



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

August 19, 2021

Mahsa Taj
11040 Santa Monica BLVD., # 326
Los Angeles, CA 90025

**RE: DENSITY BONUS & INCLUSIONARY HOUSING PLAN
CASE NO. PDBP 2102978
526, 528, AND 532 HAZEL STREET**

Dear Applicant:

The Director of Community Development will render a final decision on or after **August 30, 2021** for the following project:

Project proposal: Application for a Density Bonus and Inclusionary Housing Plan to construct a new 3-story, 17-unit, 23,134 square-foot residential building, featuring two affordable units restricted to very-low income households with a one-level subterranean parking garage including 38 parking spaces. The existing three one-story residential dwellings and two detached garages on the project's site (three adjoining lots) are proposed to be demolished. The project site is located at 526, 528, and 532 Hazel Street, in the R-2250 (Medium Density Residential) Zone and described as Lot 21 of Tract No. 4593 (APN: 5627-014-009 and 5627-014-010) and Portion of Lot 22 of Tract No. 4593 (APN: 5627-014-011), in the City of Glendale, County of Los Angeles.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

ENVIRONMENTAL DETERMINATION The project is exempt from further CEQA review under a Class 32 "In-fill Development Project" exemption pursuant to State CEQA Guidelines Section 15332, because after review and consideration of all required technical reports and/or studies, staff determined the project meets all the conditions for an infill development project, as follows:

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and

- regulations;
- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban areas;
 - c) The project site has no value as a habitat for endangered, rare or threatened species;
 - d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
 - e) The site can be adequately served by all required utilities and public services.

DENSITY BONUS REQUEST

The applicant is seeking approval of a Density Bonus and Inclusionary Housing Plan with a request for a density bonus, as well as two concessions, pursuant to California Government Code Sections 65915, *et seq.* ("Density Bonus Law"), that allows developers that seek and agree to provide at least 15 percent of the units in a housing development to very-low income households, a mandatory 50 percent density bonus, as well as three concessions. The Density Bonus and Inclusionary Housing Plan meets the requirements of the Density Bonus Law and Glendale Municipal Code (GMC) Section 30.36.050 because the project is providing 15 percent of the total base density units of the housing development as affordable units, which will be restricted to very-low income households, as defined in Section 50105 of the Health and Safety Code.

The project involves the demolition of three one-story single-family dwellings and two detached garages on three lots with frontage on Hazel Street. The proposed building is a three-story, 17-unit Density Bonus rental housing project with two affordable units being reserved for very-low income households. The project site is located in the R-2250 (Medium Density Residential) zone. In accordance with GMC 30.12.020, the maximum density allowed on a lot where the width is greater than 90 feet is one dwelling unit for every 1,800 square-feet of lot area. The subject property is 20,328 square feet in size, with a lot width of 120 feet. By right, the maximum density allowed on this lot is 11.29 units, which is rounded up to 12 units in accordance with Density Bonus Law. In this case and in accordance with Density Bonus Law, the applicant is requesting a 35 percent density bonus (17 units), less than the maximum density bonus of 50 percent allowed under current Density Bonus Law (which would entitle the applicant to build a total of 18 units). The 35 percent density bonus will allow the applicant to build a total of 17 units (35% of 12 base density units equals 4.2 which is rounded up to 5 under Density Bonus Law; 12 base density units plus 5 bonus units, for a total of 17 units). The applicant will be required to restrict two of the rental units for very-low income households (15 percent of the base density of 12 equals 1.8, which is required to be rounded up to 2 under Density Bonus Law). With a 15 percent affordability level, the applicant is entitled to three (3) concessions; however, two

concessions (increase in floor area and increase in lot coverage) are requested pursuant to the Density Bonus Law and GMC Chapter 30.36.

In accordance with GMC 30.36.090 the project qualifies for reduced parking inclusive of guest and handicapped spaces, and tandem parking. The project is providing a total of 38 parking spaces within a one-level subterranean parking garage, in compliance with the parking concession standards. The unit mix includes three two-bedroom units and 14 three-bedroom units.

The Developer will be required to enter into a Density Bonus Housing Agreement (“DB Agreement”) in which the Developer will covenant that at least 15 percent of the 12 base density units (two units) will be restricted to rental to very-low income households. The DB Agreement with the City will be a recorded restriction on the property on which the affordable units and density bonus are constructed. In addition, the DB Agreement will run with the land and bind all future owner and successors in interest for a period of 55 years.

Additionally, as regulated by GMC Chapter 30.35, the project is subject to the Inclusionary Zoning Ordinance (the “IZO”), which requires a housing development (a rental development project of eight or more dwelling units proposed to be constructed in the City) to provide 15 percent of the units as affordable to low-income households. The IZO would require the project to provide two affordable units to low-income households (15 percent of 12 base density units (1.8 rounded up to 2)). In accordance with GMC 30.35.060, developers of housing development projects may choose to pay a fee, or a combination of payment of a fee and the provision of units, in-lieu of providing all inclusionary units on site. In this instance, the project meets the IZO requirement because the developer will be providing two affordable units to very-low income households and meets the IZO requirements.

The applicant is seeking approval of two concessions pursuant to Government Code § 65915, *et seq.* and GMC Chapter 30.36 (Density Bonus Incentives) to provide two (2) very low income rental units. The two requested concessions are as follows:

1. Floor Area Ratio (FAR): In accordance with GMC Section 30.11.020 Table 30.11 B, the applicant is requesting to exceed the maximum allowable FAR of 0.85 (17,278 square feet). As proposed, the project features an FAR of 1.13 (23,134 square feet), exceeding the maximum allowable FAR by 0.28.
2. Lot Coverage: In accordance with GMC Section 30.11.020 Table 30.11 B, the applicant is requesting to exceed the maximum allowable lot coverage of 50 percent (10,164 square feet). As proposed, the project features a lot coverage of 67.5 percent (13,721 square feet), exceeding the maximum allowable lot coverage by 17.5 percent.

In addition to these concessions, the project qualifies for the mandatory parking concession in accordance with GMC 30.36.090 and California Government Code Section 65915(p), which provides that upon the request of an owner/applicant, the City must allow the following vehicular parking ratios, inclusive of handicapped and guest parking, of a development providing at least fifteen (15) percent of the base unit count to very-low income households:

- One (1) on-site parking space per unit for zero to one-bedroom units.
- One and one-half (1.5) on-site parking spaces per unit for two- to three-bedroom units.
- On-site parking for a housing development may be provided through tandem parking ("Parking Concession").

The unit mix includes three two-bedroom units and 14 three-bedroom units. Based on the number of units and bedrooms provided, the Parking Concession requires the project to provide a minimum of 26 parking spaces for the proposed residential development. The project is providing a total of 38 parking spaces within a one-level subterranean parking garage including three guest parking spaces and one handicap accessible parking space with a total of seventeen parking spaces being tandem parking spaces.

CONCESSIONS/INCENTIVES FINDINGS

- 1. The concessions (incentives) must be granted *unless* the Director finds, based on substantial evidence, that the concessions do not result in identifiable and actual cost reductions to provide for affordable housing costs or to provide affordable rents.**

The Density Bonus Housing Plan meets the requirements of Government Code Section 65915 because at least 15% of the total units of the housing development are for very low income households, as defined in Section 50105 of the Health and Safety Code. The project is located in the R-2250 (Medium Density Residential) zone that permits a maximum density of one dwelling unit for each 1,800 square-feet of lot area for sites with a lot width of 90 feet or greater. A total of 12 units are permitted by right on the subject site of 20,328 square feet (0.47 acre). By providing the 15 percent very-low affordable units, the project applicant is allowed a maximum 50% density bonus in addition to the code-allowed 12 units (maximum 18 units, or six additional units). The project applicant, however, is only requesting a 35% density bonus, allowing a total of 17 units. Under this proposal, two (2) of the total 17 units will be affordable to very-low income households as provided in the Density Bonus Housing Plan, which was reviewed and found acceptable by the Community Development Department, Housing Division. The Density Bonus Housing Plan meets the requirements of GMC Section 30.36.050. This project will include a Density Bonus Housing Agreement subject to approval by the Housing Authority and the City Attorney, which provides for long-term affordability.

The applicant is seeking approval of two concessions pursuant to Government Code Section 65915 and GMC 30.36 (Density Bonus Incentives) to allow an increase in floor area ratio to 1.13 (23,134 square-feet) where a maximum floor area ratio of 0.85 (17,278 square-feet) is permitted and an increase in lot coverage to 67.5 percent (13,721 square feet) where a maximum 50 percent (10,164 square feet) is allowed.

This denial finding cannot be made, as there is no evidence that the concessions will not result in actual cost reductions to provide for affordable rents. To the contrary, there is substantial evidence that the concessions *will* result in identifiable and actual cost reductions to provide affordable rents. The requested concessions are required to allow for the additional density requested and a greater number of units to be constructed on the same amount of area. The concessions, together, will reduce costs to the applicant for providing affordable units by creating construction efficiencies and inherent reductions in costs by allowing the construction of a greater number of units. The additional units will result in actual and identifiable cost reductions because the additional units will take advantage of construction efficiencies when being built, and will generate rental income to offset the cost of providing the units at an affordable rent.

- 2. The concessions (incentives) must be granted *unless* the Director finds, based on substantial evidence, that they will have a “specific adverse impact upon public health and safety,” as defined in paragraph (2) of subdivision (d) of California Government Code Section 65589.5, or the physical environment or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the housing development unaffordable to low-income and moderate-income households. Specific, adverse impact is defined as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.” (Government Code section 65589.5(d)(2).) Inconsistency with the zoning ordinance or the land use designation in the General Plan shall not constitute a specific, adverse impact upon public health or safety.**

The applicant is seeking approval of two concessions pursuant to Government Code Section 65915 and GMC Chapter 30.36 (Density Bonus Incentives) in exchange of providing two affordable units for very-low income households. This denial finding cannot be made, as there is no evidence that the concessions will have any adverse impacts. No specific adverse impact upon public health or safety or on the physical environment or on any real property that is listed in the California Register of Historical Resources would occur by granting the requested concessions for increased FAR and lot coverage. The existing three single-family residences and two detached garages on the site which are proposed to be

demolished, are not historically or culturally significant. Therefore, demolition of the existing buildings on these three lots would not be considered a significant impact. Moreover, the proposed project is exempt from further CEQA review based on the fact that it meets the requirements to qualify for a Class 32 "In-fill Development Project" and thus, does not exceed thresholds for noise, traffic, air quality and water and will not result in significant cumulative impacts.

The project complies with all other Zoning Code development standards in the R-2250 Zone, including setbacks, common outdoor space, additional open space, landscaping, and overall height and stories, etc. The requested concessions to exceed the floor area and lot coverage do not include waivers of any Building and Safety, Fire Department, Engineering or other requirements pertaining to health or safety. Furthermore, the provided setbacks are in compliance with the zoning code in order to provide light, air, and ventilation for surrounding buildings, which consist of single-family and multi-family residential buildings.

Furthermore, the concessions allow for additional buildable area on the site, which will then accommodate additional dwelling units. The additional density resulting from the concessions will, in fact, promote the City's health and safety in that there will be greater housing opportunities for low income family households. Moreover, the project will advance the goals and policies of the General Plan, Housing Element (2014-2021), including, but not limited to, Chapter 2, (2.1.6) Goal 1 ("A City with a Wide Range of Housing Types to Meet the Needs of Current and Future Residents), Chapter 2, (2.1.9) Goal 4 ("A City with Housing Services that Address Groups with Special Housing Needs) and Policies 4.1 and 4.2 ("Encourage both the private and public sectors to produce or assist in the production of housing for special needs groups such as: the handicapped, the elderly, large families, single parent households, and formerly homeless.") and ("Promote the development of extremely low, very low, low and moderate income housing by allowing developers density bonuses or other financial incentives for providing units for low and moderate income residents. The unit mix and location of affordable housing units in density bonus projects must be approved by the City and included in an affordable housing agreement.").

3. The concessions (incentives) must be granted *unless* the Director finds, based on substantial evidence, that the concessions will be contrary to state or federal law.

The requested concessions will not be contrary to state or federal law and do not require any other discretionary entitlement other than Design Review Board Review and Approval. The project is designed to comply with Building and Safety codes and

the proposed 17-unit affordable housing residential project is consistent with the General Plan. The project meets the goals and policies in the Housing Element to provide affordable housing. There is no evidence of state or federal laws being violated.

In addition to the two requested concessions, the applicant is requesting to use the parking concessions under in accordance with GMC 30.36.090. The project qualifies for reduced parking inclusive of guest and handicapped spaces, and tandem parking and provides a total of 38 parking spaces within a one-level subterranean parking garage.

DRAFT CONDITIONS

APPROVAL of this Density Bonus Housing Plan shall be subject to the following conditions:

1. That the development shall be in substantial accord with the plans submitted with the application except for any modifications as may be required to meet specific Code standards or other conditions stipulated herein as approved by the Director of Community Development.
2. That all necessary permits shall be obtained from the Permit Services Center and all construction shall be in compliance with the Glendale Building Code and all other applicable regulations.
3. That the premises be maintained in a clean and orderly condition, free of weeds, trash, and graffiti.
4. That any expansion or modification of the structure or use shall require a new Density Bonus application. The phrase "modification of the structure or use" includes, but is not limited to, proposing a different percentage of the units as affordable or altering the affordability of the units (i.e., proposing the affordable units be restricted to low or moderate income households when the approval is originally for very-low income households). Expansion shall constitute adding of new floor area, reduction of parking and open spaces, or any physical changes as determined by the Director of Community Development.
5. That the applicant shall work with the Community Development Department and the City Attorney's Office to make any permissible or required additions, deletions and/or amendments to the Density Bonus Housing Plan and to execute and record a Density Bonus Housing Agreement pursuant to GMC Section 30.36.140, to the satisfaction of the Director of Community Development or his designee and subject to approval as to form and content by the City Attorney. Such Density Bonus Housing Agreement shall restrict the rentals of the required

percentage of dwelling units in the housing development to persons or families of very-low income households, as specifically identified in this approval. The applicant shall be required to execute and record such Density Bonus Housing Agreement prior to issuance of any and all required building permits.

6. That all affordable units shall be reasonably dispersed throughout the project site (e.g., throughout the different floors) and shall be comparable with the other dwelling units in the project in terms of appearance, finished quality and materials. Subject to requested changes necessary to comply with health and safety standards approved by the Director of Community Development or his designee, the unit type, size and location of the affordable units shall be to the satisfaction of the City's Housing Division.
7. That the affordability term shall not start until the date of recordation of the Housing Notice of Completion. The applicant shall notify the Housing Division at least six months prior to the anticipated date of the Certificate of Occupancy so that affordable units may be marketed in a timely manner.
8. That the premises shall be made available to any authorized City personnel (Fire, Police, Neighborhood Services, etc.) for inspection to ascertain that all conditions of approval of this Density Bonus application are complied with.
9. That approval of the Design Review Board shall be obtained prior to applying for or obtaining building permits.
10. That the developer shall comply with the City's Inclusionary Zoning Ordinance (IZO), as regulated by GMC Chapter 30.35.

For comments, you may contact the case planner, Aileen Babakhani, during normal business hours at **(818) 937-8331** or via e-mail at **ababakhani@glendaleca.gov**.

ATTACHMENTS:

1. Location Map
2. Photos
3. Plans
4. Density Bonus Housing Plan
5. Class 32 Infill Exemption (Findings)

Cc: City Attorney's Office (Yvette Neukian)
Community Development – Housing Division (Peter Zovak/Mike Fortney)

City of Glendale Zoning/Location Map



- ROS -- Residential Open Space
- R1R -- Restricted Residential
- R1 -- Low Density Residential
- R3050 -- Moderate Density Residential
- R2250 -- Medium Density Residential
- R1650 -- Medium High Density Residential
- R1250 -- High Density Residential
- C1 -- Neighborhood Commercial
- C2 -- Community Commercial
- C3 -- Commercial Service
- CH -- Commercial Hillside
- CA -- Commercial Auto
- CR -- Commercial Retail
- CPD -- Commercial Planned Development
- MS -- Medical Services
- CE -- Commercial Equestrian
- SFMU -- Commercial/Residential Mixed Use
- IMU -- Industrial/Commercial Mixed Use
- IMU-R -- Industrial/Comml.-Residential Mixed Use
- IND -- Industrial
- T -- Transportation
- SR -- Special Recreation
- CEM -- Cemetery

FAR Districts (ROS, R1R and R1 only)	Height Districts (C2 and C3 only)
-I	-I
-II	-II
-III	-III
	-IV

Overlay Zones	
-H	Horse
-HD	Historic District
-P	Parking
-PRD	Planned Residential Development
-PPD	Precise Plan of Design
-PS	Parking Structure

526, 528, 532 Hazel St., Glendale, CA 91201
 APN: 5627014009 - 5627014010 - 5627014011

ATTACHMENT 2



526 North Side



526 South Side



526 East Side



526 West Side



526 Garage View



528 North Side



528 South Side



528 East Side



528 West Side



528 Garage View

532 Hazet St.



ATTACHMENT 3

PROJECT:
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

OWNER:
HAZEL COLE, INVESTMENTS, LLC
5170 SEPULVEDA BLVD. SUITE 240,
SHERMAN OAKS, CA 91403

ARCHITECTURAL DESIGNER:
BAHRAM RAEEN
(310) 826-2646
11040 SANTA MONICA BLVD., SUITE 326,
LOS ANGELES, CA 90025



PROJECT SUMMARY

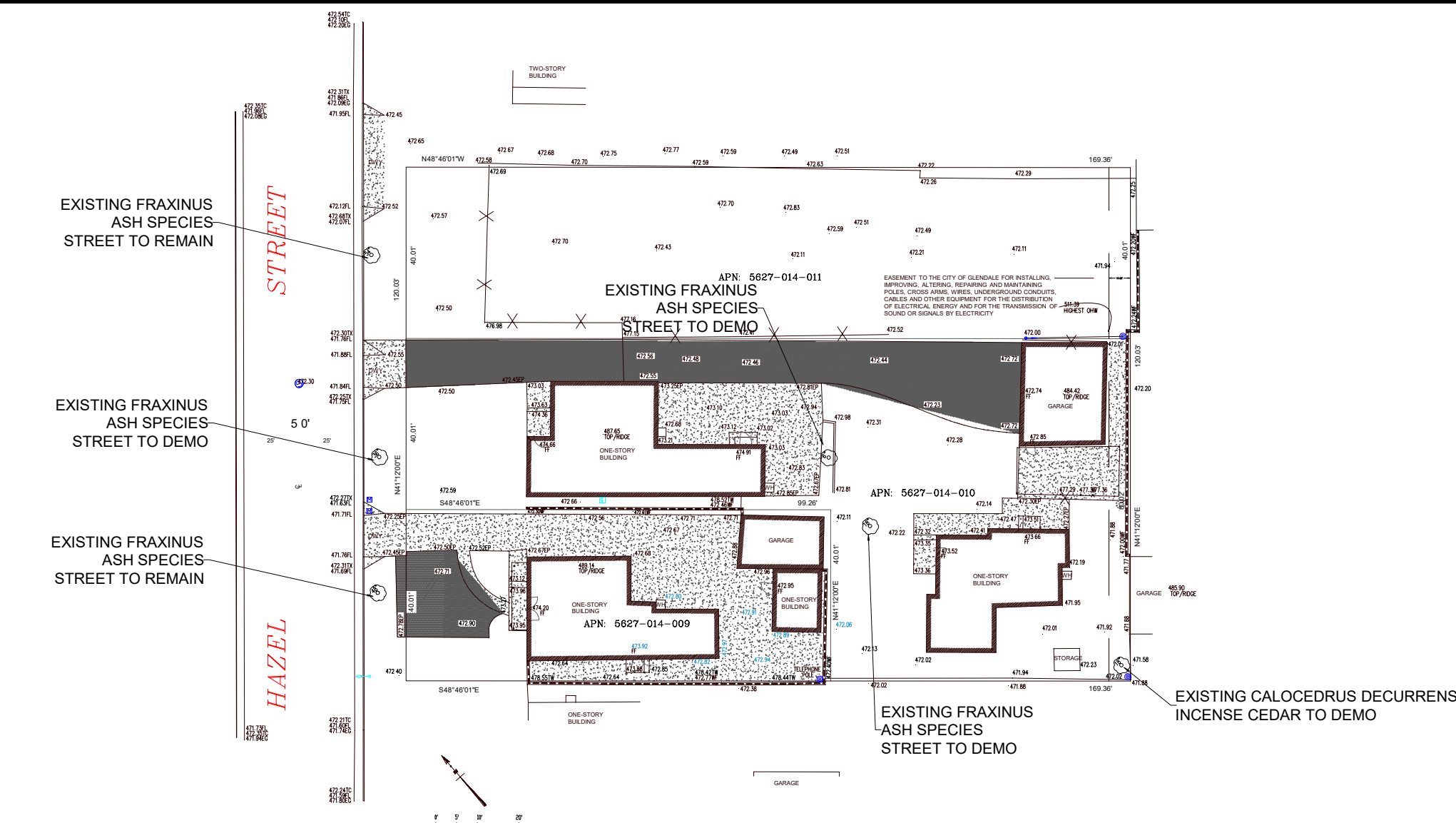
BASE DENSITY:	20.328
LOT AREA	1,800
MINIMUM AREA PER DWELLING UNIT	11.29
UNITS ALLOWED BY RIGHT (20,328 / 1,800)	12 UNITS
BASE DENSITY	12 UNITS
AMOUNT OF DENSITY BONUS:	
20% PLUS 2.5% FOR EACH PERCENTAGE OF AFFORDABILITY OVER 5%	
MAXIMUM ALLOWABLE DENSITY BONUS	35%
DENSITY (12 x 35%)	4.2 UNITS
MAX DENSITY (12 BASE DENSITY + 5 DENSITY BONUS)	17 UNITS
HOUSING TYPE:	
VERY LOW INCOME MIN. 5%	
(MIN. 5% + 8% = 13%) 17 UNITS x 11% = 1.87 VLI UNITS	2 VLI UNITS
DENSITY BONUS REQUESTED (6 x 2.5% = 15% + 20% = 35%)	2
CONCESSIONS REQUESTED (MIN. 10% FOR VLI)	
FIRST FLOOR (LOT COVERAGE) 50% CONCESSION 1: BONUS 35% = 50% + 17% = 67.5%	13,721
67.5% / 100 = 0.675 (20,328' x 0.675 = 13,721')	
BUILD. AREA 85% CONCESSION 2: BONUS 35% = 85% + 29.75% = 114.75%	23,326
114.75% / 100 = 1.1475 (20,328' x 1.1475 = 23,326')	
FAR: (1ST FL. + 2ND FL. + 3RD FL.) / LOT AREA = 22,846 / 20,328 = 1.12 < 1.14	
ZONING	R-2250
TOTAL PROVIDED UNITS	
VLI UNITS (17 UNITS x 11% = 1.87) (UNITS NO.103 AND NO.205)	2
RESIDENTIAL UNIT MIX	
2-BR	3
3-BR	14
FLOOR AREA	
BASEMENT (ELE. 89' +TRASH 69' +RECYCLE 69' +ELEVATOR ROOM 61')	288
FIRST FLOOR	9,451
SECOND FLOOR	9,451
THIRD FLOOR	3,944
TOTAL	23,134
HEIGHT & STORIES	
MAX HEIGHT	36'
PROVIDED HEIGHT	36'
RESIDENTIAL PARKING	
REQUIRED INCLUDING HD AND GUEST NOT TO EXCEED 17 SPACES	
2-BR (3 x 2 SPACES) = 6	6
3-BR (14 x 2 SPACES) = 28	28
TOTAL REQUIRED PARKING	34
TOTAL REQUIRED GUEST PARKING (17 UNITS / 4 = 4)	4
MAX. TANDEM PARKING 50% REQUIRED PARKING (50% x 34)	17
RESIDENTIAL PARKING PROVIDED	
STANDARD	33
HANDICAP	1
GUEST STANDARD	3
GUEST H/C	1
TOTAL	38
TANDEM PARKING (MAX. 50% REQUIRED PARKING)	34
SETBACKS	
MIN. FRONT YARD SETBACK FIRST FL.	20'
AVG. FRONT YARD SETBACK FIRST FL.	23'
MIN. INTERIOR SETBACK FIRST FL.	5'
AVG. INTERIOR SETBACK FIRST FL.	8'
MIN. FRONT YARD SETBACK SECOND FL.	23'
AVG. FRONT YARD SETBACK SECOND FL.	26'
MIN. INTERIOR SETBACK SECOND FL.	8'
AVG. INTERIOR SETBACK SECOND FL.	11'
MIN. FRONT YARD SETBACK THIRD FL.	23'
AVG. FRONT YARD SETBACK THIRD FL.	28'
MIN. INTERIOR SETBACK THIRD FL.	11'
AVG. INTERIOR SETBACK THIRD FL.	14'

