



BYER GEOTECHNICAL, INC.

March 23, 2020

BG 22747

Camille and Elena Neagu
1544 Garden Street
Glendale, California 91201

Subject

Transmittal of Geologic and Soils Engineering Plan Review and Update
Proposed Lot Line Adjustments and Two Residences
Assessor's Parcel Nos. 5649-021-025 and 5649-008-005, -006, -012, and -013
601 Bohlig Road
Glendale, California

Gentlepersons

Byer Geotechnical has completed our plan review and updated dated March 23, 2020, which provides additional recommendations for the revised scope of work for proposed additions. The reviewing agency for this document is the City of Glendale. The reviewing agency requires two unbound copies, one with a wet signature, a CD (PDF format), an application form, and a filing fee. Copies of the report have been distributed as follows:

- (1) Addressee (Email and Mail)
- (3) Malekian & Associates, Attention: Derrick Chong (Email and Mail)

It is our understanding that Malekian & Associates will file the report with the City of Glendale. Please review the report carefully prior to submittal to the governmental agency. Questions concerning the report should be directed to the undersigned. Byer Geotechnical appreciates the opportunity to offer our consultation and advice on this project.

Very truly yours,
BYER GEOTECHNICAL, INC.

Giuseppe Cugno
Senior Project Geologist



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Assessor's Parcel Nos. 5649-021-025 and 5649-008-005, -006, -012, and -013
601 Bohlig Road
Glendale, California

Reference: Report by Byer Geotechnical, Inc. :

Geologic and Soils Engineering Exploration, Proposed Lot Line Adjustments and Two Residences, Assessor's Parcel Nos. 5649-021-025 and 5649-008-005, -006, -012, and -013, 601 Bohlig Road, Glendale, California; dated December 8, 2017.

The following geologic and soils engineering plan review and update has been prepared to address the revised scope of work as discussed with Derrick Chong of Malekian & Associates, and as shown on the enclosed plans. It is our understanding that the proposed project as shown on the referenced report has been modified and the City of Glendale has requested a plan review letter. The previously planned detached garage along Melwood Drive has been eliminated and is now incorporated into the front (south) portion of the proposed residence planned within Lot 2. The footprint and layout of the proposed residence within Lot 1 has been modified and the footprint now is generally parallel with the existing contours and proposed rear yard retaining wall.

The subject property was revisited and the site conditions were mapped by the undersigned engineering geologist on February 27, 2020. The site conditions remain unchanged and similar to that described in the referenced report. It is the opinion of Byer Geotechnical, Inc., that the

recommendations contained in the referenced report remain valid and applicable to the proposed project.

The recommended bearing material is bedrock. Conventional foundations may be used to support portions of the residence provided the footings are adequately setback from descending slopes and from lower retaining walls. Deepened foundations are recommended for portions of the residence on the westerly lot (Lot 2) to ensure embedment in bedrock and achieve the required setback from the steep descending slope. Deepened foundations are also recommended for portions of the residence and pool on the easterly lot (Lot 1) to ensure embedment below a 1:1 plane from the bottom of the subterranean garage. The garage roof should be designed as a structural slab capable of supporting the future backfill (see Section A Sheet C-3).

Shoring, consisting of soldier piles, will be required to support the majority of the temporary excavations for the garages and for portions of the residence with basement where slope trimming is not feasible or desired. The remaining portion of the existing road cut should be trimmed back to a gradient no steeper than 1¼:1. Any fill mantling the descending slope should be removed or trimmed to a gradient no steeper than 2:1.

Formal plans ready for submittal to the building department should be reviewed by Byer Geotechnical. Any change in scope of the project may require additional work. Foundation excavations should be observed and approved by the geotechnical engineer or geologist prior to placing steel, forms, or concrete. The engineer/geologist should observe bottoms for fill, compaction of fill, temporary slopes, permanent cut slopes, and subdrains. All fill that is placed should be approved by the geotechnical engineer and the building department prior to use for support of structural footings and floor slabs.

March 23, 2020
BG 22747
Page 3

All other design recommendation contained in the referenced report and not reiterated here remain valid and applicable. Byer Geotechnical appreciates the opportunity to continue to continue to provide our service on this project. Any questions concerning the data or interpretation of this report should be directed to the undersigned.

Respectfully submitted
BYER GEOTECHNICAL, INC.



Giuseppe Cugno
E. G. 1804



Raffi S. Babayan
P.E. 72168

GC:RIZ:cj

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Enc: Plans by Malekian & Assoc.
D-A100 Colored Plot Plan
D-A001 Grading Diagrams
Civil Plans by Ardashes Kazarians
Sheet C-2.0
Sheet C-3.0
Geologic Map from report, dated December 8, 2017
Sections A through E from report dated December 8, 2017 (2 Sheets)

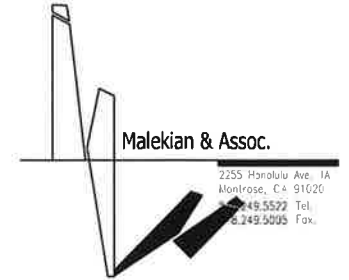
xc: (1) Addressee (Email and Mail)
(3) Malekian & Associates, Attention: Derrick Chong (Email and Mail)

LINE DATA		
L1	N 75°33'34" E	10.82'
L2	N 83°18'03" W	6.85'
L3	N 70°06'27" E	10.77'
L4	N 23°36'27" E	8.97'
L5	N 68°43'57" E	10.42'

SHADED AREA INDICATES PROPOSED CANTILEVERED DECK ON EXISTING LAWN. SEE ARBORIST'S REPORT FOR MORE DETAILS ON OAK TREE PROTECTION

LOT AREAS :	601 BOHLIG (LOT 1) -	13,569 SF
	603 BOHLIG (LOT 2) -	10,297 SF
LOT COVERAGE :	601 BOHLIG (LOT 1) -	4,960 SF / 13,569 SF = 36.55%
	603 BOHLIG (LOT 2) -	1,991 SF / 10,297 SF = 19.34%
PROPOSED FAR :	601 BOHLIG (LOT 1) -	4,344 SF / 13,569 SF = 32.01%
	603 BOHLIG (LOT 2) -	2,529 SF / 10,297 SF = 24.56%

