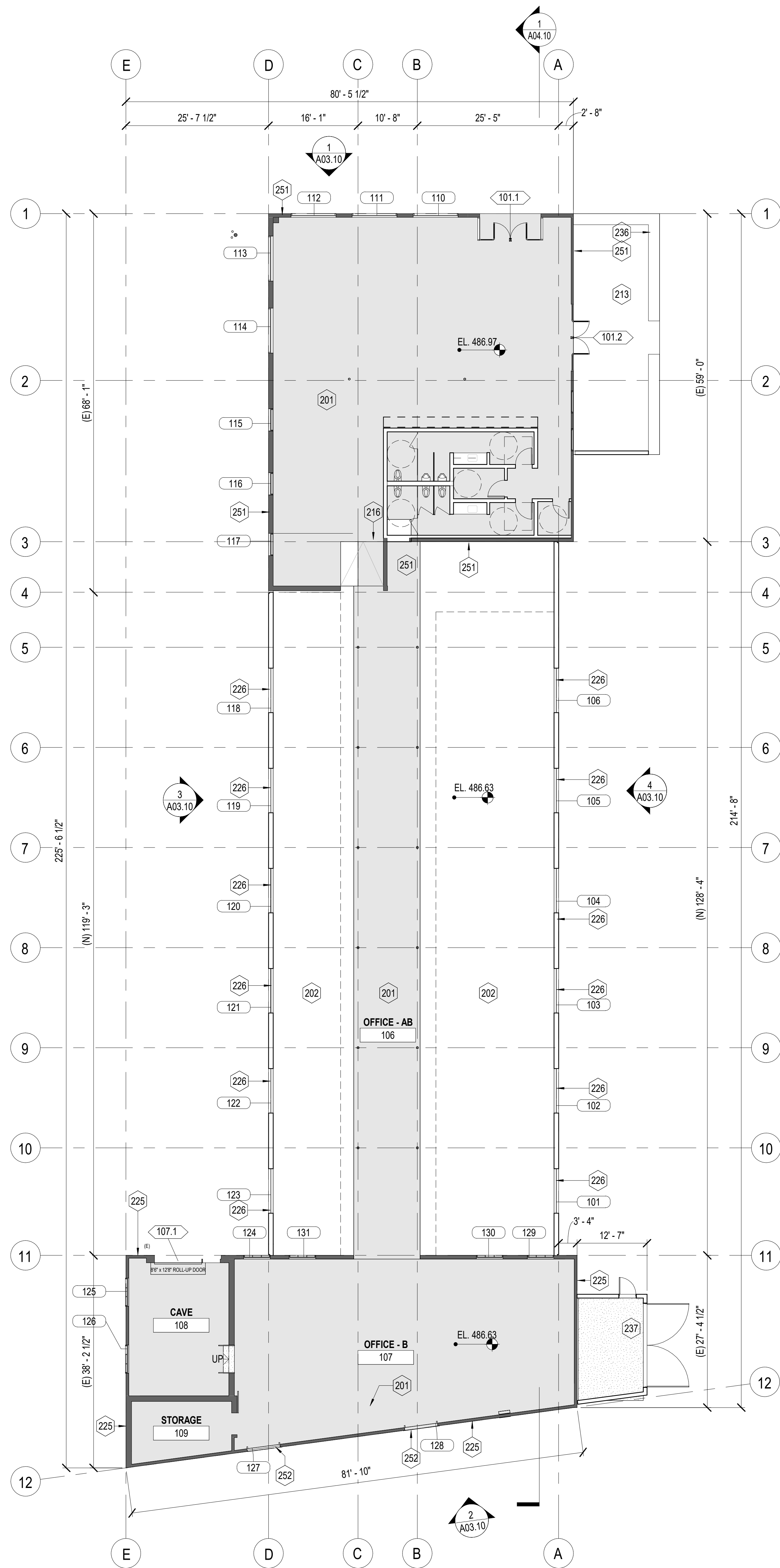
BUILDING	PROVIDED (INCLUDING ADA & EV)	ADA	EV
BUILDING AB	33	2	2
BUILDING C	39	2	2
BUILDING D	142	5	7
BUILDING E	27	2	2
<b>TOTAL:</b>	<b>241</b>	<b>11</b>	<b>13</b>

### ADDITIONAL PARKING PROVIDED

TANDEM SPACES *	22		
<b>TOTAL PARKING PROVIDED:</b>	<b>285 SPACES</b>		

\* TANDEM PARKING SPACES NOT INCLUDED IN REQUIRED PARKING SPACES PROVIDED





KEYNOTE LEGEND	
Key Value	Keynote Text
201	(E) CONCRETE FLOOR TO REMAIN. PATCH & REPAIR AND GRIND & SEAL.
202	(N) CONCRETE FLOOR
213	(N) OUTDOOR PATIO. SEE LANDSCAPE DWG FOR DETAILS
216	(N) ADA RAMP
225	(E) CMU WALL TO REMAIN
226	(N) WINDOW WITH ANODIZED ALUMINUM FRAME WITH DARK BRONZE FINISH
236	(N) HEDGE ENCLOSURE FOR OUTDOOR PATIO
237	(N) TRASH ENCLOSURE
251	(E) BRICK WALL TO REMAIN
252	(N) SLIDING GLASS DOORS WITH ANNOIDIZED ALUMINUM FRAME, DARK BRONZE FINISH

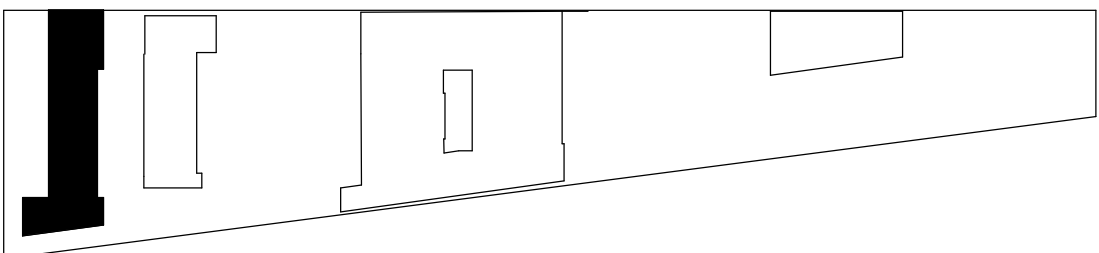
PLAN LEGEND

- (N) WALL / (N) FLOOR
- (E) WALL TO REMAIN
- (E) FLOOR TO REMAIN

PLAN GENERAL NOTES

- REF. A00.01 FOR GRAPHIC SYMBOLS, A00.02 FOR GENERAL NOTES AND ABBREVIATIONS, A00.05 & A00.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS AND A00.30 AND A00.31 FOR SCHEDULES.
- REFER TO A12.00 FOR PARTITION TYPES, A12.01 AND A12.02 FOR PARTITION HEAD AND BASE DETAILS.
- PROVIDE LVL 4 FINISH AT ALL GYP BD SURFACES, U.O.N. LVL 5 AT CONFERENCE ROOMS, MEETING ROOMS AND PRIVATE OFFICES.
- USE 5/8" TYPE 'X' GYP. BD. THROUGHOUT. U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- DOOR JAMB LOCATIONS SHALL BE TYP. 4" FROM ADJ. WALL. U.O.N. MAINTAIN DOOR CLEARANCES AS REQUIRED.
- NEW INTERIOR DOORS/FRAMES SHALL BE FACTORY FINISHED U.O.N.
- PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXISTING SURFACES AS REQ'D TO RECEIVE NEW FINISH.
- PROVIDE PAINTED LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES.
- NEW PLUMBING WALLS AT EXISTING CMU AND CONCRETE WALL TO RECEIVE METAL STUD FURRING AS SCHEDULED. PROVIDE GREENBOARD AT PLUMBING WALL LOCATIONS.
- NEW GWB CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS. UNO.
- GC TO COORDINATE INSTALLATION OF ALL CABINETS, CARD READERS AND DEVICES AS INDICATED ON DWGS TO ENSURE PROPER WALL RECESS IS PROVIDED. ALL DEVICES INSTALLED IN EXISTING FIRE RATED PARTITIONS SHALL RECEIVE FIRE RATED J-BOX. GC TO MAINTAIN INTEGRITY OF EXISTING FIRE RATINGS WHERE OCCURS.
- PROVIDE SHEET METAL BLOCKING FOR ALL MILLWORK AND FURNITURE OVERHEADS.
- NO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT.
- GC TO SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATIONS OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
- GC SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH CHALK FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW FOR DESIGN INTENT & CONSTRUCTABILITY.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO. ALL DIMENSIONS MARKED 'CLEAR' OR 'HOLD' SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, STONE, TILE, FABRIC PANELS, MILLWORK, ETC.
- PROVIDE FIRE TREATED PLYWOOD BACKING AT SERVER CLOSET AS REQUIRED.
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- ALL COLUMNS IN SCOPE OF WORK TO RECEIVE FULL HEIGHT METAL STUD FRAMING.
- REPAIR ALL EXISTING DOOR FRAMES TO LIKE NEW CONDITION. ALL EXISTING DOORS AND DOOR FRAMES TO RECEIVE NEW PAINT FINISH.

DRAWING NORTH

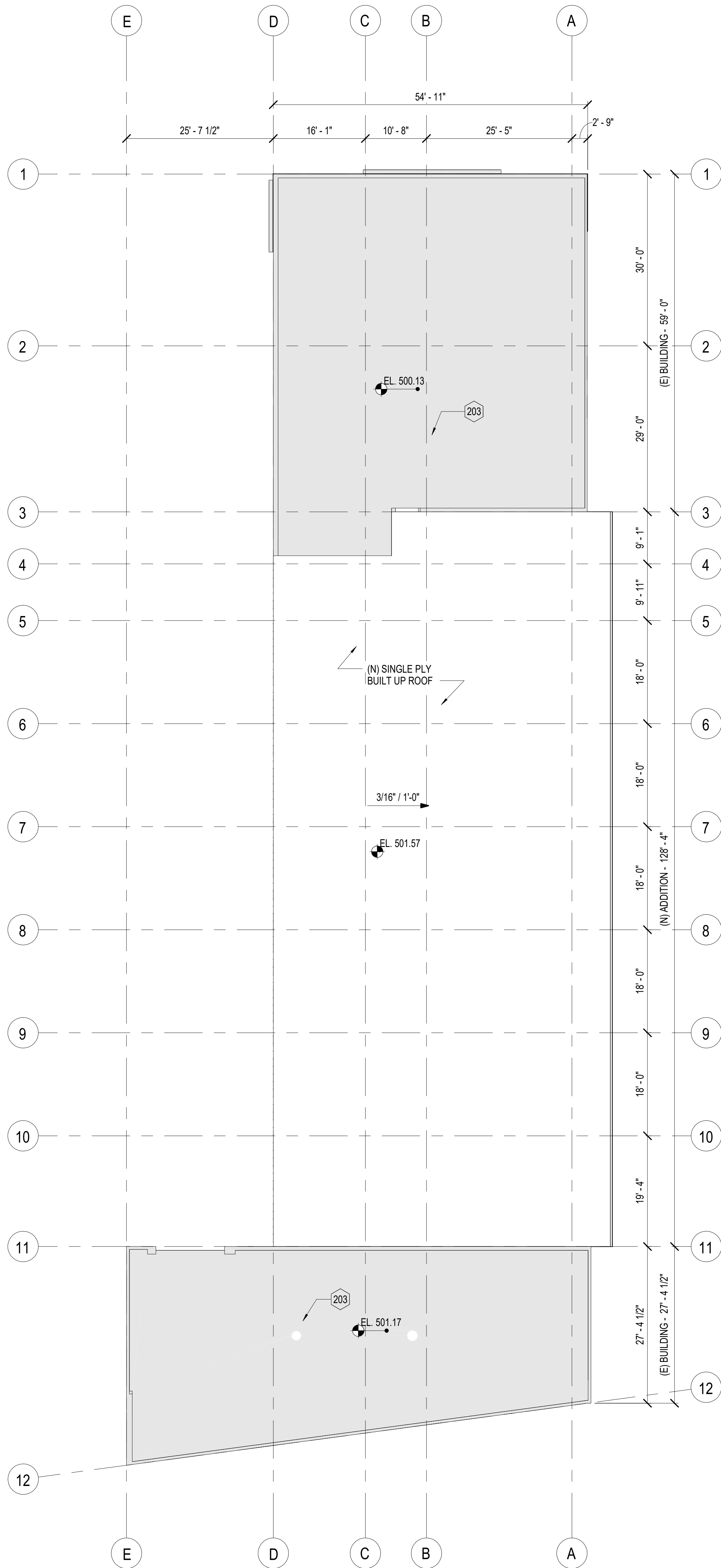


CONSTRUCTION PLAN - BLDG A&B LEVEL 01

3/32" = 1'-0"

1





HIGH ROOF BLDG A&B

3/32" = 1'-0"

1

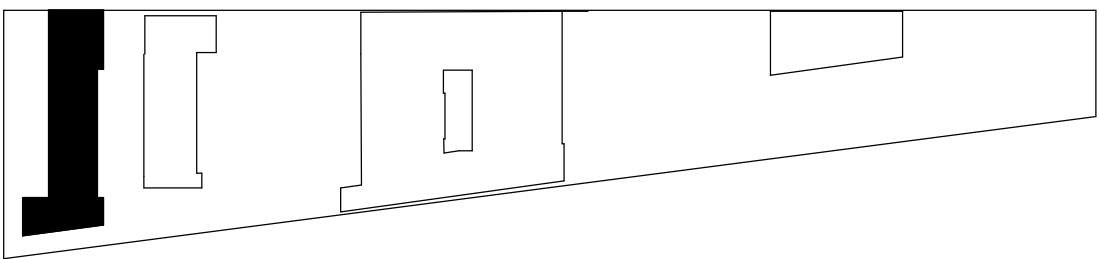
KEYNOTE LEGEND	
Key Value	Keynote Text
203	(E) ROOF TO REMAIN

### ROOF PLAN LEGEND

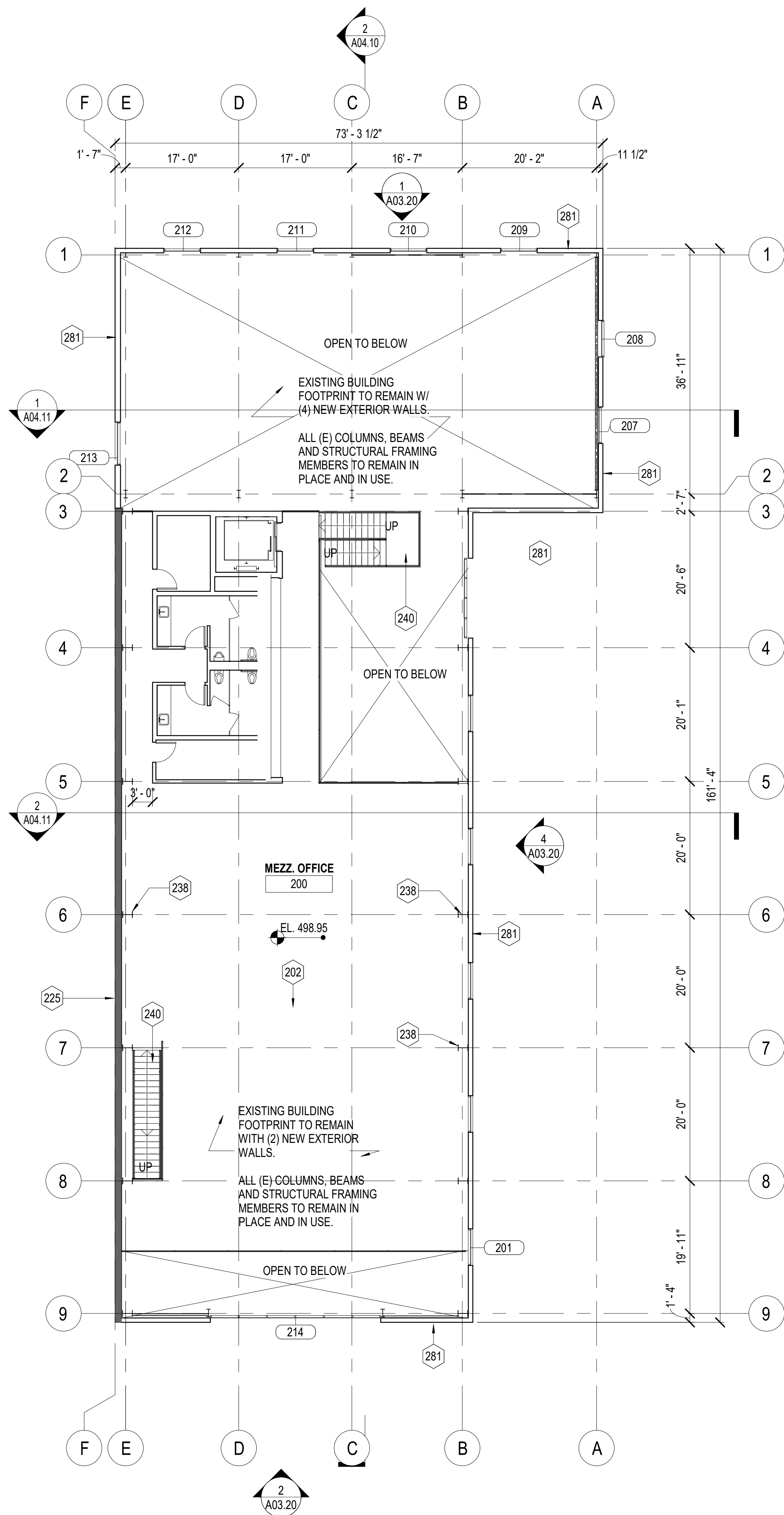
- (N) PARAPET / (N) ROOF
- (E) ROOF TO REMAIN

### PLAN GENERAL NOTES

- REF. A00.01 FOR GRAPHIC SYMBOLS, A00.02 FOR GENERAL NOTES AND ABBREVIATIONS, A00.05 & A00.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS AND A00.30 AND A00.31 FOR SCHEDULES.
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- PROVIDE LVL 4 FINISH AT ALL GYP BD SURFACES, U.O.N. LVL 5 AT CONFERENCE ROOMS, MEETING ROOMS AND PRIVATE OFFICES.
- USE 5/8" TYPE 'X' GYP. BD. THROUGHOUT, U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- DOOR JAMB LOCATIONS SHALL BE TYP. 4" FROM ADJ. WALL U.O.N. MAINTAIN DOOR CLEARANCES AS REQUIRED.
- NEW INTERIOR DOORS/FRAMES SHALL BE FACTORY FINISHED U.O.N.
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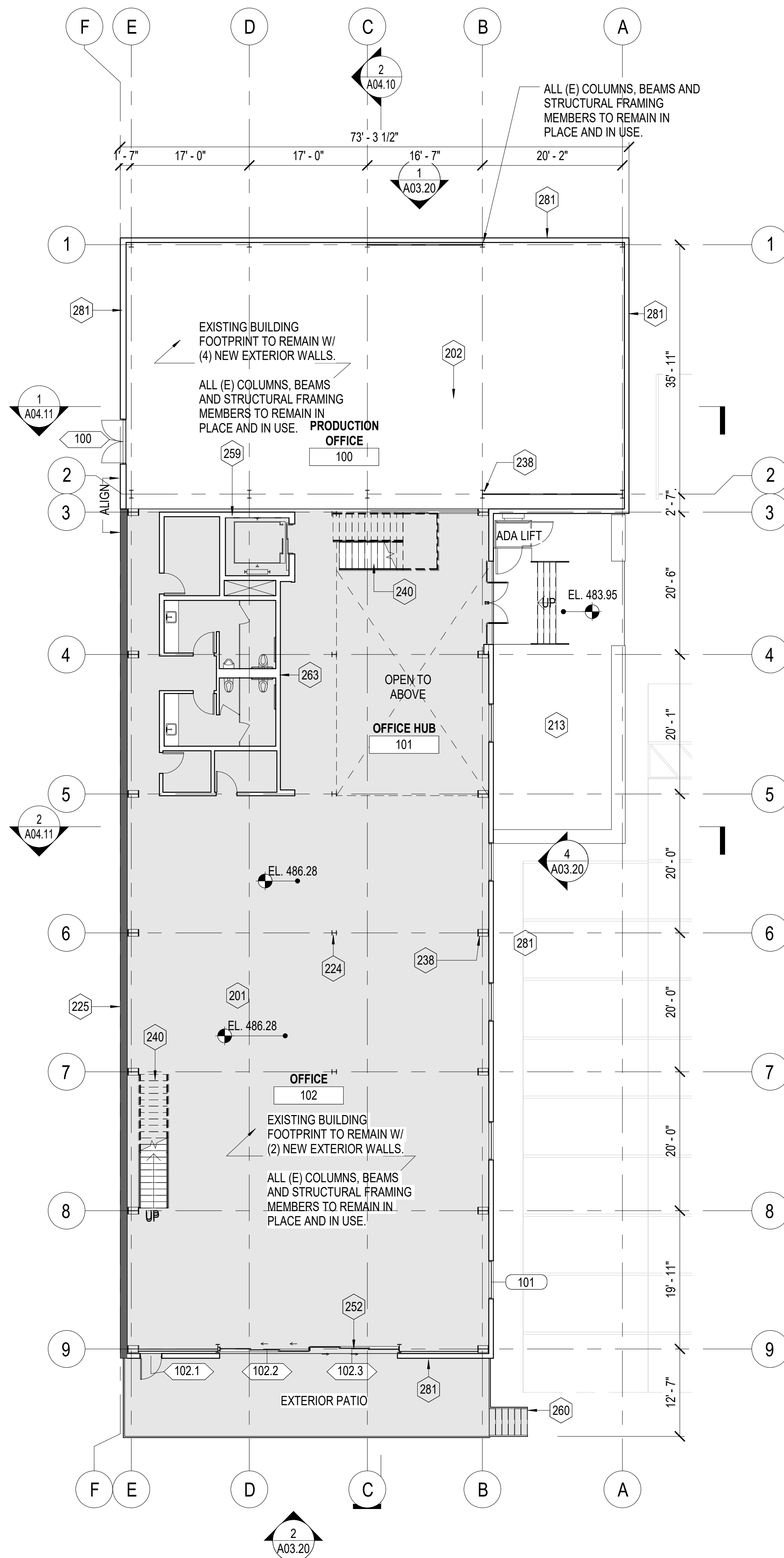




CONSTRUCTION PLAN - BLDG C LEVEL 02

3/32" = 1'-0"

2



CONSTRUCTION PLAN - BLDG C LEVEL 01

3/32" = 1'-0"

1

KEYNOTE LEGEND	
Key Value	Keynote Text
201	(E) CONCRETE FLOOR TO REMAIN. PATCH & REPAIR AND GRIND & SEAL.
202	(N) CONCRETE FLOOR
224	(N) POST PER STRUCTURAL, PAINTED DARK GREY
225	(E) CMU WALL TO REMAIN
238	ALL (E) COLUMNS, BEAMS AND STRUCTURAL FRAMING MEMBERS TO REMAIN IN PLACE AND IN USE
240	(N) STEEL STAIR
252	(N) SLIDING GLASS DOORS WITH ANNODIZED ALUMINUM FRAME, DARK BRONZE FINISH
259	(N) CMU ELEVATOR SHAFT
260	(E) STAIR TO REMAIN. (N) CUSTOM METAL HANDRAIL AND GUARDRAIL
263	FUTURE KITCHEN BY OTHERS. CONTRACTOR TO PROVIDE PLUMBING CONNECTIONS.
281	(N) EXTERIOR WALL