REQUIRED PRIVATE OPEN SPACE	17 UNITS x MIN. 40 SQFT (MIN. LENGTH OR WIDTH 4')	680
PROVIDED PRIVATE OPEN SPACE	FIRST FLOOR (2 x 55 SF) + (2 x 45 SF) + 78 SF + 70 SF + 44 SF	362
	SECOND FLOOR (2 x 55 SF) + (2 x 45 SF) + (2 x 46 SF) + 44 SF	382
	THIRD FLOOR (2 x 70 SF) + 61 SF	201
TOTAL PROVIDED PRIVATE OPEN SPACE		945
REQUIRED COMMON OPEN SPACE	17 UNITS x MIN. 200 SF	3,400
PROVIDED COMMON OPEN SPACE	650 SF + 1,265 SF + 1,290 SF + 1,230 SF + 1,354 SF = 5,789 SF	5,789
REQUIRED ADDITIONAL OPEN SPACE	90' WIDTH LOT NEEDS 900 SF. ADDITIONAL OPEN SPACE	
EACH ADDITIONAL FOOT OF LOT WIDTH, AN ADDITIONAL	20 SF WILL BE PROVIDED	
120' WIDTH - 90' = 30' x 20 SF = 600 SF		1,500
600 + 900 = 1500 SF		
PROVIDED ADDITIONAL OPEN SPACE		2,095
REQUIRED LANDSCAPE OPEN SPACE	MINIMUM 25% LOT AREA (25% x 20,328 = 5,082)	5,082
PROVIDED LANDSCAPED OPEN SPACE (SEE A-1.4)		6,220
OCCUPANCY:		
*R-2:	1ST FLOOR 9,451/200 = 48	
	SECOND FLOOR 9,451/200 = 48	
	THIRD FLOOR 3,944/200 = 20	
*S-2:	BASEMENT 17,234/200 = 87	
*A-2:	3RD FLOOR OS 5,139/15 = 343	

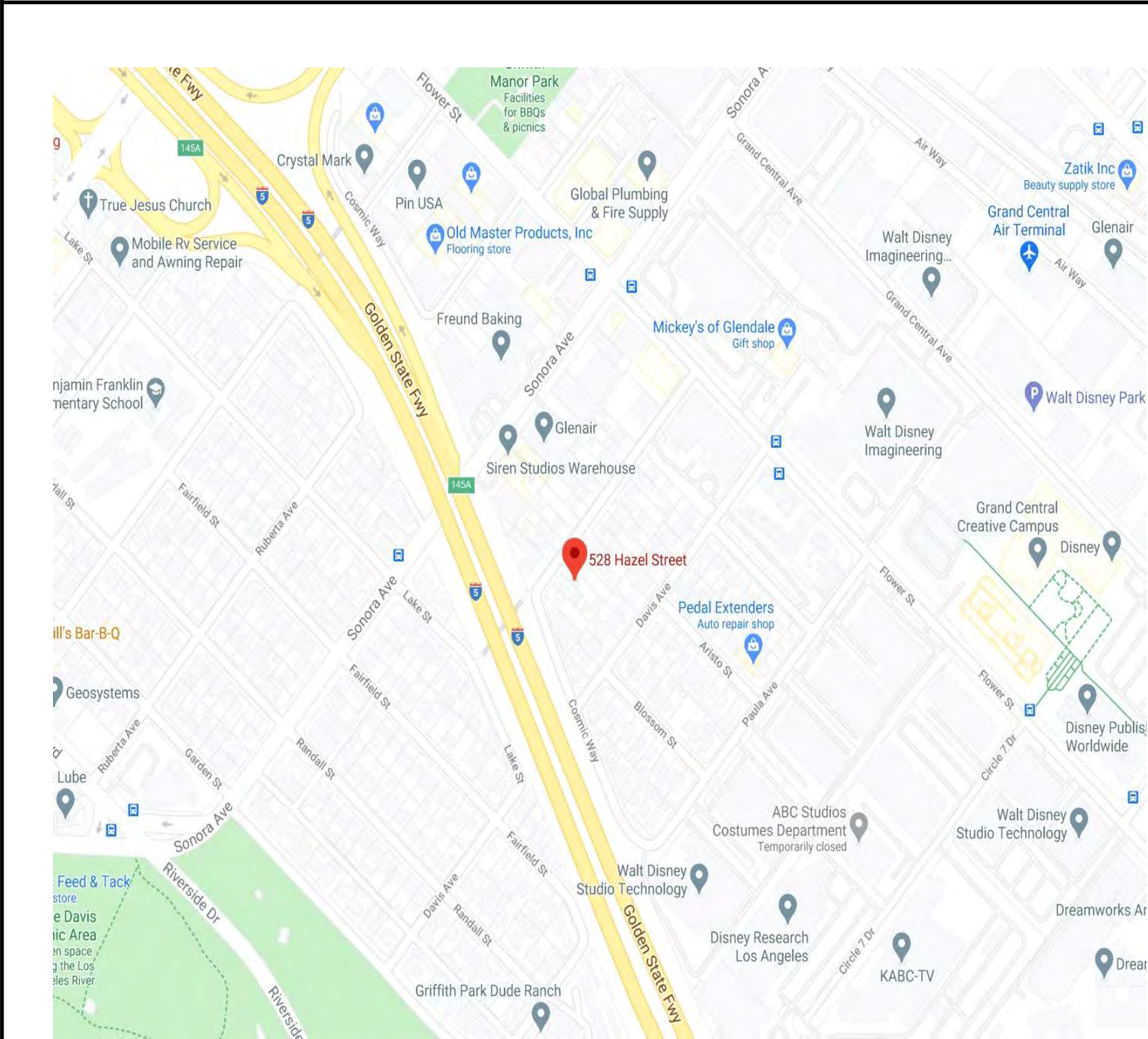
ARCHITECTURAL

NO.	SHEET TITLE	NO.	SHEET TITLE
T-1	COVERSHEET: INDEX OF DWG'S PROJECT SUMMARY LEGAL DESCRIPTION SURVEY PLAN		
A-1	SITE PLAN		
A-1.1	PLOT PLAN		
A-1.2	1ST FL. AVE. SETBACKS		
A-1.2.1	2ND FL. AVE. SETBACKS		
A-1.2.2	3RD FL. AVE. SETBACKS		
A-1.2.3	BASEMENT ST. FRONT SETBACK		
A-1.3	OPEN SPACE PLANS		
A-1.4	LANDSCAPE PLANS		
A-2	BASEMENT PARKING		
A-3	1ST FLOOR PLAN		
A-4	2ND FLOOR PLAN		
A-5	3RD FLOOR PLAN		
A-6	ROOF PLAN		
A-7	SOUTH&NORTH ELEVATIONS		
A-8	WEST&EAST ELEVATIONS		
A-9	SECTIONS		
A-10	SECTIONS		
A-11	DAW SCH.		
A-12	DETAILS		
A-12.1	DETAILS		
A-13	SITE VIEW		
A-14	BUILDINGS VIEW		

SURVEY



VICINITY MAP

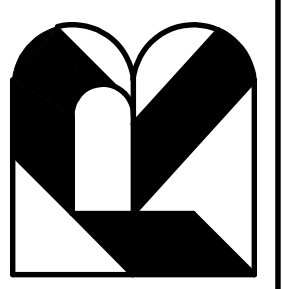


REVISIONS BY

BAHRAM RAEEN
CONSULTANT ENGINEER

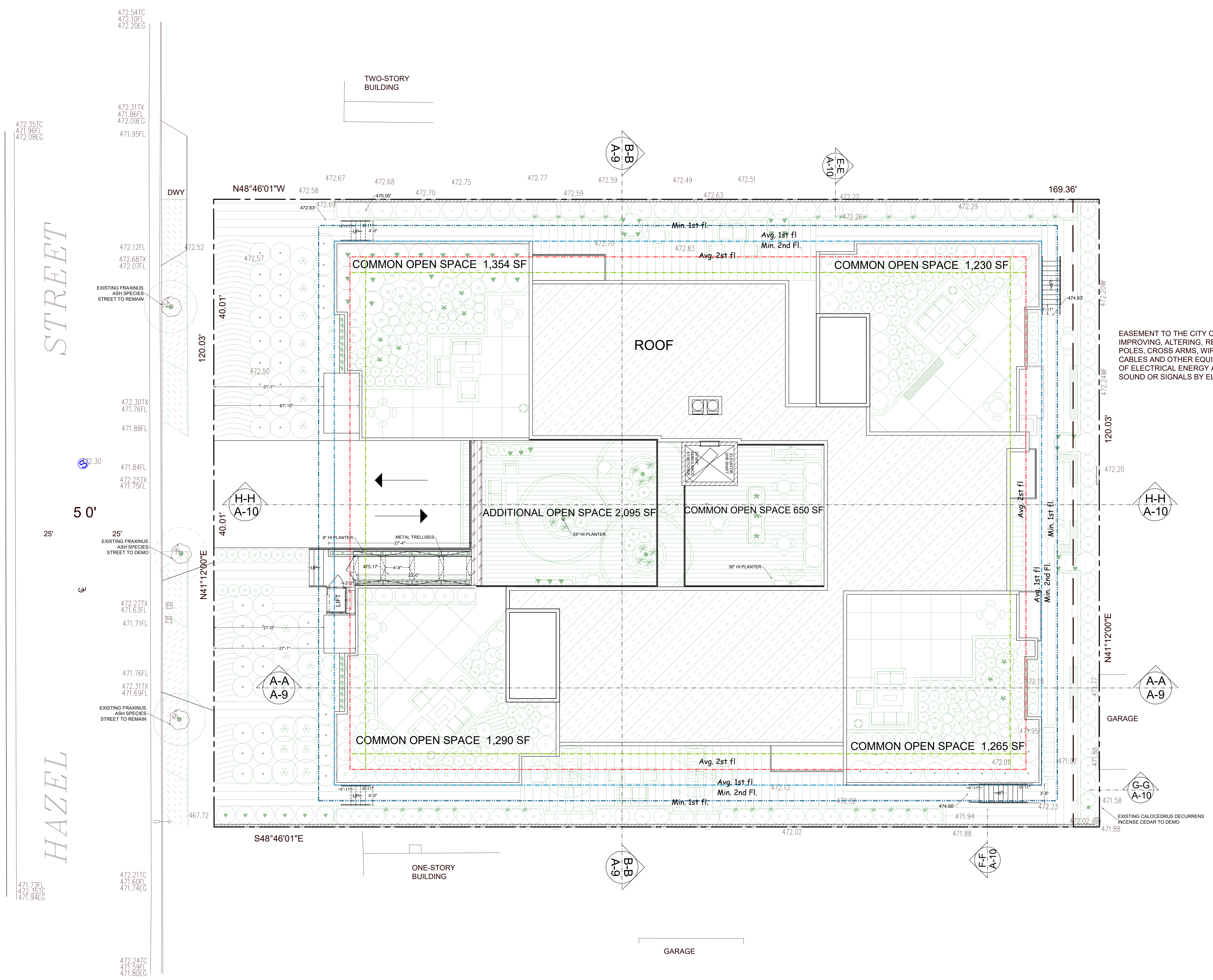
3280 S. MOTOR AVE., SUITE 226, W. LOS ANGELES, CA. 90034

TEL: (310) 826-2646
FAX: (310) 202-7444
email: brraeen@aol.com



17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date: _____
Scale: _____
Drawn: _____
Job: _____
Sheet: T-1
Of: _____



EASEMENT TO THE CITY OF GLENDALE FOR INSTALLING, IMPROVING, ALTERING, REPAIRING AND MAINTAINING POLES, CROSS ARMS, WIRES, UNDERGROUND CONDUITS, CABLES AND OTHER EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICAL ENERGY AND FOR THE TRANSMISSION OF SOUND OR SIGNALS BY ELECTRICITY

SITE PLAN

SCALE: 1/8"=1'-0"

REVISIONS	BY

BAHRAM RAHEN
CONSULTANT ENGINEER
3280 S. MOTOR AVE., SUITE 216, W. LOS ANGELES, CA. 90034
TEL: (310) 856-2646
FAX: (310) 202-7444
email: bhrasen@aol.com

REGISTERED PROFESSIONAL ENGINEER
BAHRAM RAHEN
No. 37060
Exp. June 30, 2022
CIVIL
STATE OF CALIFORNIA

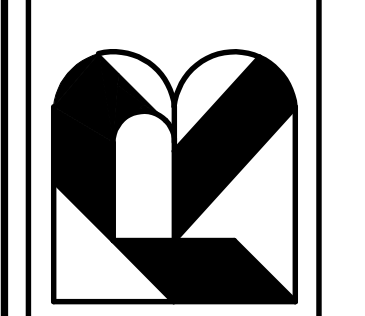
17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date: _____
Scale: _____
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Job: _____
Sheet: _____
Of _____ Sheets

A-1

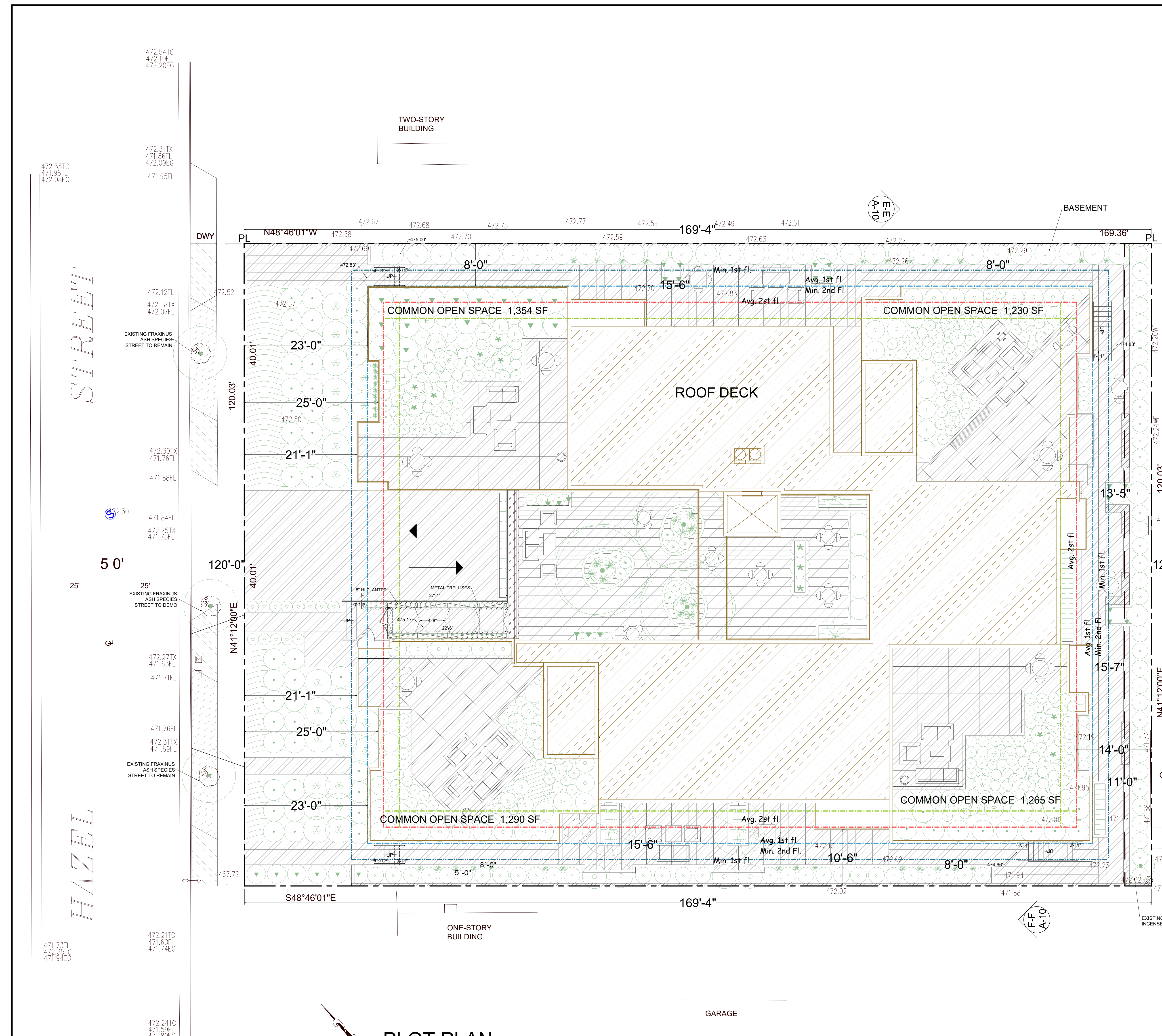
NO.	DESCRIPTION	DATE	BY

BAHRAM RAJEN
CONSULTANT ENGINEER
3280 S. MOTOR AVE., SUITE 236, W. LOS ANGELES, CA 90034
TEL: (310) 836-2646
FAX: (310) 202-7444
email: bhraden@aol.com



17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date: _____
Scale: _____
Drawn: _____
Job: _____
Sheet: _____
A-1.1



PLOT PLAN

SCALE: 1/8"=1'-0"

EASEMENT TO THE CITY OF GLENDALE FOR INSTALLING, IMPROVING, ALTERING, REPAIRING AND MAINTAINING POLES, CROSS ARMS, WIRES, UNDERGROUND CONDUITS, CABLES AND OTHER EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICAL ENERGY AND FOR THE TRANSMISSION OF SOUND OR SIGNALS BY ELECTRICITY

PROJECT SUMMARY

BASE DENSITY:	
LOT AREA	20,328
MINIMUM AREA PER DWELLING UNIT	1,800
UNITS ALLOWED BY RIGHT (20,328 / 1,800)	11.29
BASE DENSITY	12 UNITS
AMOUNT OF DENSITY BONUS:	
20% PLUS 2.5% FOR EACH PERCENTAGE OF AFFORDABILITY OVER 5%	
MAXIMUM ALLOWABLE DENSITY BONUS	35%
DENSITY (12 x 35%)	4.2 UNITS
MAX DENSITY (12 BASE DENSITY + 5 DENSITY BONUS)	17 UNITS
HOUSING TYPE:	
VERY LOW INCOME MIN. 5%	
(MIN. 5% + 6% = 11%) 17 UNITS x 11% = 1.87 VLI UNITS	
DENSITY BONUS REQUESTED (6 x 2.5% = 15% + 20% = 35%)	
CONCESSIONS REQUESTED (MIN. 10% FOR VLI)	2
FIRST FLOOR (LOT COVERAGE) 50% CONCESSION 1: BONUS 35% = 50% + 17% = 67.5%	
67.5% / 100 = 0.675 (20,328 x 0.675 = 13,721')	13,721
BUILD. AREA 85% CONCESSION 2: BONUS 35% = 85% + 29.75% = 114.75%	
114.75% / 100 = 1.1475 (20,328 x 1.1475 = 23,326')	23,326
FAR: (1ST FL. + 2ND FL. + 3RD FL.) / LOT AREA = 22,846 / 20,328 = 1.12 < 1.14	
ZONING	R-2250
TOTAL PROVIDED UNITS	
VLI UNITS (17 UNITS x 11% = 1.87) (UNITS NO.103 AND NO.205)	2
RESIDENTIAL UNIT MIX	
2-BR	3
3-BR	14
FLOOR AREA	
BASEMENT (ELE. 89' +TRASH 69' +RECYCLE 69' +ELEVATOR ROOM 61')	288
FIRST FLOOR	9,451
SECOND FLOOR	9,451
THIRD FLOOR	3,944
TOTAL	23,134
REQUIRED PRIVATE OPEN SPACE	
17 UNITS x MIN. 40 SQFT (MIN. LENGTH OR WIDTH 4')	680
PROVIDED PRIVATE OPEN SPACE	
FIRST FLOOR (2 x 55 SF) + (2 x 45 SF) + 78 SF + 70 SF + 44 SF	392
SECOND FLOOR (2 x 55 SF) + (2 x 45 SF) + (2 x 46 SF) + 44 SF	336
THIRD FLOOR (2 x 70 SF) + 61 SF	201
TOTAL PROVIDED PRIVATE OPEN SPACE	929
REQUIRED COMMON OPEN SPACE	
17 UNITS x MIN. 200 SF	3,400
PROVIDED COMMON OPEN SPACE	
650 SF + 1,265 SF + 1,290 SF + 1,230 SF + 1,354 SF = 5,789 SF	5,789
REQUIRED ADDITIONAL OPEN SPACE	
90' WIDTH LOT NEEDS 900 SF. ADDITIONAL OPEN SPACE	
EACH ADDITIONAL FOOT OF LOT WIDTH, AN ADDITIONAL	
20 SF WILL BE PROVIDED	
120' WIDTH - 90' = 30' x 20 SF = 600 SF	1,500
600 + 900 = 1500 SF	
PROVIDED ADDITIONAL OPEN SPACE	2,095
REQUIRED LANDSCAPE OPEN SPACE	
MINIMUM 25% LOT AREA (25% x 20,328 = 5,082)	5,082
PROVIDED LANDSCAPED OPEN SPACE	6,851

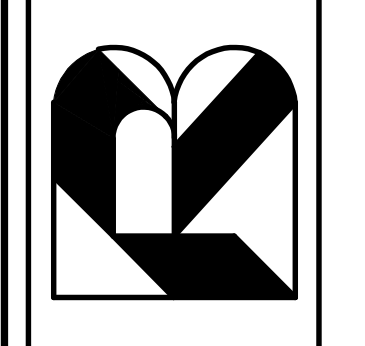
SQUARE FOOTAGE OF EACH UNIT								
FIRST FLOOR	NO. OF UNIT	101	102	103	104	105	106	107
	SF	1,161	1,162	1,256	1,196	1,274	1,211	1,006
2ND FLOOR	NO. OF UNIT	201	202	203	204	205	206	207
	SF	1,161	1,162	1,256	1,196	1,274	1,211	1,006
3RD FLOOR	NO. OF UNIT	301	302	303				
	SF	1,162	1,274	1,006				

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THIS PLAN, SPECIFICATIONS, CONTRACT DOCUMENTS, CONDITIONS OF CONTRACT, AND ALL OTHER DOCUMENTS SHALL BE READ AND UNDERSTOOD IN CONJUNCTION WITH THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF APARTMENTS AND CONDOMINIUMS, 2019 EDITION, PUBLISHED BY THE CALIFORNIA ASSOCIATION OF BUILDERS. NO PART OF THESE DOCUMENTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT A WRITTEN CONSISTENT OF THE ASSOCIATION.