SKYE TRUST
NRE LLC,
ELENA
NEAGU



Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

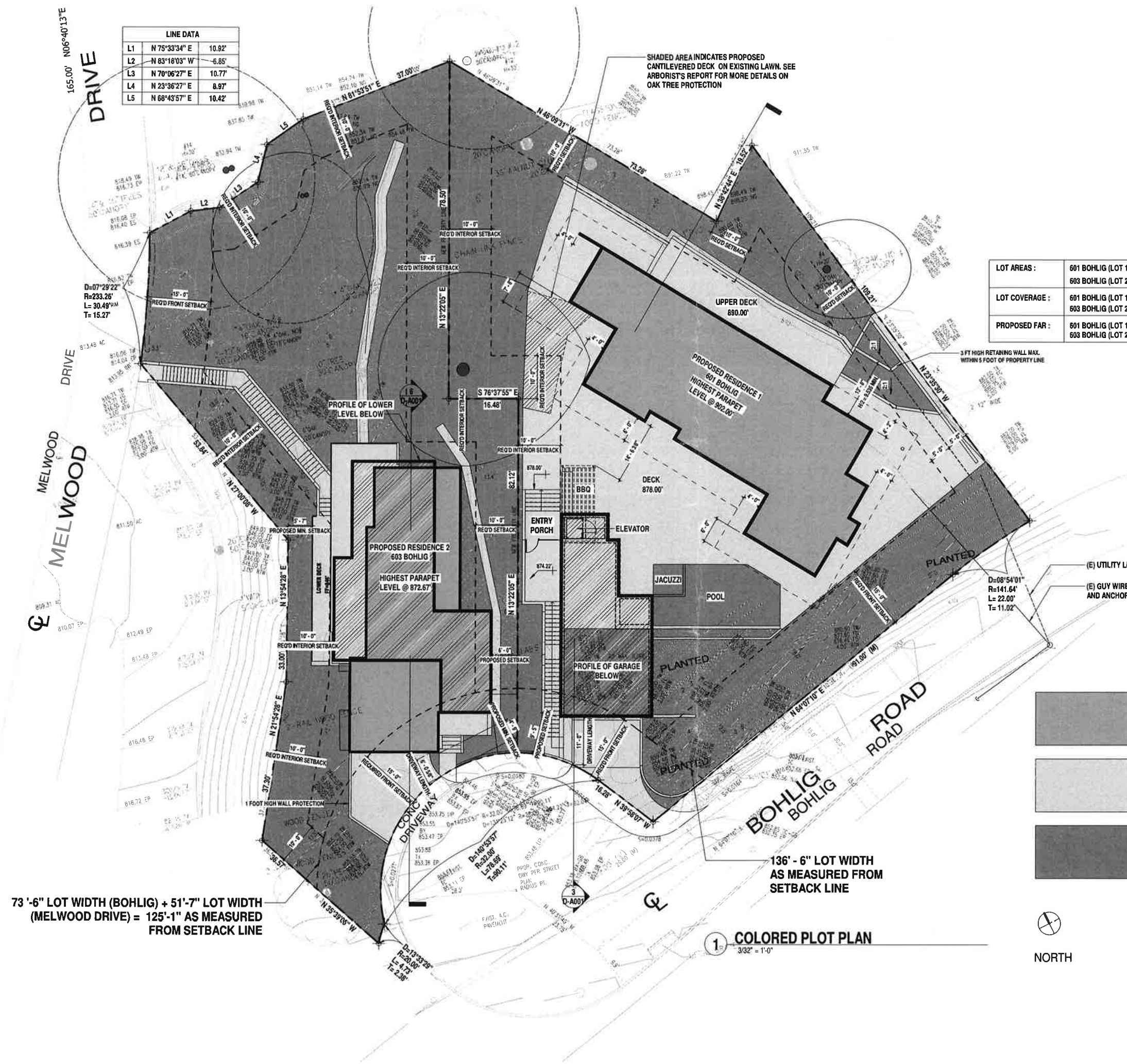
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COLORED PLOT PLAN