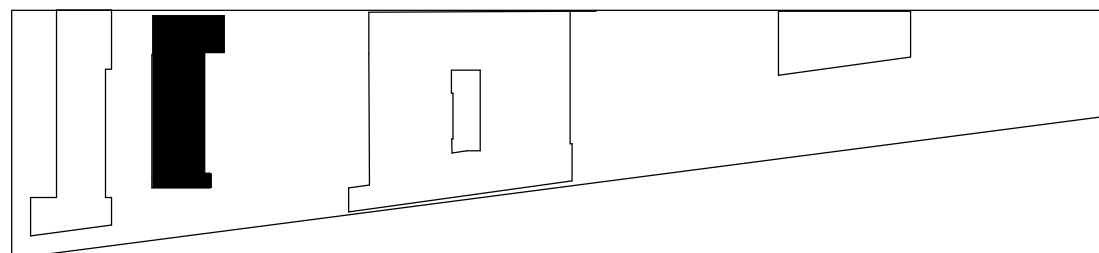
## PLAN LEGEND

- (N) WALL / (N) FLOOR
- (E) WALL TO REMAIN
- (E) FLOOR TO REMAIN

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DRAWING NORTH



RiOs  
CLEMENTi  
HALE  
STUDIOS

PROJECT ID  
19005

CONSULTANT

NOT FOR  
CONSTRUCTION

REVISIONS

ISSUES  
08/19/2019  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

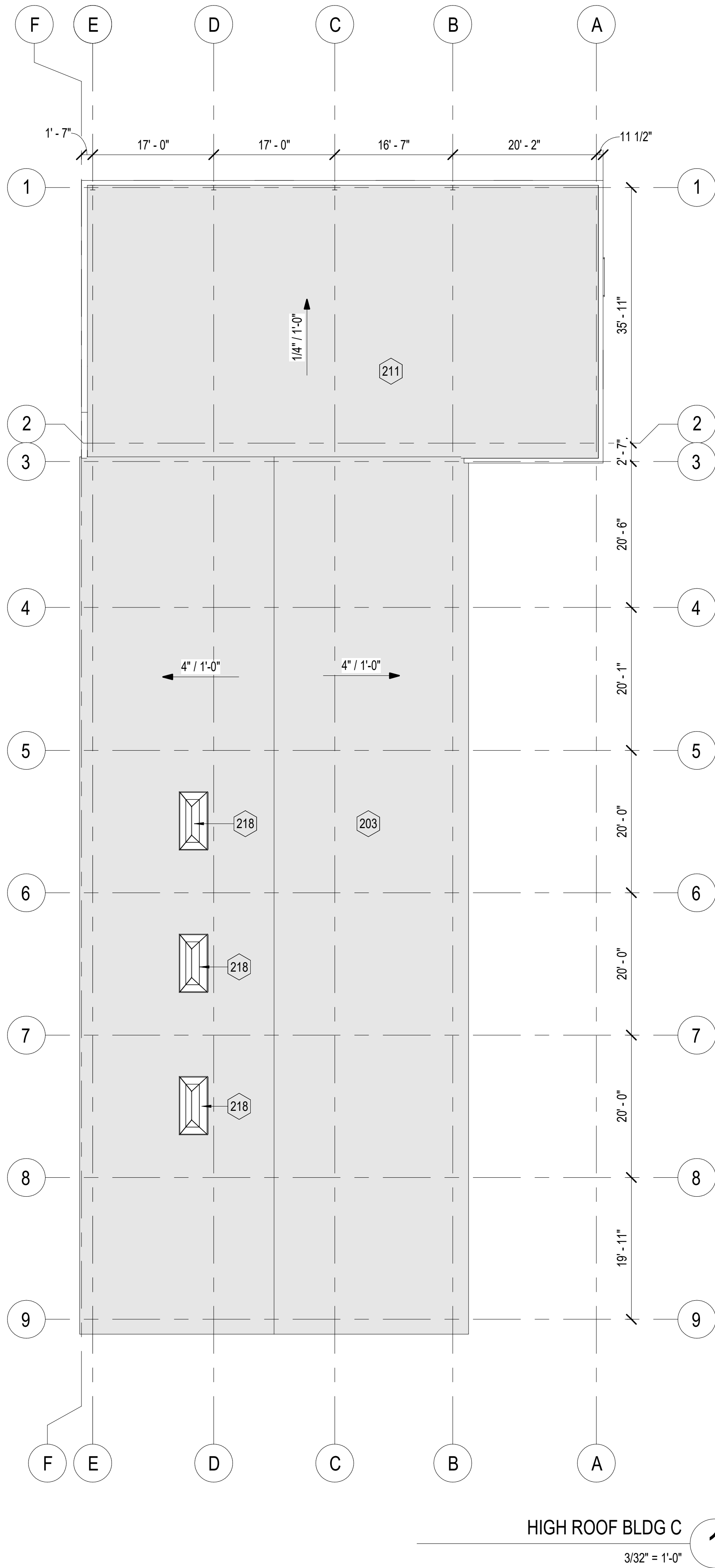
BLDG C PLANNING  
FLOOR PLANS

DATE  
10/28/2019 10:32:52 AM

SCALE  
As indicated

DRAWING NO.  
A02.20





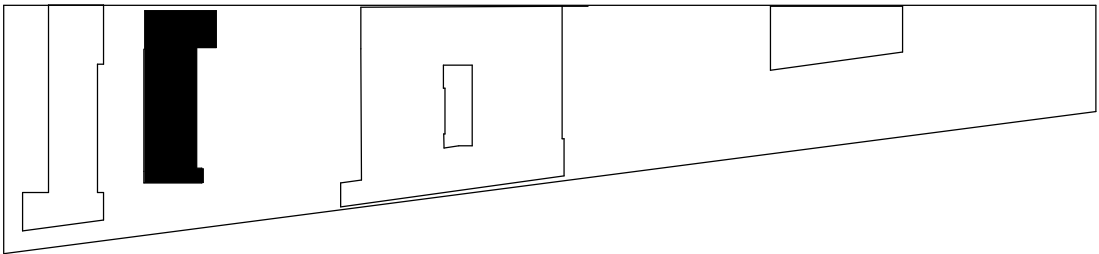
KEYNOTE LEGEND	
Key Value	Keynote Text
203	(E) ROOF TO REMAIN
211	(E) ROOF TO REMAIN TO RECEIVE (N) SINGLE PLY ROOFING MEMBRANE.
218	(N) SKYLIGHT

### ROOF PLAN LEGEND

- (N) PARAPET / (N) ROOF
- (E) ROOF TO REMAIN

### PLAN GENERAL NOTES

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KEYNOTE LEGEND	
Key Value	Keynote Text
201	(E) CONCRETE FLOOR TO REMAIN. PATCH & REPAIR AND GRIND & SEAL.
213	(N) OUTDOOR PATIO. SEE LANDSCAPE DWG FOR DETAILS.
214	(N) RAISED CONCRETE PATIO WITH CUSTOM METAL GUARDRAIL.
215	(E) COURTYARD W/ NEW PLANTING. OPEN TO SKY. SEE LANDSCAPE DWG FOR DETAILS.
250	(N) HEDGES. SEE LANDSCAPE DWG FOR DETAILS.
260	(E) STAIR TO REMAIN. (N) CUSTOM METAL HANDRAIL AND GUARDRAIL.
261	(E) ADA RAMP TO REMAIN. (N) CUSTOM METAL HANDRAIL AND GUARDRAIL.

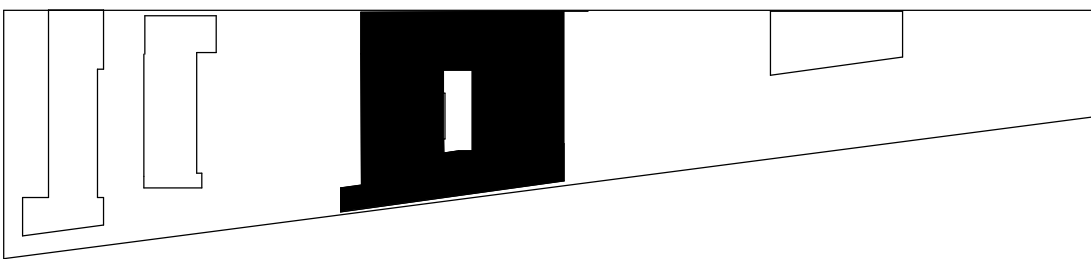
PLAN LEGEND

- (N) WALL / (N) FLOOR
- (E) WALL TO REMAIN
- (E) FLOOR TO REMAIN

PLAN GENERAL NOTES

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- GC SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH CHALK FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW FOR DESIGN INTENT & CONSTRUCTABILITY.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. ALL DIMENSIONS MARKED 'CLEAR' OR 'HOLD' SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, STONE, TILE, FABRIC PANELS, MILLWORK, ETC.
- PROVIDE FIRE TREATED PLYWOOD BACKING AT SERVER CLOSET AS REQUIRED.
- PARTITIONS AT PERIMETER SHALL BE CENTERED ON EXISTING MULLION, WHERE OCCURS.
- ALL COLUMNS IN SCOPE OF WORK TO RECEIVE FULL HEIGHT METAL STUD FRAMING.
- REPAIR ALL EXISTING DOOR FRAMES TO LIKE NEW CONDITION. ALL EXISTING DOORS AND DOOR FRAMES TO RECEIVE NEW PAINT FINISH.

DRAWING NORTH



CONSTRUCTION PLAN - BLDG D LEVEL 01  
3/32" = 1'-0"

1

Rios  
CLEMENTI  
HALE  
STUDIOS

PROJECT ID  
19005

CONSULTANT  
  
NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road  
6325-6231 San Fernando Rd  
Glendale, CA 91201

ISSUES  
08/19/2019  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

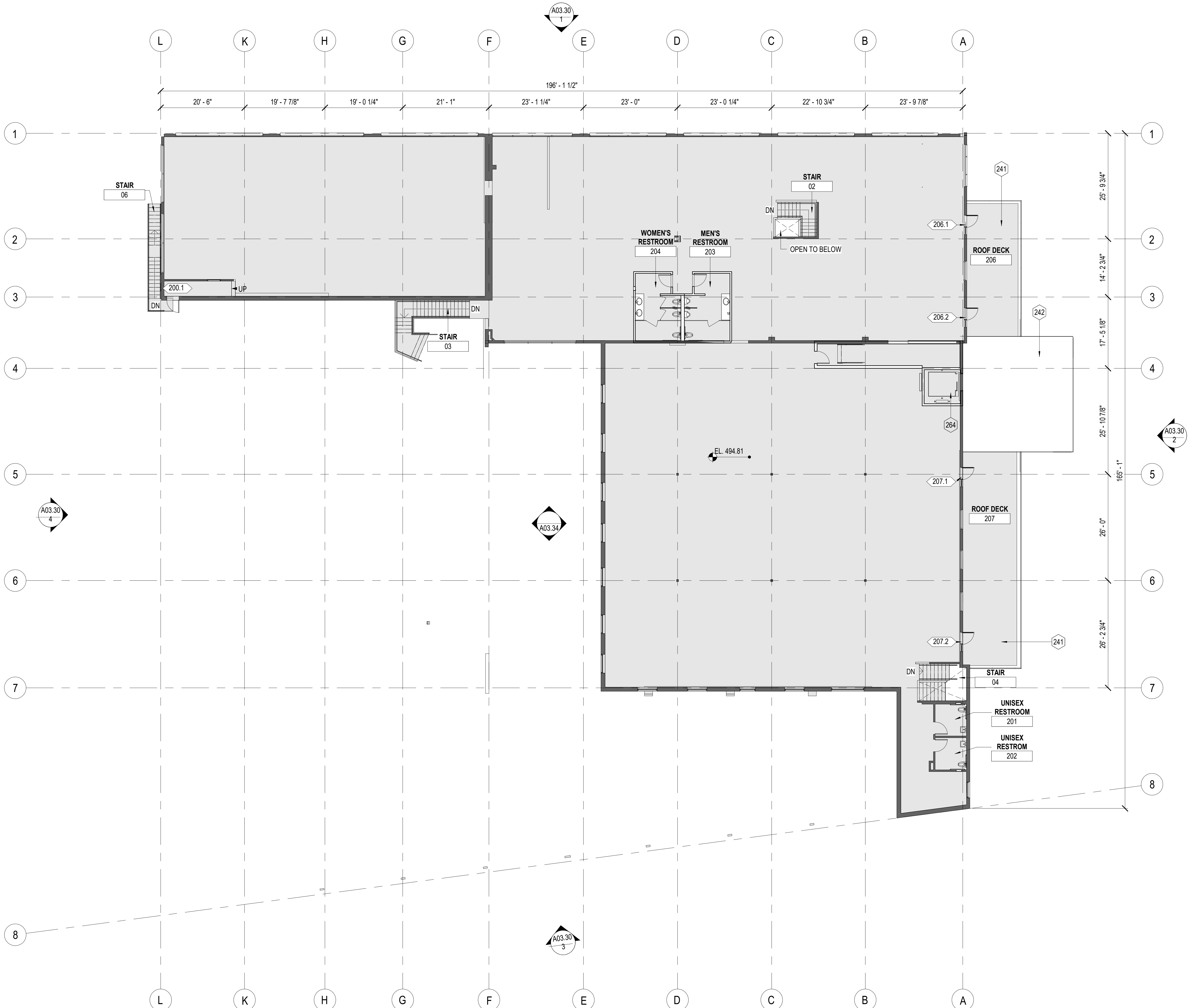
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FLOOR PLAN- LEVEL 1

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SCALE  
As indicated

DRAWING NO.  
A02.30





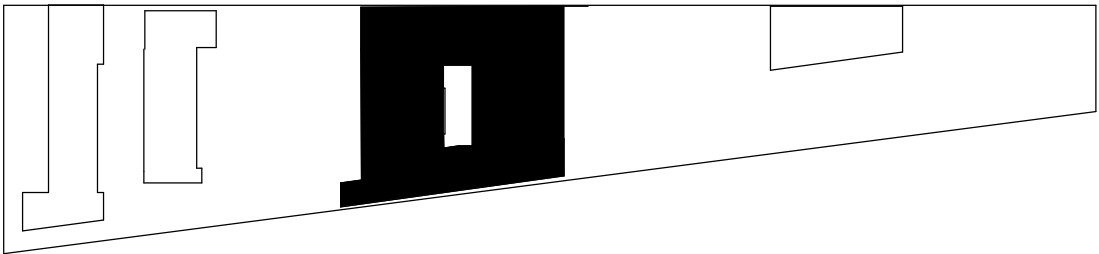
KEYNOTE LEGEND	
Key Value	Keynote Text
241	(N) ROOF DECK ON (E) ROOF
242	(N) ENTRY CANOPY WITH C CHANNEL AND BREAK METAL FASCIA. DARK BRONZE FINISH.

PLAN LEGEND	
	(N) WALL / (N) FLOOR
	(E) WALL TO REMAIN
	(E) FLOOR TO REMAIN

PLAN GENERAL NOTES

- REF. A00.01 FOR GRAPHIC SYMBOLS, A00.02 FOR GENERAL NOTES AND ABBREVIATIONS, A00.05 & A00.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS AND A00.30 AND A00.31 FOR SCHEDULES.
- REFER TO A12.00 FOR PARTITION TYPES, A12.01 AND A12.02 FOR PARTITION HEAD AND BASE DETAILS.
- PROVIDE LVL 4 FINISH AT ALL GYP BD SURFACES, U.O.N. LVL 5 AT CONFERENCE ROOMS, MEETING ROOMS AND PRIVATE OFFICES.
- USE 5/8" TYPE 'X' GYP. BD. THROUGHOUT. U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- DOOR JAMB LOCATIONS SHALL BE TYP. 4" FROM ADJ. WALL U.O.N. MAINTAIN DOOR CLEARANCES AS REQUIRED.
- NEW INTERIOR DOORS/FRAMES SHALL BE FACTORY FINISHED U.O.N.
- PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXISTING SURFACES AS REQD TO RECEIVE NEW FINISH.
- PROVIDE PAINTED LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES.
- NEW PLUMBING WALLS AT EXISTING CMU AND CONCRETE WALLS TO RECEIVE METAL STUD FURRING AS SCHEDULED. PROVIDE GREENBOARD AT PLUMBING WALL LOCATIONS.
- NEW GWB CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS. UNO.
- GC TO COORDINATE INSTALLATION OF ALL CABINETS, CARD READERS AND DEVICES AS INDICATED ON DWGS TO ENSURE PROPER WALL RECESS IS PROVIDED. ALL DEVICES INSTALLED IN EXISTING FIRE RATED PARTITIONS SHALL RECEIVE FIRE RATED J-BOX. GC TO MAINTAIN INTEGRITY OF EXISTING FIRE RATINGS WHERE OCCURS.
- PROVIDE SHEET METAL BLOCKING FOR ALL MILLWORK AND FURNITURE OVERHEADS.
- NO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT.
- GC TO SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATIONS OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
- GC SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH CHALK FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW FOR DESIGN INTENT & CONSTRUCTABILITY.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO. ALL DIMENSIONS MARKED 'CLEAR' OR 'HOLD' SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, STONE, TILE, FABRIC PANELS, MILLWORK, ETC.
- PROVIDE FIRE TREATED PLYWOOD BACKING AT SERVER CLOSET AS REQUIRED.
- PARTITIONS AT PERIMETER SHALL BE CENTERED ON EXISTING MULLION, WHERE OCCURS.
- ALL COLUMNS IN SCOPE OF WORK TO RECEIVE FULL HEIGHT METAL STUD FRAMING.
- REPAIR ALL EXISTING DOOR FRAMES TO LIKE NEW CONDITION. ALL EXISTING DOORS AND DOOR FRAMES TO RECEIVE NEW PAINT FINISH.

DRAWING NORTH



CONSTRUCTION PLAN - BLDG D LEVEL 02

3/32" = 1'-0"

1

RiOs  
CLEMENTi  
HALE  
STUDiOs

PROJECT ID  
19005

CONSULTANT  
  
NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road  
6325-6231 San Fernando Rd  
Glendale, CA 91201

ISSUES  
08/19/2019  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

BLDG D PLANNING  
FLOOR PLAN- LEVEL 2

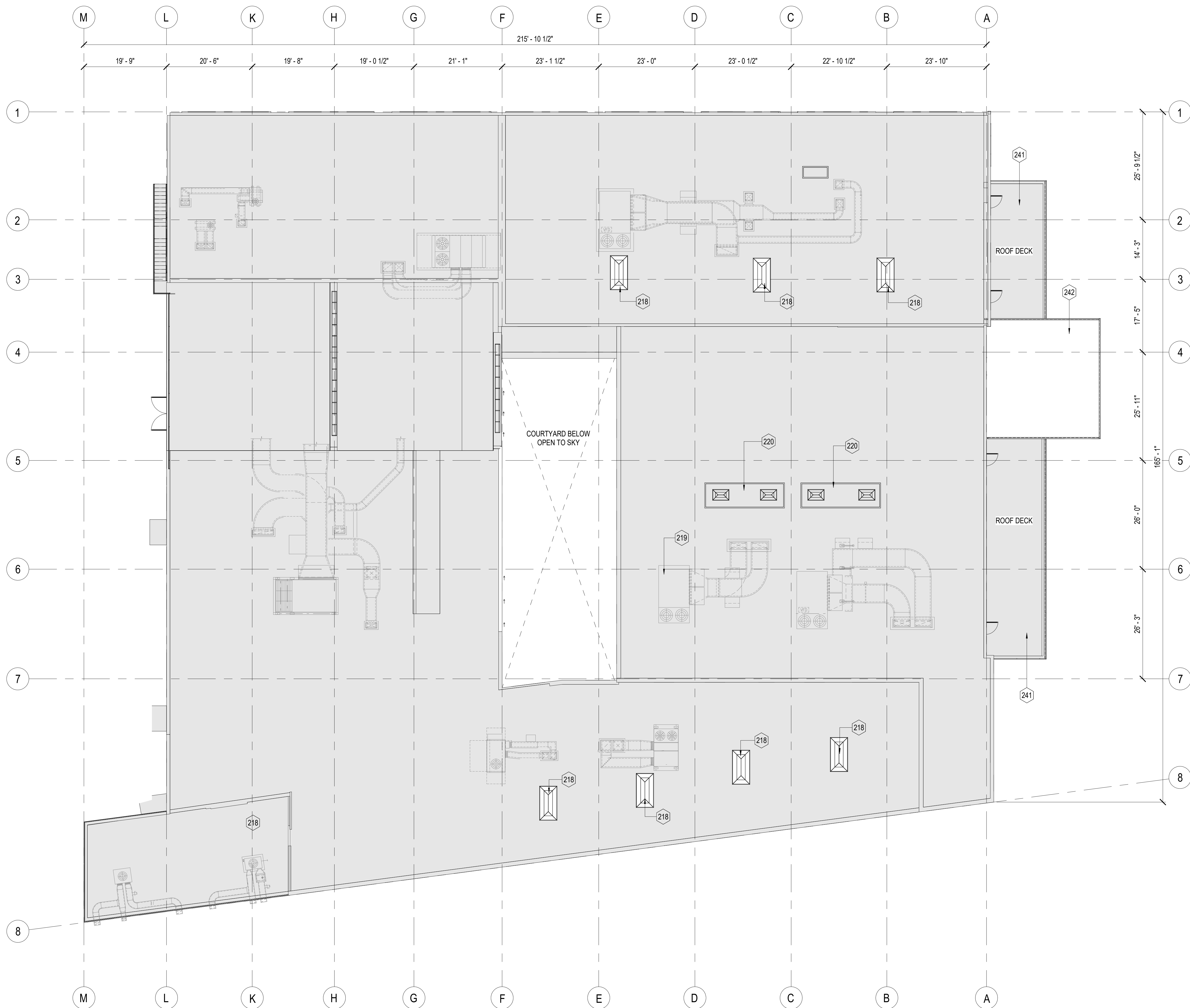
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SCALE  
As indicated

(INCHES PRINTED ON 36"X48" SHEET)

A02.31





ROOF BLDG D

3/32" = 1'-0"

1

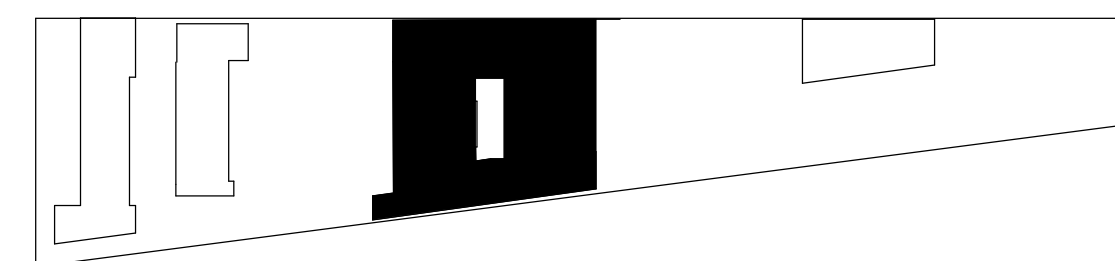
KEYNOTE LEGEND	
Key Value	Keynote Text
218	(N) SKYLIGHT
219	(E) MECHANICAL EQUIPMENT TYP.
220	(E) SKYLIGHT TO REMAIN
241	(N) ROOF DECK ON (E) ROOF
242	(N) ENTRY CANOPY WITH C CHANNEL AND BREAK METAL FASCIA. DARK BRONZE FINISH.