TEL: (310) 826-2646
 FAX: (310) 202-7444
 email: bahaem@aol.com

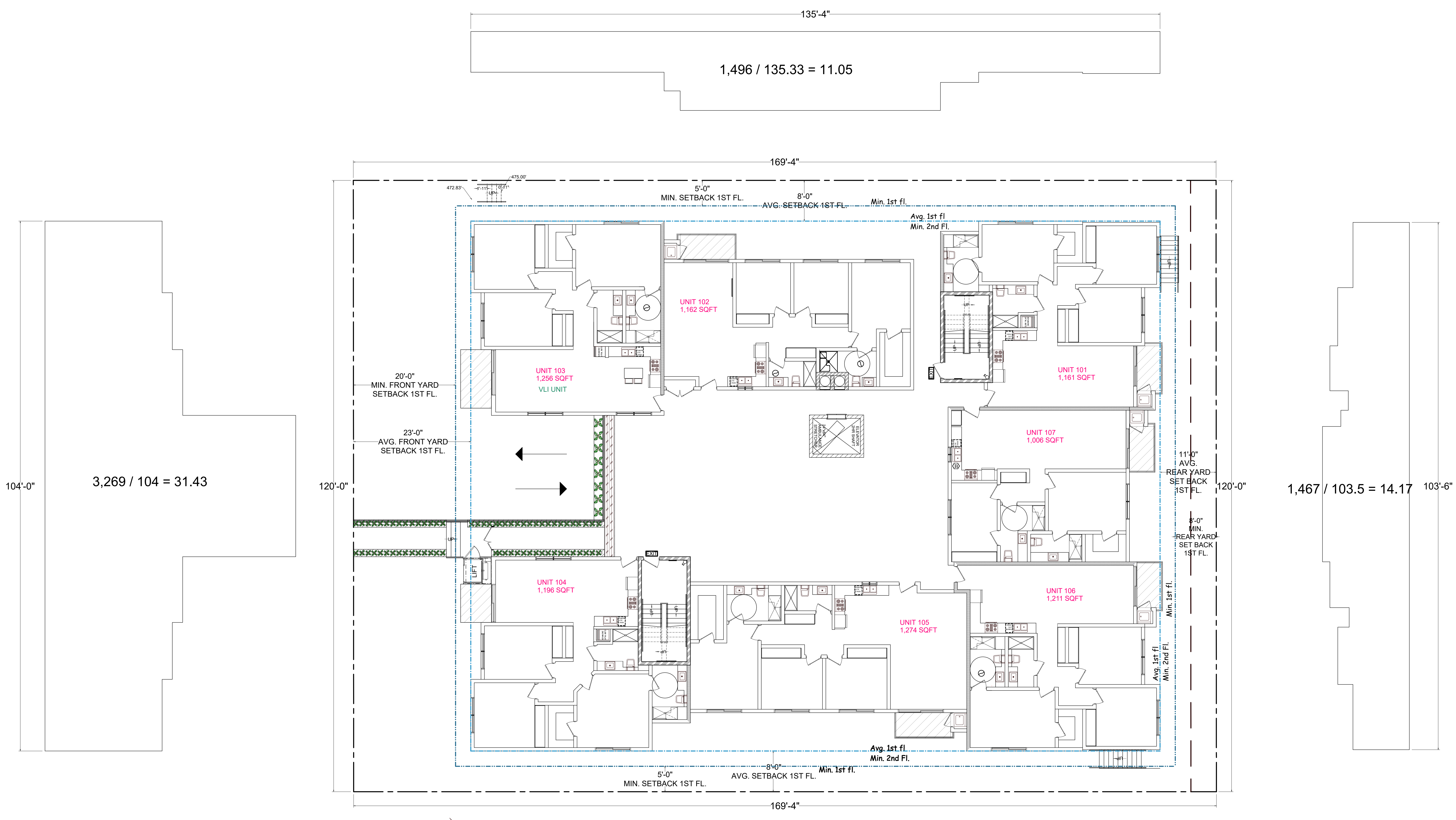
BAHRAM RAEEN
 CONSULTANT ENGINEER
 3280 S. MOTOR AVE., SUITE 226, W. LOS ANGELES, CA. 90084



17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date	
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Drawn	
Job	
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Of	

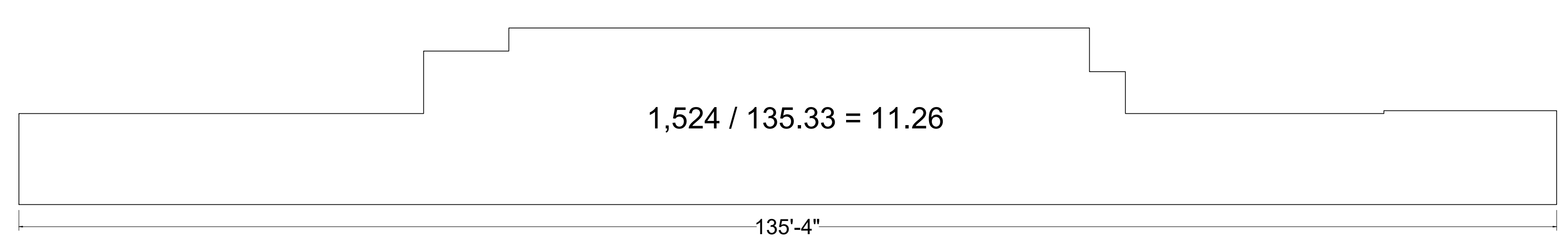
A-1.2



FIRST FLOOR AVERAGE SETBACK

SCALE: 1/8"=1'-0"

FIRST FLOOR SETBACK:
 MIN. FRONT YARD SETBACK FIRST FL. 20'
 AVG. FRONT YARD SETBACK FIRST FL. 23'
 MIN. INTERIOR SETBACK FIRST FL. 5'
 AVG. INTERIOR SETBACK FIRST FL. 8'

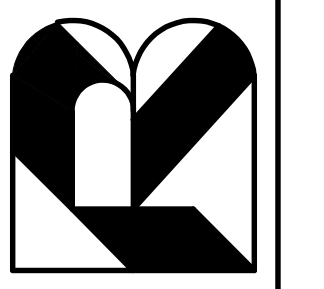


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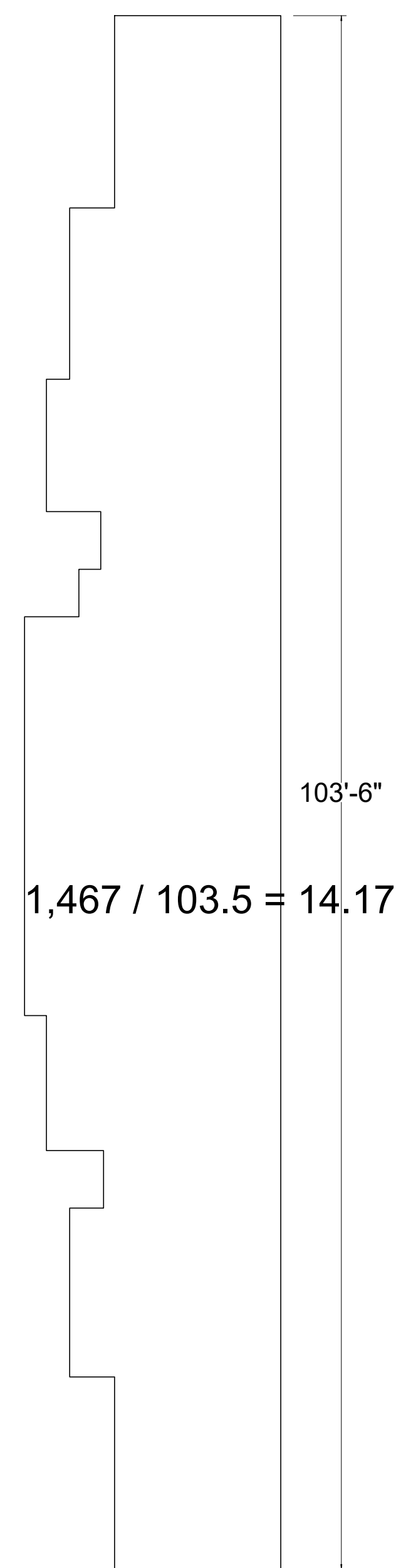
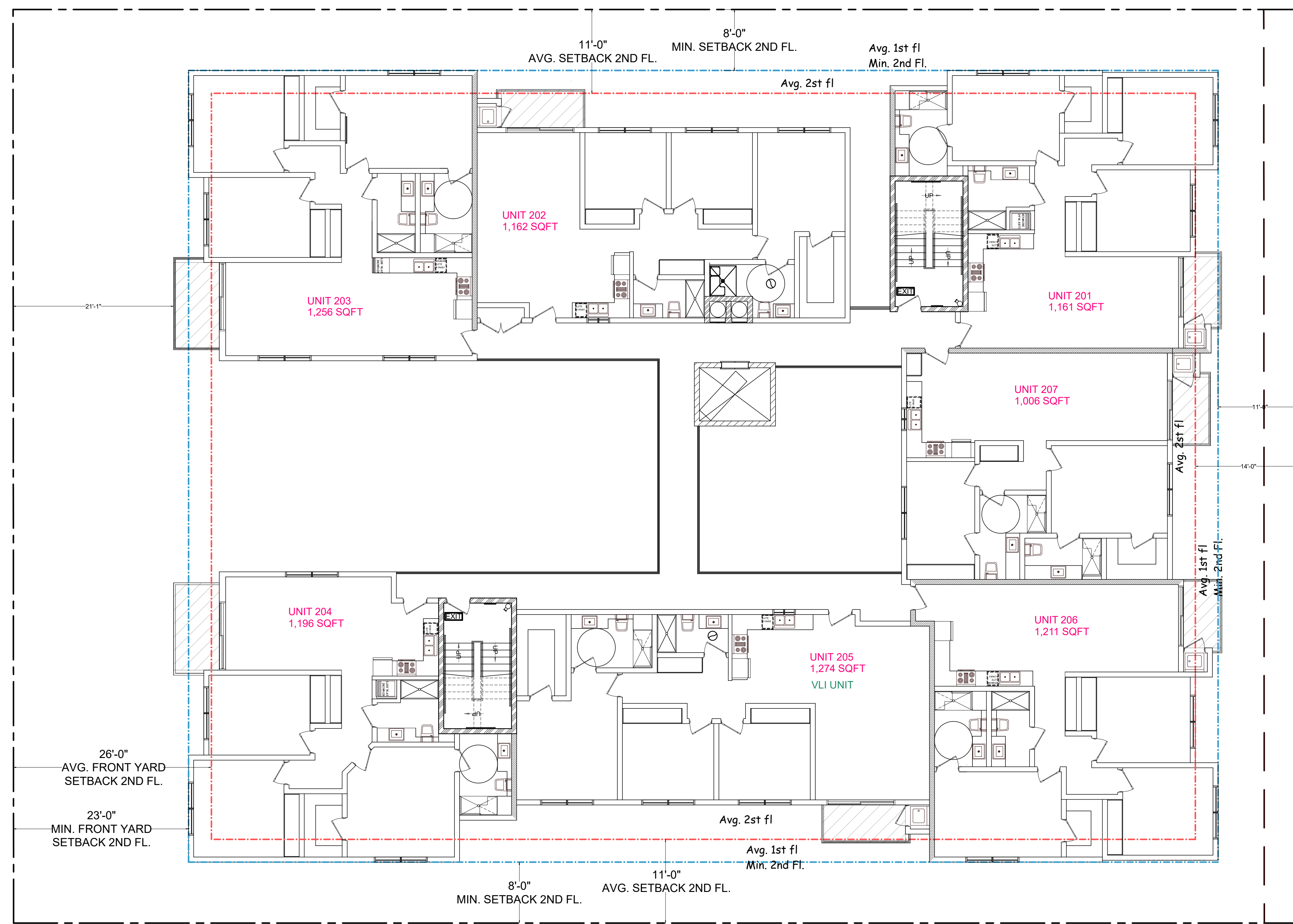
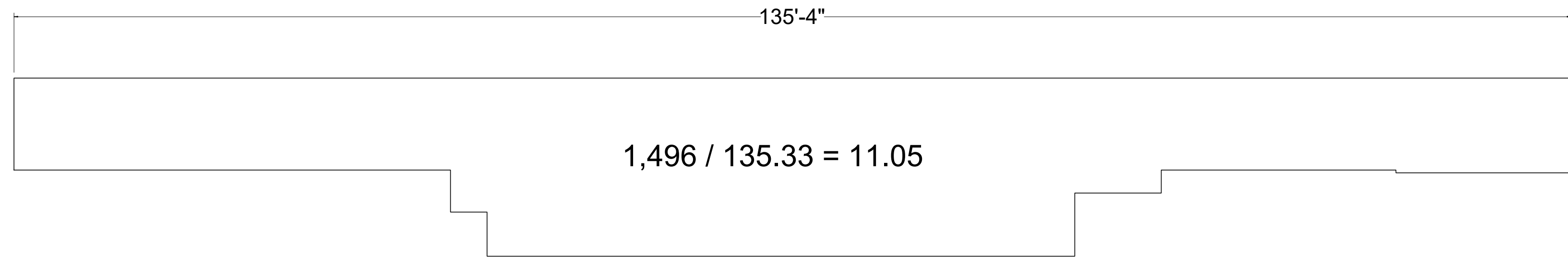
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 email: braham@raeen.com

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17 UNITS APARTMENT
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 GLENDALE, CA 91201

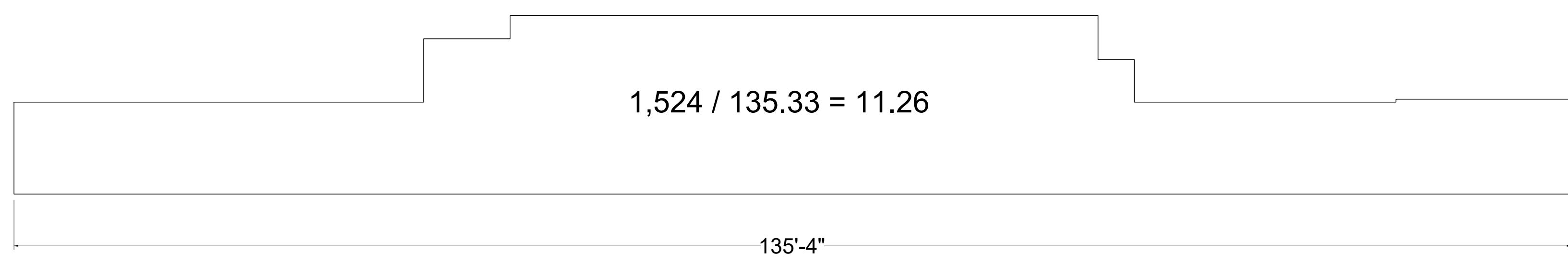
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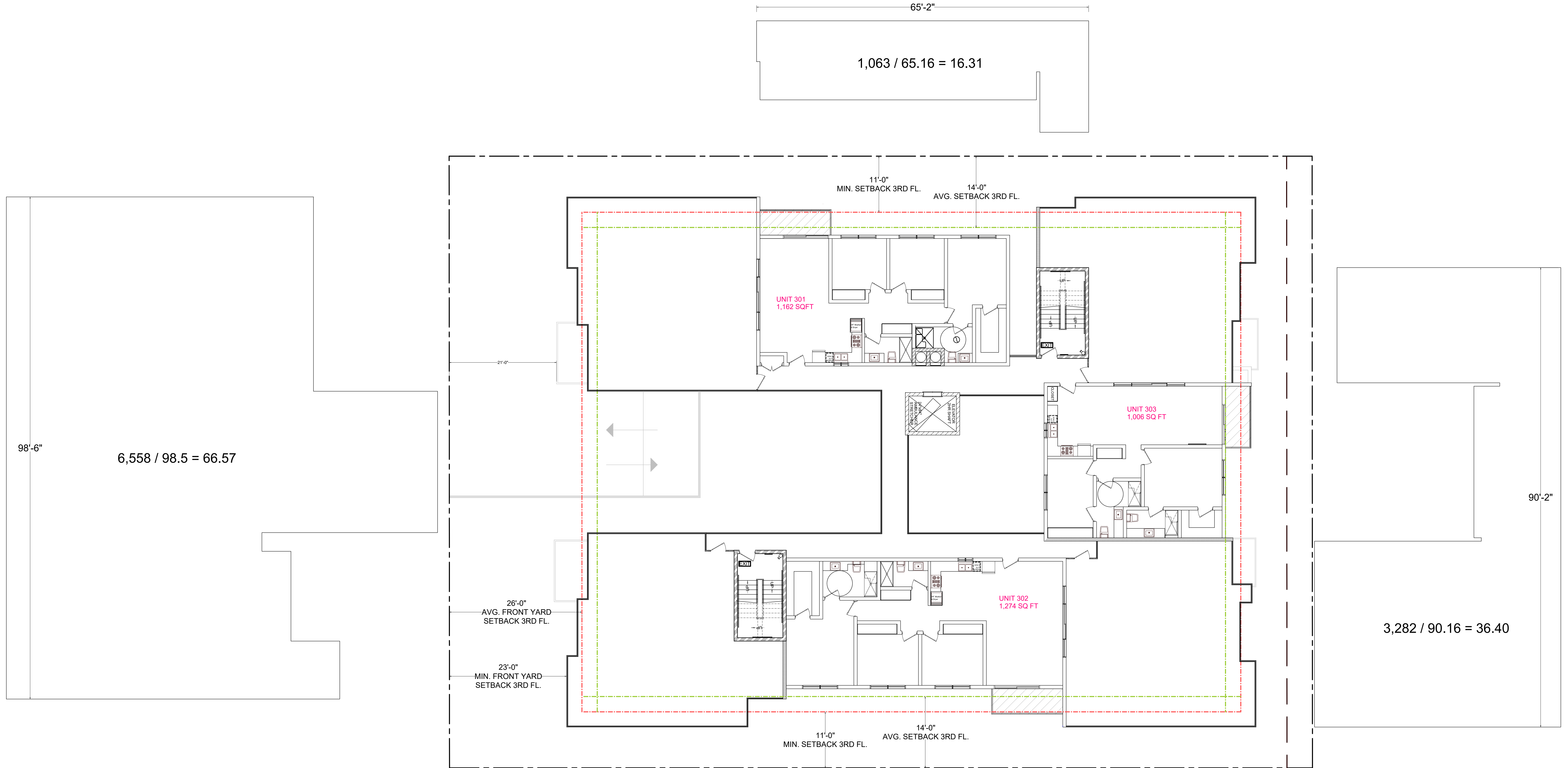


SECOND FLOOR AVERAGE SETBACKS

SCALE: 1/8"=1'-0"

- SECOND FLOOR SETBACK:
- MIN. FRONT YARD SETBACK SECOND FL. 23'
- AVG. FRONT YARD SETBACK SECOND FL. 26'
- MIN. INTERIOR SETBACK SECOND FL. 8'
- AVG. INTERIOR SETBACK SECOND FL. 11'

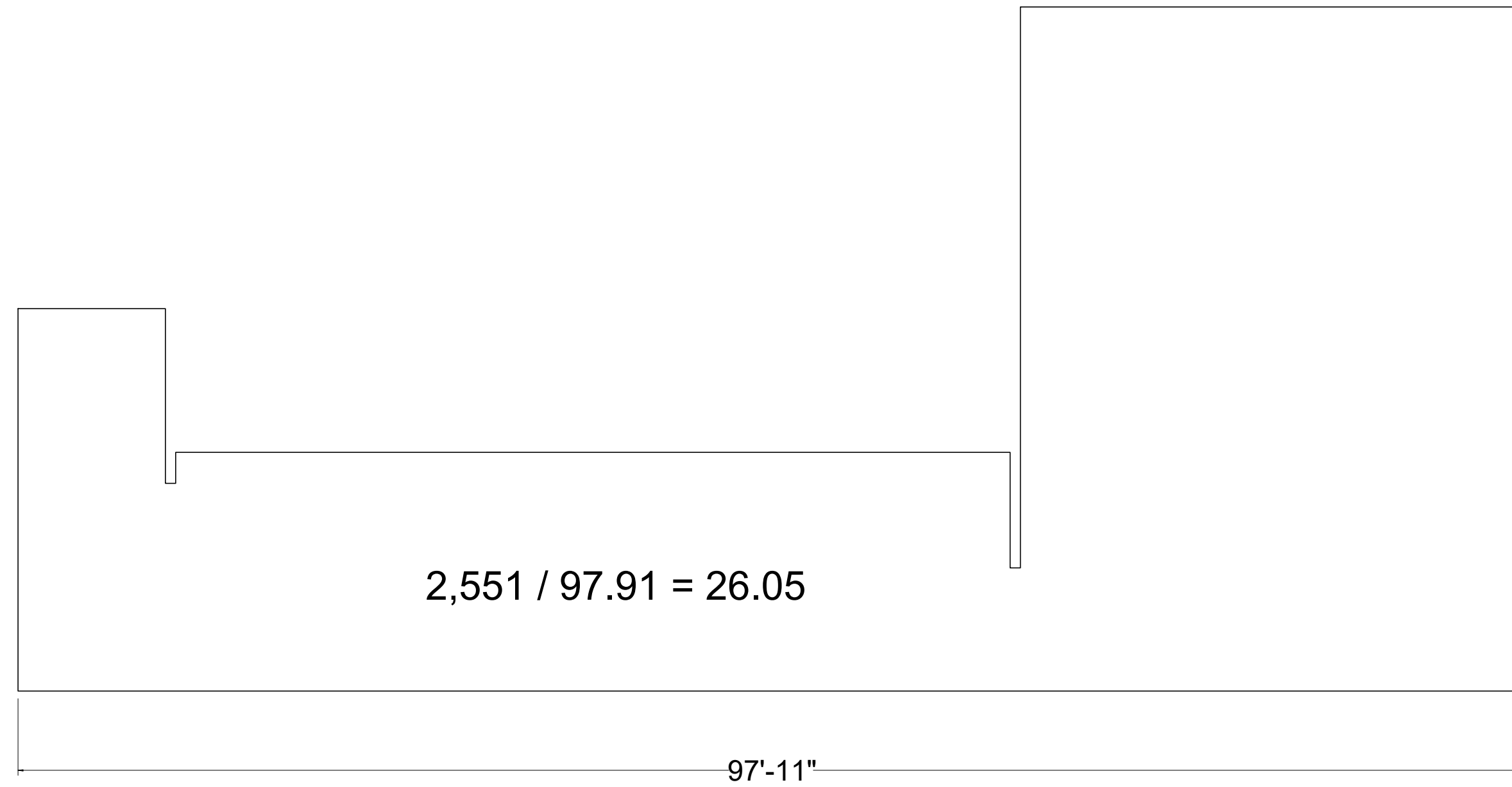




THIRD FLOOR AVERAGE SETBACKS

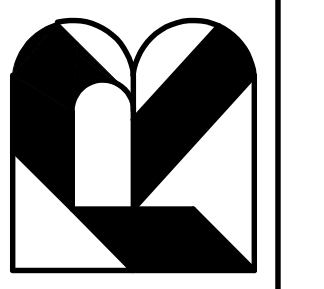
SCALE: 1/8"=1'-0"