Project Status

Project Number

D-A100



73'-6" LOT WIDTH (BOHLIG) + 51'-7" LOT WIDTH (MELWOOD DRIVE) = 125'-1" AS MEASURED FROM SETBACK LINE

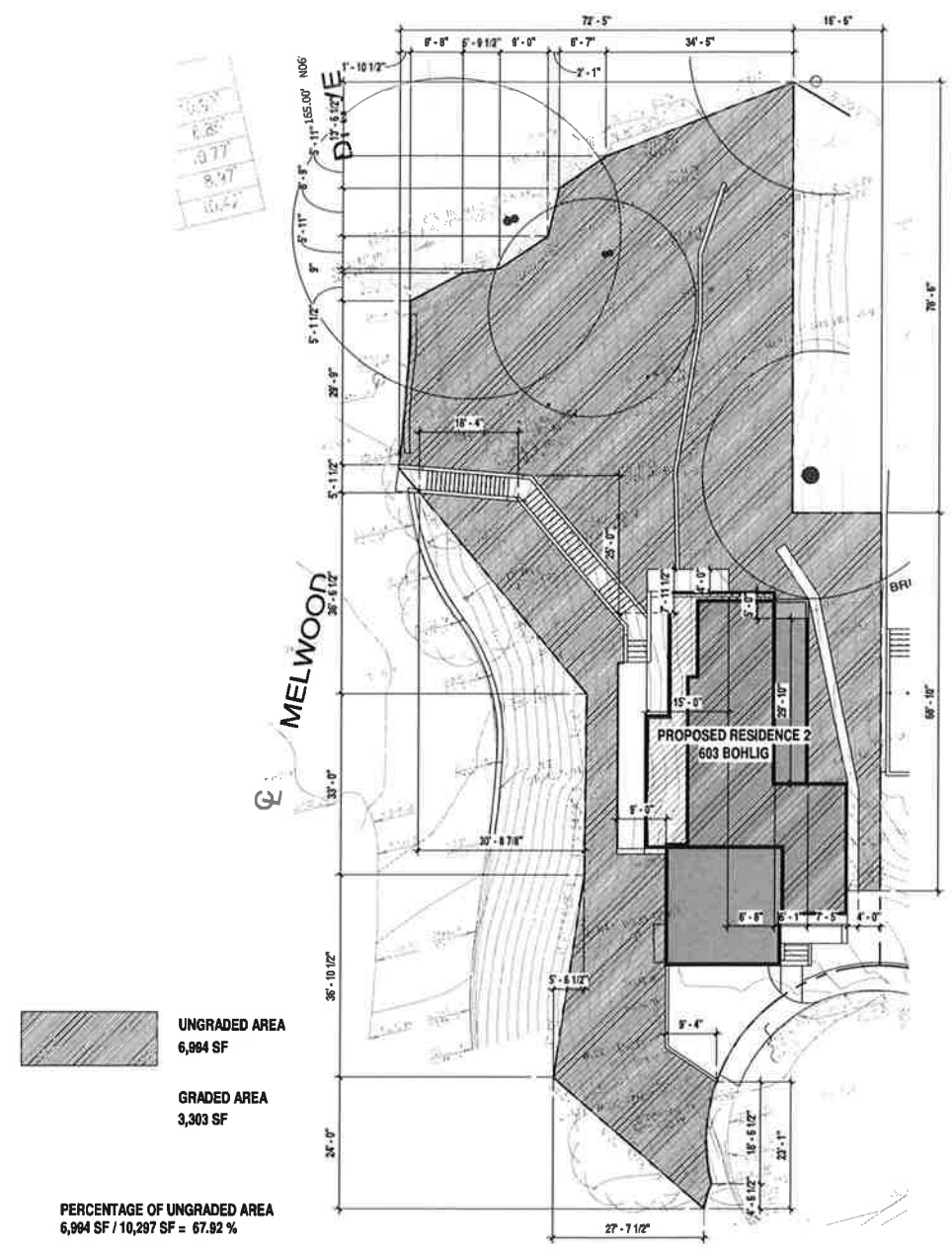
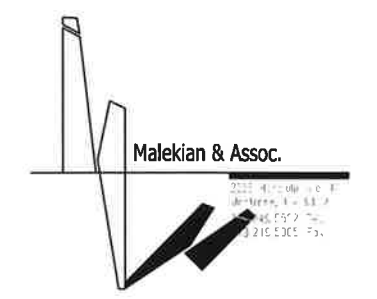
136'-6" LOT WIDTH AS MEASURED FROM SETBACK LINE