## PLAN LEGEND

- (N) WALL / (N) FLOOR
- (E) WALL TO REMAIN
- (E) FLOOR TO REMAIN

## PLAN GENERAL NOTES

- REF. A00.01 FOR GRAPHIC SYMBOLS, A00.02 FOR GENERAL NOTES AND ABBREVIATIONS, A00.05 & A00.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS AND A00.30 AND A00.31 FOR SCHEDULES.
- REFER TO A12.00 FOR PARTITION TYPES, A12.01 AND A12.02 FOR PARTITION HEAD AND BASE DETAILS.
- PROVIDE LVL 4 FINISH AT ALL GYP BD SURFACES, U.O.N. LVL 5 AT CONFERENCE ROOMS, MEETING ROOMS AND PRIVATE OFFICES.
- USE 5/8" TYPE 'X' GYP. BD. THROUGHOUT, U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- DOOR JAMB LOCATIONS SHALL BE TYP. 4" FROM ADJ. WALL U.O.N. MAINTAIN DOOR CLEARANCES AS REQUIRED.
- NEW INTERIOR DOORS/FRAMES SHALL BE FACTORY FINISHED U.O.N.
- PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXISTING SURFACES AS REQ'D TO RECEIVE NEW FINISH.
- PROVIDE PAINTED LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES.
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- PROVIDE SHEET METAL BLOCKING FOR ALL MILLWORK AND FURNITURE OVERHEADS.
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- ALL COLUMNS IN SCOPE OF WORK TO RECEIVE FULL HEIGHT METAL STUD FRAMING.
- REPAIR ALL EXISTING DOOR FRAMES TO LIKE NEW CONDITION. ALL EXISTING DOORS AND DOOR FRAMES TO RECEIVE NEW PAINT FINISH.



# RiOs CLEMENTi HALE STUDIOS

PROJECT ID  
19005

CONSULTANT  
  
NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

ISSUES  
08/19/2019  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

BLDG D ROOF PLAN

DATE  
10/28/2019 10:33:01 AM

SCALE  
As indicated

DRAWING NO.  
A02.32



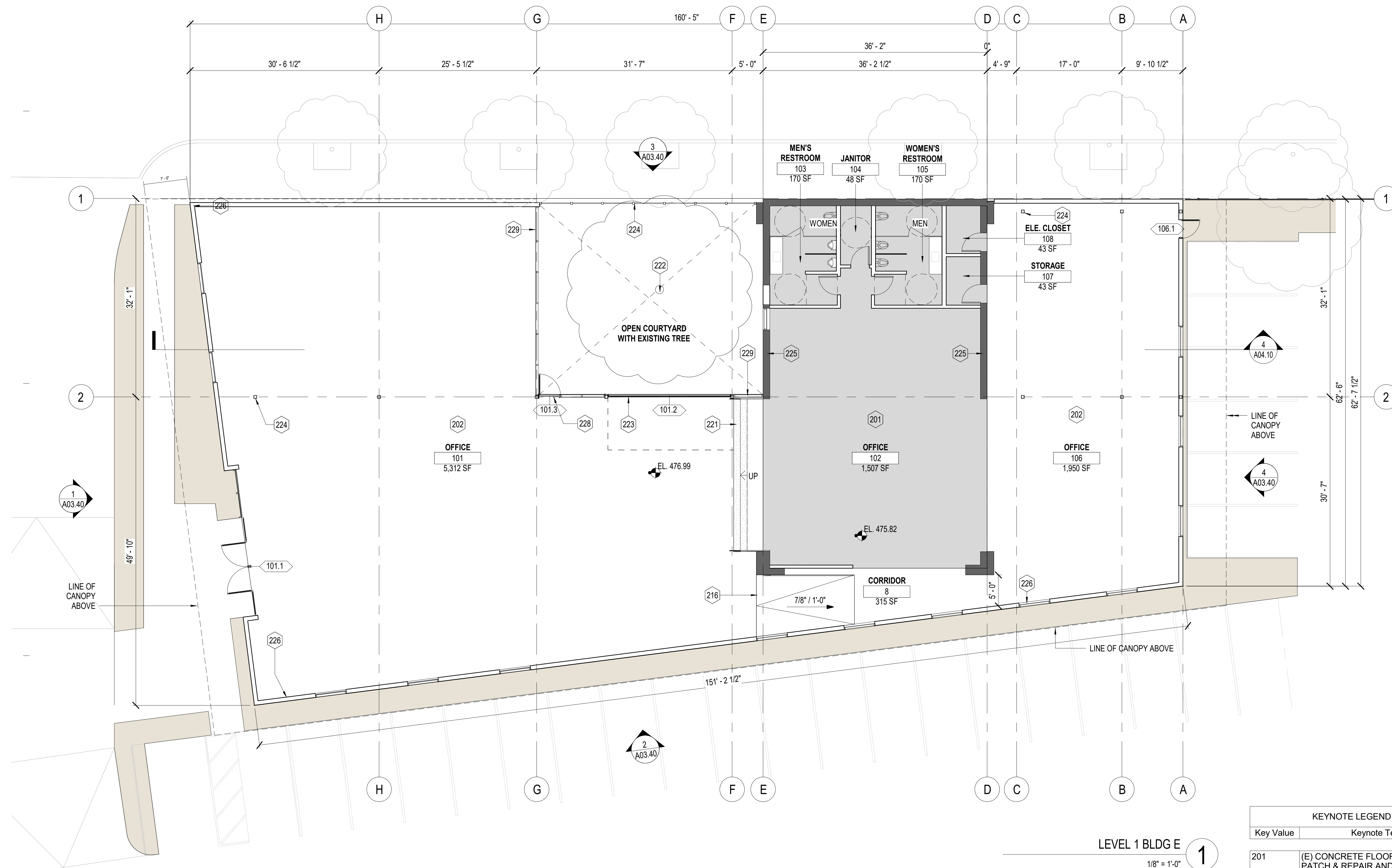
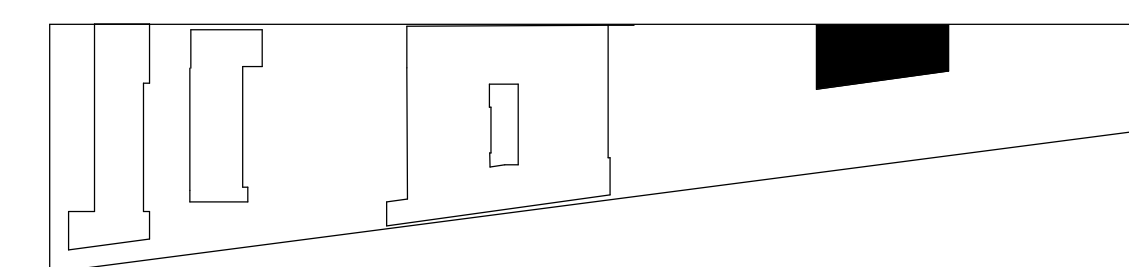
## PLAN LEGEND

- (N) WALL / (N) FLOOR  
(E) WALL TO REMAIN  
(E) FLOOR TO REMAIN

## PLAN GENERAL NOTES

- REF. A00.01 FOR GRAPHIC SYMBOLS, A00.02 FOR GENERAL NOTES AND ABBREVIATIONS, A00.05 & A00.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS AND A00.30 AND A00.31 FOR SCHEDULES.
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- PROVIDE LVL 4 FINISH AT ALL GYP BD SURFACES, U.O.N. LVL 5 AT CONFERENCE ROOMS, MEETING ROOMS AND PRIVATE OFFICES.
- USE 5/8" TYPE 'X' GYP BD THROUGHOUT. U.O.N.
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- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
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- REPAIR ALL EXISTING DOOR FRAMES TO LIKE NEW CONDITION. ALL EXISTING DOORS AND DOOR FRAMES TO RECEIVE NEW PAINT FINISH.

DRAWING NORTH





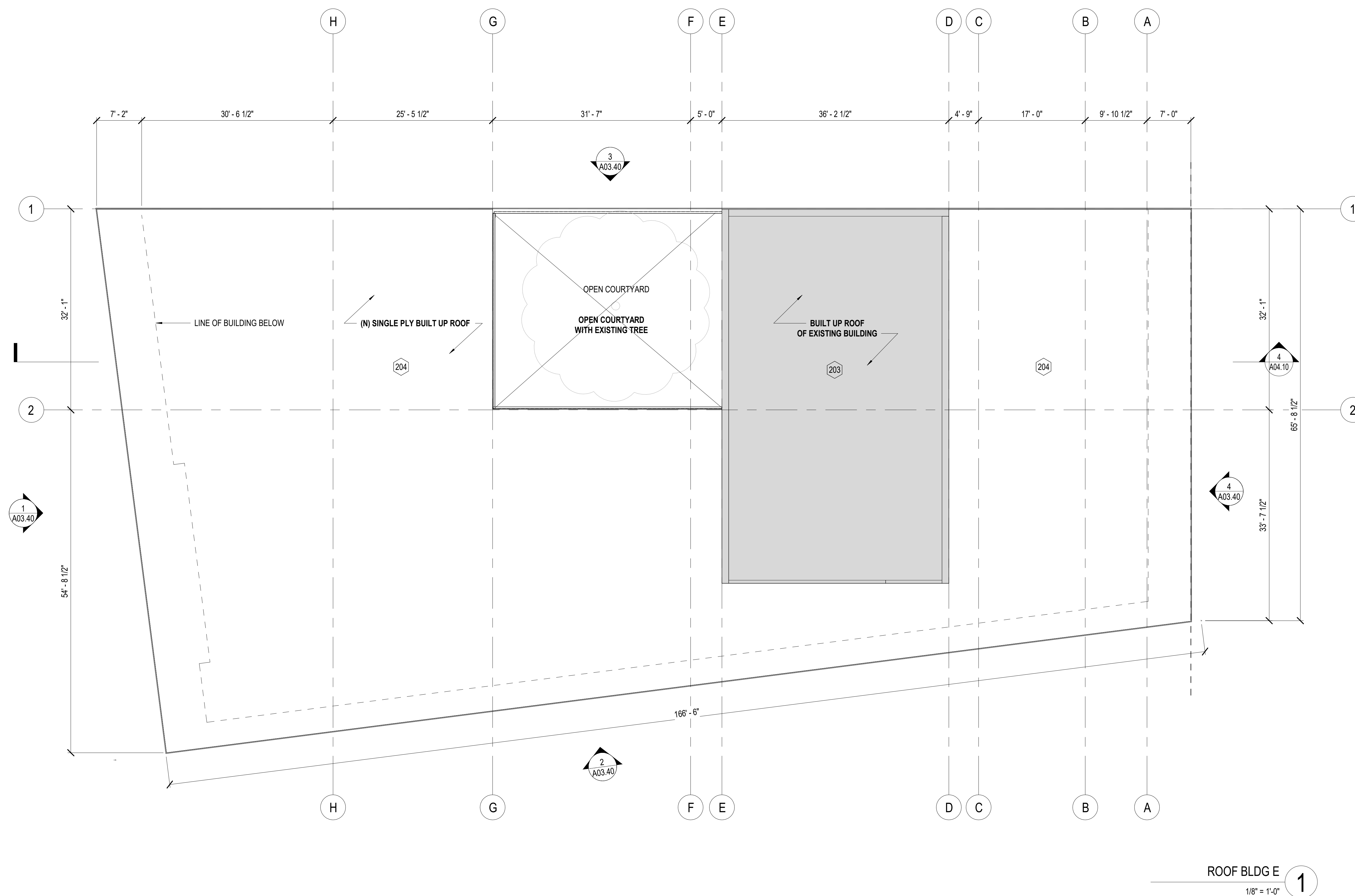
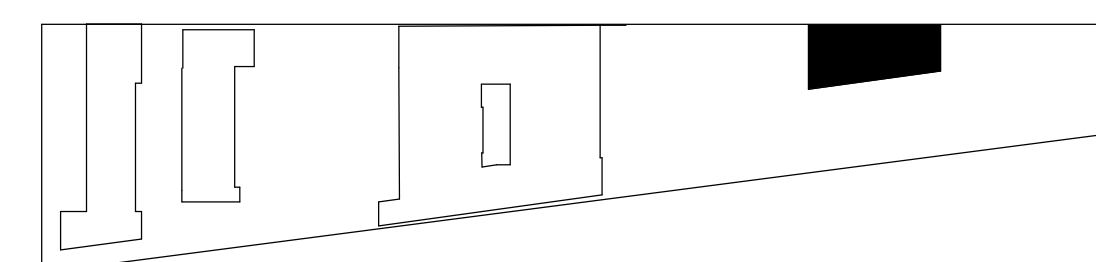
KEYNOTE LEGEND	
Key Value	Keynote Text
203	(E) ROOF TO REMAIN
204	(N) SINGLE PLY BUILT UP ROOF

## ROOF PLAN LEGEND

- (N) PARAPET / (N) ROOF
- (E) ROOF TO REMAIN

## PLAN GENERAL NOTES

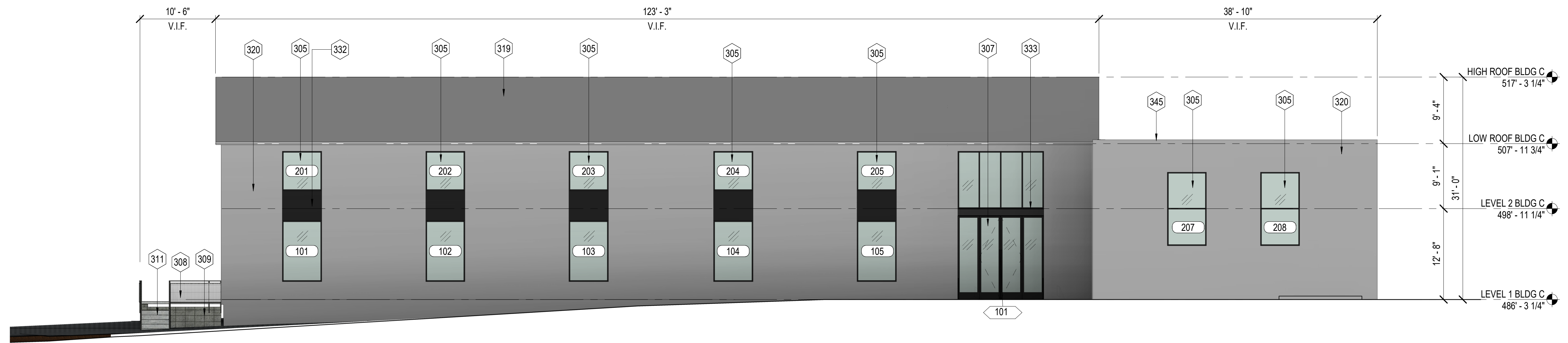
1. REF. A00.01 FOR GRAPHIC SYMBOLS, A00.02 FOR GENERAL NOTES, AND ABBREVIATIONS, A00.05 & A00.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS AND A00.30 AND A00.31FOR SCHEDULES.
2. REFER TO A12.00 FOR PARTITION TYPES, A12.01 AND A12.02 FOR PARTITION HEAD AND BASE DETAILS.
3. PROVIDE LVH 4 FINISH AT ALL GYP BD SURFACES. U.O.N. LVH 4 CONFERENCE ROOMS, MEETING ROOMS AND PRIVATE OFFICES.
4. USE 5/8" TYPE "X" GYP. BD. THROUGHOUT. U.O.N.
5. PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN FLUSH. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
6. NOTIFY ARCHITECT OF ANY WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
7. ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
8. DOOR JAMB LOCATIONS SHALL BE TYPE "4" FROM ADJ. WALL. U.O.N. MAINTAIN DOOR CLEARANCES AS REQUIRED.
9. NEW INTERIOR DOORS/FRAMES SHALL BE FACTORY FINISHED U.O.N.
10. PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXISTING SURFACES AS REQ'D TO RECEIVE NEW FINISH.
11. PROVIDE PAINTED LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES.
12. NEW PLUMBING WALLS AT EXISTING CMU AND CONCRETE WALLS TO RECEIVE METAL STUD FURRING AS SCHEDULED. PROVIDE GREENBOARD AT PLUMBING WALL LOCATIONS.
13. NEW GWR CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS, UNO.
14. GC TO COORDINATE INSTALLATION OF ALL CABINETS, CARD READERS AND DEVICES AS INDICATED ON DWGS TO ENSURE PROPER WALL RECESS IS PROVIDED. ALL DEVICES INSTALLED IN EXISTING GWR RATES. ALL PARTITIONS SHALL BE FIRE RATED J-BOX. GC TO MAINTAIN INTEGRITY OF EXISTING FIRE RATINGS WHERE OCCURS.
15. PROVIDE SHEET METAL BLOCKING FOR ALL MILLWORK AND FURNITURE OVERHEADS.
16. NO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT.
17. GC TO SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATIONS OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
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20. PROVIDE FIRE TREATED PLYWOOD BACKING AT SERVER CLOSET AS REQUIRED.
21. PARTITIONS AT PERIMETER SHALL BE CENTERED ON EXISTING MULLION, WHERE OCCURS.
22. ALL COLUMNS IN SCOPE OF WORK TO RECEIVE FULL GYP BD STUDS.
23. REPAIR ALL EXISTING DOOR FRAMES TO LIKE NEW CONDITION. ALL EXISTING DOORS AND DOOR FRAMES TO RECEIVE NEW PART FINISH.



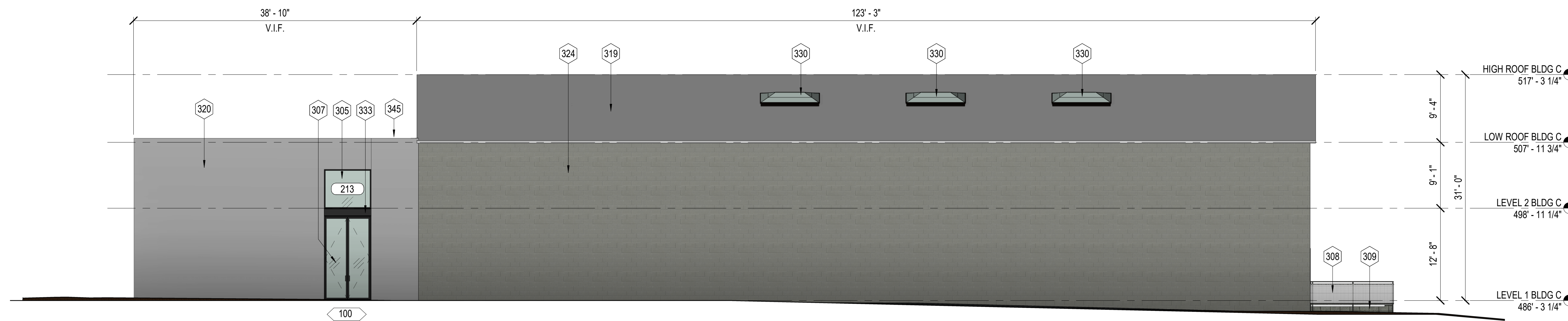




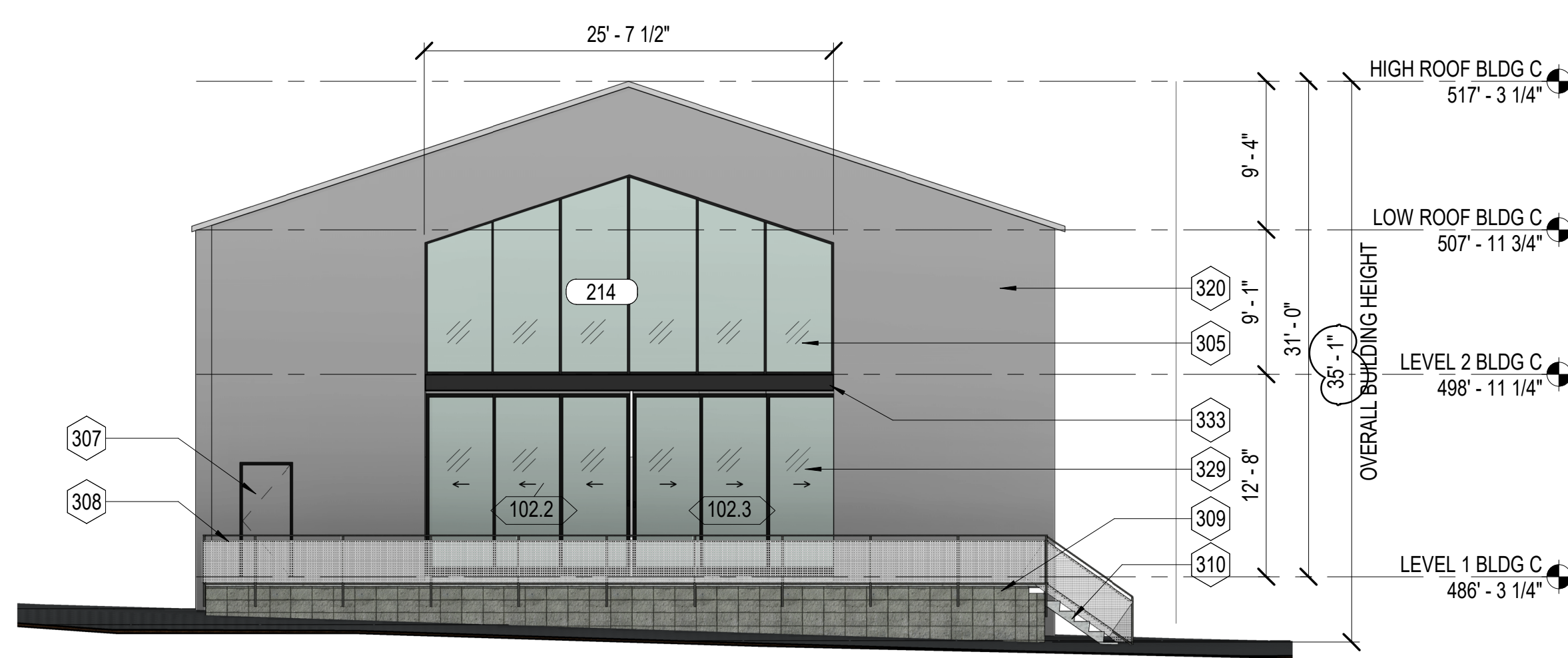




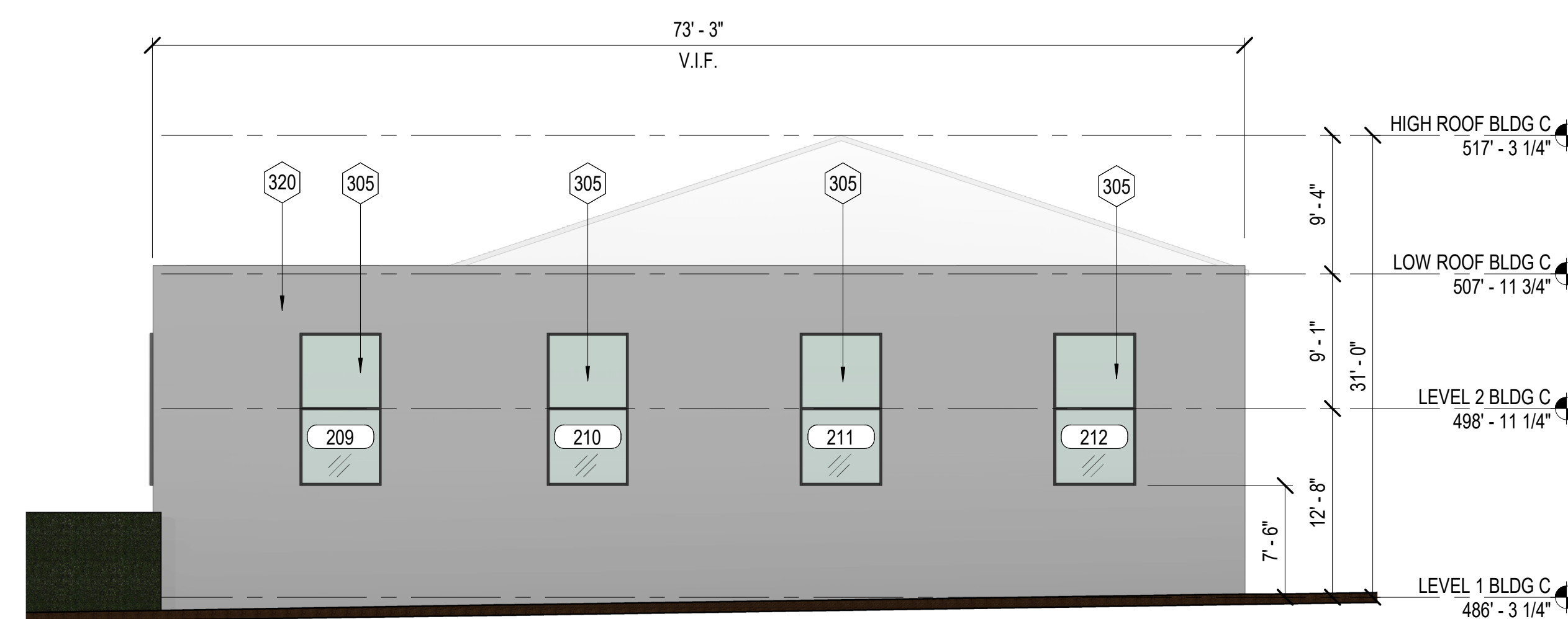
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1/8" = 1'-0" 4