THIRD FLOOR SETBACK:
 MIN. FRONT YARD SETBACK THIRD FL. 23'
 AVG. FRONT YARD SETBACK THIRD FL. 26'
 MIN. INTERIOR SETBACK THIRD FL. 11'
 AVG. INTERIOR SETBACK THIRD FL. 14'



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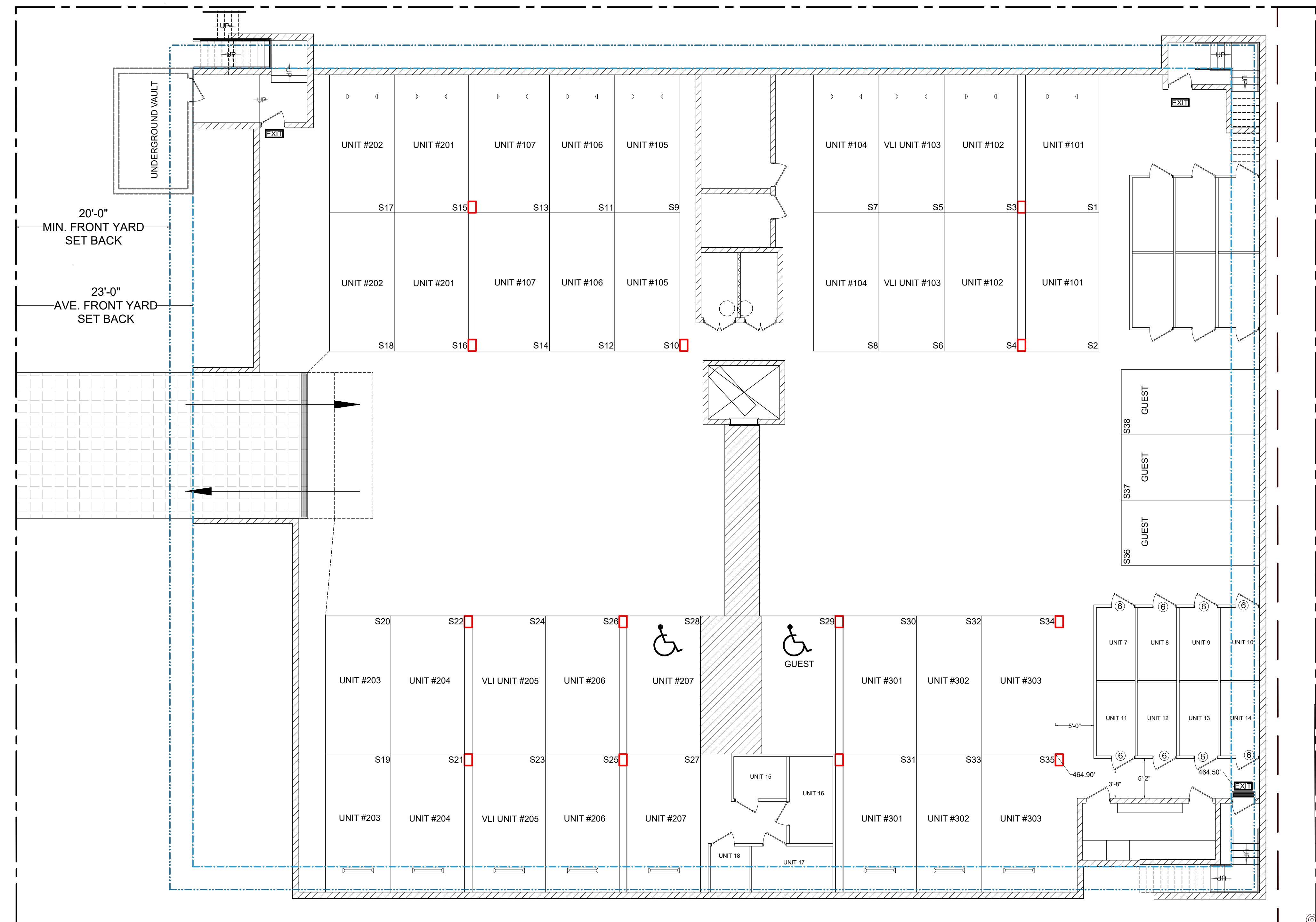
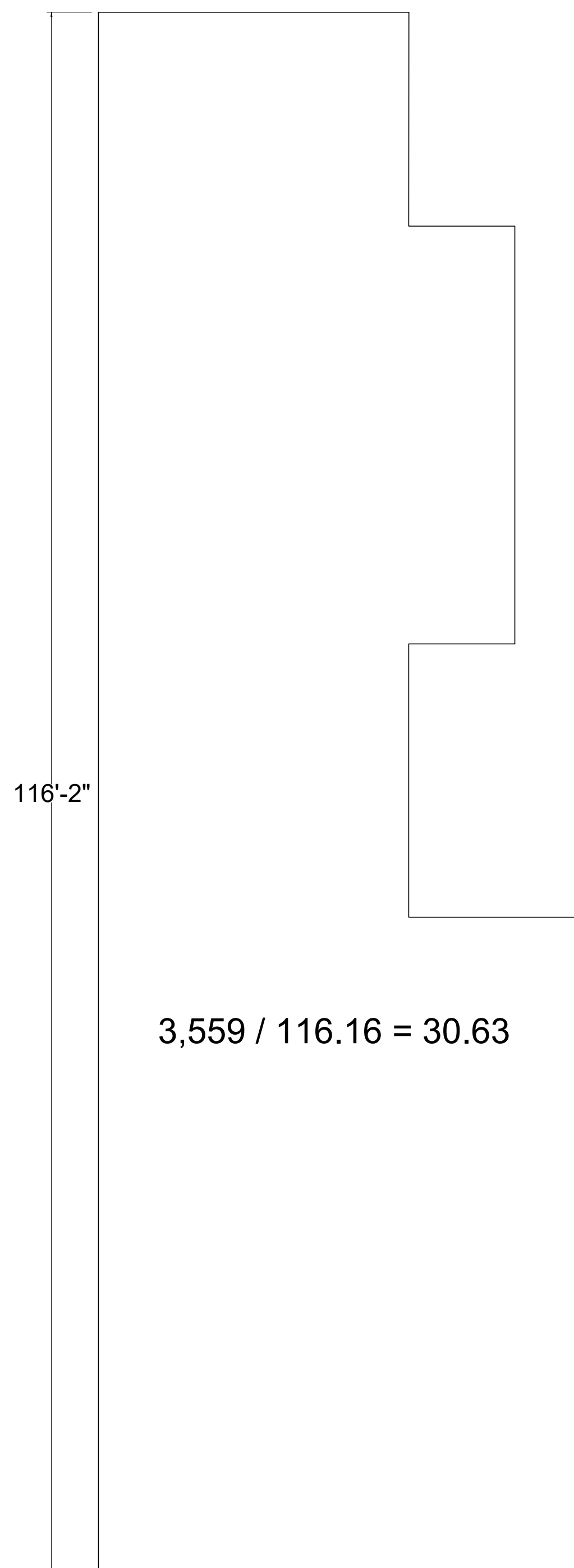
BAHRAM RAEEN
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17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date	
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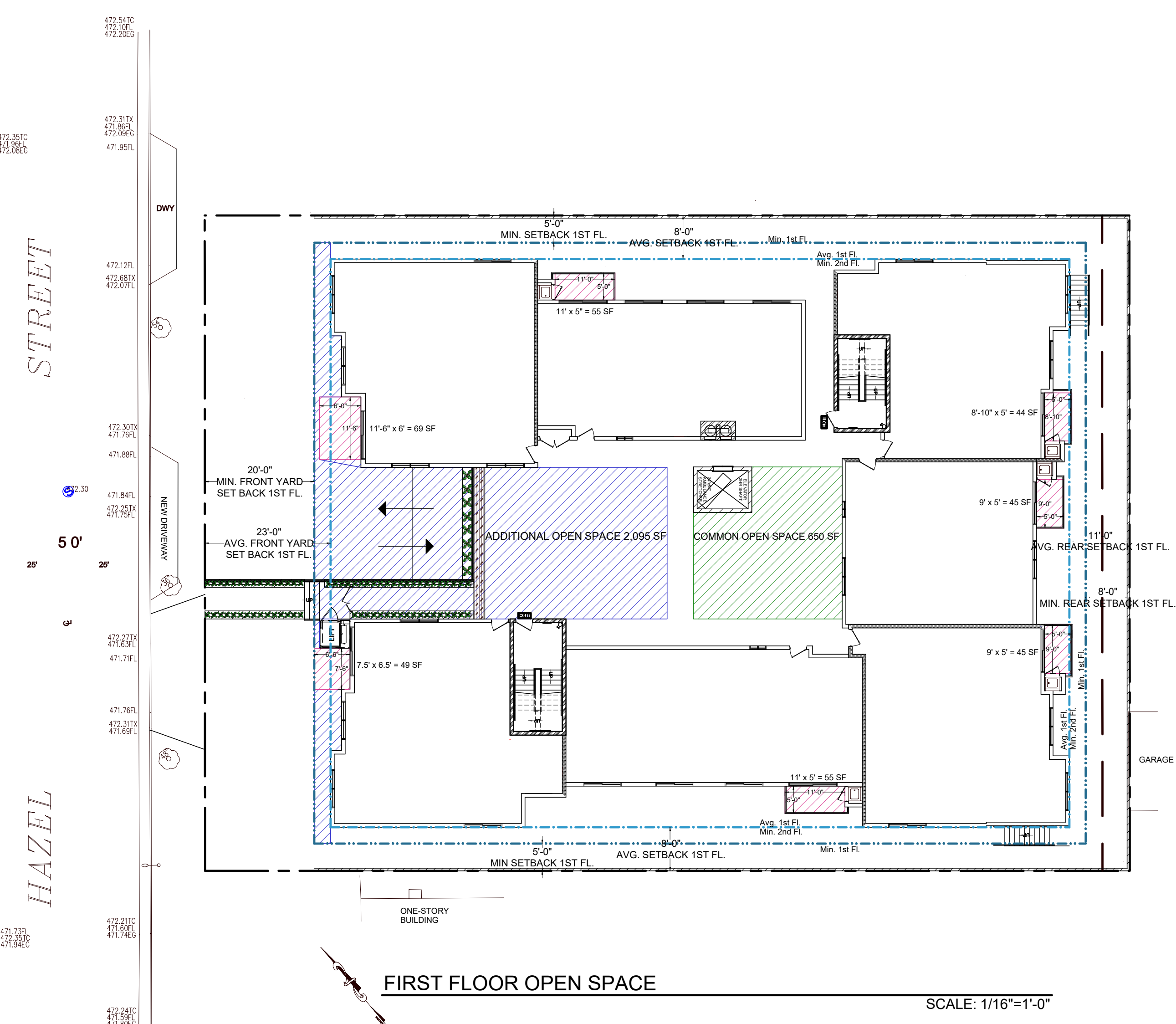
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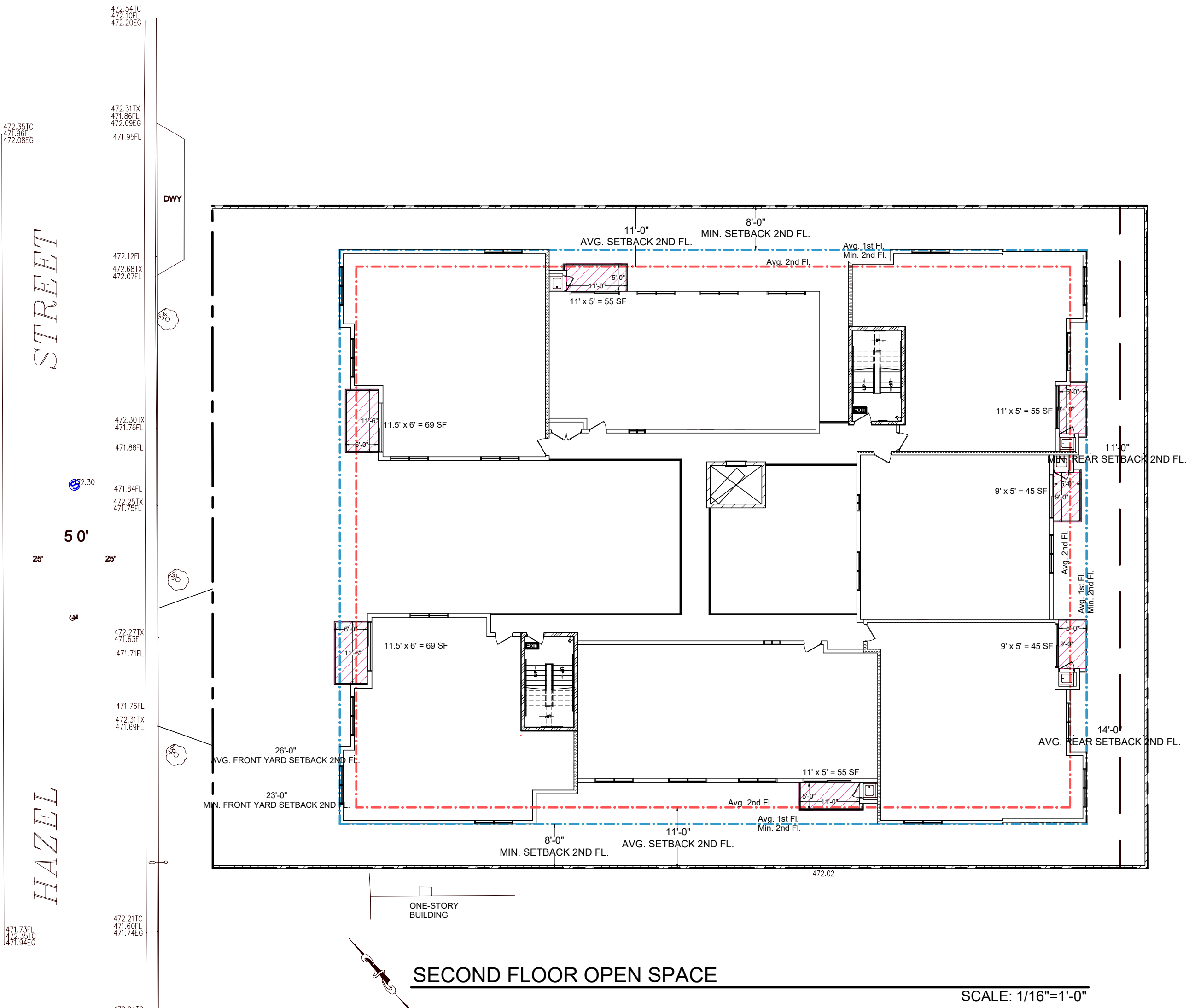
BASEMENT/PARKING STREET FRONT SETBACK

SCALE: 1/8"=1'-0"

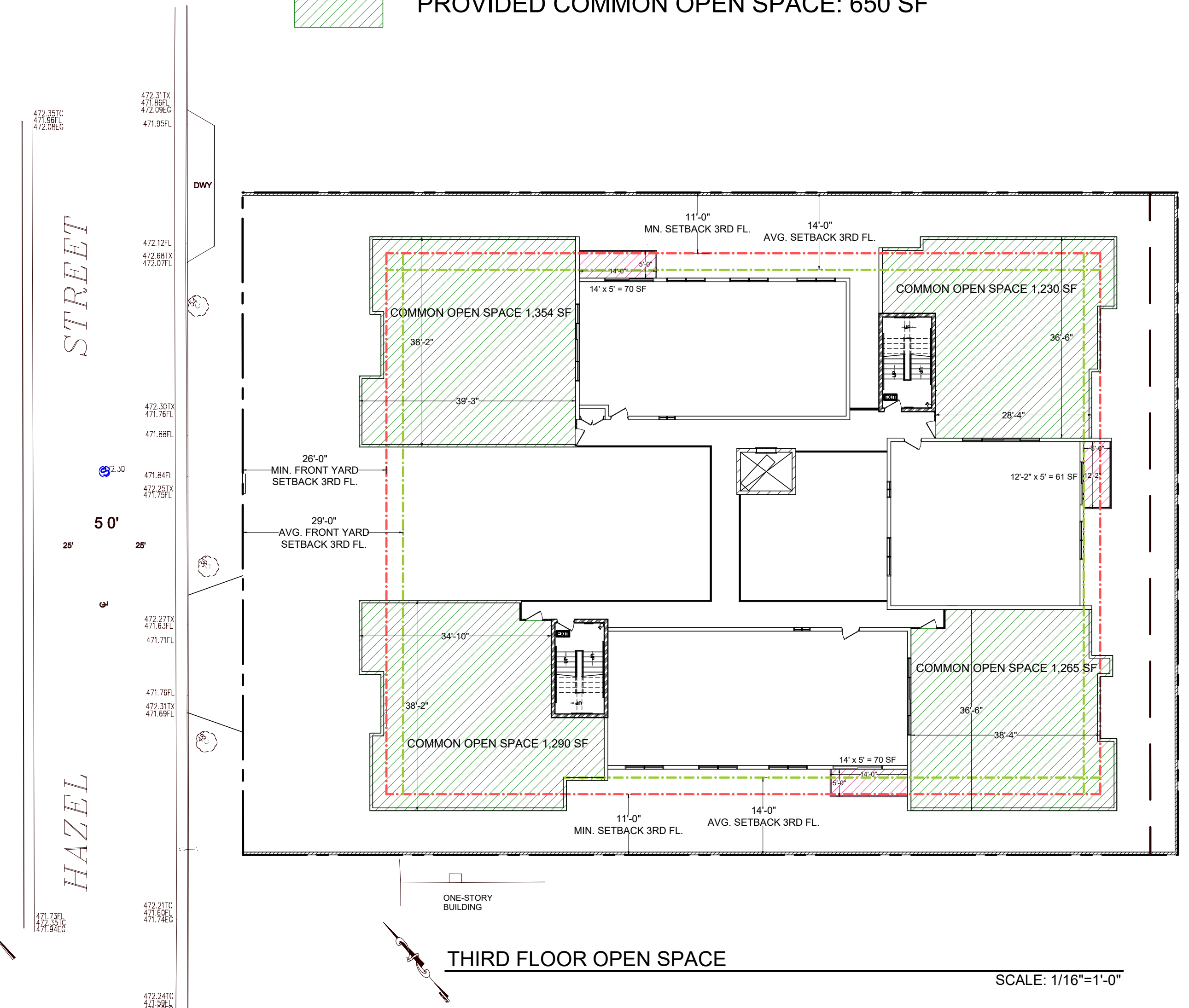
BASEMENT STREET FRONT SETBACK:
MIN. STREET FRONT SETBACK BASEMENT 20'
AVG. STREET FRONT SETBACK BASEMENT 23'



- PROVIDED PRIVATE OPEN SPACE FIRST FLOOR:
(2 x 55 SF) + (2 x 45 SF) + 69 SF + 49 SF + 44 SF = 362 SF
- PROVIDED ADDITIONAL OPEN SPACE 2,095 SF
- PROVIDED COMMON OPEN SPACE: 650 SF



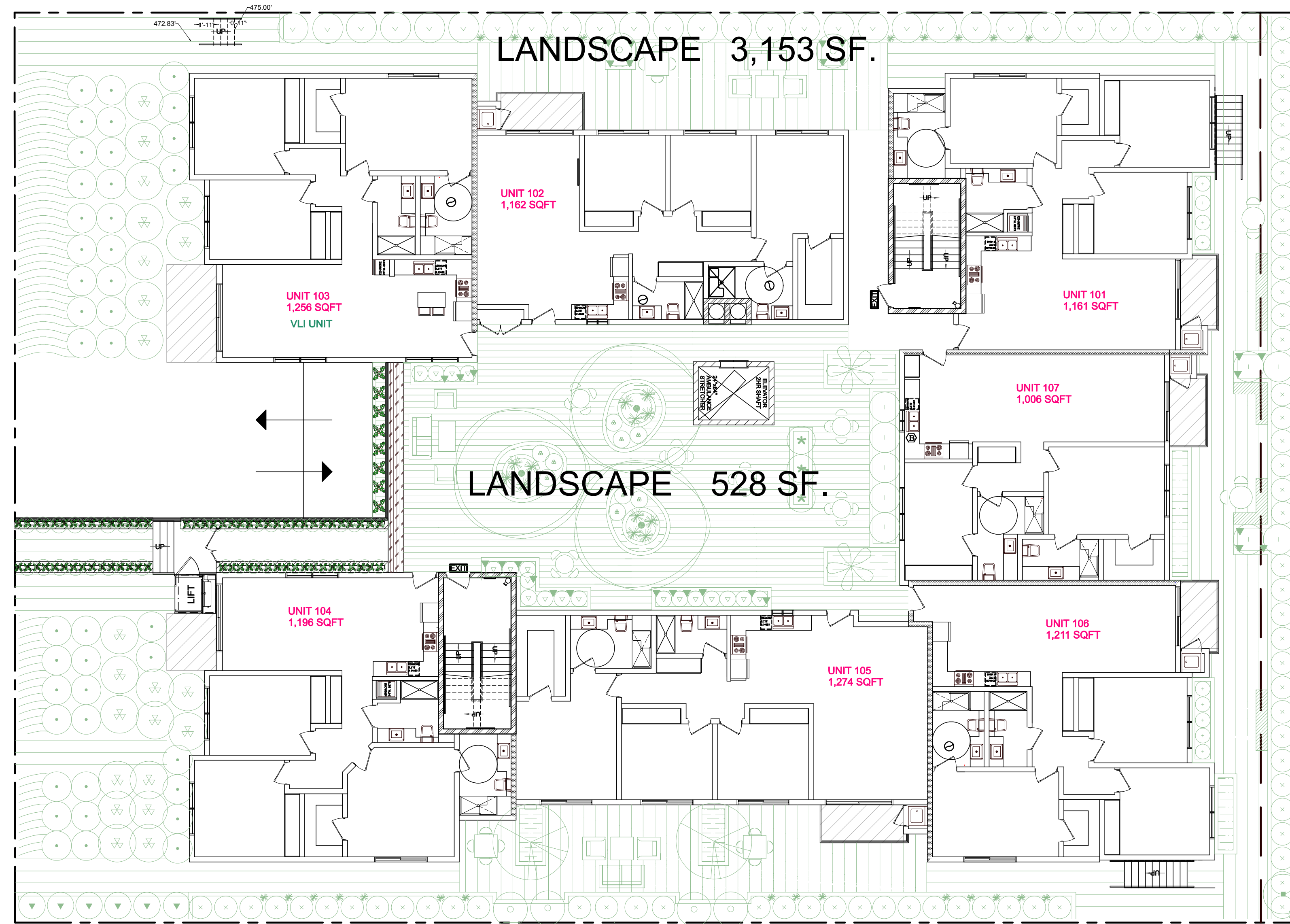
- PROVIDED PRIVATE OPEN SPACE SECOND FLOOR:
(2 x 55 SF) + (2 x 45 SF) + (2 x 69 SF) + 44 SF = 382 SF