1. COLORED PLOT PLAN
3/32" = 1'-0"

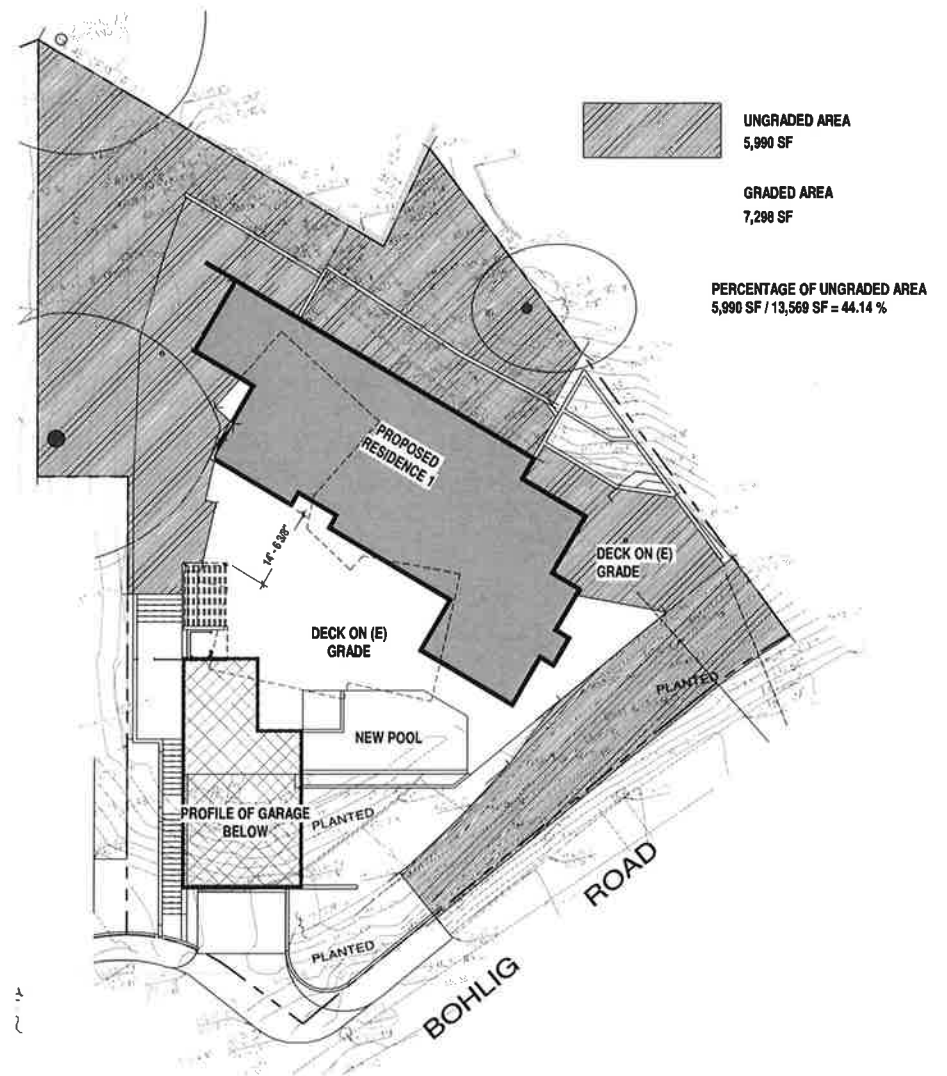
- BUILDING
- HARDSCAPE
- LANDSCAPE



NORTH



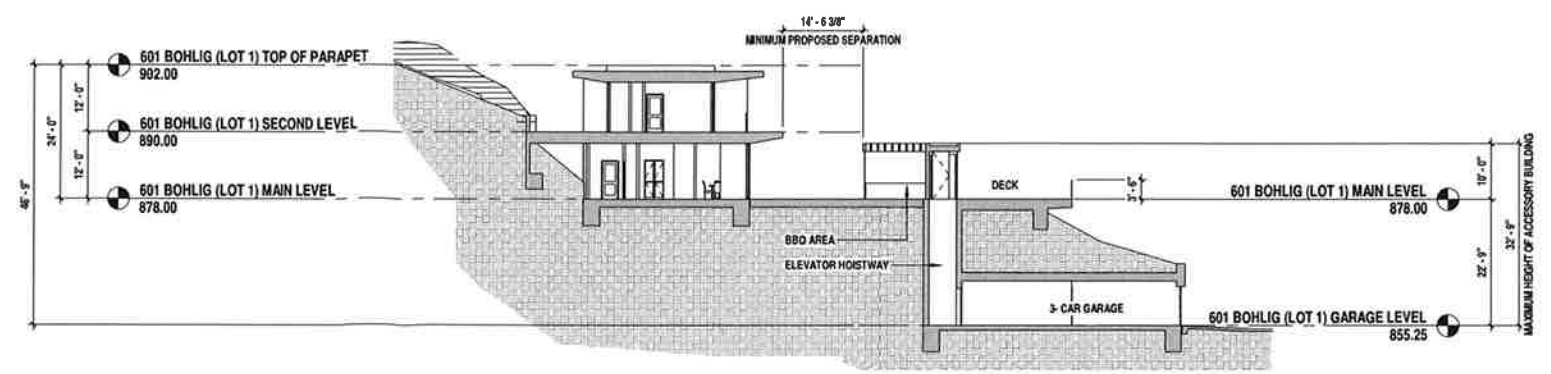
2 GRADING DIAGRAM 603 BOHLIG (LOT 2)
1/16" = 1'-0"



1 GRADING DIAGRAM 601 BOHLIG (LOT 1)
1/16" = 1'-0"



6 STORY SECTION DIAGRAM C 603 BOHLIG (LOT 2)
1/16" = 1'-0"



3 STORY SECTION DIAGRAM 601 BOHLIG (LOT 1)
1/16" = 1'-0"

Bohlig Properties
601, 603 BOHLIG
GLENDALE, CA

GRADING DIAGRAMS



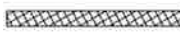

PROPOSED GRADING AND RETAINING WALLS WITH EXISTING RETAINING WALLS TO REMAIN

LINE DATA		
L1	N 75° 33' 34" E	10.92'
L2	N 83° 18' 03" W	6.85'
L3	N 70° 06' 27" E	10.77'
L4	N 23° 36' 27" E	8.97'
L5	N 68° 43' 57" E	10.42'





CONSTRUCTION NOTES

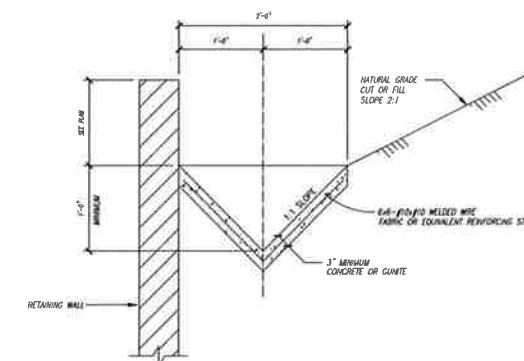
- ①—CONSTRUCT RETAINING WALL PER SPPWC STD. PLAN NO. 618-3, TYPE A.
- ②—CONSTRUCT 24-INCH WIDE CONCRETE SWALE PER DETAIL HEREIN OR AS SHOWN ON PLAN.
- ③—CONSTRUCT 2-FT HIGH BLOCK SLOUGH WALL PER SPPWC STD. PLAN NO. 622-4.
- ④—INSTALL 12" X 12" GRATE INLET.
- ⑤—INSTALL 6-INCH PVC SCHEDULE 40.
- ⑥—INSTALL PIPE ANCHORS AND BACKFILL STABILIZERS PER SPPWC STD. PLAN NO. 221-2.
- ⑦—INSTALL 4-INCH PERFORATED SUBDRAIN PIPE PER SOILS REPORT.

LOT 1 LEGEND

-  1st Floor Deck (FF=878')
-  New Retaining Wall
-  New Structural Retaining Wall (See Structural Plans)
-  Existing Retaining Wall to Remain

LOT 2 LEGEND

-  Lower Deck (FF=846')
-  New Retaining Wall
-  New Structural Retaining Wall (See Structural Plans)
-  Existing Retaining Wall to Remain