BLDG C WEST ELEVATION  
1/8" = 1'-0" 3

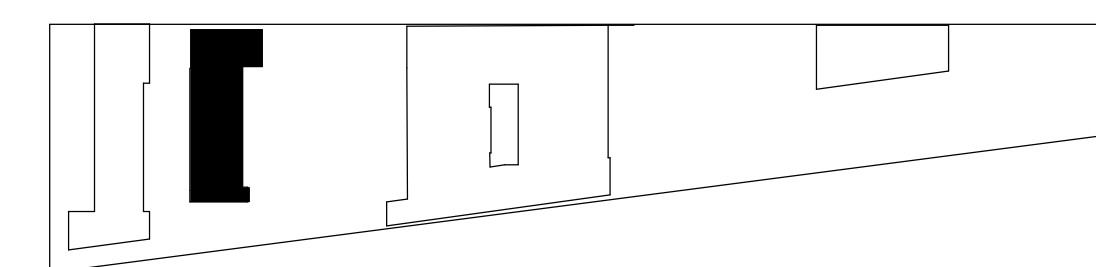


BLDG C SOUTH ELEVATION  
1/8" = 1'-0" 2



NOTE: (E) TREES OMITTED FOR CLARITY

BLDG C NORTH ELEVATION  
1/8" = 1'-0" 1



KEYNOTE LEGEND	
Key Value	Keynote Text
305	(N) WINDOW PER SCHEDULE. DARK BRONZE FINISH.
307	(N) DOOR PER SCHEDULE. FINISH TO MATCH (N) WINDOWS
308	(N) RAILING. FINISH TO MATCH (N) WINDOW FRAMES. WELDED WIRE MESH INFILL TYP.
309	(E) RAISED DOCK
310	(N) STAIRS
311	(E) STAIRS
319	(E) ROOF TO REMAIN
320	(N) STUCCO WITH INTEGRAL COLOR, SMOOTH TROWEL FINISH.
324	(E) CMU WALL TO RECEIVE (N) PAINT
329	(N) MULTI PANEL SLIDING GLASS DOOR WITH ANODIZED ALUMINUM FRAME, DARK BRONZE FINISH
330	(N) SKYLIGHT
332	(N) ANODIZED ALUMINUM PLATE, DARK BRONZE FINISH
333	(N) STEEL W SHAPE HEADER PER STRUCT. FINISH TO MATCH ADJ. WINDOW FRAMING
345	(E) ROOF TO REMAIN TO RECEIVE (N) SINGLE PLY ROOFING MEMBRANE.



# Rios Clementi Hale Studios

PROJECT ID  
19005

CONSULTANT

NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS  
1 10/28/2019 DRB REV 1

ISSUES  
08/19/2019  
10/28/2019

PLAN NAME  
6325, 6311, 6265, 6231 San Fernando Road

BLDG D ELEVATIONS

DATE  
10/28/2019 10:41:55 AM

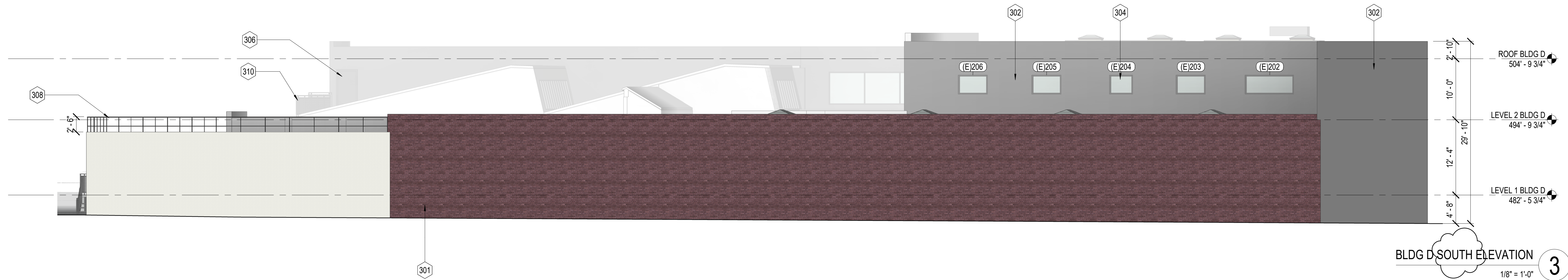
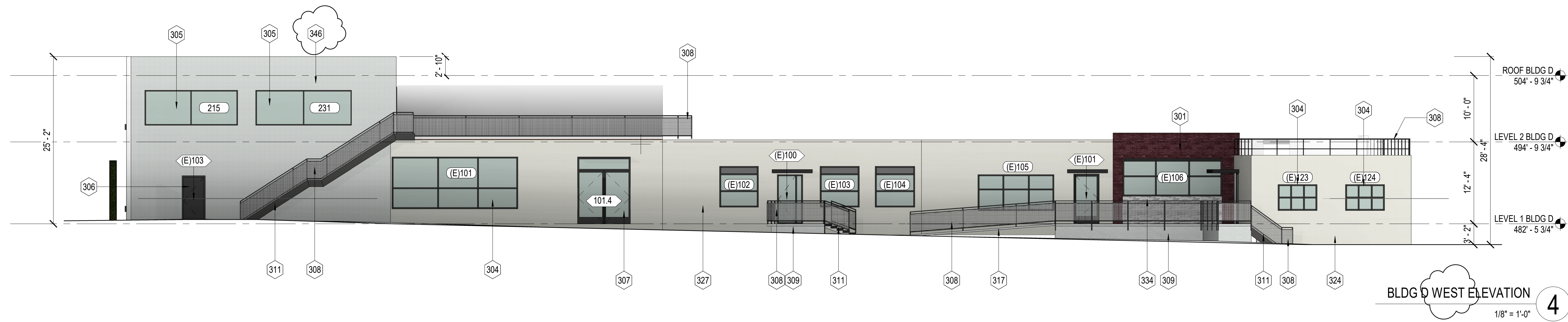
SCALE  
1/8" = 1'-0"

BLDG NO.  
A03.30

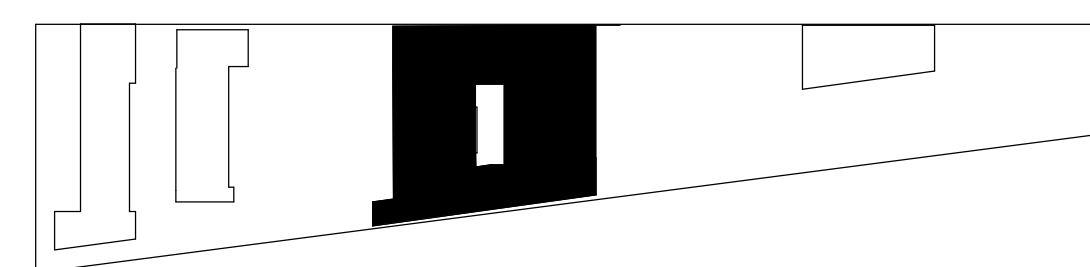
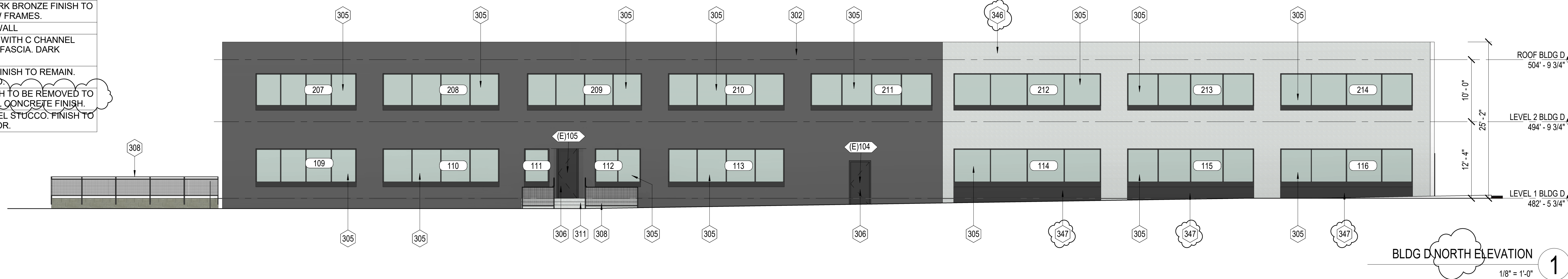
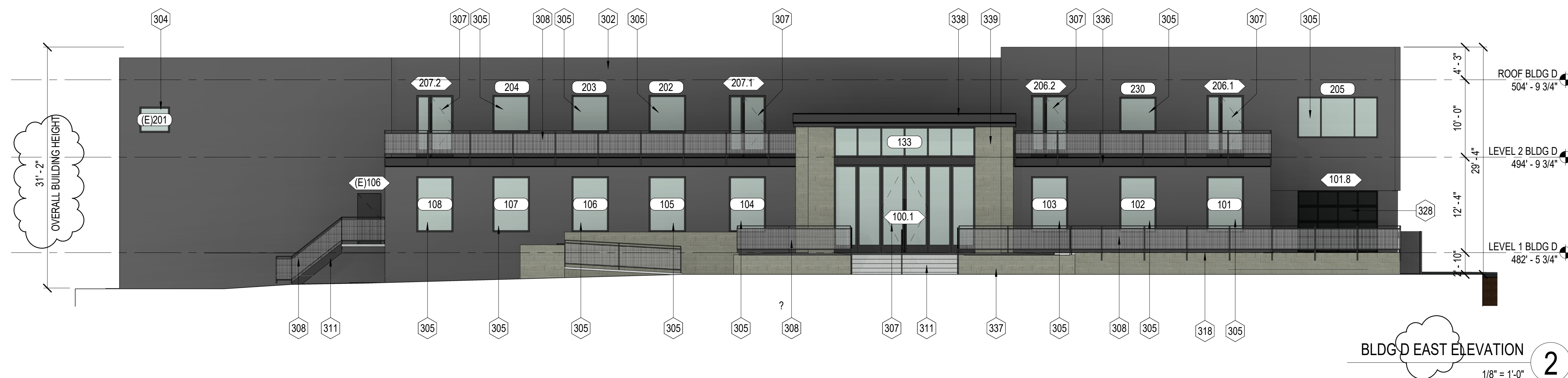
PH: 323.785.1800 FAX: 323.785.1801 www.riosstudios.com

3101 W EXPOSITION PLACE LOS ANGELES CA 90018

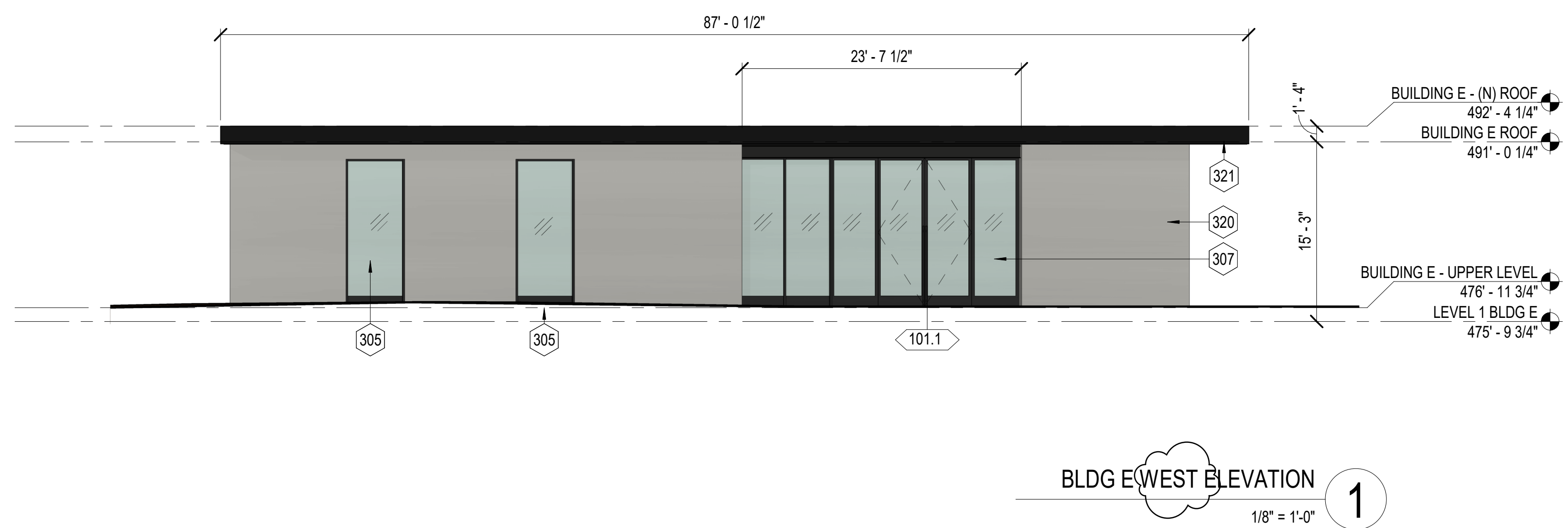
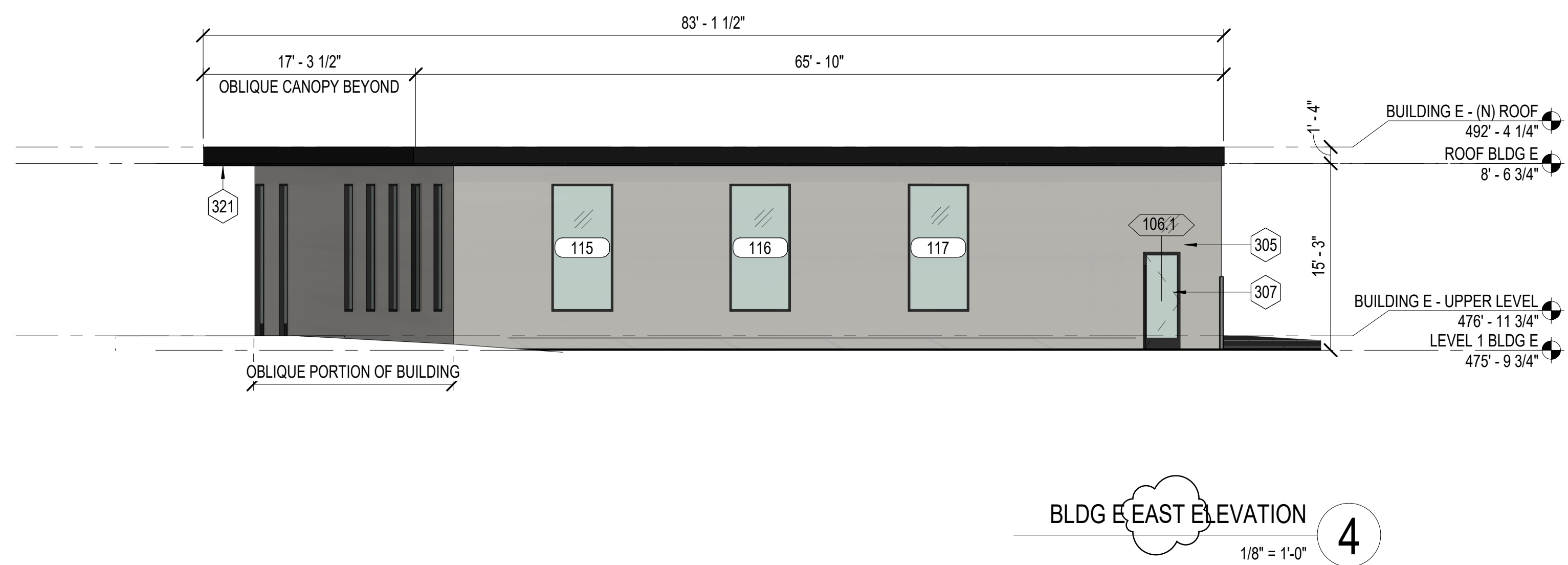
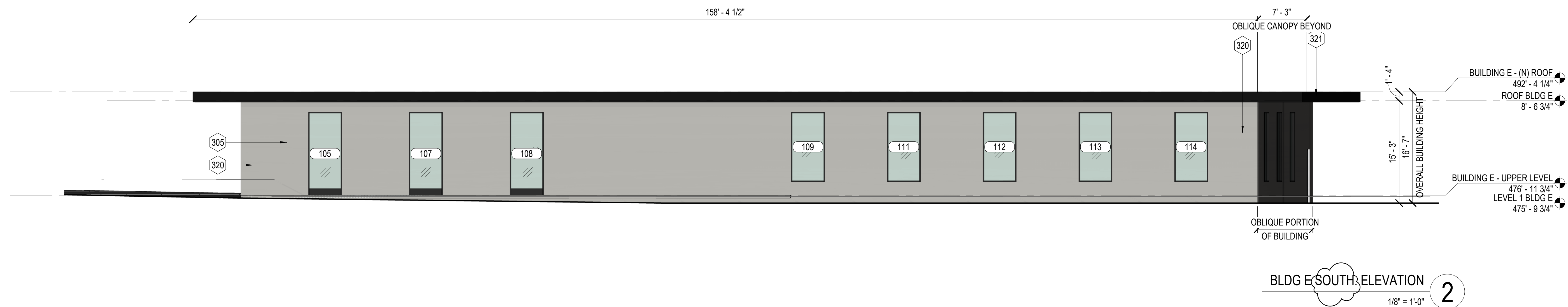
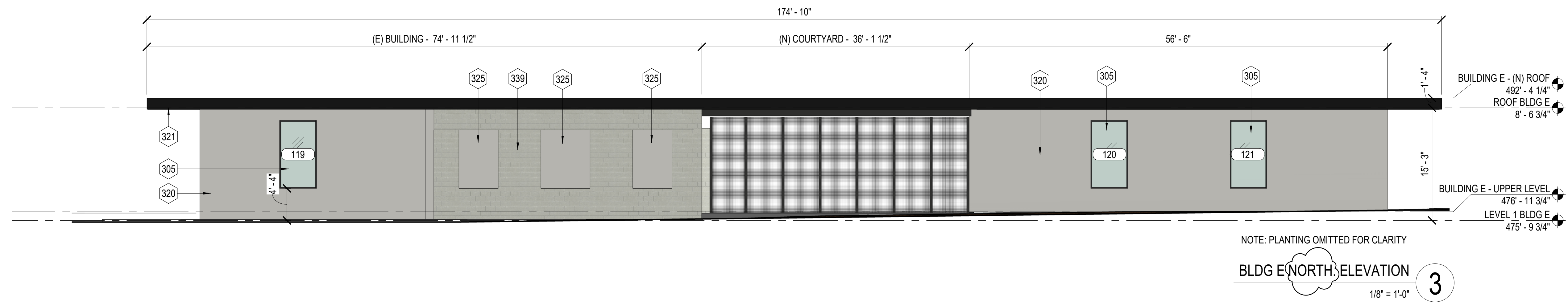
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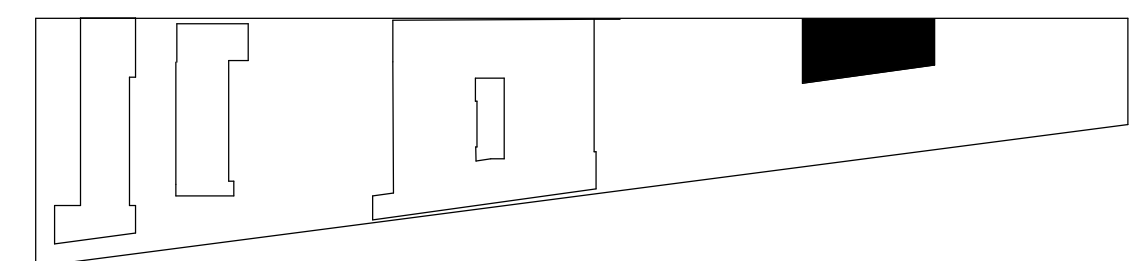
KEYNOTE LEGEND	
Key Value	Keynote Text
301	(E) BRICK TO REMAIN. RECEIVE (N) PAINT.
302	(E) STUCCO TO BE REPAINTED. SMOOTH TROWEL FINISH.
304	(E) WINDOW TO REMAIN. (E) FRAME PAINTED TO MATCH (N) WINDOW FINISH.
305	(N) WINDOW PER SCHEDULE. DARK BRONZE FINISH.
306	(E) DOOR TO BE REPAINTED. FINISH TO MATCH (N) DOOR.
307	(N) DOOR PER SCHEDULE. FINISH TO MATCH (N) WINDOWS
308	(N) RAILING. FINISH TO MATCH (N) WINDOW FRAMES. WELDED WIRE MESH INFILL TYP.
309	(E) RAISED DOCK
310	(N) STAIRS
311	(E) STAIRS
317	(E) RAMP
318	(N) RAISED DECK
324	(E) CMU WALL TO RECEIVE (N) PAINT
327	(E) CAST IN PLACE CONCRETE
328	(N) GLASS ROLL UP DOOR PER SCHEDULE
334	(E) EXTERIOR TILE
336	(N) C-CHANNEL. DARK BRONZE FINISH TO MATCH (N) WINDOW FRAMES.
337	(E) CMU PLANTER WALL
338	(N) ENTRY CANOPY WITH C CHANNEL AND BREAK METAL FASCIA. DARK BRONZE FINISH.
339	(E) CMU WALL. (E) FINISH TO REMAIN. SEALED AS NEEDED.
346	(E) EXTERIOR FINISH TO BE REMOVED TO RESTORE ORIGINAL CONCRETE FINISH.
347	(N) SMOOTH TROWEL STUCCO. FINISH TO MATCH (N) WINDOW.