- PROVIDED PRIVATE OPEN SPACE THIRD FLOOR:
(2 x 70 SF) + 61 SF = 201 SF
- PROVIDED COMMON OPEN SPACE:
1,230 SF + 1,265 SF + 1,354 SF + 1,290 = 5,139 SF

OPEN SPACE CALCULATION:

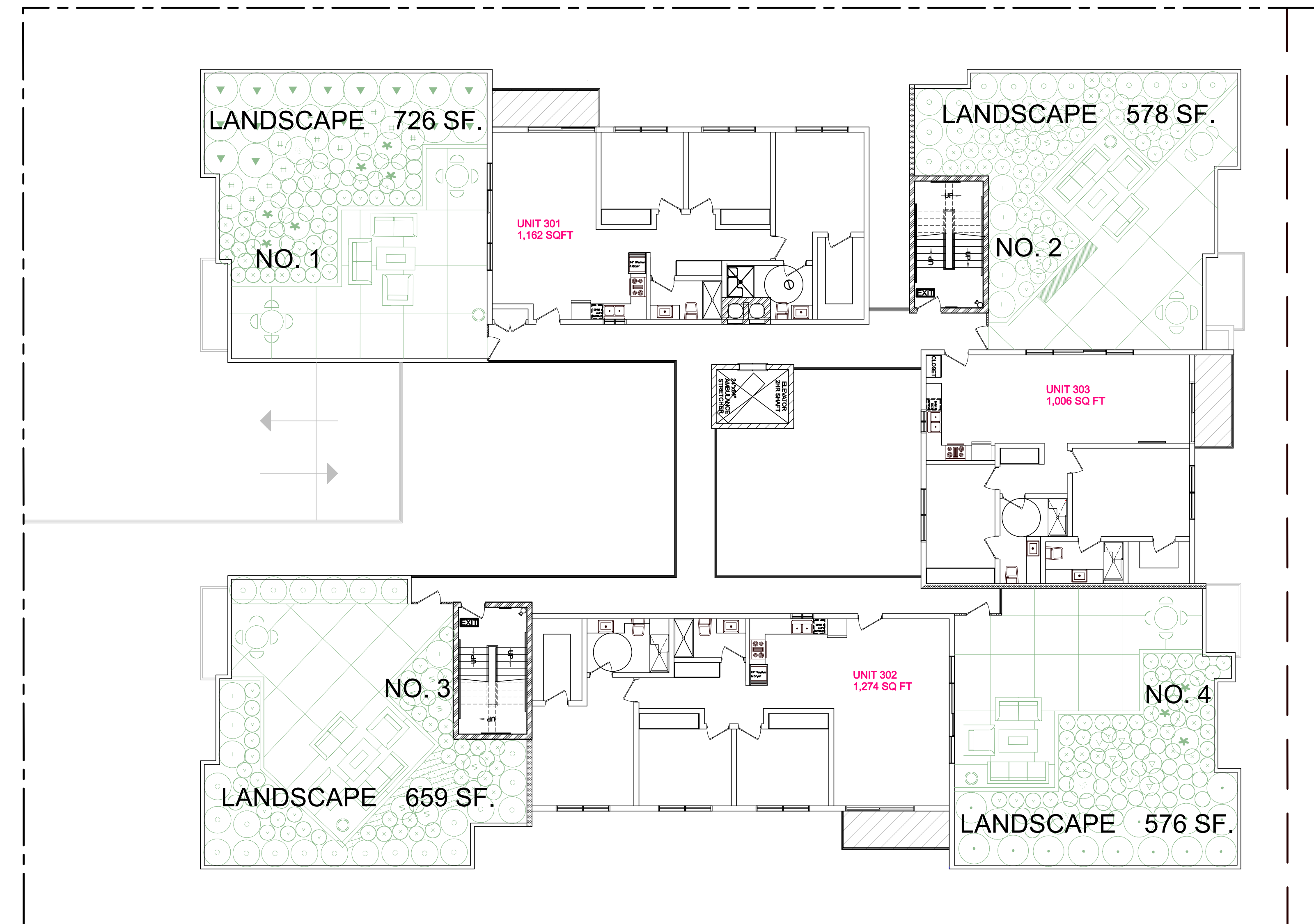
REQUIRED PRIVATE OPEN SPACE 17 UNITS x MIN. 40 SQFT (MIN. LENGTH OR WIDTH 4')	680
PROVIDED PRIVATE OPEN SPACE FIRST FLOOR	362
SECOND FLOOR	382
THIRD FLOOR	201
TOTAL PROVIDED PRIVATE OPEN SPACE	945
REQUIRED COMMON OPEN SPACE 17 UNITS x MIN. 200 SF	3,400
PROVIDED COMMON OPEN SPACE 650 SF + 1,265 SF + 1,290 SF + 1,230 SF + 1,354 SF = 5,789 SF	5,789
REQUIRED ADDITIONAL OPEN SPACE 90' WIDTH LOT NEEDS 900 SF. ADDITIONAL OPEN SPACE EACH ADDITIONAL FOOT OF LOT WIDTH, AN ADDITIONAL 20 SF WILL BE PROVIDED 120' WIDTH - 90' = 30' x 20 SF = 600 SF 600 SF + 900 SF = 1500 SF	1,500
PROVIDED ADDITIONAL OPEN SPACE	2,095
REQUIRED LANDSCAPE OPEN SPACE MINIMUM 25% LOT AREA (25% x 20,328 SF = 5,082)	5,082
PROVIDED LANDSCAPED OPEN SPACE	6,851



FIRST FLOOR LANDSCAPE PLAN

SCALE: 1/8"=1'-0"

REQUIRED LANDSCAPE OPEN SPACE MINIMUM 25% LOT AREA (25% x 20,328 = 5,082)	5,082
PROVIDED LANDSCAPED FIRST FLOOR: COURTYARD LANDSCAPE	528
FIRST FLOOR LANDSCAPE 4-SIDES	3,153
PROVIDED LANDSCAPED THIRD FLOOR: COMMON OPEN SPACE NO. 1 LANDSCAPE	726
COMMON OPEN SPACE NO. 2 LANDSCAPE	578
COMMON OPEN SPACE NO. 3 LANDSCAPE	659
COMMON OPEN SPACE NO. 4 LANDSCAPE	576
TOTAL LANDSCAPE THIRD FLOOR	2,539
TOTAL LANDSCAPE PROVIDED (528 + 3,153 + 2,539 = 6,220)	6,220
TOTAL LANDSCAPE REQUIRED	5,082



THIRD FLOOR LANDSCAPE PLAN

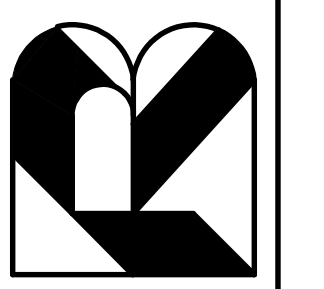
SCALE: 1/8"=1'-0"

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ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHOWN HEREBY ARE APPROXIMATE AND SHALL BE CORRECTED OR ADJUSTED WITHOUT A WRITTEN CONSENT OF THE ARCHITECT.

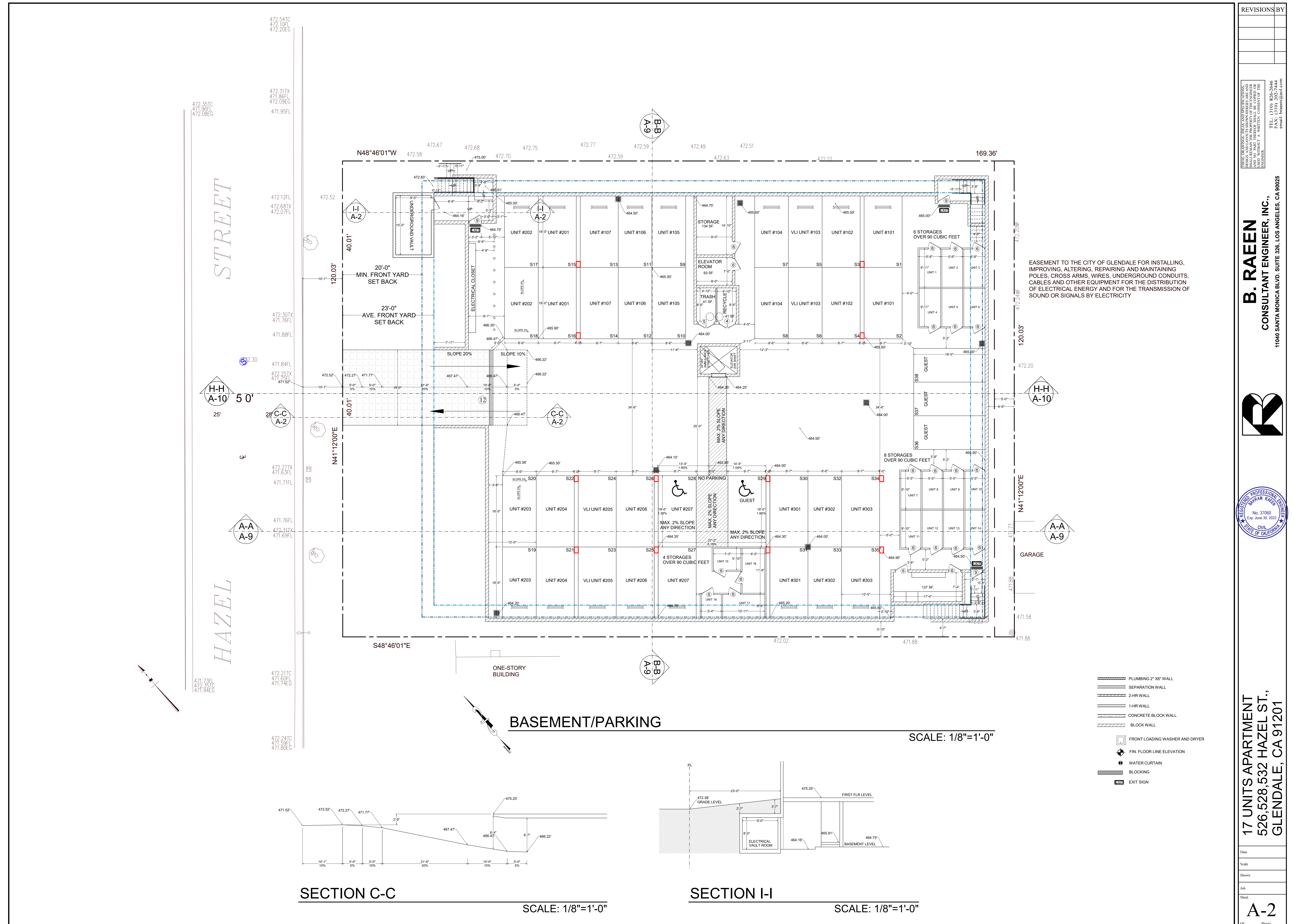
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BAHRAM RAEEN
CONSULTANT ENGINEER
3280 S. MOTOR AVE., SUITE 216, W. LOS ANGELES, CA. 90034



17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

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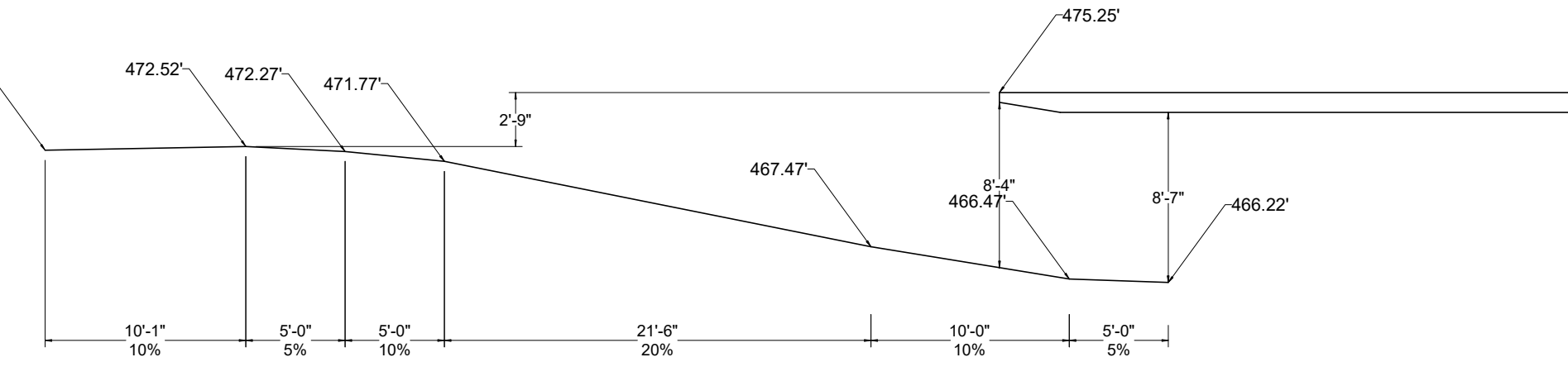
STREET
HAZEL

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EASEMENT TO THE CITY OF GLENDALE FOR INSTALLING, IMPROVING, ALTERING, REPAIRING AND MAINTAINING POLES, CROSS ARMS, WIRES, UNDERGROUND CONDUITS, CABLES AND OTHER EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICAL ENERGY AND FOR THE TRANSMISSION OF SOUND OR SIGNALS BY ELECTRICITY

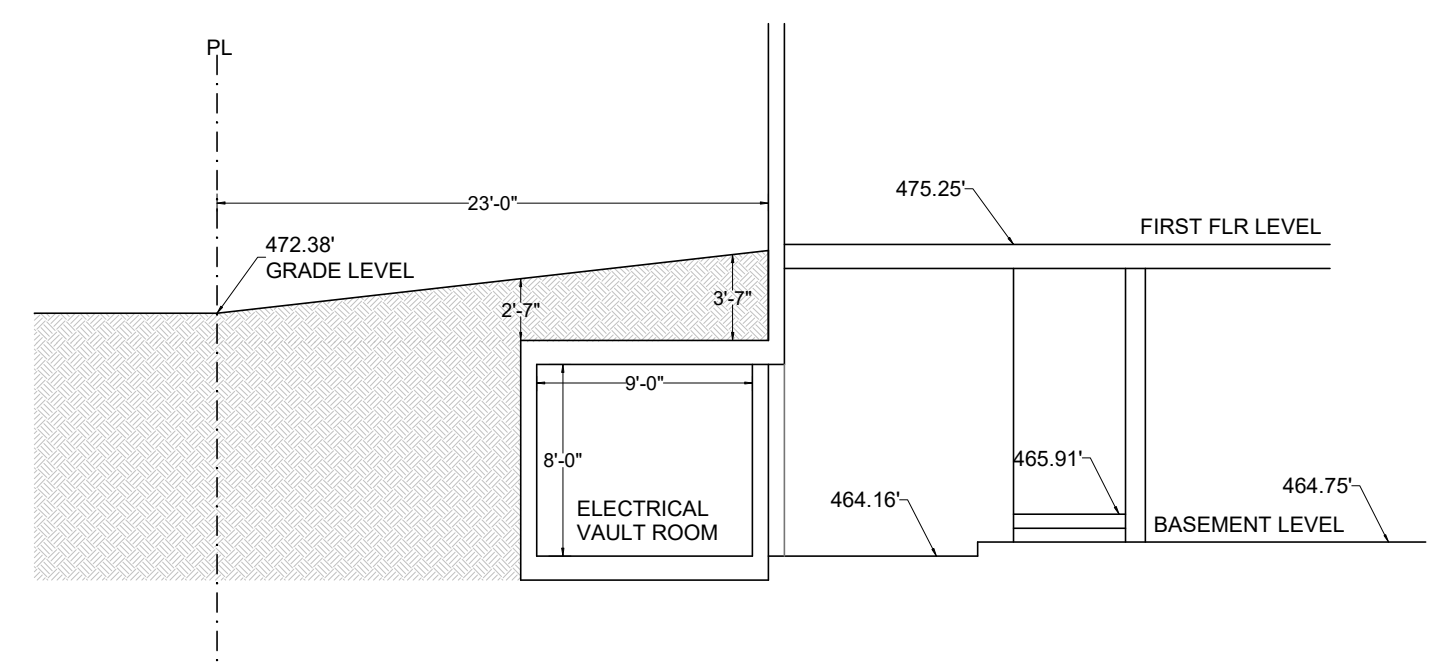
BASEMENT/PARKING

SCALE: 1/8"=1'-0"



SECTION C-C

SCALE: 1/8"=1'-0"



SECTION I-I

SCALE: 1/8"=1'-0"

- PLUMBING 2" X6" WALL
- SEPARATION WALL
- 2-HR WALL
- 1-HR WALL
- CONCRETE BLOCK WALL
- BLOCK WALL
- FRONT LOADING WASHER AND DRYER
- FIN. FLOOR LINE ELEVATION
- WATER CURTAIN
- BLOCKING
- EXIT SIGN

REVISIONS BY

17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

B. RAEEN
CONSULTANT ENGINEER, INC.,
11040 SANTA MONICA BLVD., SUITE 326, LOS ANGELES, CA 90025

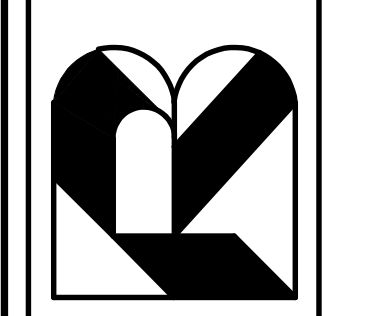
DATE: _____
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DRAWN: _____
JOB: _____
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A-2

17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

REVISIONS	BY

BAHRAM RAEEN
CONSULTANT ENGINEER
3280 S. MOTOR AVE., SUITE 226, W. LOS ANGELES, CA 90084
TEL: (310) 826-2646
FAX: (310) 202-2444
email: bhr@aem.com



17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date: _____
Scale: _____
Drawn: _____
Job: _____
Sheet: _____
A-3
Of _____ Sheets

STREET

472.54TC
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472.12FL
472.68TX
472.07FL

472.30TX
471.76FL

471.88FL

471.84FL
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50'

25'

STREET TREE TO BE REMOVED

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471.71FL

471.76FL

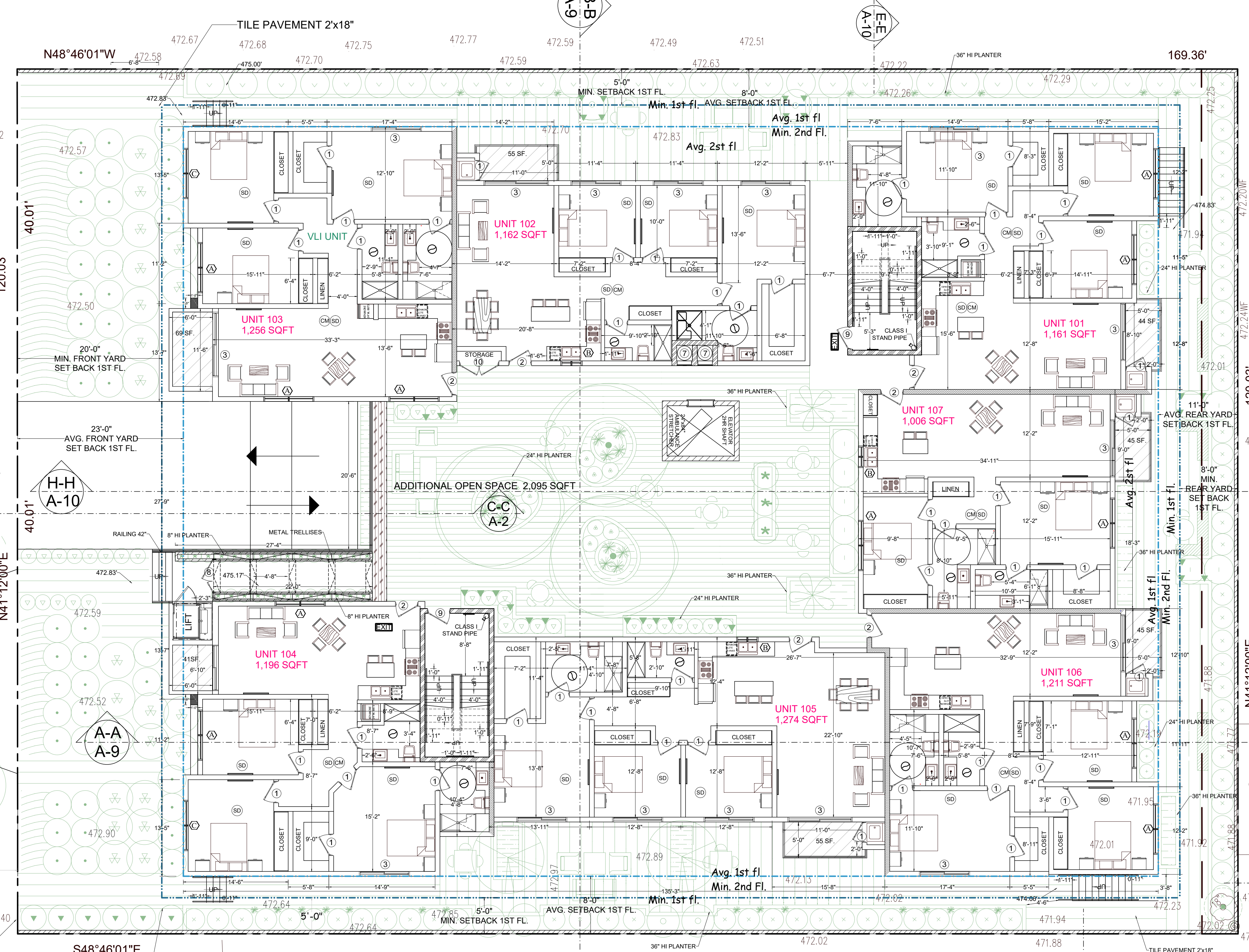
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HAZEL

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471.60FL
471.74EG

472.24TC
471.59FL
471.80EG



EASEMENT TO THE CITY OF GLENDALE FOR INSTALLING, IMPROVING, ALTERING, REPAIRING AND MAINTAINING POLES, CROSS ARMS, WIRES, UNDERGROUND CONDUITS, CABLES AND OTHER EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICAL ENERGY AND FOR THE TRANSMISSION OF SOUND OR SIGNALS BY ELECTRICITY

FIRST FLOOR SCALE: 1/8"=1'-0"