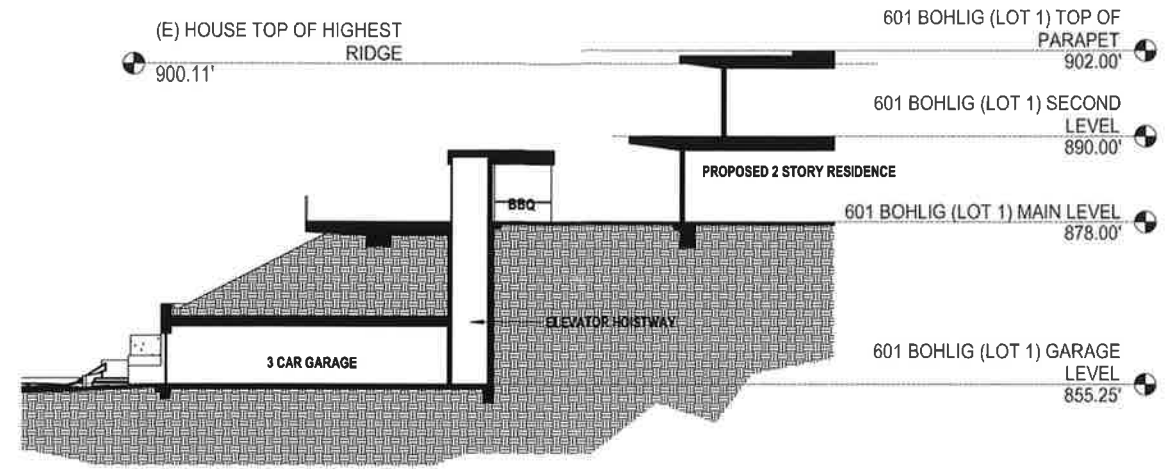


CONCRETE V-DITCH
NOT TO SCALE

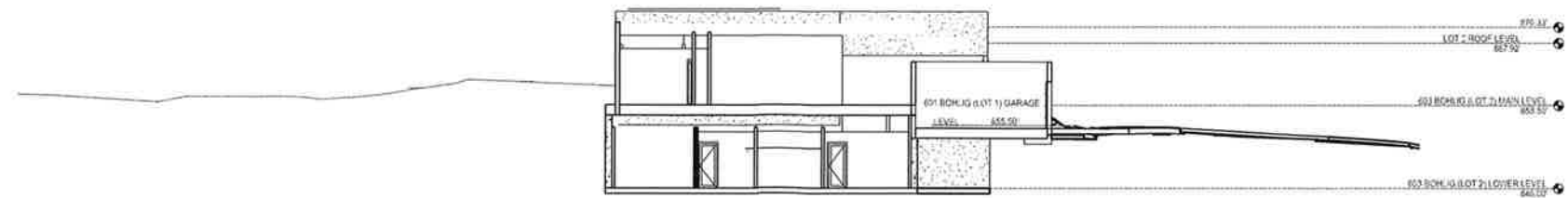


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2				CREATED BY:	
3				DATE:	

SHEET NO.
C-2.0



SECTION "A-A"
NOT TO SCALE



SECTION "B-B"
NOT TO SCALE

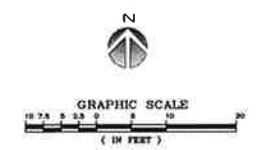
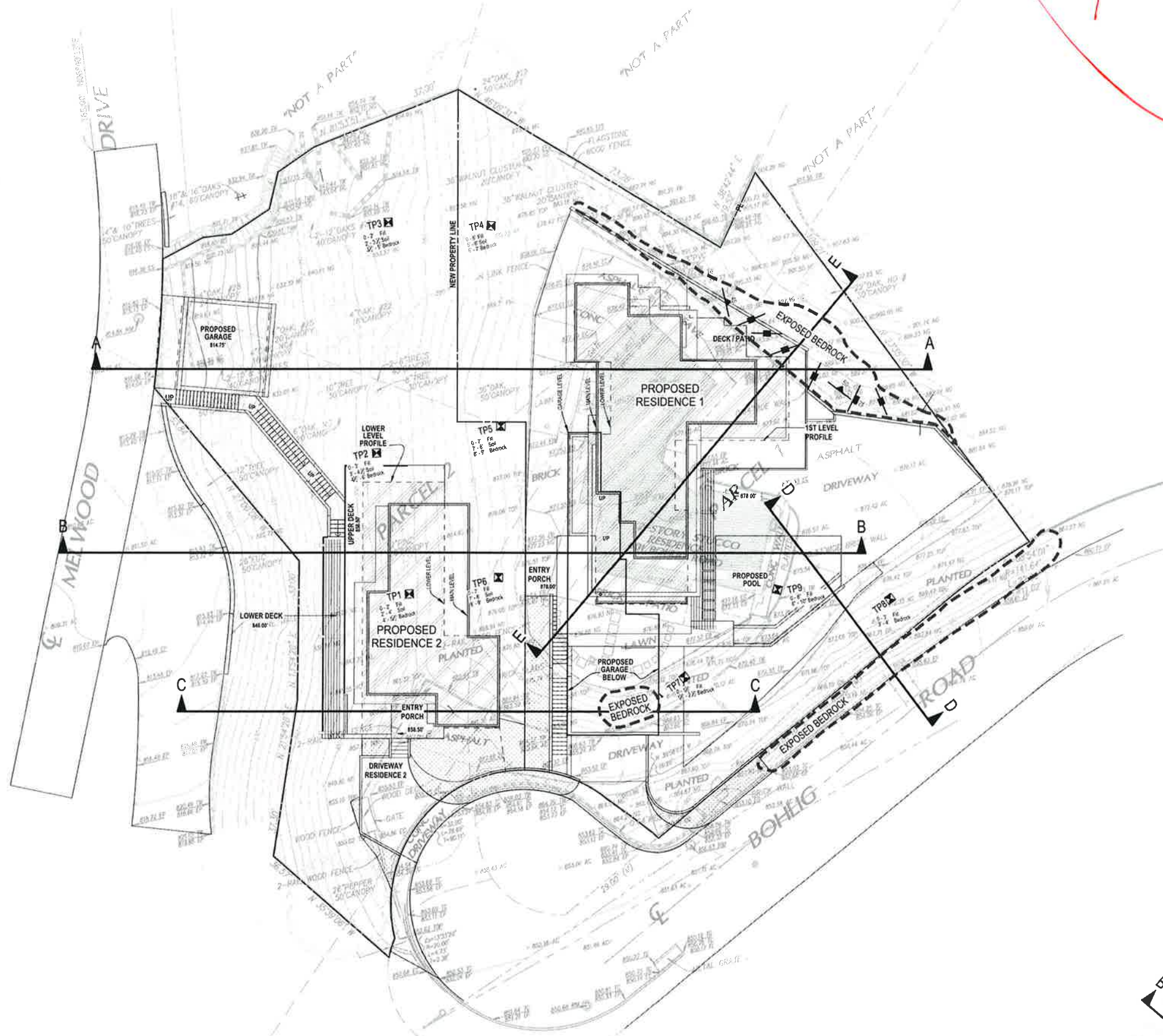