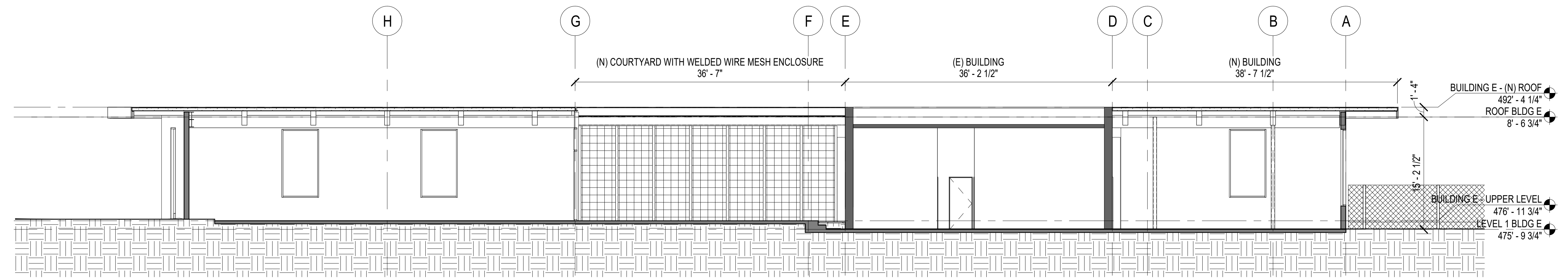




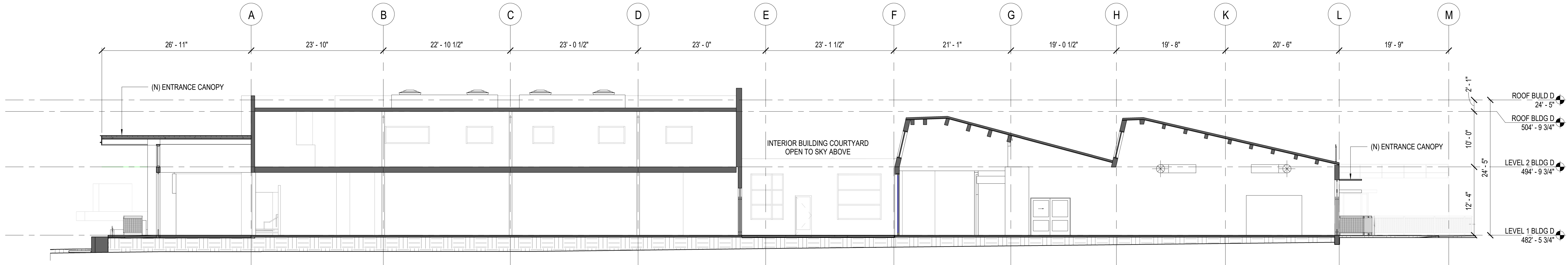
KEYNOTE LEGEND	
Key Value	Keynote Text
305	(N) WINDOW PER SCHEDULE. DARK BRONZE FINISH.
307	(N) DOOR PER SCHEDULE. FINISH TO MATCH (N) WINDOWS
320	(N) STUCCO WITH INTEGRAL COLOR, SMOOTH TROWEL FINISH.
321	(N) CANOPY WITH FASCIA FINISH TO MATCH (N) WINDOW FRAMES
325	(N) CMU INFILL TO MATCH (E) CMU WALL
339	(E) CMU WALL. (E) FINISH TO REMAIN. SEALED AS NEEDED.



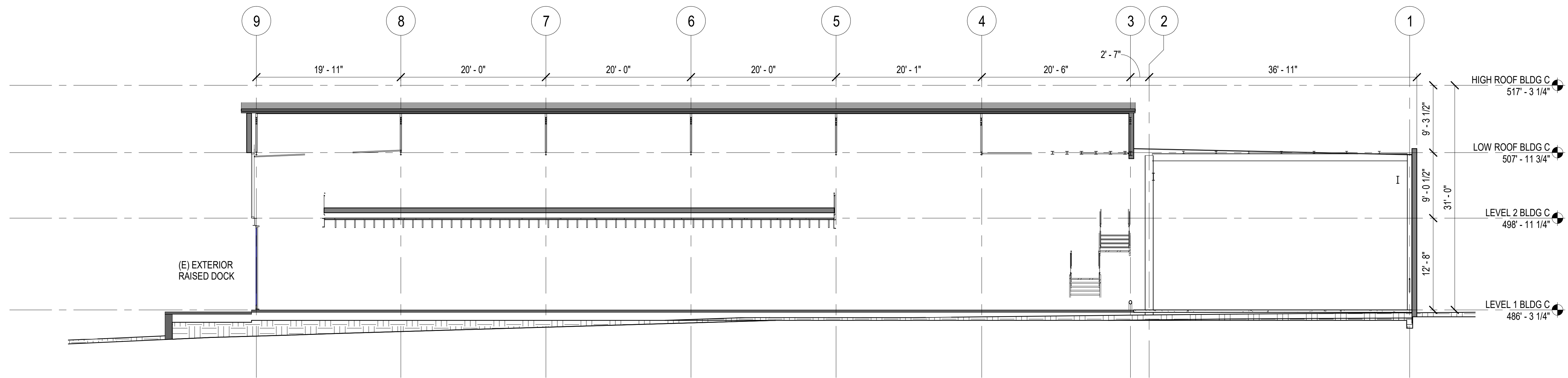




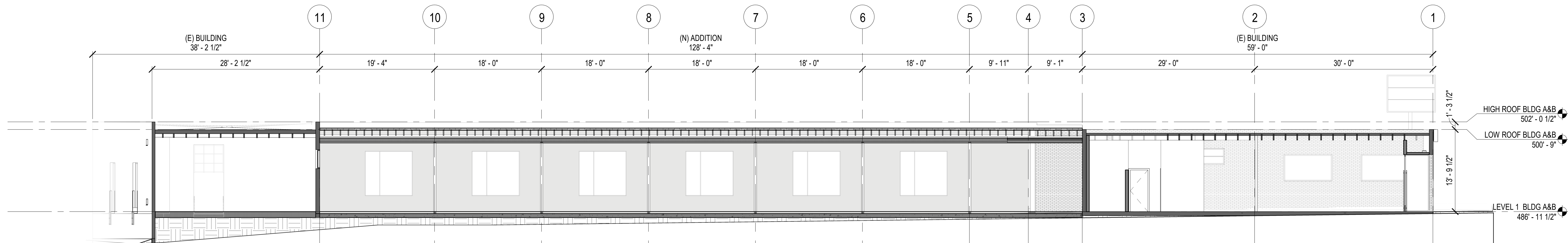
BLDG E SECTION 4  
1/8" = 1'-0"



BLDG D SECTION 3  
1/8" = 1'-0"



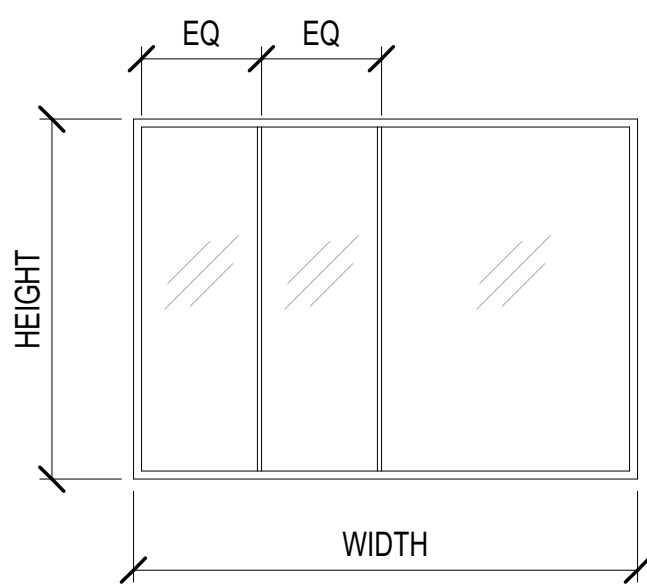
BLDG C SECTION 2  
1/8" = 1'-0"



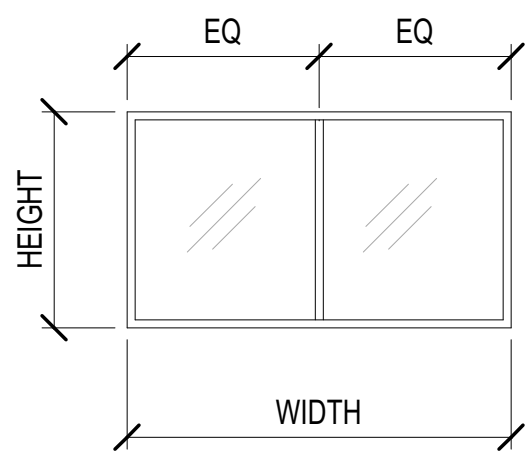
BLDG A&B SECTION 1  
1/8" = 1'-0"



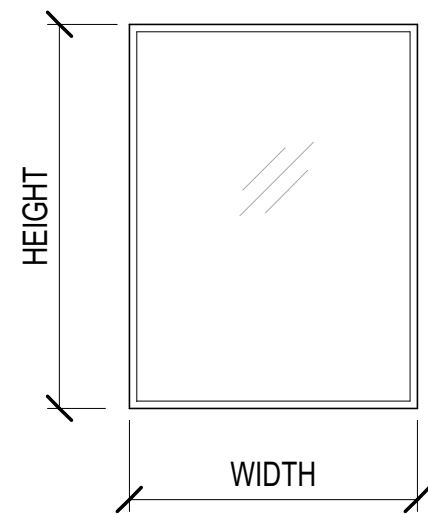
BUILD AB WINDOW SCHEDULE				
Mark	Type Mark	Length	Unconnected Height	Comments
101	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
102	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
103	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
104	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
105	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
106	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
110	TYPE 2	4' - 5 3/8"	9' - 6 7/8"	NEW WINDOW TO REPLACE EXISTING
110	TYPE 2	8' - 1"	4' - 5 1/4"	NEW WINDOW TO REPLACE EXISTING
111	TYPE 2	8' - 1"	4' - 5 1/4"	NEW WINDOW TO REPLACE EXISTING
112	TYPE 2	8' - 1"	4' - 5 1/4"	NEW WINDOW TO REPLACE EXISTING
113	TYPE 2	4' - 6"	9' - 6 7/8"	NEW WINDOW TO REPLACE EXISTING
113	TYPE 2	8' - 1"	4' - 5 1/4"	NEW WINDOW TO REPLACE EXISTING
114	TYPE 2	8' - 1"	4' - 5 1/4"	NEW WINDOW TO REPLACE EXISTING
115	(E)	4' - 0"	2' - 8 3/8"	EXISTING WINDOW TO REMAIN
116	(E)	4' - 0"	2' - 8 3/8"	EXISTING WINDOW TO REMAIN
117	(E)	4' - 0"	2' - 8 3/8"	EXISTING WINDOW TO REMAIN
118	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
119	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
120	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
121	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
122	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
123	TYPE 1	8' - 0"	7' - 6"	NEW WINDOW
124	(E)	5' - 0 1/2"	3' - 2 3/8"	EXISTING WINDOW TO REMAIN
125	(E)	5' - 1"	4' - 8 1/4"	EXISTING WINDOW TO REMAIN
126	(E)	5' - 1"	4' - 8 1/4"	EXISTING WINDOW TO REMAIN
127	TYPE 3	6' - 0"	8' - 6 3/4"	NEW WINDOW TO FIT (E) OPENING
128	TYPE 3	6' - 0"	8' - 6 3/4"	NEW WINDOW TO FIT (E) OPENING
129	(E)	5' - 1"	3' - 4 3/8"	EXISTING WINDOW TO REMAIN
129	(E)	4' - 9 1/2"	3' - 2 3/8"	EXISTING WINDOW TO REMAIN
130	(E)	4' - 9 1/2"	3' - 2 3/8"	EXISTING WINDOW TO REMAIN
131	(E)	4' - 9 1/2"	3' - 2 3/8"	EXISTING WINDOW TO REMAIN



TYPE 1



TYPE 2



TYPE 3

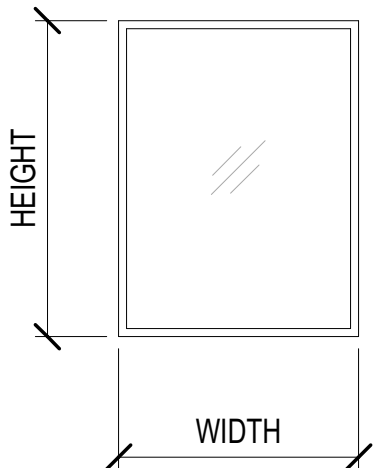
ALL WINDOW FRAMES TO BE ANODIZED ALUMINUM WITH DARK BRONZE FINISH  
ALL GLAZING TO BE DOUBLE-PANE, LOW-E, TEMPERED GLASS

BUILDING AB WINDOW SCHEDULE 4

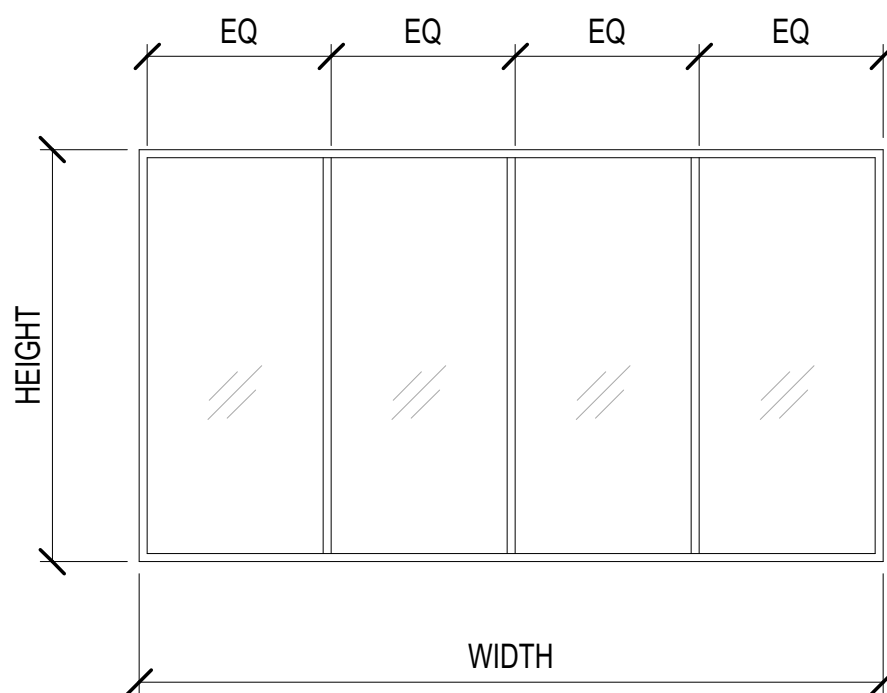
BULD AB\_WINDOW LEGEND

1/4" = 1'-0"

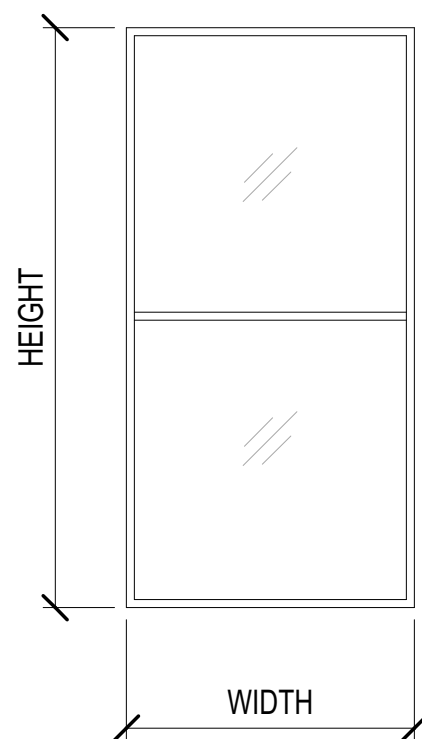
BUILDING C WINDOW SCHEDULE					
Number	Type	Width	Height	Manufacturer	Comments
101	TYPE 1	5' - 6"	8' - 6"		NEW WINDOW
102	TYPE 1	5' - 6"	8' - 6"		NEW WINDOW
103	TYPE 1	5' - 6"	8' - 6"		NEW WINDOW
104	TYPE 1	5' - 6"	8' - 6"		NEW WINDOW
105	TYPE 1	5' - 6"	8' - 6"		NEW WINDOW
201	TYPE 1	5' - 6"	5' - 6"		NEW WINDOW
202	TYPE 1	5' - 6"	5' - 6"		NEW WINDOW
203	TYPE 1	5' - 6"	5' - 6"		NEW WINDOW
204	TYPE 1	5' - 6"	5' - 6"		NEW WINDOW
205	TYPE 1	5' - 6"	5' - 6"		NEW WINDOW
206	TYPE 2	11' - 11 3/4"	8' - 0"		NEW WINDOW - TRANSOM CONDITION
207	TYPE 3	5' - 6"	10' - 3"		NEW WINDOW
208	TYPE 3	5' - 6"	10' - 3"		NEW WINDOW
209	TYPE 3	5' - 6"	10' - 3"		NEW WINDOW
210	TYPE 3	5' - 6"	10' - 3"		NEW WINDOW
211	TYPE 3	5' - 6"	10' - 3"		NEW WINDOW
212	TYPE 3	5' - 6"	10' - 3"		NEW WINDOW
213	TYPE 1	8' - 0"	5' - 4 1/2"		NEW WINDOW - TRANSOM CONDITION
214	TYPE 4	25' - 7 1/4"	6' - 3"		NEW WINDOW - TRANSOM CONDITION



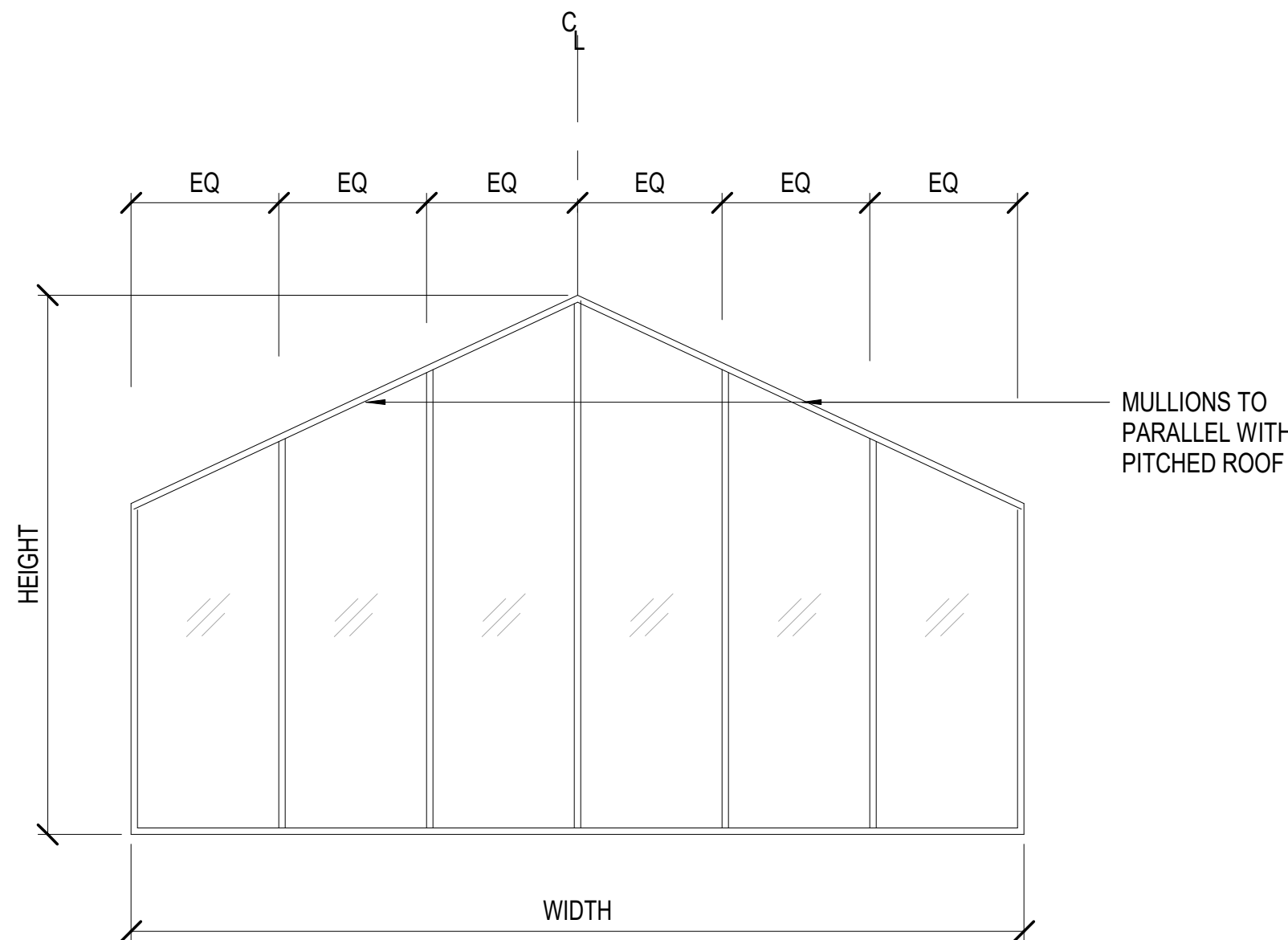
TYPE 1



TYPE 2



TYPE 3



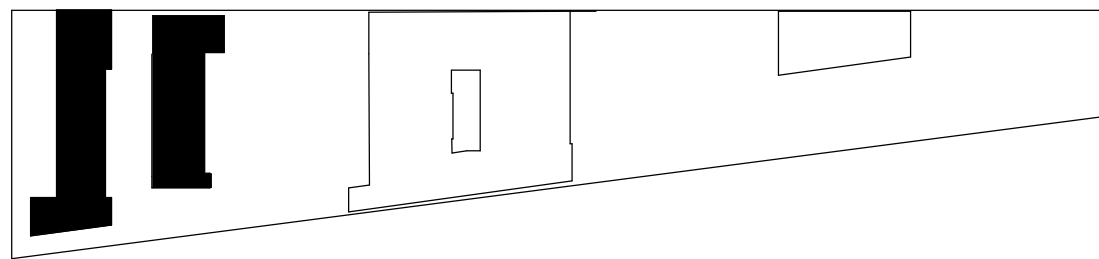
TYPE 4

ALL WINDOW FRAMES TO BE ANODIZED ALUMINUM WITH DARK BRONZE FINISH.  
ALL GLAZING TO BE DOUBLE-PANE, LOW-E, TEMPERED GLASS.