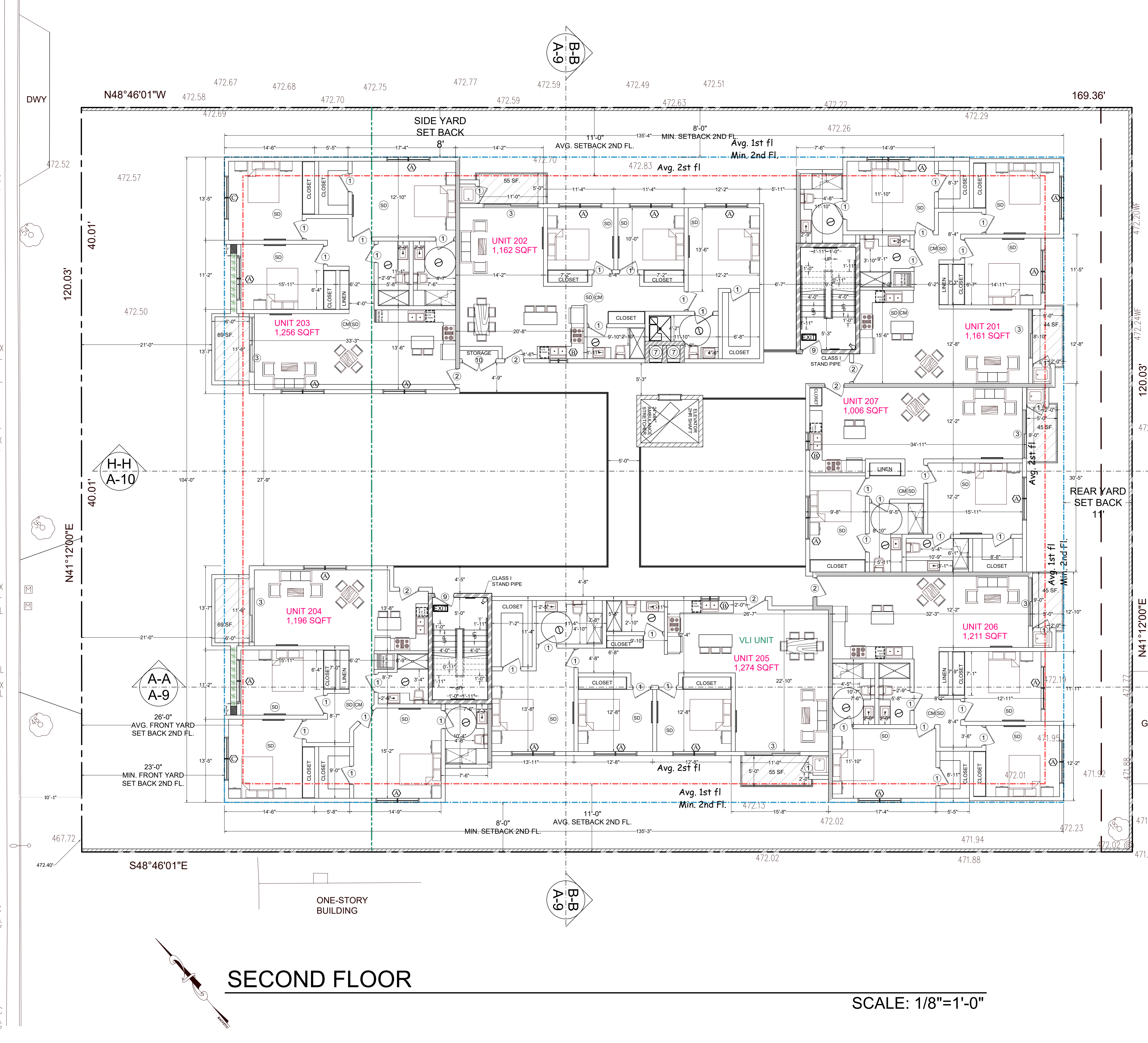
QUALIFIED OPEN SPACE AREA

- | | |
|----------------------|--------------------------------|
| PLUMBING 2" X6" WALL | FRONT LOADING WASHER AND DRYER |
| SEPARATION WALL | FIN. FLOOR LINE ELEVATION |
| 2-HR WALL | WATER CURTAIN |
| 1-HR WALL | BLOCKING |
| CONCRETE BLOCK WALL | EXIT SIGN |
| BLOCK WALL | |

- HARD WIRED SMOKE DETECTORS
- BATHROOM FAN W/IS AIR CHANGE PER HOUR (MIN. 50CFM) CONNECTED DIRECTLY TO OUTSIDE ENERGY STAR/CONDUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER SUB-METERS
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
- CARBON MONOXIDE SHALL BE INSTALLED OUTSIDE BEDROOMS. TYPICAL ON ALL UNITS, ON ALL FLOOR.

SQUARE FOOTAGE OF EACH UNIT								
FIRST FLOOR	NO. OF UNIT	101	102	103	104	105	106	107
	SF	1,161	1,162	1,256	1,196	1,274	1,211	1,006
2ND FLOOR	NO. OF UNIT	201	202	203	204	205	206	207
	SF	1,161	1,162	1,256	1,196	1,274	1,211	1,006
3RD FLOOR	NO. OF UNIT	301	302	303				
	SF	1,162	1,274	1,006				

HAZEL STREET



SECOND FLOOR

SCALE: 1/8"=1'-0"

QUALIFIED OPEN SPACE AREA

- PLUMBING 2" X6" WALL
- SEPARATION WALL
- 2-HR WALL
- 1-HR WALL
- CONCRETE BLOCK WALL
- BLOCK WALL
- FRONT LOADING WASHER AND DRYER
- FIN. FLOOR LINE ELEVATION
- WATER CURTAIN
- BLOCKING
- EXIT SIGN

- (SD) HARD WIRED SMOKE DETECTORS
 - (S) BATHROOM FAN W/5 AIR CHANGE PER HOUR (MIN. 50CFM) CONNECTED DIRECTLY TO OUTSIDE ENERGY STAR/CONDUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - (CM) AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (RS15)
- CARBON MONOXIDE SHALL BE INSTALLED OUTSIDE BEDROOMS. TYPICAL ON ALL UNITS. ON ALL FLOOR

EASEMENT TO THE CITY OF GLENDALE FOR INSTALLING, IMPROVING, ALTERING, REPAIRING AND MAINTAINING POLES, CROSS ARMS, WIRES, UNDERGROUND CONDUITS, CABLES AND OTHER EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICAL ENERGY AND FOR THE TRANSMISSION OF SOUND OR SIGNALS BY ELECTRICITY

472.54TC
472.10FL
472.20EG

472.31TX
471.86FL
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471.95FL

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472.07FL

472.30TX
471.76FL

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472.25TX
471.75FL

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471.63FL

471.71FL

471.76FL
472.31TX
471.69FL

472.21TC
471.80FL
471.74EG

472.24TC
471.59FL
471.80EG

472.35TC
471.98FL
472.08EG

471.73FL
471.94EG

REVISIONS BY

DATE

SCALE

DRAWN

JOB

SHEET

A-4

17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

BAHRAM RAEEN
CONSULTANT ENGINEER
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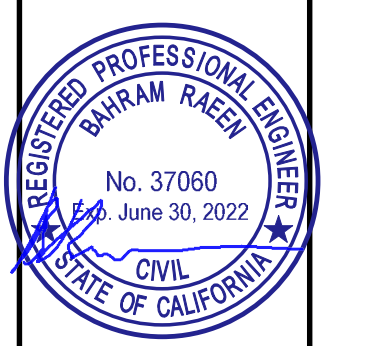
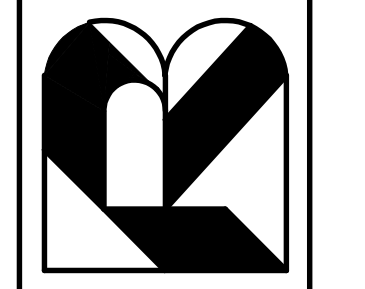
REGISTERED PROFESSIONAL ENGINEER
No. 37060
June 30, 2022
CIVIL
STATE OF CALIFORNIA

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TEL: (310) 826-2446
 FAX: (310) 202-7444
 email: braham@bahramraeen.com

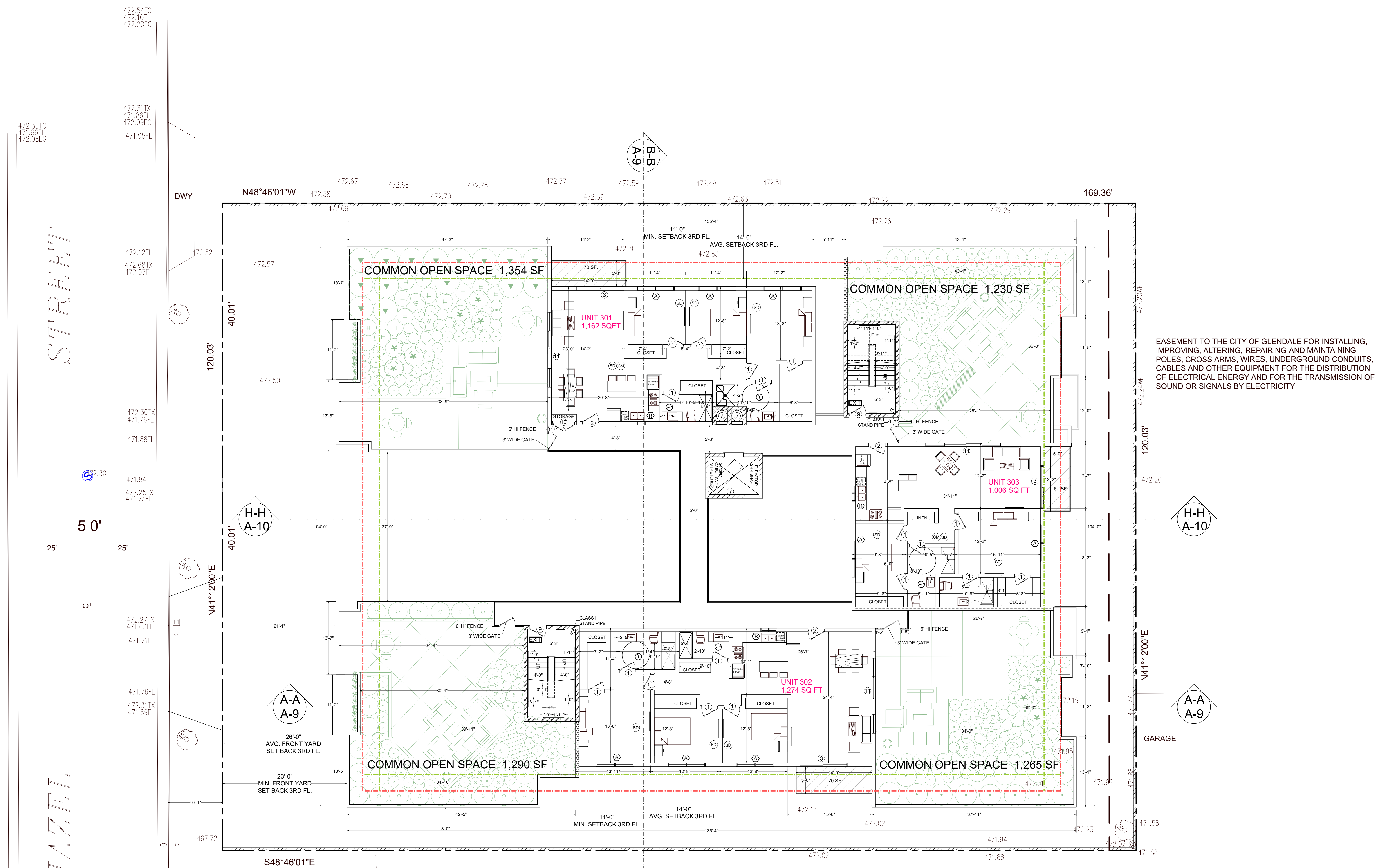
BAHRAM RAEEN
 CONSULTANT ENGINEER

3280 S. MOTOR AVE., SUITE 226, W. LOS ANGELES, CA. 90034



17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date: _____
 Scale: _____
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A-5
 Of _____ Sheets



EASEMENT TO THE CITY OF GLENDALE FOR INSTALLING, IMPROVING, ALTERING, REPAIRING AND MAINTAINING POLES, CROSS ARMS, WIRES, UNDERGROUND CONDUITS, CABLES AND OTHER EQUIPMENT FOR THE DISTRIBUTION OF ELECTRICAL ENERGY AND FOR THE TRANSMISSION OF SOUND OR SIGNALS BY ELECTRICITY

THIRD FLOOR

SCALE: 1/8"=1'-0"

QUALIFIED OPEN SPACE AREA

- PLUMBING 2" X 6" WALL
- SEPARATION WALL
- 2-HR WALL
- 1-HR WALL
- CONCRETE BLOCK WALL
- BLOCK WALL
- FRONT LOADING WASHER AND DRYER
- FIN. FLOOR LINE ELEVATION
- WATER CURTAIN
- BLOCKING
- EXIT SIGN

- HARD WIRED SMOKE DETECTORS
 - BATHROOM FAN W/5 AIR CHANGE PER HOUR (MIN. 50CFM) CONNECTED DIRECTLY TO OUTSIDE ENERGY STAR/CONDUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
- CARBON MONOXIDE SHALL BE INSTALLED OUTSIDE BEDROOMS, TYPICAL ON ALL UNITS. ON ALL FLOOR.

472.35TC
471.96FL
472.09EG

STREET

5 0'

HAZEL

471.73FL
472.35TC
471.94EG

472.21TC
471.60FL
471.74EG

472.24TC
471.59FL
471.80EG

472.54TC
472.10FL
472.20EG

472.31TX
471.86FL
472.09EG

472.12FL
472.68TX
472.07FL

472.30TX
471.76FL

471.84FL
472.25TX
471.75FL

472.22TX
471.63FL
471.71FL

471.76FL
472.31TX
471.89FL

472.21TC
471.60FL
471.74EG

472.24TC
471.59FL
471.80EG

DWY

H-H
A-10

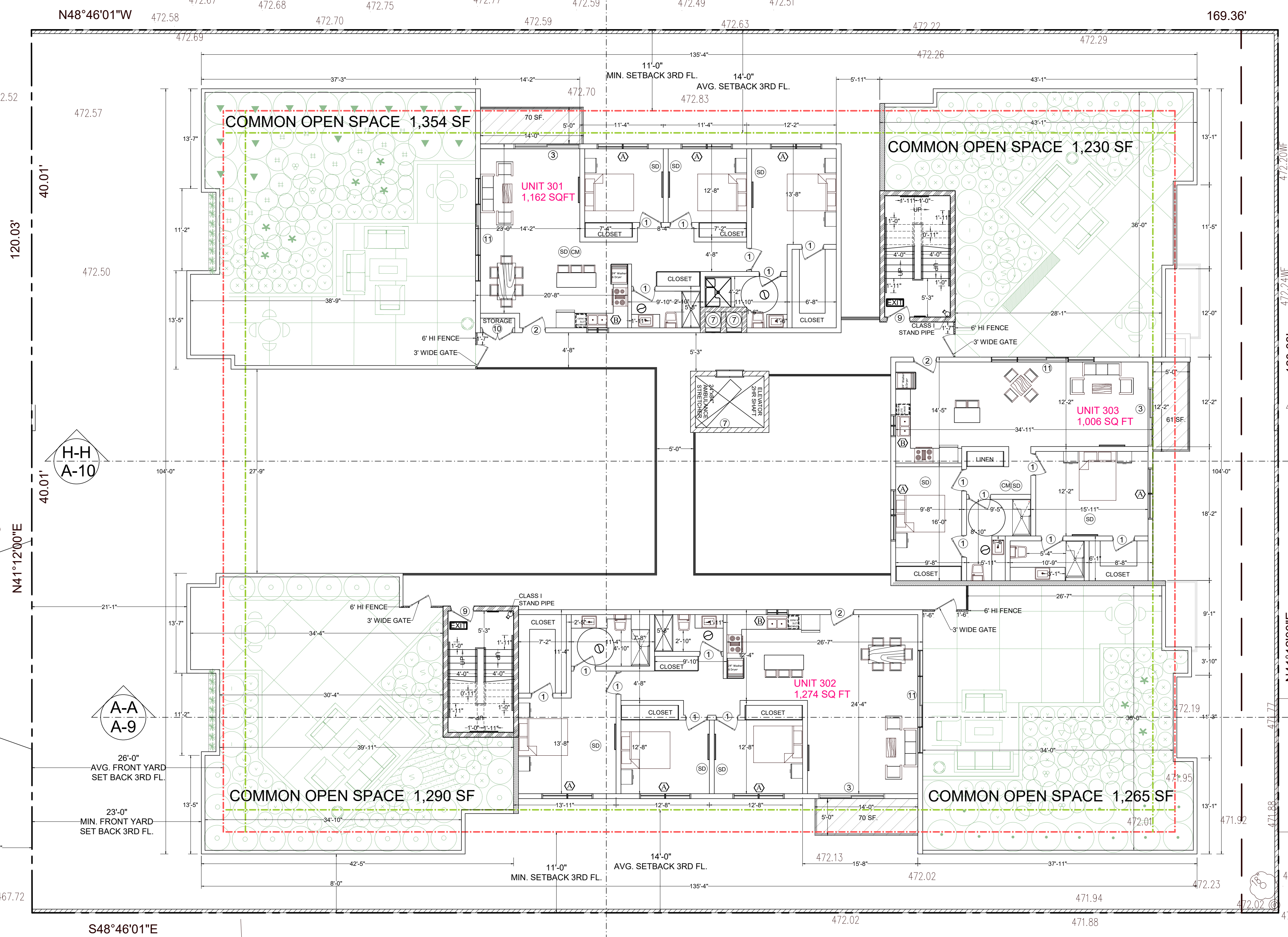
A-A
A-9

H-H
A-10

A-A
A-9

H-H
A-10

A-A
A-9



ONE-STORY BUILDING

THIRD FLOOR

SCALE: 1/8"=1'-0"

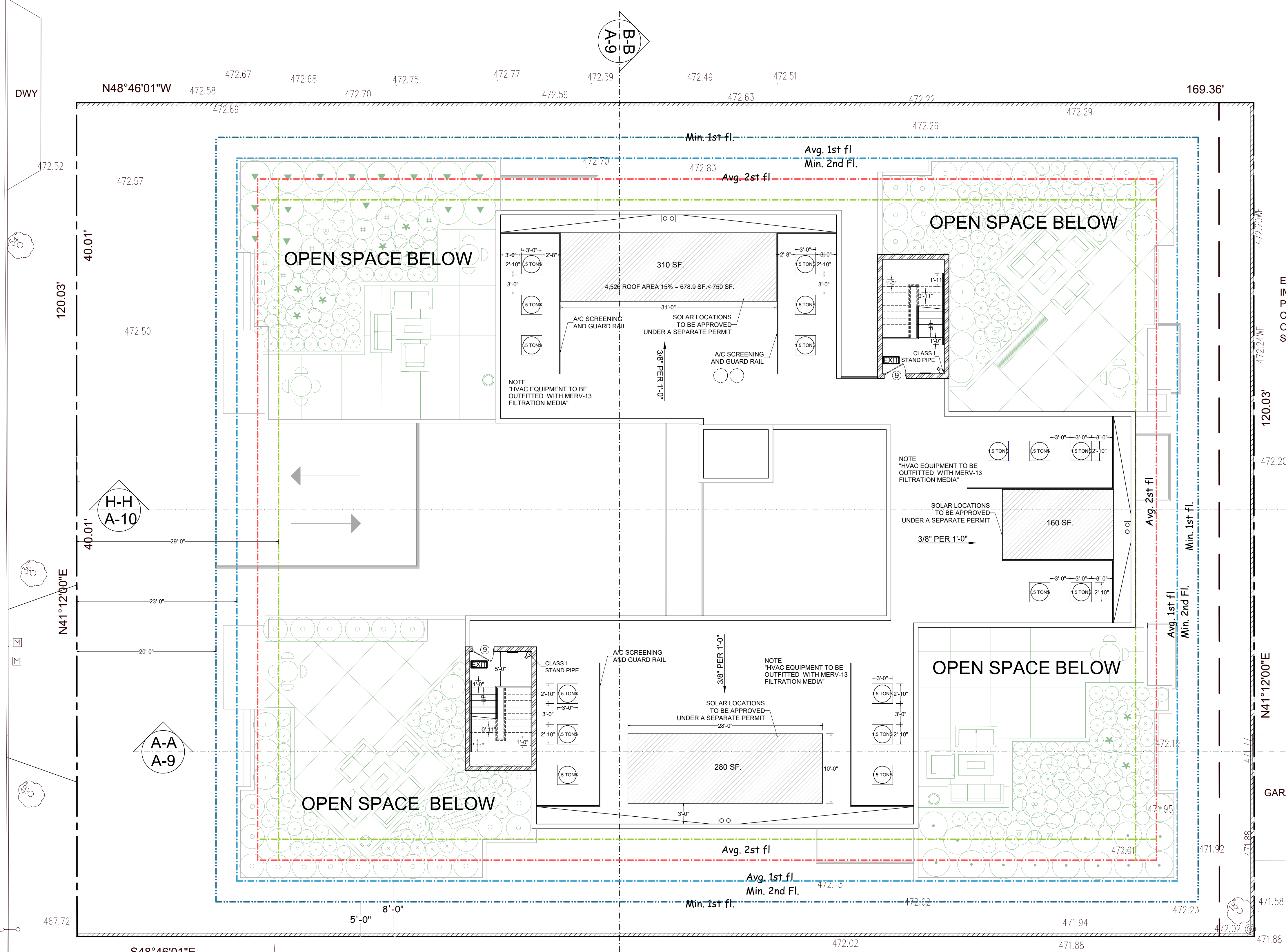
QUALIFIED OPEN SPACE AREA

- PLUMBING 2" X 6" WALL
- SEPARATION WALL
- 2-HR WALL
- 1-HR WALL
- CONCRETE BLOCK WALL
- BLOCK WALL
- FRONT LOADING WASHER AND DRYER
- FIN. FLOOR LINE ELEVATION
- WATER CURTAIN
- BLOCKING
- EXIT SIGN

- HARD WIRED SMOKE DETECTORS
 - BATHROOM FAN W/5 AIR CHANGE PER HOUR (MIN. 50CFM) CONNECTED DIRECTLY TO OUTSIDE ENERGY STAR/CONDUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
- CARBON MONOXIDE SHALL BE INSTALLED OUTSIDE BEDROOMS, TYPICAL ON ALL UNITS. ON ALL FLOOR.