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2							
3							

CROSS-SECTIONS

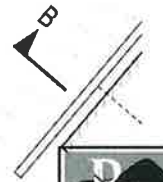
SHEET NO.
C-3.0

601
Bohlig



LEGEND

TP9	LOCATION AND NUMBER OF HAND-DUG TEST PIT
0 to 7' FB	DEPTH OF FILL (FEET)
7 to 8' SoF	DEPTH OF SOIL (FEET)
8 to 9' Bedrock	DEPTH TO BEDROCK (FEET)
	STRIKE AND DIP OF FOLIATION
	STRIKE AND DIP OF JOINT
	STRIKE OF VERTICAL JOINT
	GEOLOGIC CONTACT
	LINE OF CROSS SECTION

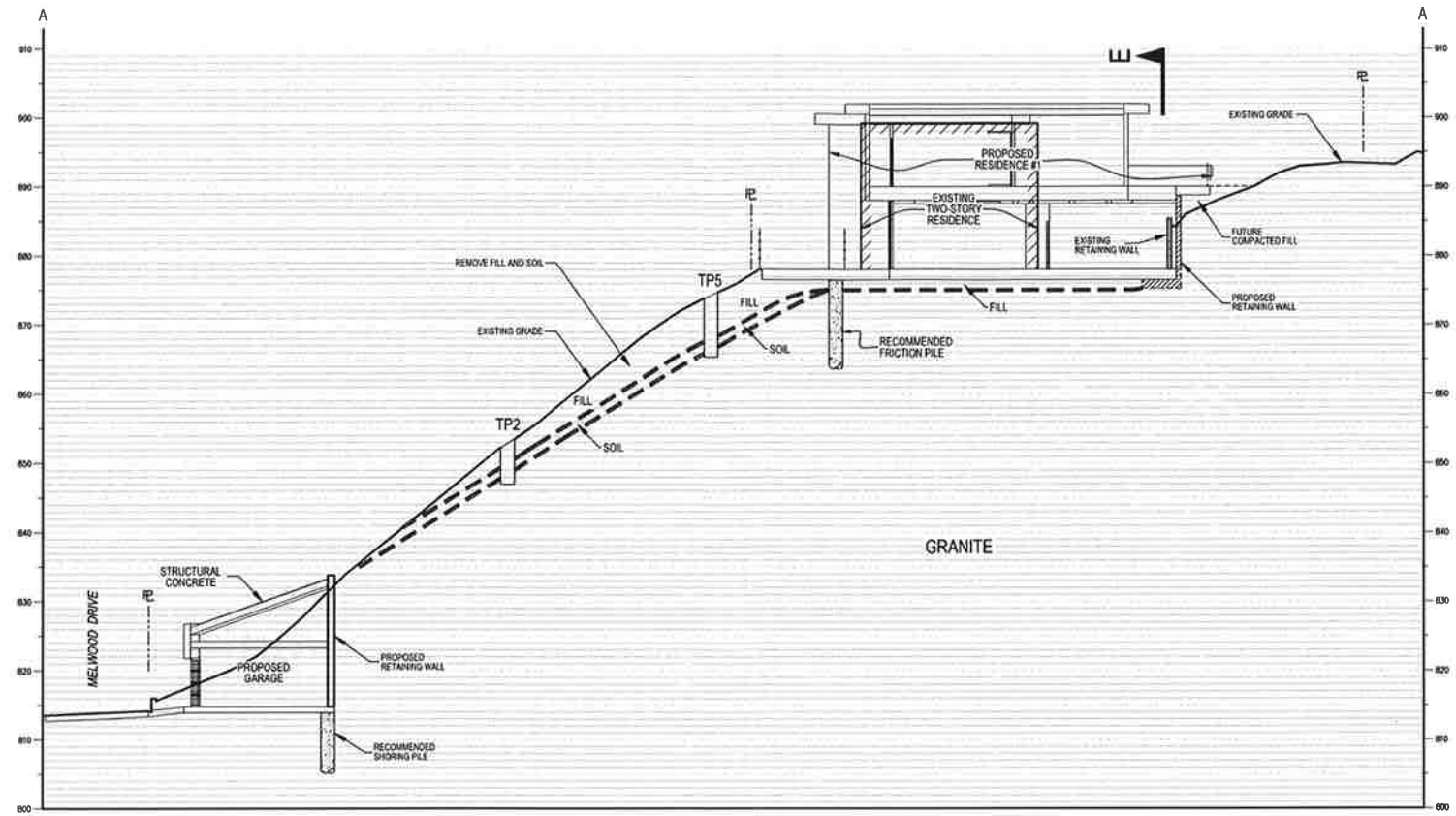


BYTR GEOTECHNICAL INC.
 1001 CHESAPEAKE BLVD. SUITE 200
 JENSENVILLE, ARKANSAS
 72078-1111

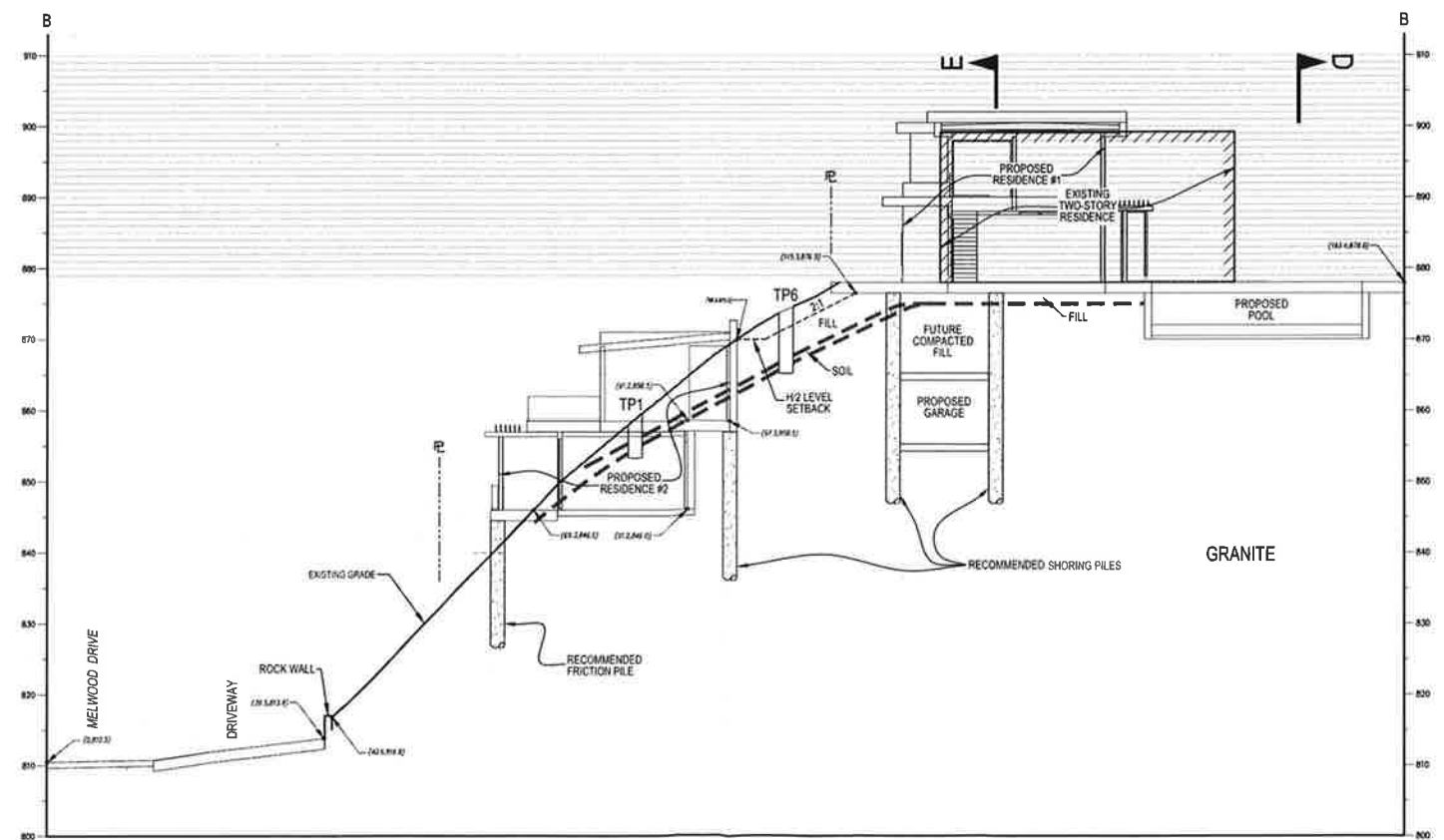
GEOLOGIC MAP	
NO. 22747	NEAGU
CONSULTANT: GCMP	SCALE: 1" = 10'
DRAWN BY: JTB	

REVISION: (SPACING THE UNDER DASH WHICH IS USED TO BE BY DRS. E. REID & ASSOCIATES, INC. AND PROVIDED BY PLAN DEPARTMENT, KANSAS GEOLOGICAL SURVEY, MANHATTAN, KANSAS)