BUILDING C WINDOW SCHEDULE 2

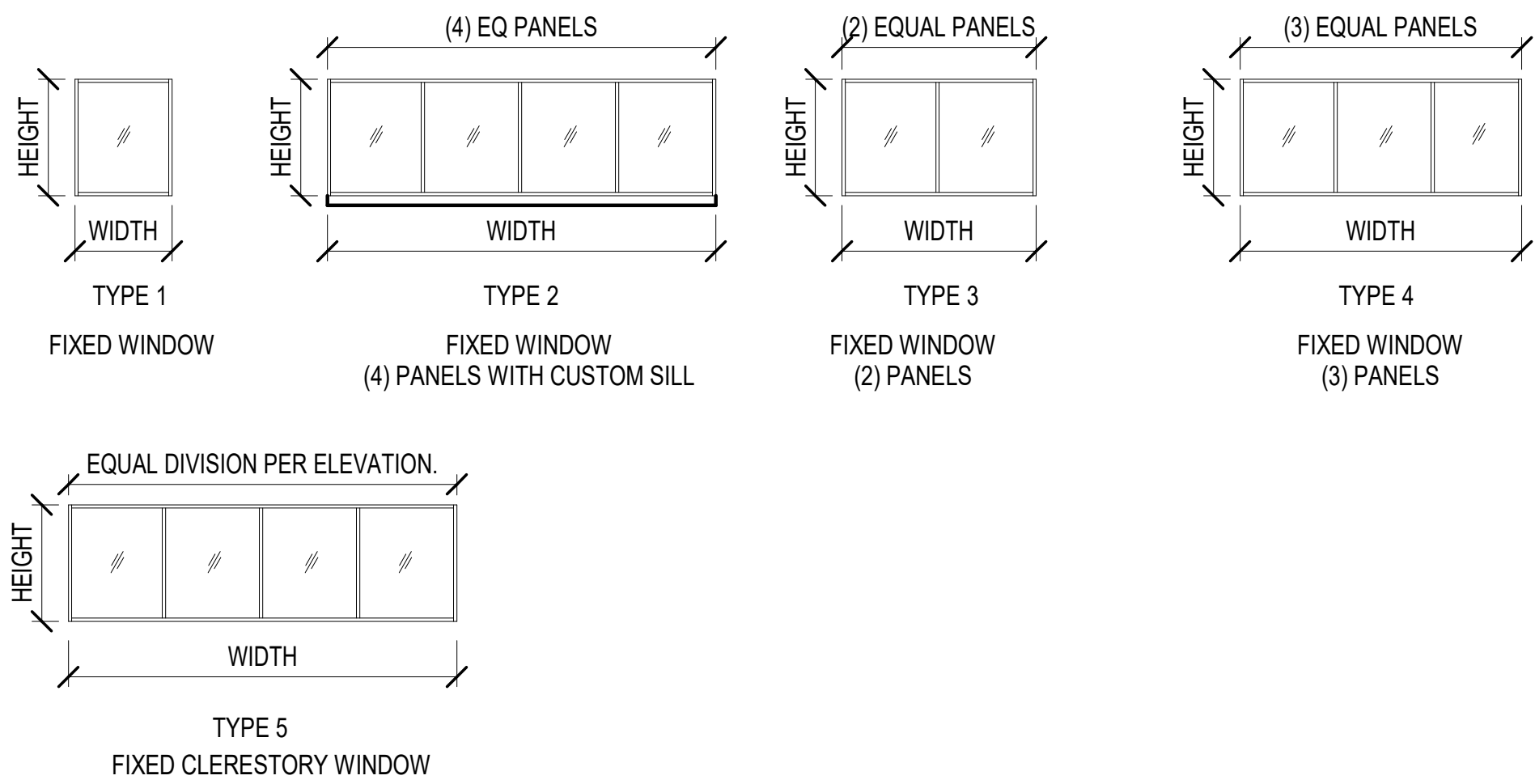
BULD C\_WINDOW LEGEND

1/4" = 1'-0"





BUILDING D WINDOW SCHEDULE				
Mark	Type Mark	Width	Height	Comments
(E)102	EXISTING	6' - 0 3/4"	6' - 2"	EXISTING WINDOW TO REMAIN
(E)103	EXISTING	5' - 11"	6' - 2"	EXISTING WINDOW TO REMAIN
(E)104	EXISTING	6' - 5 3/4"	6' - 2"	EXISTING WINDOW TO REMAIN
(E)105	EXISTING	11' - 6"	5' - 5"	EXISTING WINDOW TO REMAIN
(E)106	EXISTING	15' - 0"	5' - 8 1/4"	EXISTING WINDOW TO REMAIN
(E)107	EXISTING	17' - 10 3/4"	8' - 6 3/8"	EXISTING WINDOW TO REMAIN
(E)108	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)109	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)110	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)111	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)112	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)113	EXISTING	8' - 0"	8' - 3"	EXISTING WINDOW TO REMAIN
(E)114	EXISTING	5' - 11"	8' - 3"	EXISTING WINDOW TO REMAIN
(E)123	EXISTING	5' - 11"	3' - 11"	EXISTING WINDOW TO REMAIN
(E)124	EXISTING	5' - 11"	3' - 11"	EXISTING WINDOW TO REMAIN
(E)201	EXISTING	3' - 11"	3' - 4"	EXISTING WINDOW TO REMAIN
(E)202	EXISTING	8' - 0"	3' - 1 5/8"	EXISTING WINDOW TO REMAIN
(E)203	EXISTING	4' - 10"	3' - 1 5/8"	EXISTING WINDOW TO REMAIN
(E)204	EXISTING	3' - 10"	3' - 1 5/8"	EXISTING WINDOW TO REMAIN
(E)205	EXISTING	4' - 10"	3' - 1 5/8"	EXISTING WINDOW TO REMAIN
(E)206	EXISTING	4' - 10"	3' - 1 5/8"	EXISTING WINDOW TO REMAIN
(E)207	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)208	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)209	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)210	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)211	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)212	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E)213	EXISTING	4' - 7"	3' - 6"	EXISTING WINDOW TO REMAIN
(E) 101	EXISTING	19' - 2 3/8"	7' - 10"	EXISTING WINDOW TO REMAIN
101	D_TYPE 1	4' - 9"	7' - 2"	NEW WINDOW
102	D_TYPE 1	4' - 9"	7' - 2"	NEW WINDOW
103	D_TYPE 1	4' - 9"	7' - 2"	NEW WINDOW
104	D_TYPE 1	4' - 9"	7' - 2"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
105	D_TYPE 1	4' - 9"	7' - 2"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
106	D_TYPE 1	4' - 9"	7' - 2"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
107	D_TYPE 1	4' - 9"	7' - 2"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
108	D_TYPE 1	4' - 9"	7' - 2"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
109	D_TYPE 2	16' - 2 5/8"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
110	D_TYPE 2	18' - 9"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
111	D_TYPE 1	4' - 0"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
112	D_TYPE 3	7' - 4"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
113	D_TYPE 2	18' - 9"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
114	D_TYPE 2	23' - 9"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
115	D_TYPE 2	20' - 5 1/8"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
116	D_TYPE 2	21' - 3 5/8"	5' - 6"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
202	D_TYPE 1	4' - 9"	4' - 10"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
203	D_TYPE 1	4' - 9"	4' - 10"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
204	D_TYPE 1	4' - 9"	4' - 10"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
205	D_TYPE 1	10' - 4 1/4"	5' - 3 3/8"	NEW WINDOW
207	D_TYPE 2	16' - 2 5/8"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
208	D_TYPE 2	18' - 9"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
209	D_TYPE 2	18' - 5 1/2"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
210	D_TYPE 2	18' - 9"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
211	D_TYPE 2	20' - 5 1/4"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
212	D_TYPE 2	23' - 9"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
213	D_TYPE 2	20' - 5 1/8"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
214	D_TYPE 2	21' - 3 5/8"	5' - 3 3/8"	NEW WINOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
215	D_TYPE 4	14' - 0"	5' - 3 3/8"	NEW WINDOW
228	D_INT_(E)	17' - 7"	5' - 4"	NEW WINDOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
229	D_TYPE 5	38' - 11 3/8"	2' - 1 7/8"	EXISTING CLERESTORY WINDOW TO REMAIN
230	D_TYPE 1	4' - 9"	4' - 7 1/4"	NEW WINDOW TO MATCH (E) WINDOW WIDTH. SEE SCHEDULE FOR HEIGHT.
231	D_TYPE 4	14' - 6"	5' - 3 3/8"	NEW WINDOW

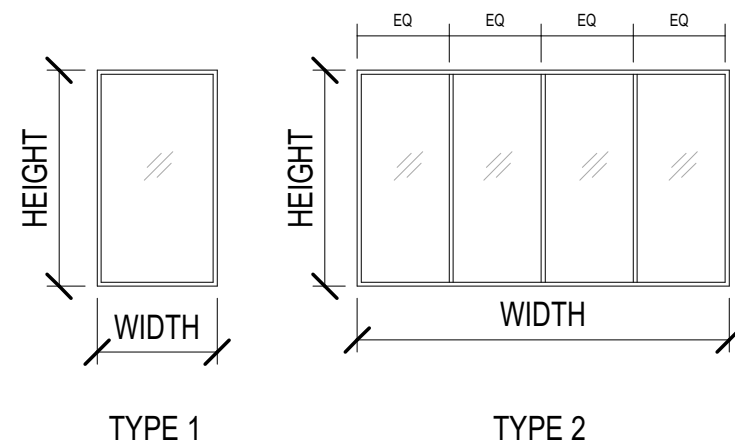


ALL WINDOW FRAMES TO BE ANODIZED ALUMINUM FRAMES WITH DARK BRONZE FINISH.  
ALL GLAZING TO BE DOUBLE-PANE, LOW-E, TEMPERED GLASS.

BULD D\_WINDOW LEGEND

1/8" = 1'-0"

BUILDING E WINDOW SCHEDULE				
Number	Type	Width	Height	Comments
102	E-TYPE 1	5' - 0"	12' - 7"	NEW WINDOW
103	E-TYPE 1	5' - 0"	12' - 7"	NEW WINDOW
104	E-TYPE 2	8' - 2"	12' - 8 5/8"	NEW WINDOW
105	E-TYPE 1	5' - 0"	12' - 4 1/2"	NEW WINDOW
107	E-TYPE 1	5' - 0"	12' - 4 1/2"	NEW WINDOW
108	E-TYPE 1	5' - 0"	12' - 4 1/2"	NEW WINDOW
109	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
111	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
112	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
113	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
114	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
115	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
116	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
117	E-TYPE 1	5' - 0"	10' - 4 1/2"	NEW WINDOW
119	E-TYPE 1	5' - 0"	9' - 2 1/2"	NEW WINDOW
120	E-TYPE 1	5' - 0"	9' - 2 1/2"	NEW WINDOW
121	E-TYPE 1	5' - 0"	9' - 2 1/2"	NEW WINDOW
123	E-TYPE 1	4' - 8 1/2"	12' - 7"	NEW WINDOW
124	E-TYPE 2	30' - 10 3/4"	12' - 7"	NEW WINDOW



ALL WINDOW FRAMES TO BE ANODIZED ALUMINUM WITH DARK BRONZE FINISH.  
ALL GLAZING TO BE DOUBLE-PANE, LOW-E, TEMPERED GLASS.

BULD E\_WINDOW LEGEND

1/8" = 1'-0"

RiOs  
CLEMENTi  
HALE  
STUDiOs

PROJECT ID  
19005

CONSULTANT

NOT FOR  
CONSTRUCTION

6325, 6311,  
6265, 6231 San  
Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS

ISSUES  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

WINDOW SCHEDULE  
FOR BUILDING D & E

DATE  
10/28/2019 10:45:01 AM

SCALE  
1/8" = 1'-0"

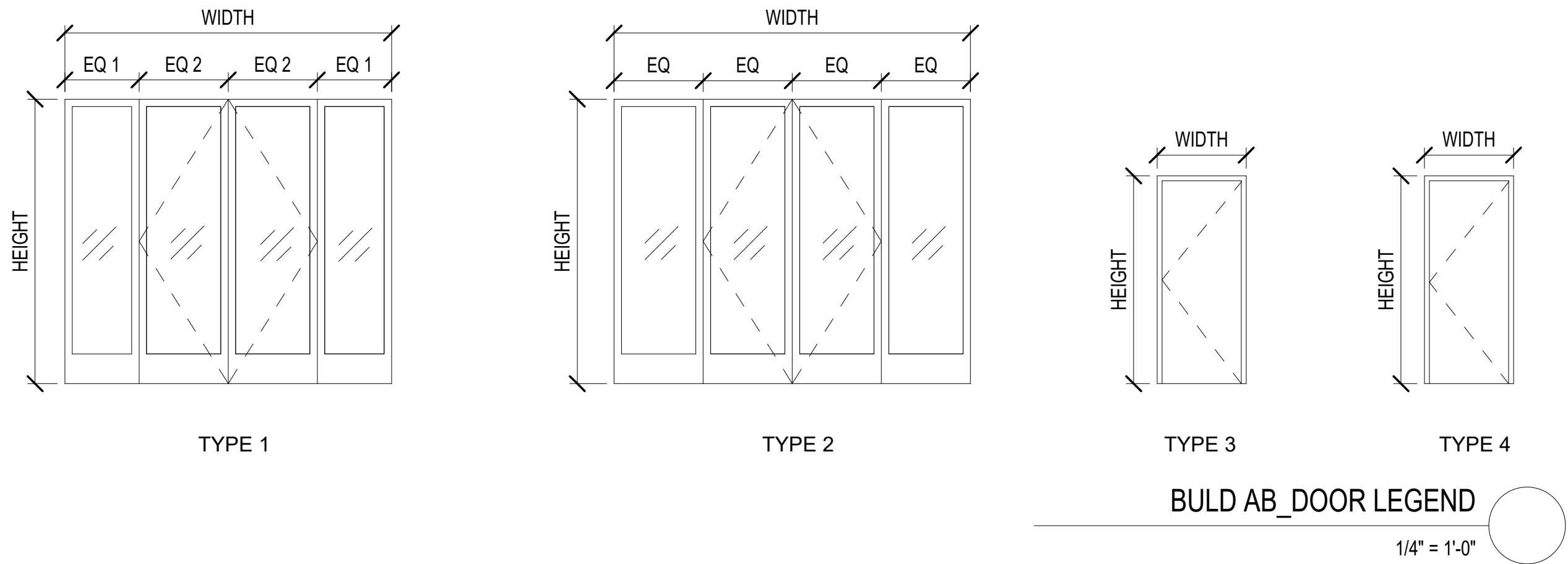
(NEVER PRINTED ON SPACED SHEET)

DRAWING NO.  
A08.02



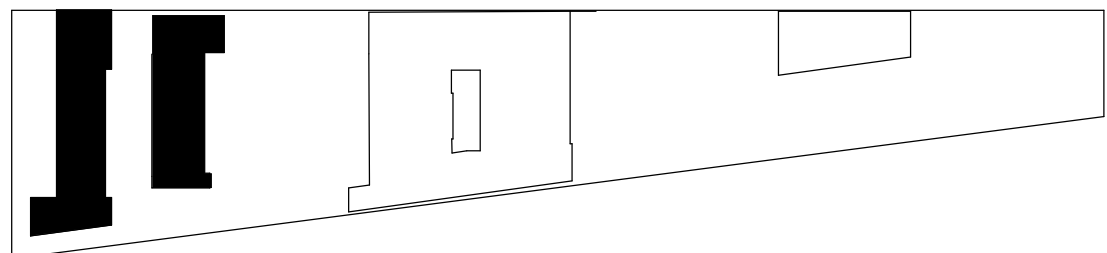
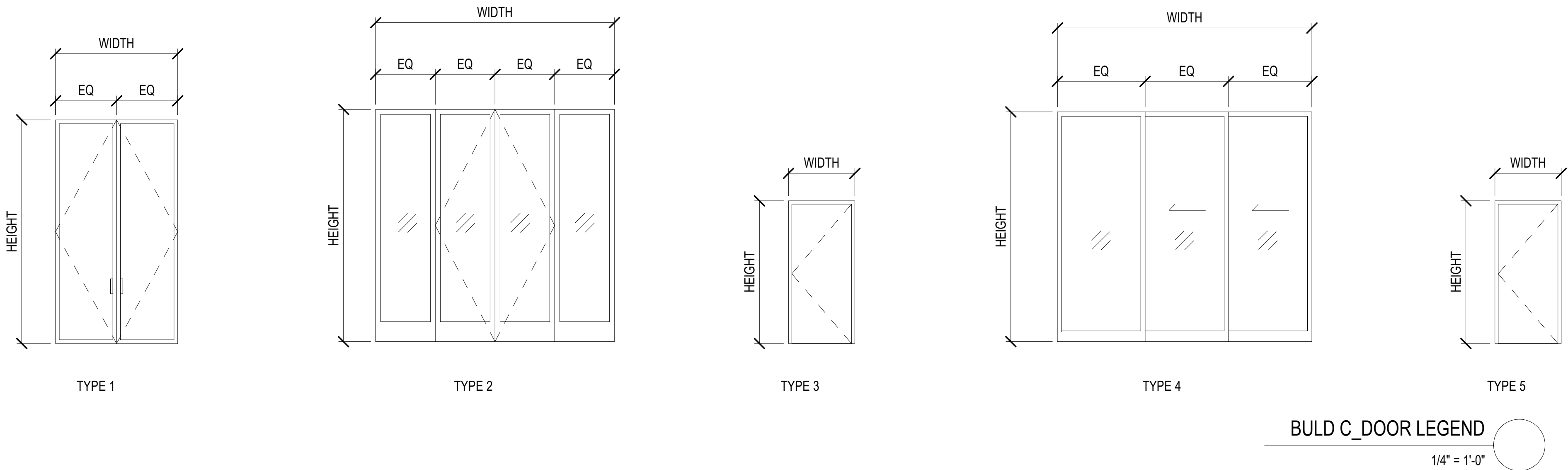
BUILDING AB DOOR SCHEDULE																
DOOR NO.	ROOM NAME	ROOM NUMBER	LEVEL	DOOR TYPE	DIMENSIONS			MATERIAL	FINISH	DOOR FRAME		DOOR FRAME			FIRE ASSEMBLY	REMARKS
					W	H	T			DETAILS						
										HEAD	JAMB	SILL				
101.1	OFFICE A	101	LEVEL 01	TYPE 1	10' - 11 1/2"	9' - 7"	1 3/4"									NEW DOOR TO REPLACE EXISTING
101.2	OFFICE A	101	LEVEL 01	TYPE 2	12' - 0"	9' - 7"	1 3/4"									NEW DOOR
102.1	ELECTRICAL	102	LEVEL 01	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
103.1	WOMAN'S RESTROOM	103	LEVEL 01	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
104.1	OFFICE A	101	LEVEL 01	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
105.1	OFFICE A	101	LEVEL 01	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
107.1	CAVE	108	LEVEL 01	TYPE E1	8' - 6"	12' - 8"	3"									EXISTING DOOR TO REMAIN
107.2	CAVE	108	LEVEL 01	TYPE 4	3' - 0"	7' - 0"	1 3/4"									NEW DOOR, HOLLOW METAL TO REPLACE EXISTING
109.1	OFFICE - B	107	LEVEL 01	TYPE E2	3' - 11"	8' - 0"	2"									EXISTING DOOR TO REMAIN

BUILDING AB DOOR SCHEDULE 4



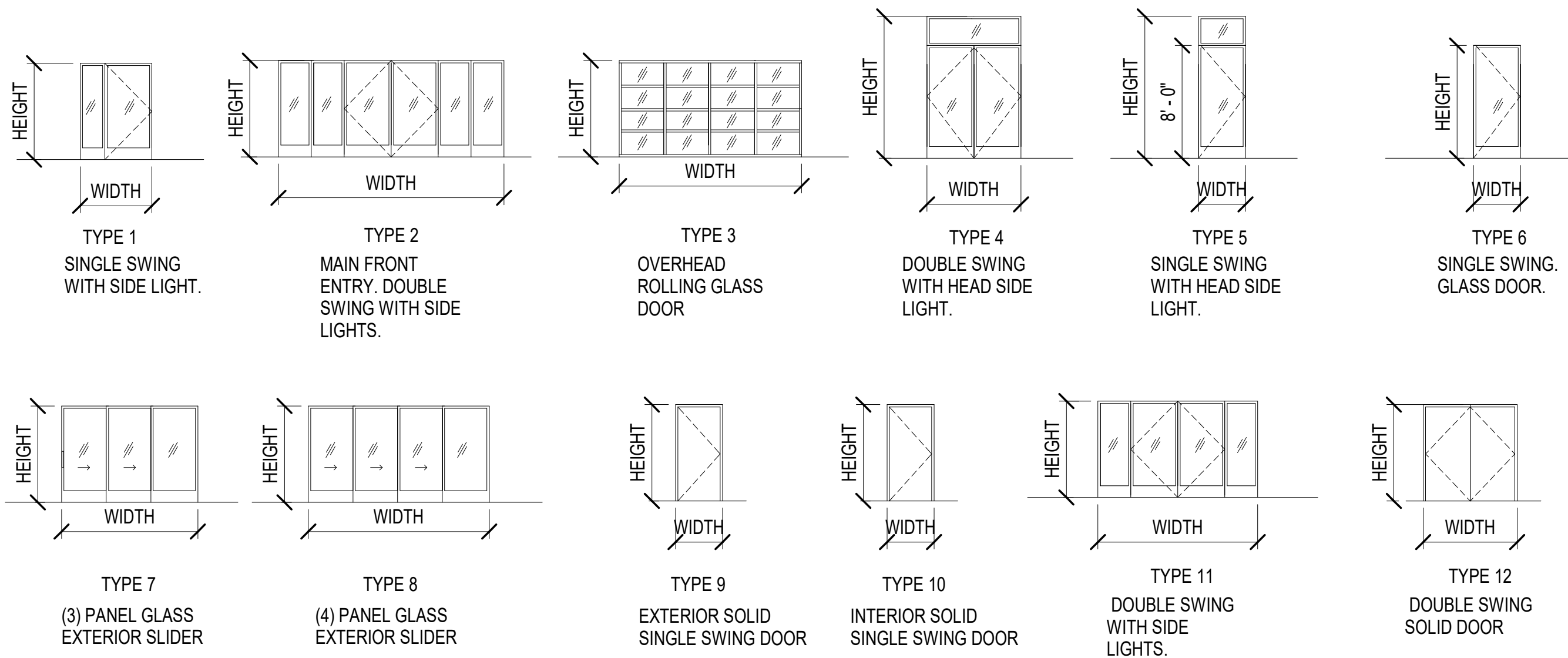
BUILDING C DOOR SCHEDULE																
DOOR NO.	ROOM NAME	ROOM NUMBER	LEVEL	DOOR TYPE	DIMENSIONS			DOOR PANEL		DOOR FRAME		DOOR FRAME DETAILS			FIRE ASSEMBLY	REMARKS
					W	H	T	MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	SILL		
100	PRODUCTION OFFICE	100	LEVEL 02	TYPE 1	6' - 1 3/4"	11' - 3 1/4"										NEW DOOR - DOUBLE, GLASS
101	OFFICE HUB	101	LEVEL 01	TYPE 2	12' - 0"	11' - 8"	1 3/4"									NEW DOOR - DOUBLE, GLASS W/ SIDE PANELS
102.1	OFFICE	102	LEVEL 01	TYPE 3	3' - 0"	7' - 0"	1 3/4"									NEW DOOR - HOLLOW METAL, PAINTED
102.3	OFFICE	102	LEVEL 01	TYPE 4	12' - 9 1/2"	11' - 4"	5 3/4"									NEW DOOR - 3 PANEL SLIDER
102.2	OFFICE	102	LEVEL 01	TYPE 4	12' - 9 1/2"	11' - 4"	5 3/4"									NEW DOOR - 3 PANEL SLIDER
103	STORAGE	103	LEVEL 01	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
104	JANITOR	104	LEVEL 01	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
105	WOMEN'S RR	105	LEVEL 01	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
106	MEN'S RR	106	LEVEL 01	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
107	ELEVATOR ROOM	107	LEVEL 01	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
203	STORAGE	203	LEVEL 02	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
205	WOMEN'S RESTROOM	205	LEVEL 02	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
206	MEN'S RESTROOM	206	LEVEL 02	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
207	ELE. RM	207	LEVEL 02	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR

BUILDING C DOOR SCHEDULE 3





BUILDING D DOOR SCHEDULE															
DOOR NO.	ROOM NAME	ROOM NUMBER	DOOR TYPE	DIMENSIONS			DOOR PANEL		DOOR FRAME		DOOR FRAME DETAILS			FIRE ASSEMBLY	REMARKS
				W	H	T	MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	SILL		
101.1	OFFICE A	101	TYPE 1	10' - 11 1/2"	9' - 7"	1 3/4"									NEW DOOR TO REPLACE EXISTING
100	PRODUCTION OFFICE	100	TYPE 1	6' - 1 3/4"	11' - 3 1/4"										NEW DOOR - DOUBLE, GLASS
207.2	ROOF DECK	207	TYPE 1	4' - 9"	8' - 0"	1 3/4"									NEW DOOR TO MATCH EXISTING WIN. WIDTH
207.1	ROOF DECK	207	TYPE 1	4' - 9"	8' - 0"	1 3/4"									NEW DOOR TO MATCH EXISTING WIN. WIDTH
206.2	ROOF DECK	206	TYPE 1	4' - 9"	8' - 0"	1 3/4"									NEW DOOR TO MATCH EXISTING WIN. WIDTH
206.1	ROOF DECK	206	TYPE 1	4' - 9"	8' - 0"	1 3/4"									NEW DOOR TO MATCH EXISTING WIN. WIDTH
101.1	OFFICE	101	TYPE 1	16' - 0"	12' - 9"	1 3/4"									NEW DOOR
101.2	OFFICE A	101	TYPE 2	12' - 0"	9' - 7"	1 3/4"									NEW DOOR
101	OFFICE HUB	101	TYPE 2	12' - 0"	11' - 8"	1 3/4"									NEW DOOR - DOUBLE, GLASS W/ SIDE PANELS
100.1	LOBBY	100	TYPE 2	18' - 3"	11' - 4"	1 3/4"									NEW DOOR TO REPLACE EXISTING
101.2	OFFICE	101	TYPE 2	19' - 8"	13' - 0"	1 3/4"									NEW OVERHEAD DOOR
103.1	WOMAN'S RESTROOM	103	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
104.1	OFFICE A	101	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
102.1	ELECTRICAL	102	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
105.1	OFFICE A	101	TYPE 3	3' - 0"	7' - 0"	2"									NEW DOOR
102.1	OFFICE	102	TYPE 3	3' - 0"	7' - 0"	1 3/4"									NEW DOOR - HOLLOW METAL, PAINTED
101.8	STAIR	01	TYPE 3	10' - 4"	8' - 0"	1 3/4"									NEW DOOR TO REPLACE EXISTING
107.2	CAVE	108	TYPE 4	3' - 0"	7' - 0"	1 3/4"									NEW DOOR, HOLLOW METAL TO REPLACE EXISTING
102.3	OFFICE	102	TYPE 4	12' - 9 1/2"	11' - 4"	5 3/4"									NEW DOOR - 3 PANEL SLIDER
102.2	OFFICE	102	TYPE 4	12' - 9 1/2"	11' - 4"	5 3/4"									NEW DOOR - 3 PANEL SLIDER
101.4	STAIR	01	TYPE 4	8' - 0"	10' - 0"	1 3/4"									NEW DOOR TO REPLACE EXISTING
106.1	OFFICE	106	TYPE 4	3' - 0"	8' - 0"	2"									NEW DOOR
107	ELEVATOR ROOM	107	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
105	WOMEN'S RR	105	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
103	STORAGE	103	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
104	JANITOR	104	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
106	MEN'S RR	106	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
205	WOMEN'S RESTROOM	205	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
203	STORAGE	203	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
206	MEN'S RESTROOM	206	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
207	ELE. RM	207	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
107.1	STORAGE	107	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
105.1	WOMEN'S RESTROOM	105	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
103.1	MEN'S RESTROOM	103	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
108.1	ELE. CLOSET	108	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
110.1	STAIR	01	TYPE 6	3' - 4"	8' - 6"	1 3/4"									NEW DOOR TO REPLACE EXISTING
110.13	OPEN COURTYARD	110	TYPE 6	3' - 0"	7' - 2"	1 3/4"									NEW DOOR TO REPLACE EXISTING
110.5	OPEN COURTYARD	110	TYPE 8	22' - 6"	11' - 0"	7 3/4"									NEW DOOR
105.1	Room	105	TYPE 9	3' - 0"	7' - 0"	2"									EXISTING INTERIOR DOOR TO BE REPAINTED
06.1	STAIR	01	TYPE 9	3' - 0"	7' - 0"	2"									EXISTING INTERIOR DOOR TO BE REPAINTED
(E)105	STAIR	01	TYPE 9	3' - 0"	8' - 0"	2"									EXISTING EXTERIOR DOOR TO BE REPAINT.
(E)103	STAIR	01	TYPE 9	3' - 0"	7' - 0"	2"									EXISTING EXTERIOR DOOR TO BE REPAINT.
(E)106	STAIR	05	TYPE 9	3' - 0"	6' - 6"	2"									EXISTING EXTERIOR DOOR TO BE REPAINT.
202.1	UNISEX RESTROM	202	TYPE 9	3' - 0"	7' - 0"	2"									NEW DOOR
201.1	UNISEX RESTROOM	201	TYPE 9	3' - 0"	7' - 0"	2"									NEW DOOR
(E)104	STAIR	01	TYPE 9	3' - 0"	7' - 0"	2"									EXISTING EXTERIOR DOOR TO BE REPAINT.
107.1	Room	107	TYPE 10	2' - 6"	7' - 0"	2"									EXISTING INTERIOR DOOR TO BE REPAINTED
524.390	WOMEN'S RESTROOM	103	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
524.392	STAIR	01	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
204.1	WOMEN'S RESTROOM	204	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
203.1	STORAGE	205	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
108.1	WOMEN'S RESTROOM	108	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
109.1	MEN'S RESTROOM	109	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
01.2			TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
01.1	STAIR	01	TYPE 10	3' - 0"	7' - 0"	2"									NEW DOOR
110.8	STAIR	01	TYPE 11	8' - 9"	8' - 6"	1 3/4"									NEW DOOR TO REPLACE EXISTING
110.6	OPEN COURTYARD	110	TYPE 11	9' - 8"	11' - 0"	1 3/4"									NEW DOOR
104.3	STAIR	01	TYPE 12	3' - 9"	7' - 0"	2"									EXISTING INTERIOR DOOR TO BE REPAINTED
104.2	STAIR	01	TYPE 12	3' - 9"	7' - 0"	2"									EXISTING INTERIOR DOOR TO BE REPAINTED
104.1	STAIR	01	TYPE 12	3' - 9"	7' - 0"	2"									EXISTING INTERIOR DOOR TO BE REPAINTED
107.1	CAVE	108	TYPE E1	8' - 6"	12' - 8"	3"									EXISTING DOOR TO REMAIN
109.1	OFFICE - B	107	TYPE E2	3' - 11"	8' - 0"	2"									EXISTING DOOR TO REMAIN



ALL DOOR FRAMES TO BE ANODIZED ALUMINUM FRAMES WITH DARK BRONZE FINISH.  
ALL GLAZING TO BE DOUBLE-PANE, LOW-E, TEMPERED GLASS.

## BUILDING D DOOR LEGEND 2

**Rios Clementi Hale Studios**

PROJECT ID  
**19005**

CONSULTANT

**NOT FOR CONSTRUCTION**

REVISIONS

ISSUES  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

DOOR SCHEDULE  
BUILDING D & E

DATE  
10/28/2019 10:45:09 AM

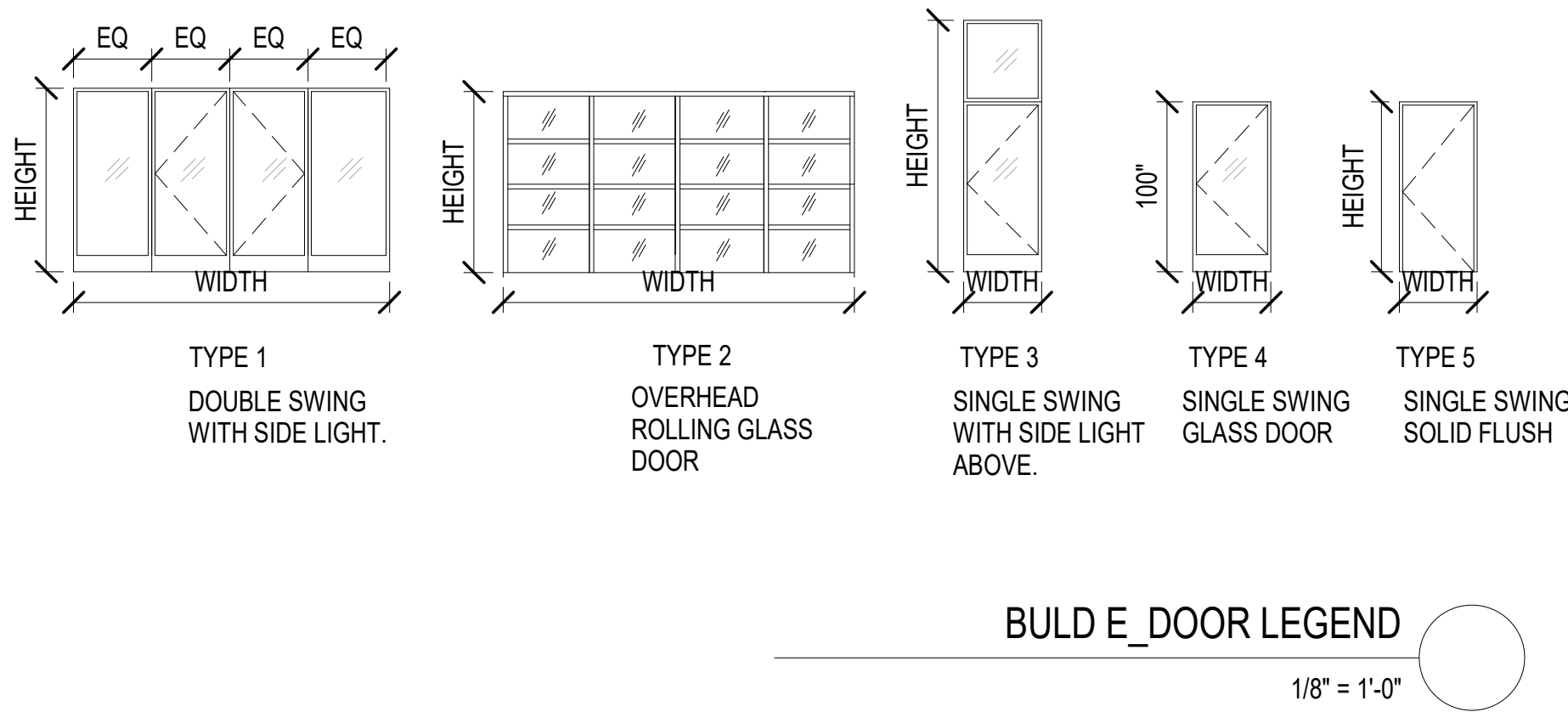
SCALE  
1/8" = 1'-0"

DOORING NO.  
**A08.04**

## BUILDING D DOOR SCHEDULE 4

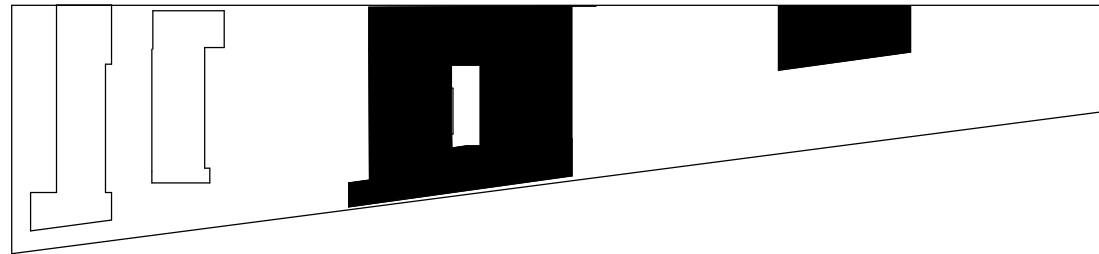
BUILDING E DOOR SCHEDULE															
DOOR NO.	ROOM NAME	ROOM NUMBER	DOOR TYPE	DIMENSIONS			DOOR PANEL		DOOR FRAME		DOOR FRAME DETAILS			FIRE ASSEMBLY	REMARKS
				W	H	T	MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	SILL		
101.1	OFFICE	101	TYPE 1	16' - 0"	12' - 9"	1 3/4"									NEW DOOR
101.2	OFFICE	101	TYPE 2	19' - 8"	13' - 0"	1 3/4"									NEW OVERHEAD DOOR
103.1	MEN'S RESTROOM	103	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
105.1	WOMEN'S RESTROOM	105	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
106.1	OFFICE	106	TYPE 4	3' - 0"	8' - 0"	2"									NEW DOOR
107.1	STORAGE	107	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR
108.1	ELE. CLOSET	108	TYPE 5	3' - 0"	7' - 0"	2"									NEW DOOR

## BUILDING E DOOR SCHEDULE 2

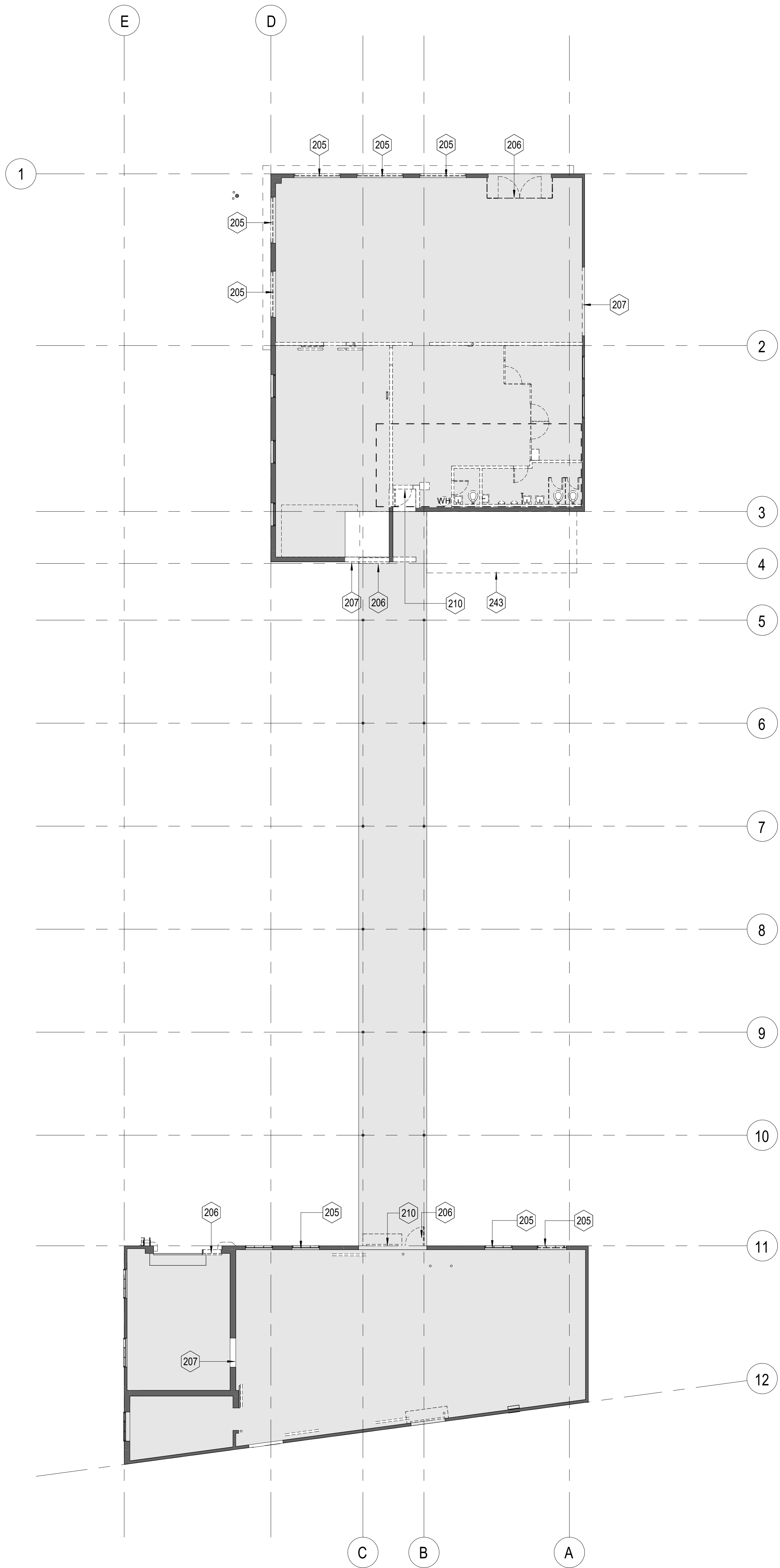


## BULD E DOOR LEGEND

1/8" = 1'-0"







BLDG A&B DEMOLITION PLAN  
3/32" = 1'-0"

1

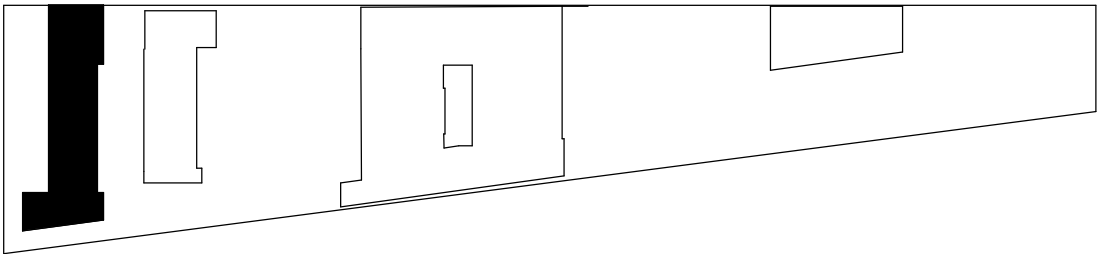
KEYNOTE LEGEND	
Key Value	Keynote Text
205	(E) WINDOW TO BE DEMOLISHED
206	(E) DOOR TO BE DEMOLISHED
207	(E) WALL TO BE PARTIALLY DEMOLISHED TO CREATE WALL OPENING
210	(E) DOOR & PARTIAL WALL TO BE DEMOLISHED
243	(E) AWNING TO BE PARTIALLY DEMOLISHED. EXTENT AS DESIGNATED.

### DEMO LEGEND

- TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (E) FLOOR/ROOF TO REMAIN

### DEMO PLAN NOTES

1. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREA IN QUESTION.
2. REMOVE ALL ABANDONED CONDUIT, CABLING BACK TO ELECTRICAL/TELEPHONE CLOSET.
3. APPLIED FIREPROOFING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND PATCHED TO MAINTAIN THE INTEGRITY OF THE BUILDINGS EXISTING FIREPROOFING.
4. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF MECHANICAL DEMOLITION.
5. DEMOLISH CEILING GRID AND TILE THROUGHOUT ENCLOSED INTERIOR SPACE.
6. REMOVE ALL NON-BEARING PARTITIONS, DOORS, COUNTERTOPS, MILLWORK ETC AS INDICATED IN PLAN.
7. REMOVE ALL FLOORING AND SURFACE GLUE ETC. THROUGHOUT ENCLOSED INTERIOR SPACE AS REQUIRED TO PREP FOR NEW FINISHES.
8. CONTRACTOR TO ASSESS ANY REQUIRED DEMOLITION OF DOORS, WALLS, CEILINGS, FIRE HOSE CABINETS AND FINISH MATERIALS DURING JOB WALK.
9. COORDINATE WITH LANDLORD DEMOLITION PROCEDURES AND ANY ABATEMENT REQUIRED.
10. REMOVE ALL MILLWORKS, CARPET TILE, FINISHES AND BUILT-IN APPLIANCES.
11. REMOVE ALL EXPANSION JOINTS, BOLTS AND SCREWS FASTENED TO THE GROUND.
12. REMOVE ABANDONED CONDUIT, DUCT AND EQUIPMENT FROM THE AREA ABOVE ENCLOSED INTERIOR SPACE.
13. REMOVE ALL OUTLETS IN WALL AND CABLING BACK TO ELECTRICAL PANELS.
14. BUILDING MUST MAINTAIN ALL REQUIRED PATHS OF TRAVEL TO EXITS.