STREET
HAZEL

472.54TC
472.10FL
472.20EG
472.31TX
471.86FL
472.09EG
471.95FL
472.12FL
472.68TX
472.07FL
472.30TX
471.76FL
471.88FL
471.84FL
472.25TX
471.75FL
472.27TX
471.63FL
471.71FL
471.76FL
472.31TX
471.69FL
472.21TC
471.60FL
471.74EG
472.24TC
471.50FL
471.80EG



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ROOF PLAN

SCALE: 1/8"=1'-0"

- PLUMBING 2" X6" WALL
- SEPARATION WALL
- 2-HR WALL
- 1-HR WALL
- CONCRETE BLOCK WALL
- BLOCK WALL
- FRONT LOADING WASHER AND DRYER
- FIN. FLOOR LINE ELEVATION
- WATER CURTAIN
- BLOCKING
- EXIT SIGN

- SD HARD WIRED SMOKE DETECTORS
- BATHROOM FAN W/5 AIR CHANGE PER HOUR (MIN. 50CFM) CONNECTED DIRECTLY TO OUTSIDE ENERGY STAR/CONDUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER SUB-METERS
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
CARBON MONOXIDE SHALL BE INSTALLED OUTSIDE BEDROOMS. TYPICAL ON ALL UNITS. ON ALL FLOOR

REVISIONS BY

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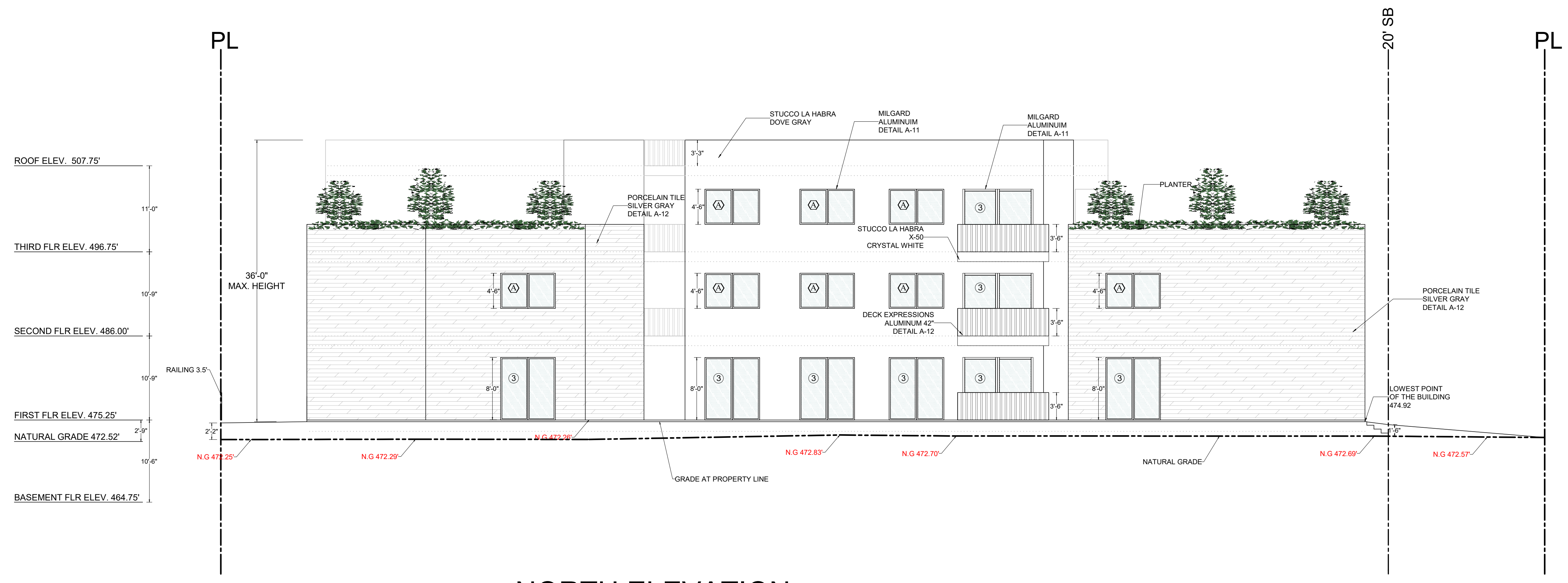
BAHRAM RAEEN
CONSULTANT ENGINEER
3280 S. MOTOR AVE., SUITE 226, W. LOS ANGELES, CA. 90034

REGISTERED PROFESSIONAL ENGINEER
No. 37080
Expires 03/30/2022
CIVIL
STATE OF CALIFORNIA

17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

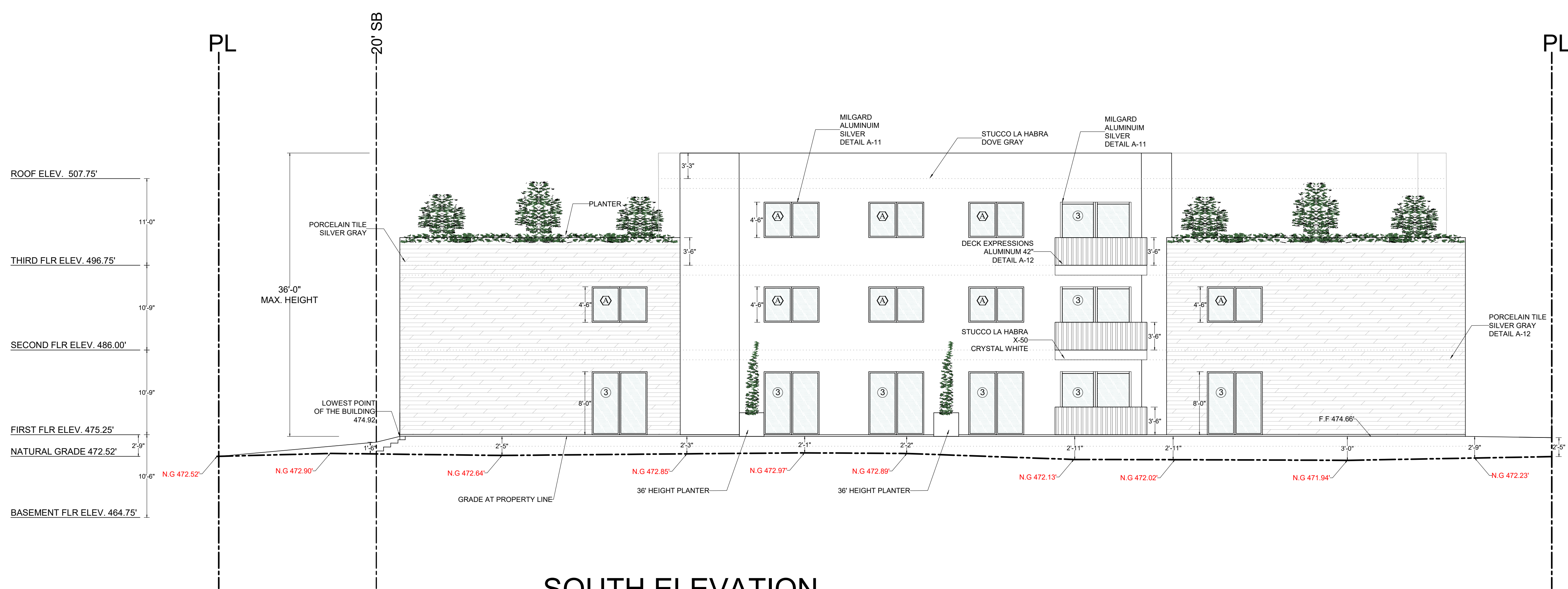
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Job: _____
Sheet: _____

A-6
Of 6 Sheets



NORTH ELEVATION

SCALE: 1/8"=1'-0"



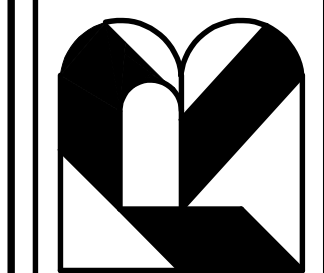
SOUTH ELEVATION

SCALE: 1/8"=1'-0"

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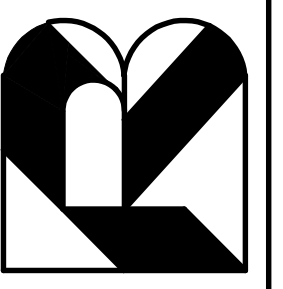


17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date: _____
Scale: _____
Drawn: _____
Job: _____
Sheet: _____
A-7
Of _____ Sheets

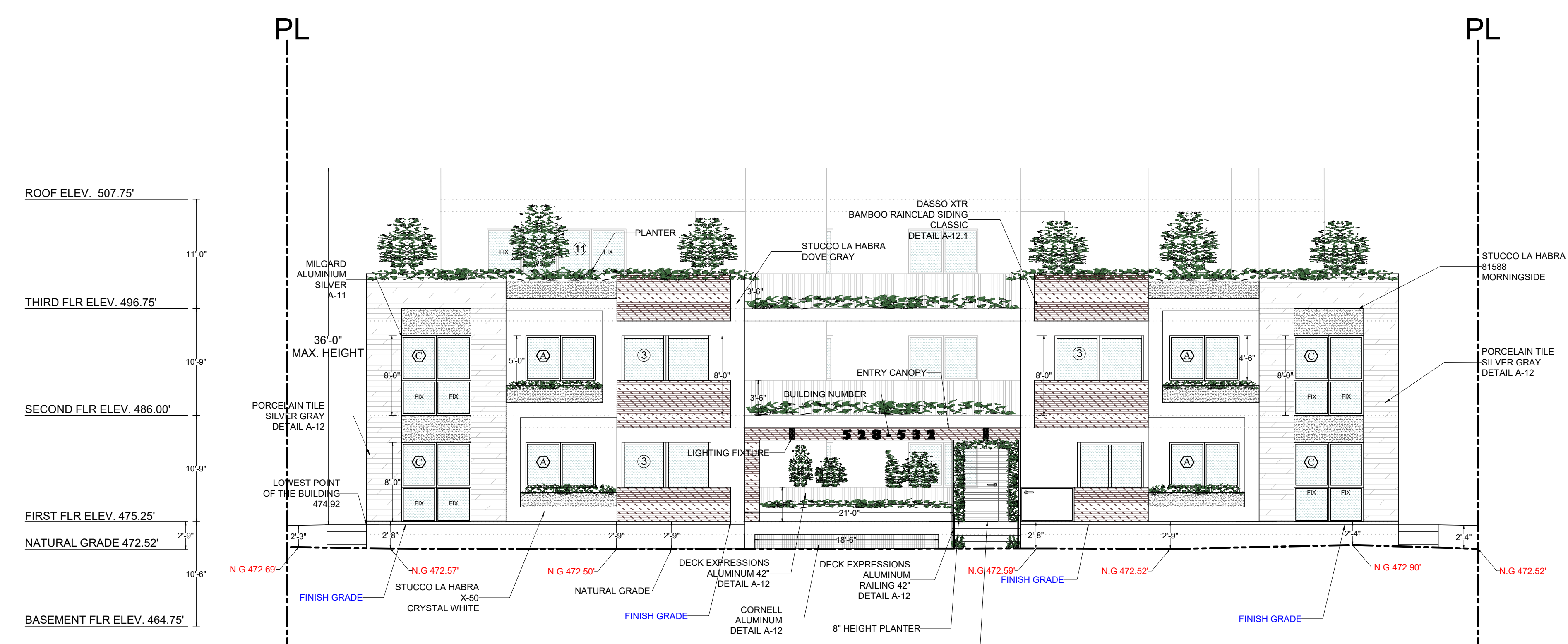
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11040 SANTA MONICA BLVD., SUITE 326, LOS ANGELES, CA 90025



17 UNITS APARTMENT
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GLENDALE, CA 91201

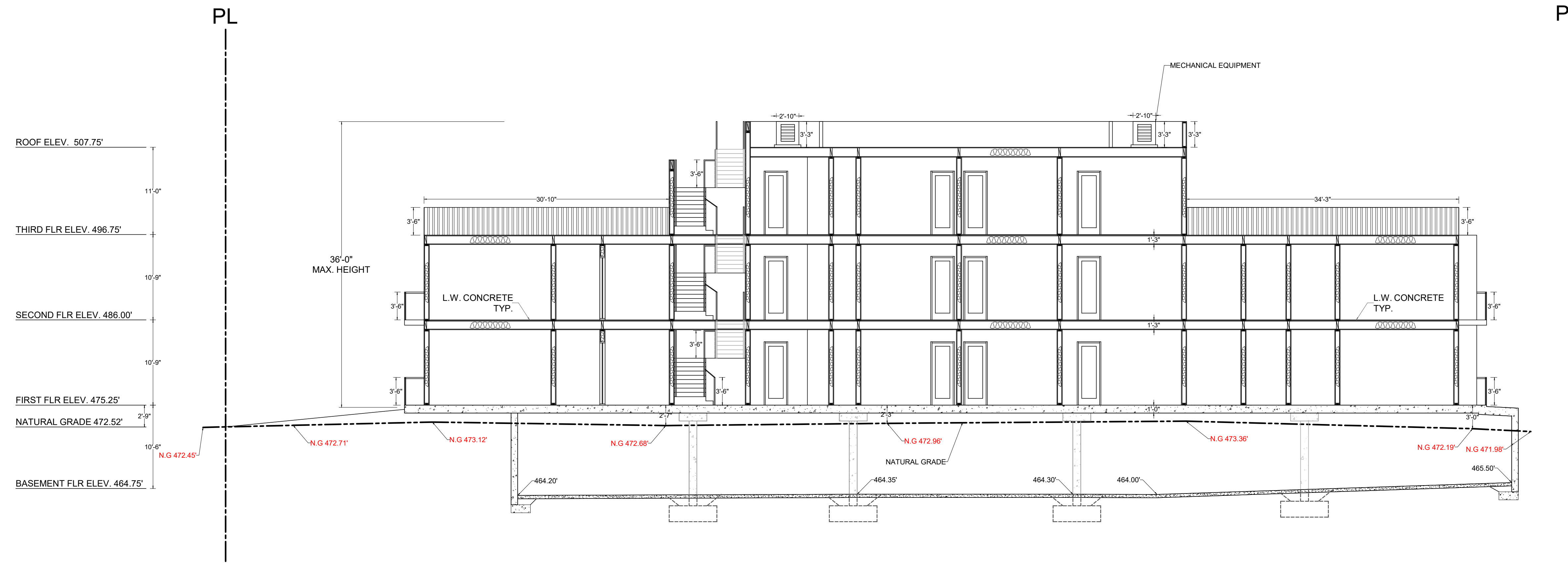
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Scale: _____
Drawn: _____
Job: _____
Sheet: _____
A-8
Of _____ Sheets



WEST ELEVATION
SCALE: 1/8"=1'-0"

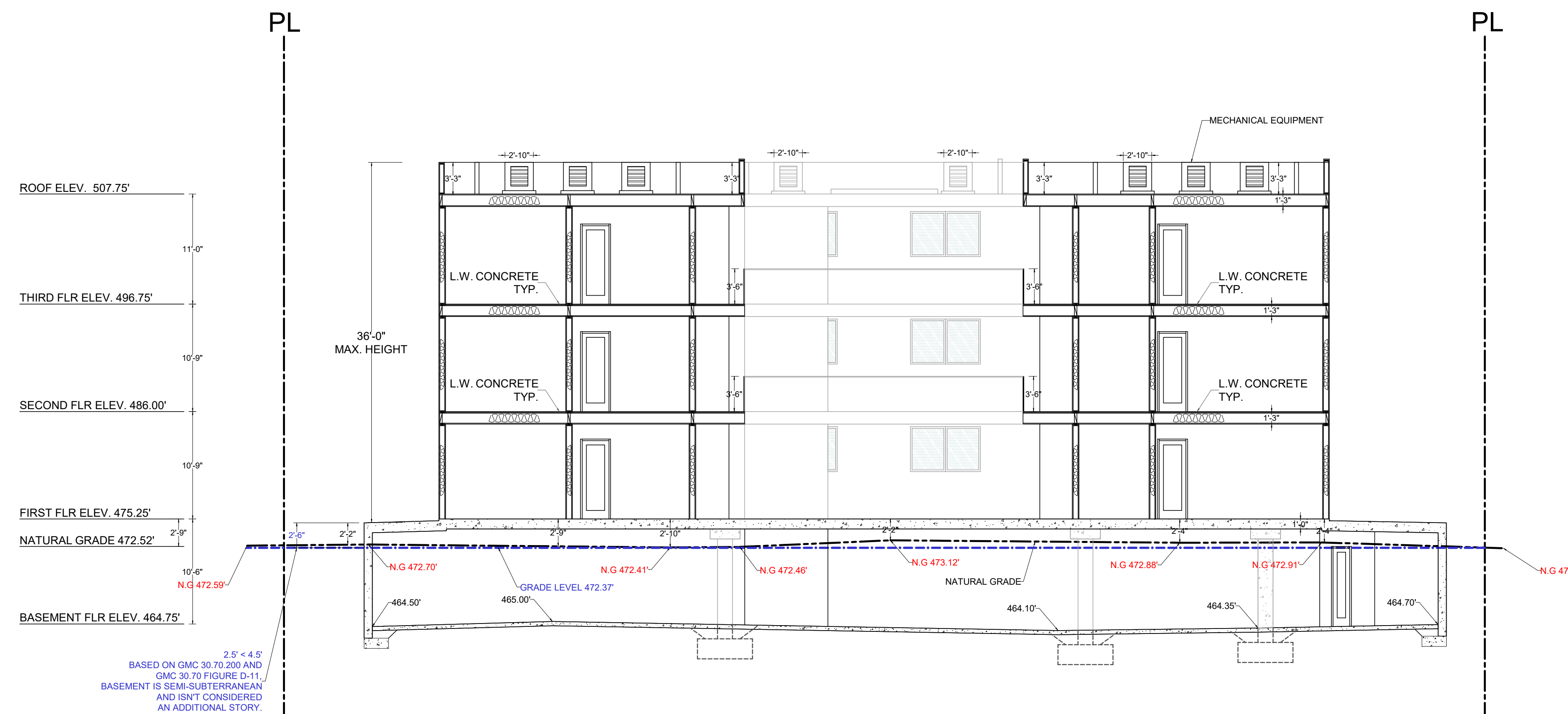


EAST ELEVATION
SCALE: 1/8"=1'-0"



SECTION A-A

SCALE: 1/8"=1'-0"



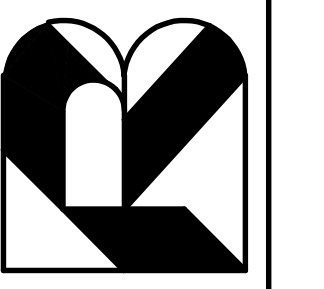
SECTION B-B

SCALE: 1/8"=1'-0"

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17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date:
 Scale:
 Drawn:
 Job:
 Sheet:

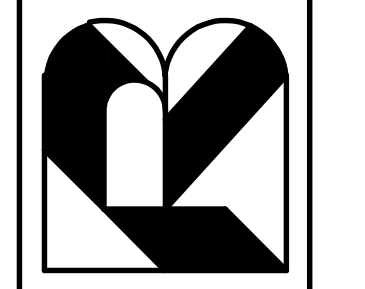
A-9
 of 9 Sheets

NO.	DESCRIPTION	DATE

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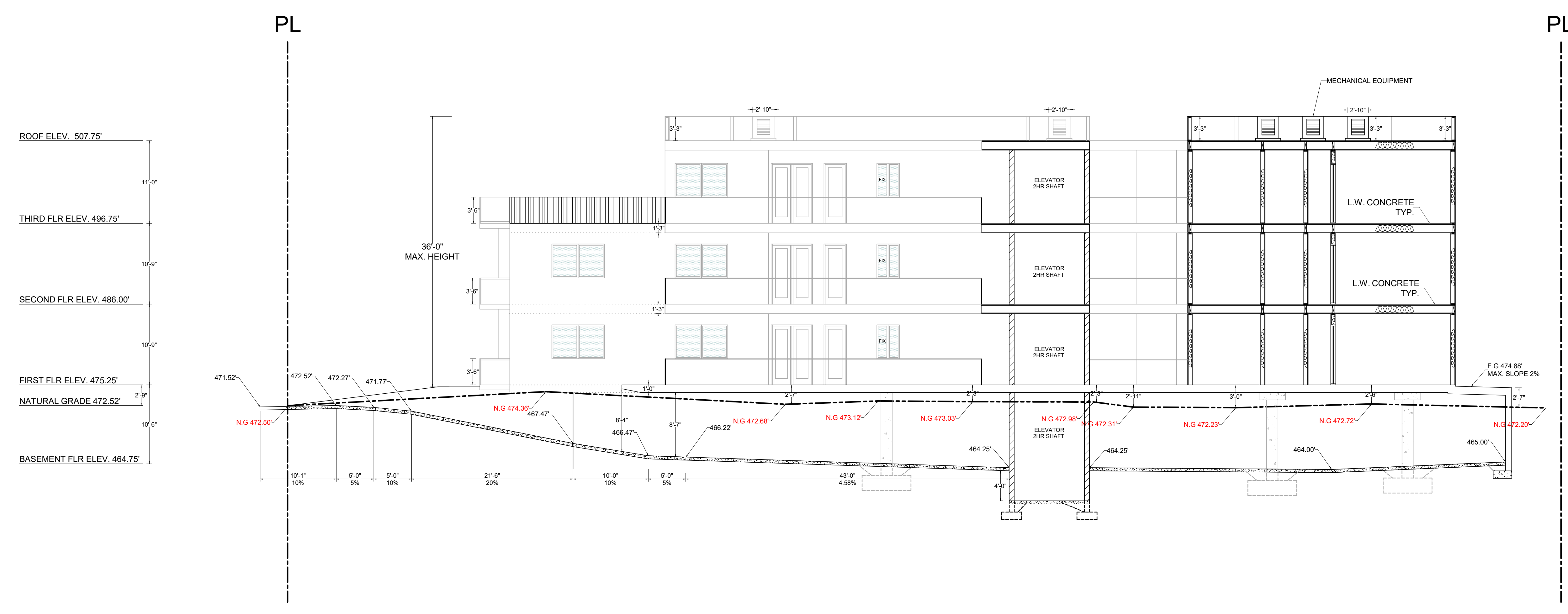
B. RAEEN
 CONSULTANT ENGINEER, INC.,
 11040 SANTA MONICA BLVD., SUITE 326, LOS ANGELES, CA 90025