DECEMBER 08, 2017



SECTION A - A

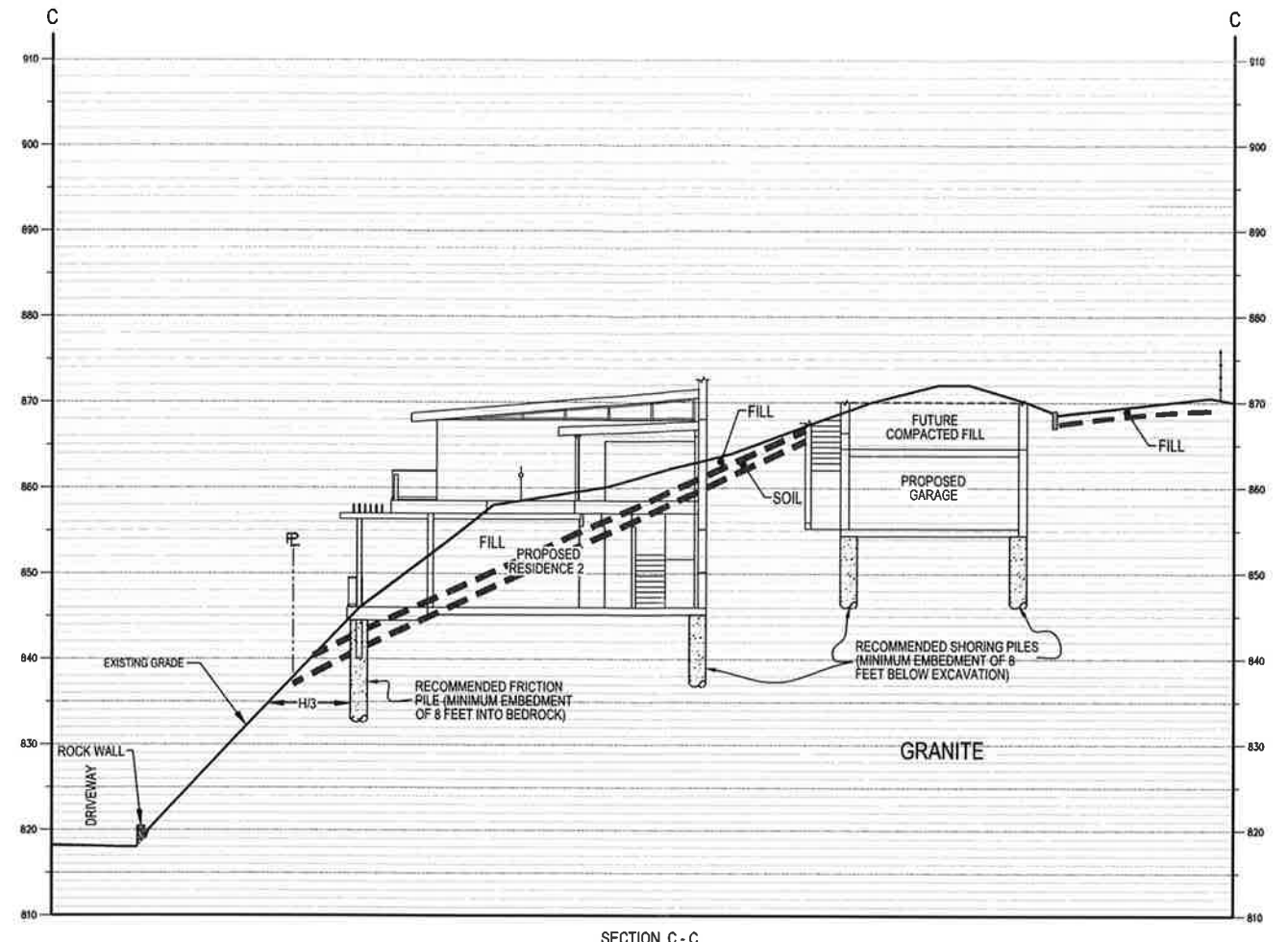


SECTION B - B

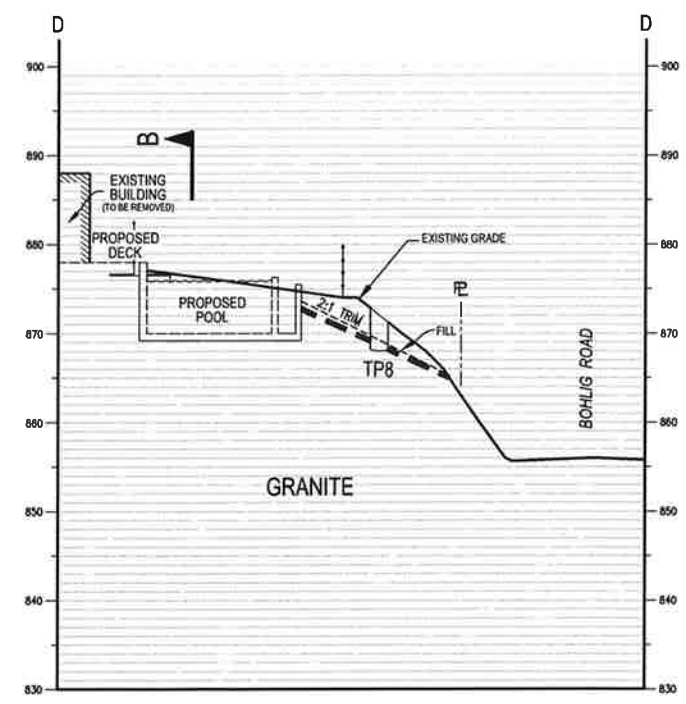


BYER GEOTECHNICAL INC.		SECTIONS A & B	
10111 CHRYSLER BLVD. SUITE 200 DALLAS, TEXAS 75243-1011 214.343.1111 WWW.BYER-GEOTECH.COM		NO. 22747 NEGU	DATE: 12/08/17
CONTRACT NO. G-30	SCALE: 1" = 10'	DRAWN BY: JTB	