# RiOs CLEMENTi HALE STUDIOS

PROJECT ID  
19005

CONSULTANT

NOT FOR CONSTRUCTION

6325, 6311, 6265, 6231 San Fernando Road

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS

ISSUES  
08/19/2019  
10/28/2019

PLAN NAME  
6325, 6311, 6265, 6231 San Fernando Road

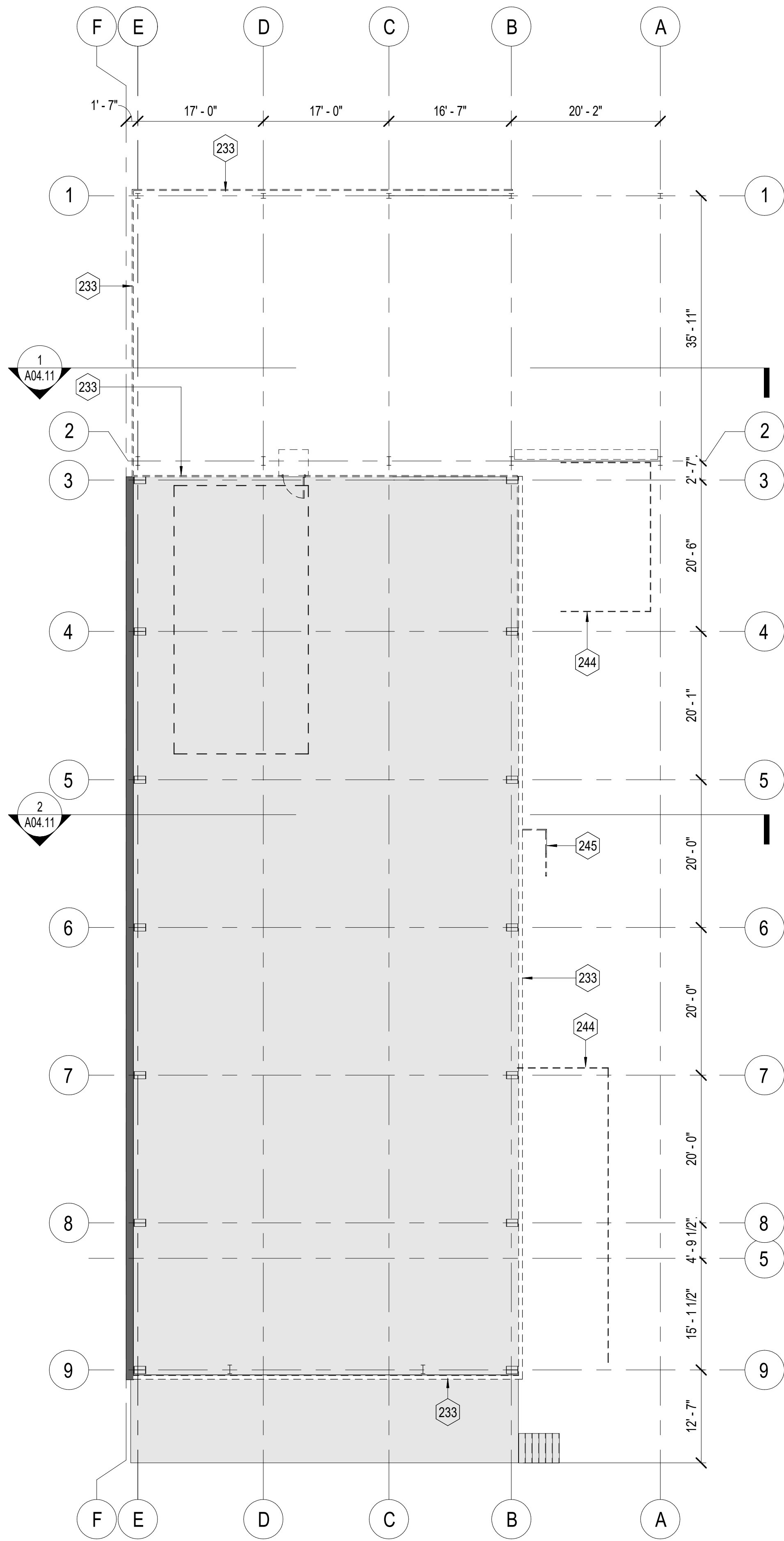
BLDG A&B  
DEMOLITION PLAN

DATE  
10/28/2019 10:45:11 AM

SCALE  
As indicated

D01.10





BLDG C DEMOLITION PLAN  
3/32" = 1'-0" 1

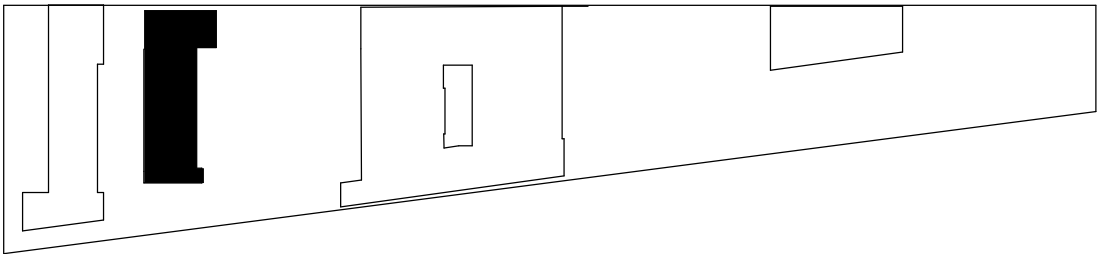
KEYNOTE LEGEND	
Key Value	Keynote Text
233	(E) WALL TO BE DEMOLISHED.
244	(E) TRAILER/AUXILIARY BUILDING TO BE DEMOLISHED
245	(E) STAIR AND RAILING TO BE DEMOLISHED

### DEMO LEGEND

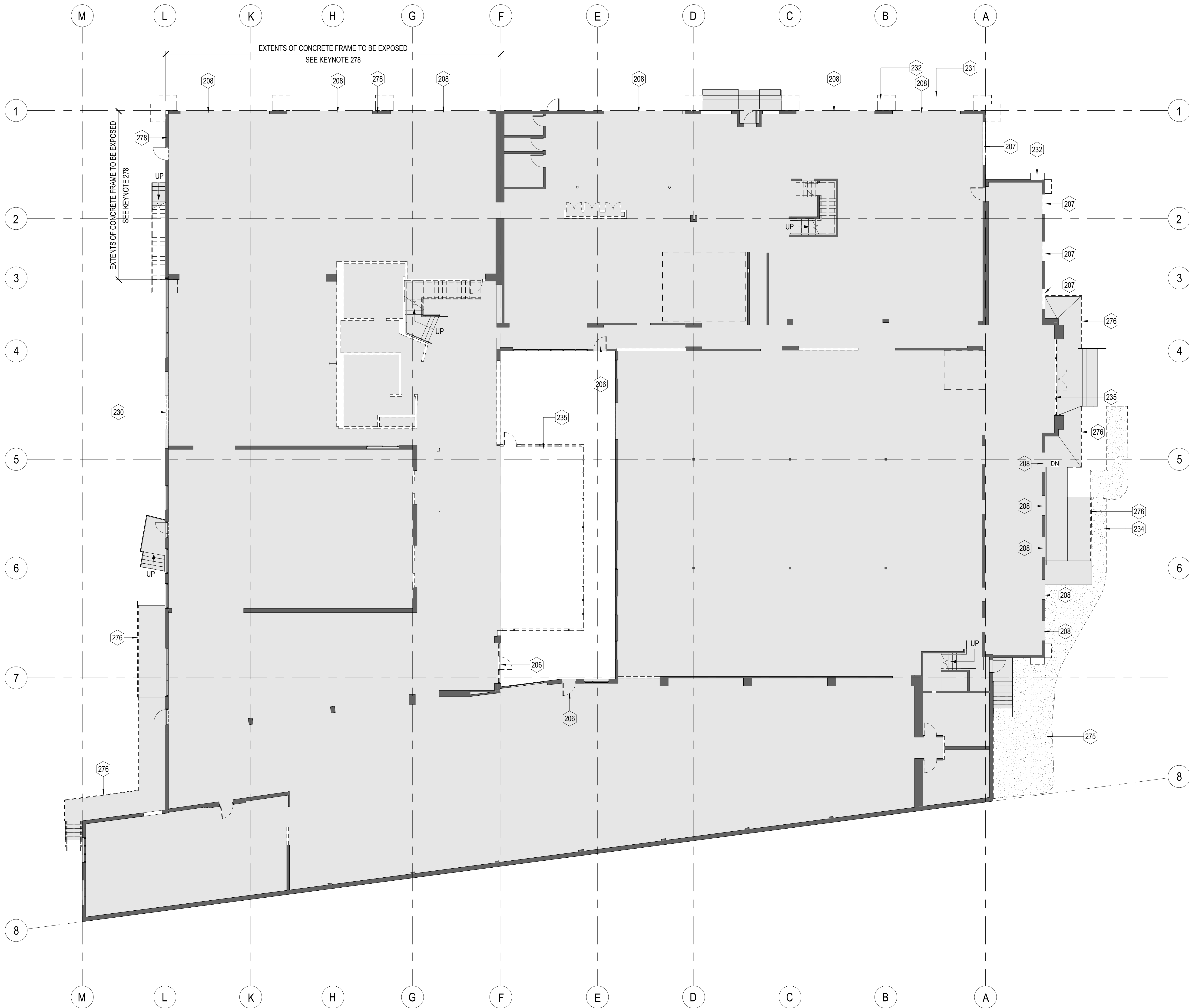
- TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (E) FLOOR/ROOF TO REMAIN

### DEMO PLAN NOTES

1. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREA IN QUESTION.
2. REMOVE ALL ABANDONED CONDUIT, CABLING BACK TO ELECTRICAL TELEPHONE CLOSET.
3. APPLIED FIREPROOFING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND PATCHED TO MAINTAIN THE INTEGRITY OF THE BUILDINGS EXISTING FIREPROOFING.
4. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF MECHANICAL DEMOLITION.
5. DEMOLISH CEILING GRID AND TILE THROUGHOUT ENCLOSED INTERIOR SPACE.
6. REMOVE ALL NON-BEARING PARTITIONS, DOORS, COUNTERTOPS, MILLWORK ETC AS INDICATED IN PLAN.
7. REMOVE ALL FLOORING AND SURFACE GLUE ETC. THROUGHOUT ENCLOSED INTERIOR SPACE AS REQUIRED TO PREP FOR NEW FINISHES.
8. CONTRACTOR TO ASSESS ANY REQUIRED DEMOLITION OF DOORS, WALLS, CEILINGS, FIRE HOSE CABINETS AND FINISH MATERIALS DURING JOB WALK. COORDINATE WITH LANDLORD DEMOLITION PROCEDURES AND ANY ABATEMENT REQUIRED.
9. REMOVE ALL MILLWORKS, CARPET TILE FINISHES AND BUILT-IN APPLIANCES.
10. REMOVE ALL EXPANSION JOINTS, BOLTS AND SCREWS FASTENED TO THE GROUND.
11. REMOVE ABANDONED CONDUIT, DUCT AND EQUIPMENT FROM THE AREA ABOVE ENCLOSED INTERIOR SPACE.
12. REMOVE ALL OUTLETS IN WALL AND CABLING BACK TO ELECTRICAL PANELS.
13. BUILDING MUST MAINTAIN ALL REQUIRED PATHS OF TRAVEL TO EXITS.







BLDG D DEMOLITION PLAN LEVEL-1

3/32" = 1'-0"

1

KEYNOTE LEGEND	
Key Value	Keynote Text
206	(E) DOOR TO BE DEMOLISHED
207	(E) WALL TO BE PARTIALLY DEMOLISHED TO CREATE WALL OPENING
208	(E) WINDOW AND PARTIAL WALL TO BE DEMOLISHED.
230	(E) WINDOWS TO BE DEMOLISHED
231	(E) EXTERIOR AWNING/OVERHANG TO BE DEMOLISHED TYP.
232	(E) EXTERIOR DECORATIVE COLUMNS AND FRAMING TO BE DEMOLISHED TYP.
234	(E) SITE COMPONENTS TO BE DEMOLISHED.
235	(E) WALL, WINDOW & DOOR TO BE DEMOLISHED
275	(E) CURB AND PAVING TO BE DEMOLISHED
276	(E) RAILING TO BE DEMOLISHED
278	(E) EXTERIOR FINISH TO BE STRIPPED AND SAND BLASTED

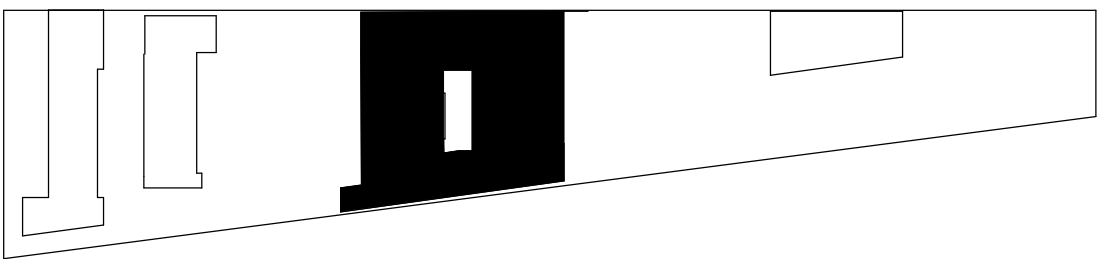
### DEMO LEGEND

- - - - - TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (E) FLOOR/ROOF TO REMAIN

### DEMO PLAN NOTES

1. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREA IN QUESTION.
2. REMOVE ALL ABANDONED CONDUIT, CABLING BACK TO ELECTRICAL/TELEPHONE CLOSET.
3. APPLIED FIREPROOFING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND PATCHED TO MAINTAIN THE INTEGRITY OF THE BUILDINGS EXISTING FIREPROOFING.
4. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF MECHANICAL DEMOLITION.
5. DEMOLISH CEILING GRID AND TILE THROUGHOUT ENCLOSED INTERIOR SPACE.
6. REMOVE ALL NON-BEARING PARTITIONS, DOORS, COUNTERTOPS, MILLWORK ETC AS INDICATED IN PLAN.
7. REMOVE ALL FLOORING AND SURFACE GLUE ETC. THROUGHOUT ENCLOSED INTERIOR SPACE AS REQUIRED TO PREP FOR NEW FINISHES.
8. CONTRACTOR TO ASSESS ANY REQUIRED DEMOLITION OF DOORS, WALLS, CEILINGS, FIRE HOSE CABINETS AND FINISH MATERIALS DURING JOB WALK. COORDINATE WITH LANDLORD DEMOLITION PROCEDURES AND ANY ABATEMENT REQUIRED.
9. REMOVE ALL MILLWORKS, CARPET TILE, FINISHES AND BUILT-IN APPLIANCES.
10. REMOVE ALL EXPANSION JOINTS, BOLTS AND SCREWS FASTENED TO THE GROUND, DUCT AND EQUIPMENT FROM THE AREA ABOVE ENCLOSED INTERIOR SPACE.
11. REMOVE ALL OUTLETS IN WALL AND CABLING BACK TO ELECTRICAL PANELS.
12. BUILDING MUST MAINTAIN ALL REQUIRED PATHS OF TRAVEL TO EXITS.

DRAWING NORTH



**RiOs  
CLEMENTi  
HALE  
STUDIOS**

PROJECT ID  
**19005**

CONSULTANT

**NOT FOR  
CONSTRUCTION**

**6325, 6311,  
6265, 6231 San  
Fernando Road**

6325-6231 San Fernando Rd  
Glendale, CA 91201

REVISIONS

ISSUES  
08/19/2019  
10/28/2019

FILENAME  
6325, 6311, 6265, 6231 San Fernando Road

BLDG D DEMOLITION  
PLAN-LEVEL 1

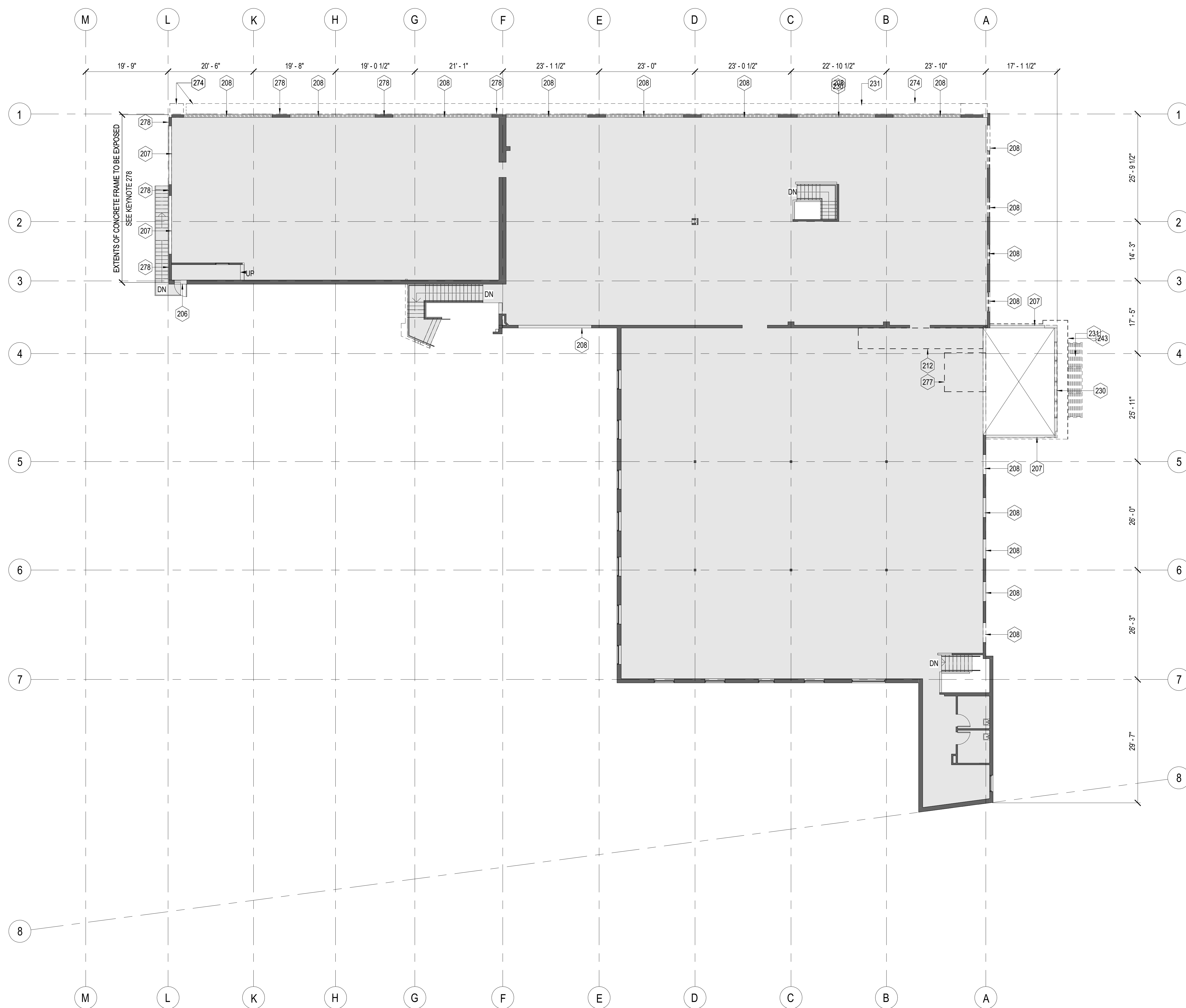
DATE  
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SCALE  
As indicated

(INCHES PRINTED ON 36" X 48" SHEET)

DRAWING NO.  
**D01.30**

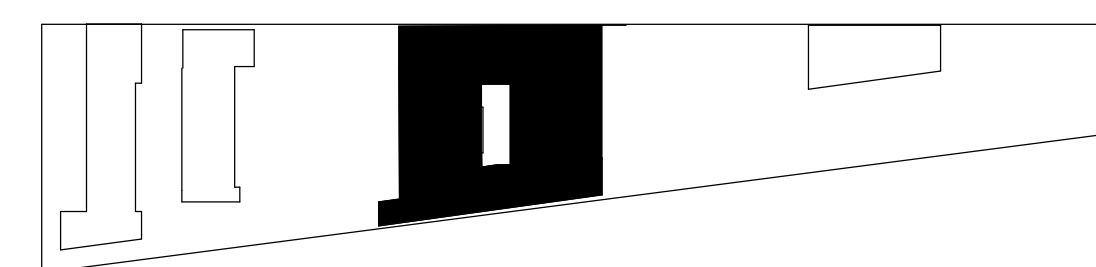




BLDG D DEMOLITION PLAN LEVEL-2


$$3/32'' = 1'-0''$$

1



KEYNOTE LEGEND	
Key Value	Keynote Text
231	(E) EXTERIOR AWNING/OVERHANG TO B DEMOLISHED TYP.

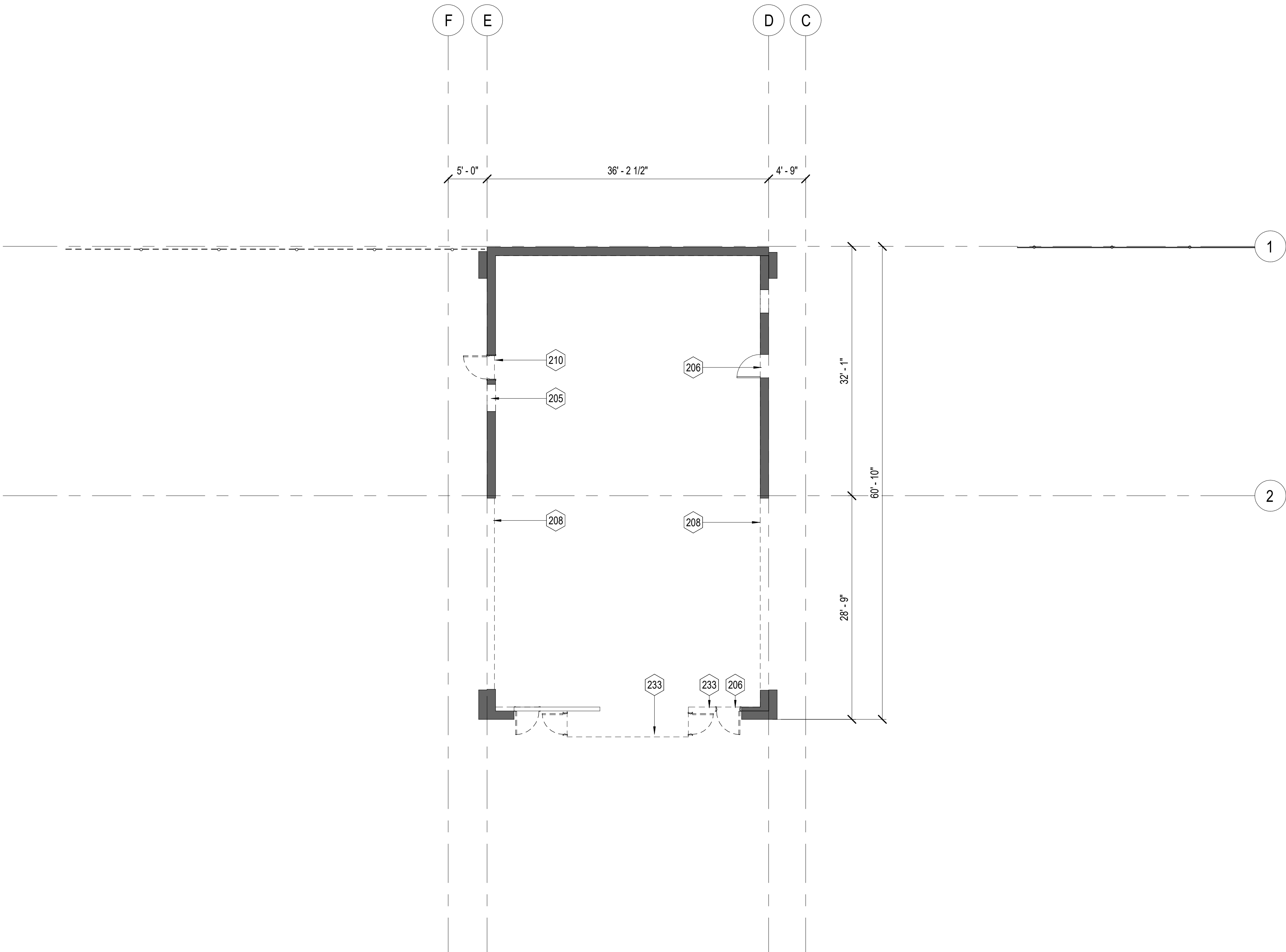
## DEMO LEGEND

 TO BE DEMOLISHED  
 (E) WALL TO REMAIN  
 (E) FLOOR/ROOF TO REMAIN

## DEMO PLAN NOTES

1. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREA IN QUESTION.
2. REMOVE ALL ABANDONED CONDUIT, CABLING BACK TO ELECTRICAL PANELS.
3. APPLY FIREPROOFING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND PATCHED TO MAINTAIN THE INTEGRITY OF THE BUILDINGS EXISTING FIREPROOFING.
4. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF MECHANICAL DEMOLITION.
5. DEMOLISH CEILING GRID AND TILE THROUGHOUT ENCLOSED INTERIOR SPACE.
6. REMOVE ALL NON-FIRING PARTITIONS, DOORS, COUNTERTOPS, MILLWORK ETC AS INDICATED IN PLAN.
7. REMOVE ALL DOORS, PARTITIONS, ETC. THROUGHOUT ENCLOSED INTERIOR SPACE AS REQUIRED TO PREP FOR NEW FINISHES.
8. REMOVE DOORS TO EXPOSE ALL DEMOLITION OF DOORS, WALLS, CEILINGS, FIRE GUE CABINETS AND FINISH MATERIALS DURING JOE WALK.
9. COORDINATE WITH ARCHITECT FOR DEMOLITION PROCEDURES AND ANY ABATEMENT REQUIRED.
10. REMOVE ALL MILLWORKS, CARPET TILE, FINISHES AND ALL APPLIANCE.
11. REMOVE ALL EXPANSION JOINTS, BOLTS AND SCREWS FASTENED TO THE GROUND.
12. REMOVE ABANDONED CONDUIT, DUCT AND EQUIPMENT FROM THE AREA ABOVE ENCLOSED INTERIOR SPACE.
13. REMOVE ALL OUTLETS IN WALL AND CABLING BACK TO ELECTRICAL PANELS.
14. REMOVE ALL MATERIALS REQUIRED PATHS OF TRAVEL TO EXITS.





LEVEL 1 BLDG E - DEMO PLAN

1/8" = 1'-0"

1