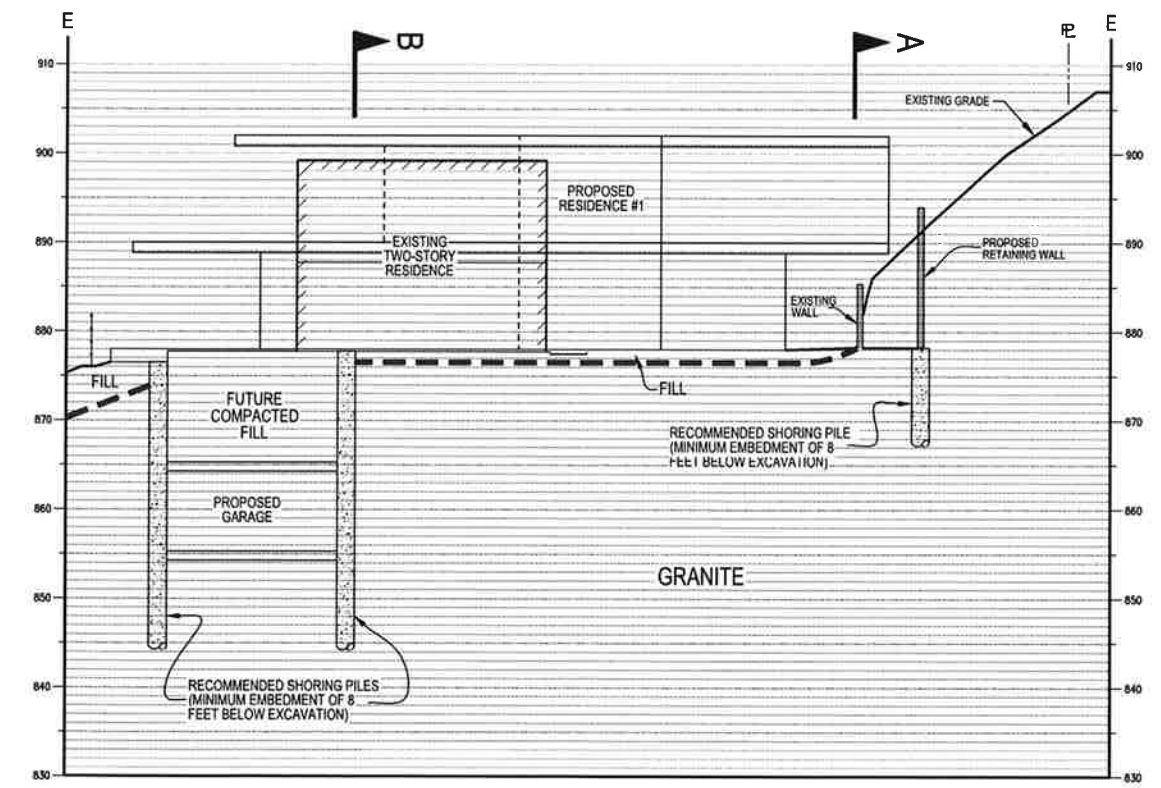
DECEMBER 08, 2017



SECTION C - C



SECTION D - D



SECTION E - E

NOVEMBER 08, 2017

BYER GEOTECHNICAL INC.
 1664 L. CHILVA CHASE DR., SUITE 200
 CALEDONIA, MI 49315
 815.499.9259 FAX 815.493.3747

SECTIONS C, D & E	
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