17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
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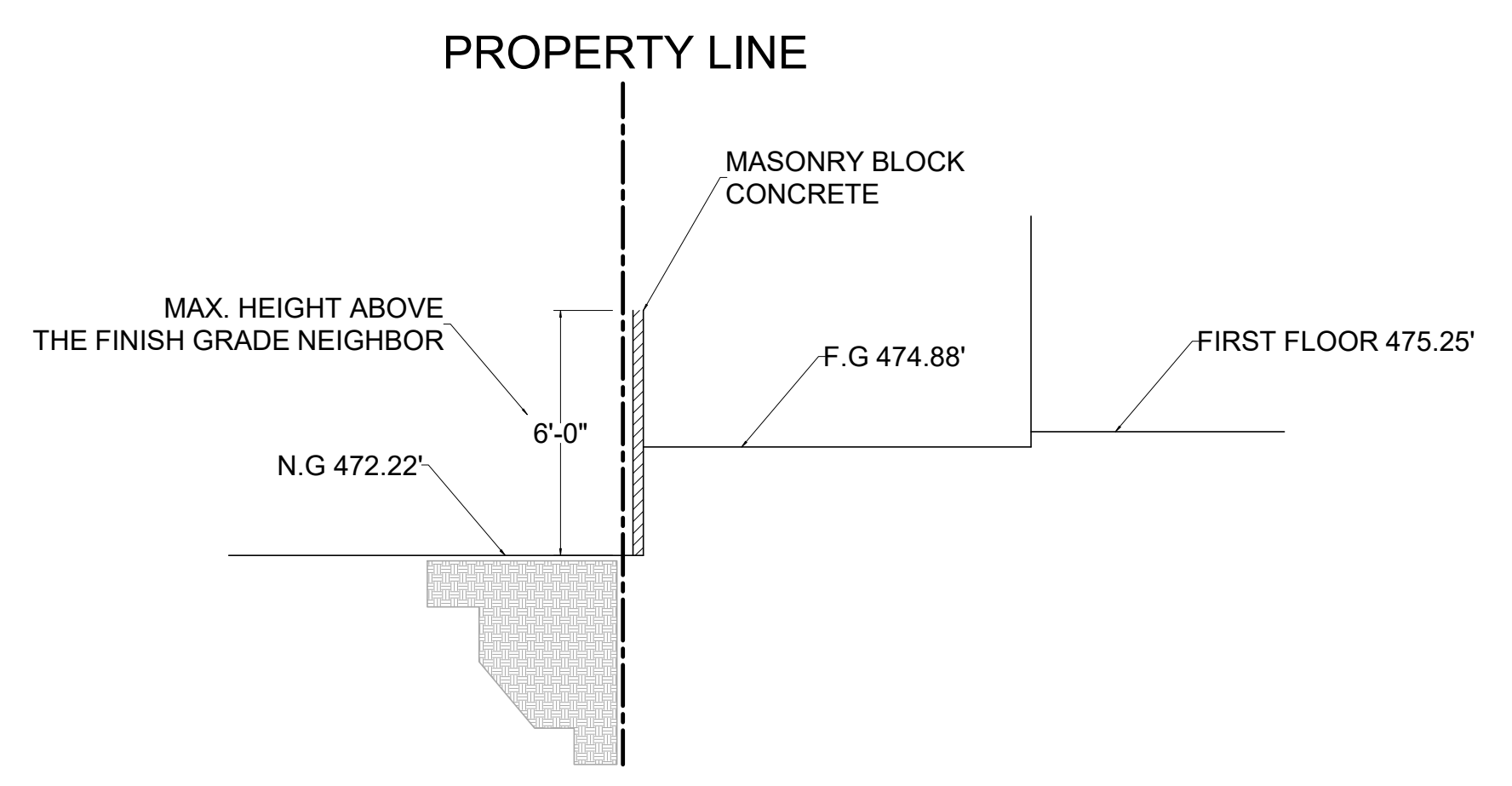
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 Sheet: _____

A-10
 of _____ Sheets



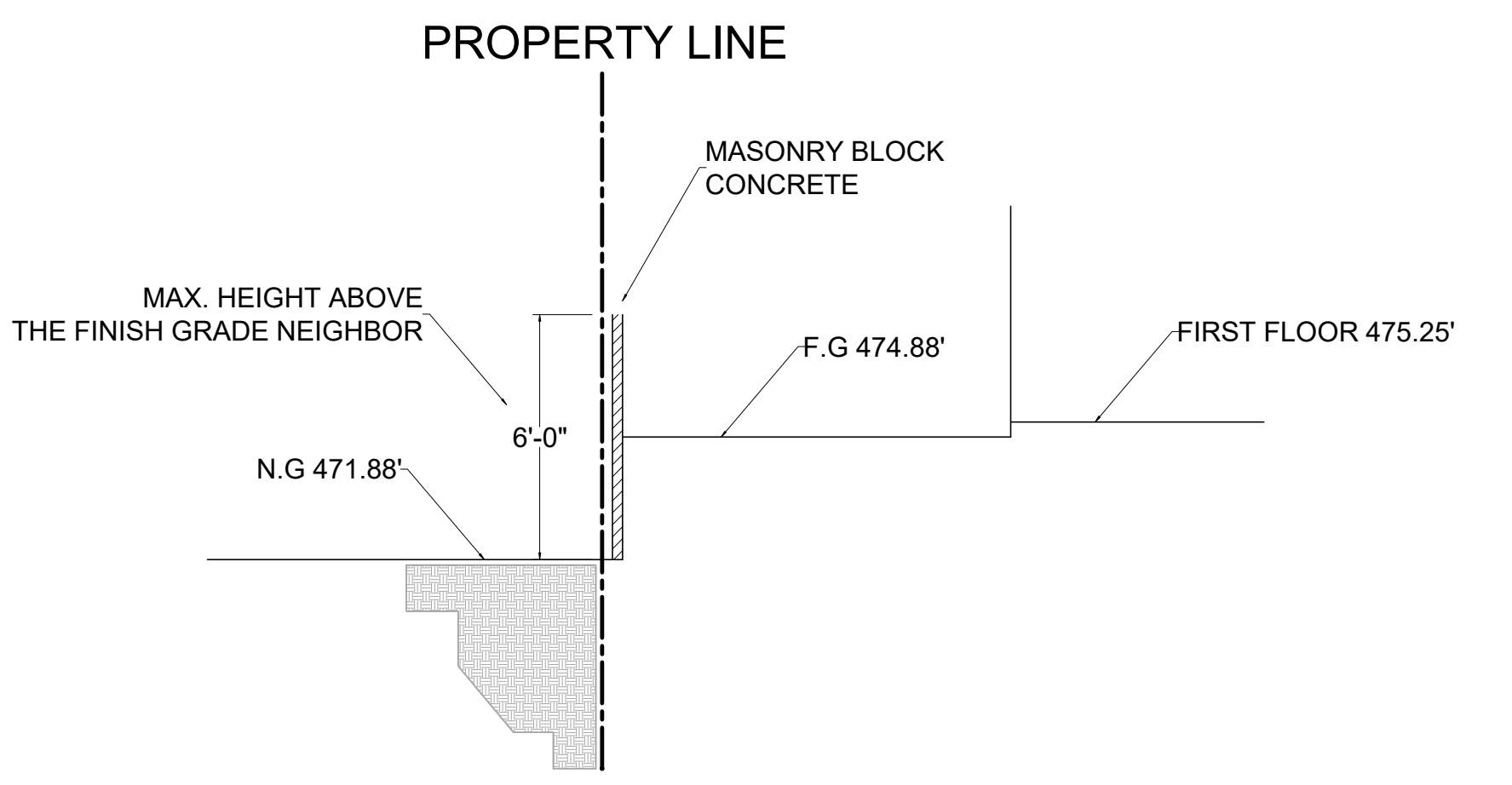
SECTION H-H

SCALE: 1/8"=1'-0"



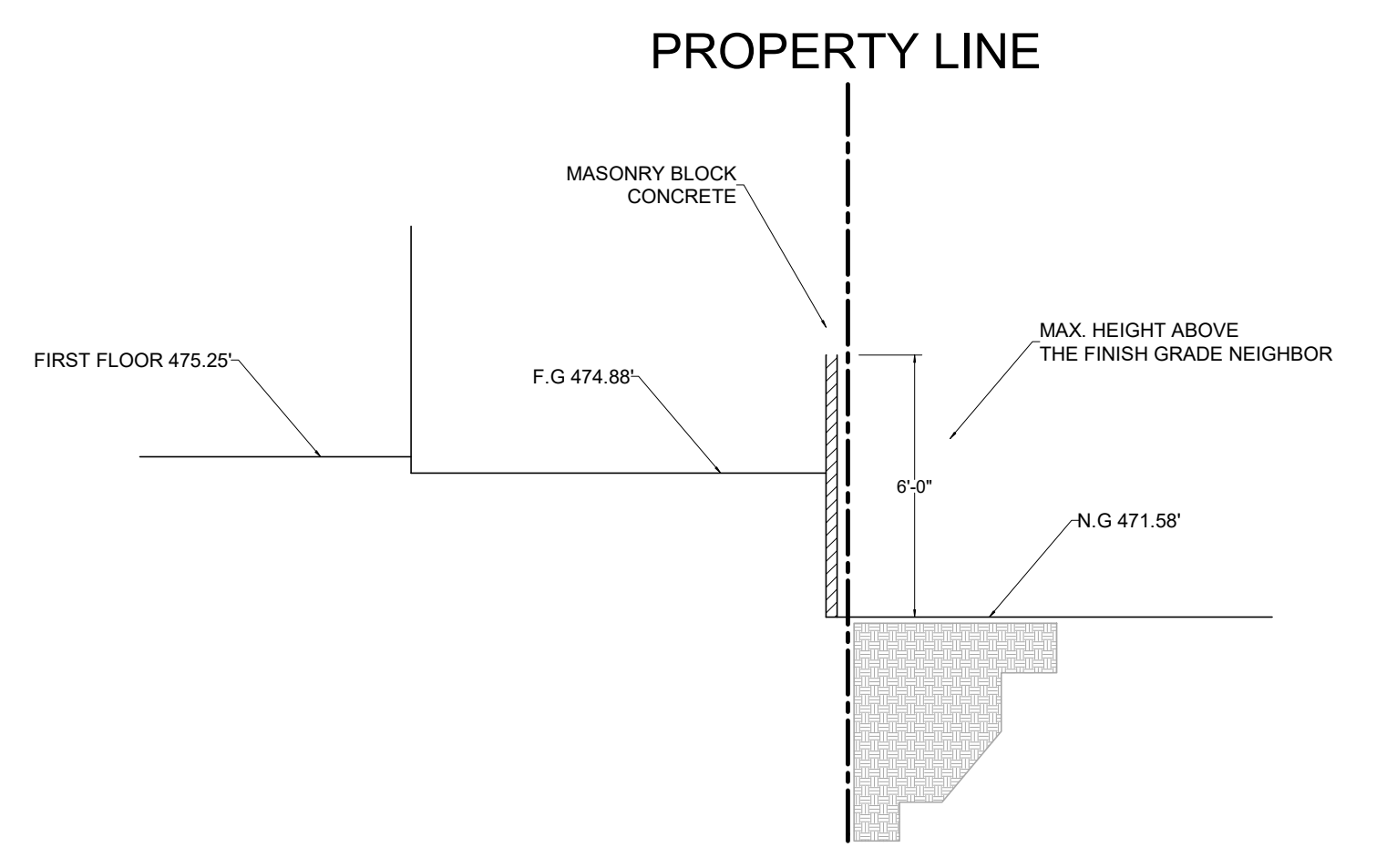
SECTION E-E

SCALE: 1/4"=1'-0"



SECTION F-F

SCALE: 1/4"=1'-0"

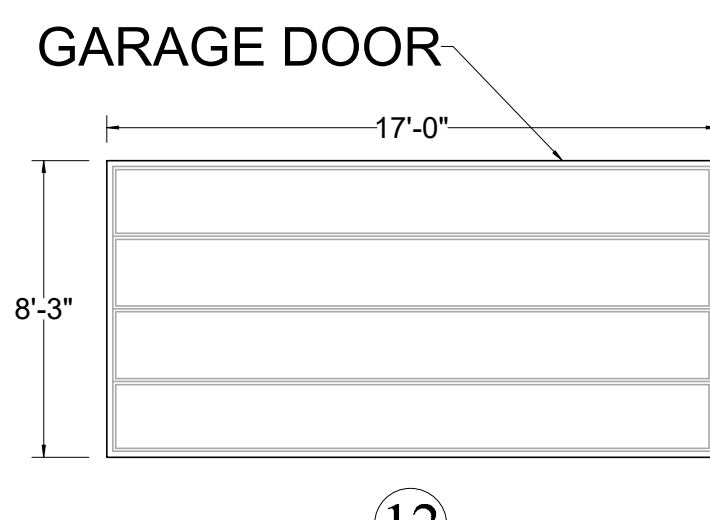
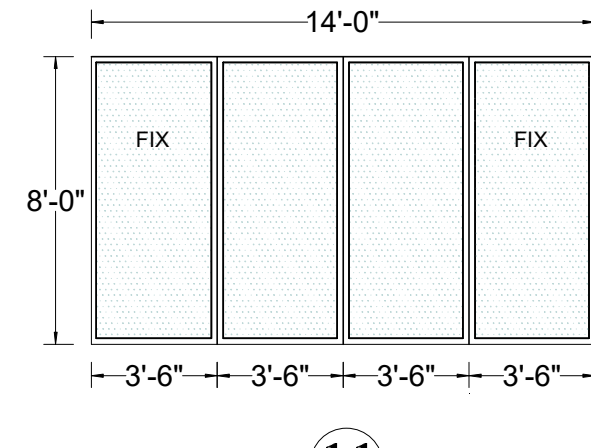
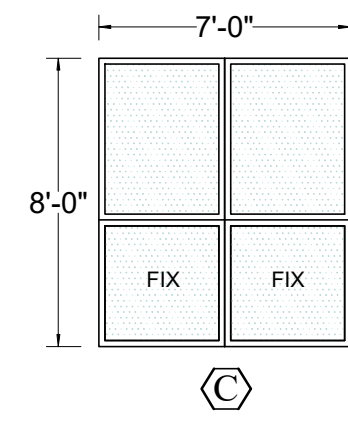
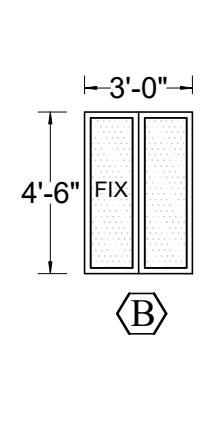
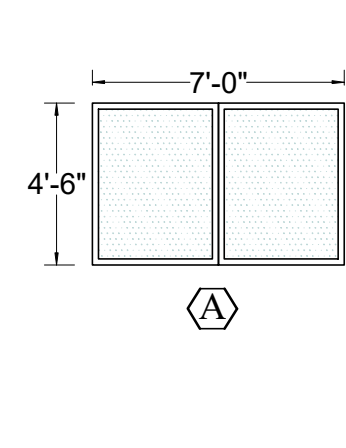
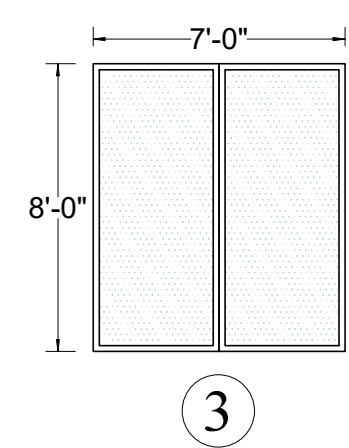


SECTION G-G

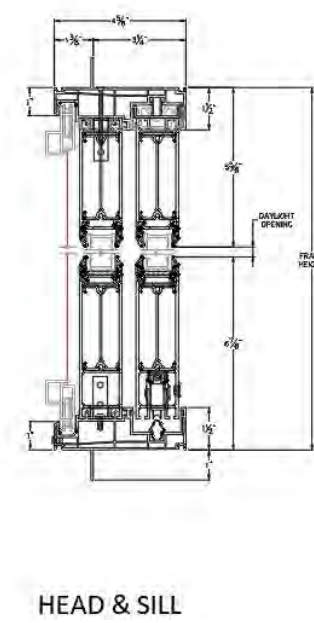
SCALE: 1/4"=1'-0"

DOOR SCHEDULE										
NO.	DOOR TYPE	DIMENSION			MATERIAL			FINISH	RATE	REMARKS
		WIDTH	HEIGHT	THICK	DOOR	FRAME	CORE			
①		3'-0"	8'-0"	1-3/8"	WOOD	WOOD	H.C.	PAINT		TH/S.C.
②		3'-0"	8'-0"	1-3/4"	WOOD	WOOD	H.C.	PAINT	20 MIN.	TH/S.C.
③	SLIDING DOOR	7'-0"	8'-0"	1-3/8"	GLASS	ALUM.		VINYL		TEMP. - 0.4 U-FACTOR
④	RECYCLE ROOM	2x3'-0"	8'-0"	1-3/8"	METAL	METAL	S.C.	PAINT	1-1/2 HR	TH/S.C.
⑤	TRASH ROOM	2x3'-0"	8'-0"	1-3/4"	METAL	METAL	S.C.	PAINT	1-1/2 HR	TH/S.C.
⑥	ELEV. ROOM	3'-2"	8'-0"	1-3/4"	METAL	METAL	S.C.	PAINT	1-1/2 HR	TH/S.C.
⑦	TRASH SHUTE	2'-0"	7'-0"	1-3/4"	METAL	METAL	S.C.	PAINT	90 MIN.	TH/S.C.
⑧	ENTRANCE GATE	3'-0"-1'-6"	8'-4"	1-3/4"	METAL	METAL	S.C.	PAINT		
⑨	EXIT DOORS	3'-0"	8'-0"	1-3/4"	METAL	METAL	H.C.	PAINT	2HR	PANIC HARDWARE, SWING DOOR
⑩	STORAGE DOORS	2x3'-0"	7'-0"	1-3/4"	WOOD	WOOD	H.C.	PAINT	20 MIN.	TH/S.C.
⑪	SLIDING DOOR	14'-0"	8'-0"	1-3/8"	GLASS	ALUM.		VINYL		TEMP. - 0.4 U-FACTOR
⑫	GARAGE DOOR ROLL UP	17'-0"	8'-3"	1-3/4"	METAL	METAL		PAINT		

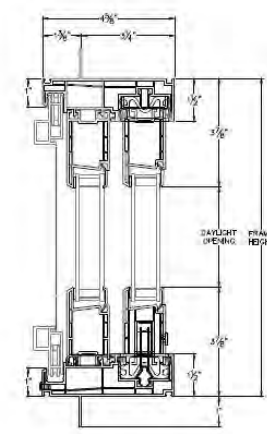
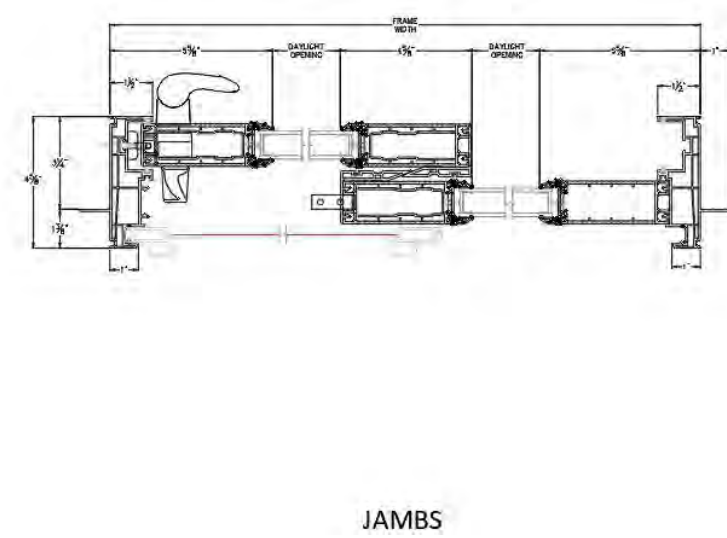
WINDOW SCHEDULE											
NO.	WIND. TYPE	DIMENSION			MATERIAL			FINISH	RATE	ENERGY EFFCY	MANUFACTURER
		WIDTH	HEIGHT	THICK	WIND.	FRAME	GLASS				
Ⓐ	SLIDING	7'-0"	4'-6"		GLASS	ALUM.	D-GLAZ	PVC		0.4 U-FACTOR	MILGARD WINDOWS
Ⓑ	SINGLE CASEMENT	3'-0"	4'-6"		GLASS	ALUM.	D-GLAZ	PVC		0.4 U-FACTOR	MILGARD WINDOWS
Ⓒ	SLIDING	7'-0"	8'-0"		GLASS	ALUM.	D-GLAZ	PVC		0.4 U-FACTOR	MILGARD WINDOWS



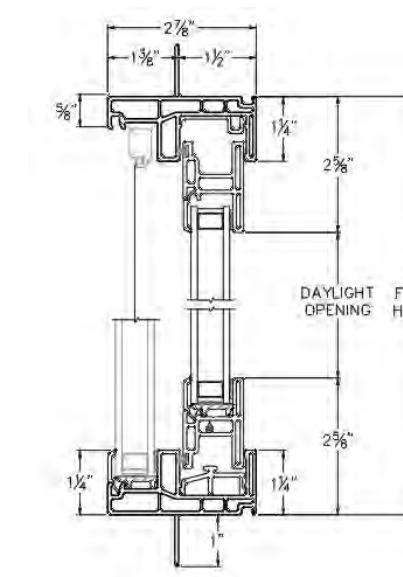
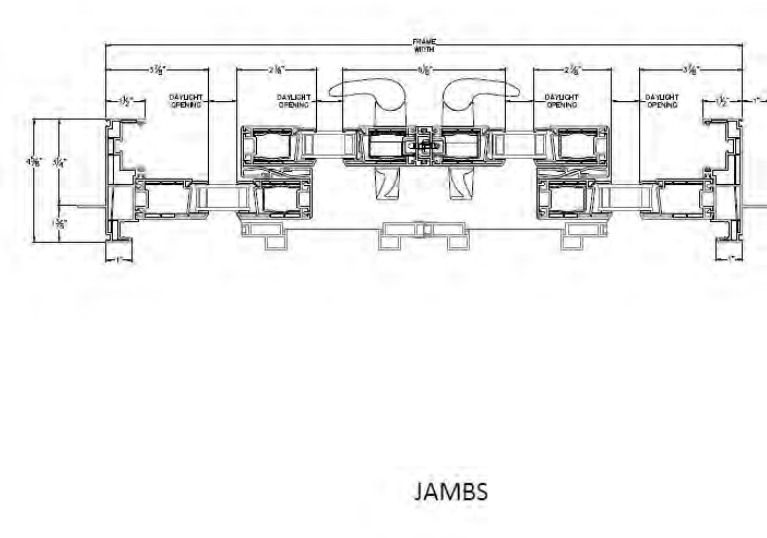
THE STYLE LINE SERIES VINYL (PVC) HORIZONTAL SLIDING AND SINGLE CASEMENT WINDOW BLENDS THE ENERGY EFFICIENCY AND LOW MAINTENANCE OF VINYL WITH CLEAN LINES AND A NARROW PROFILE.



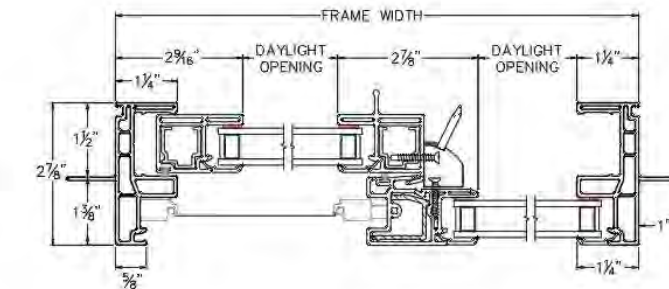
SLIDING DOOR (3)



SLIDING DOOR - 4 PANEL (11)

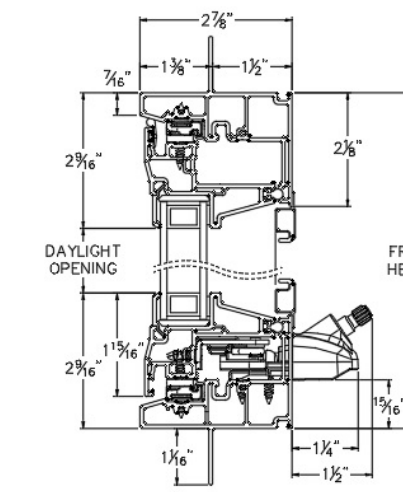


HEAD & SILL

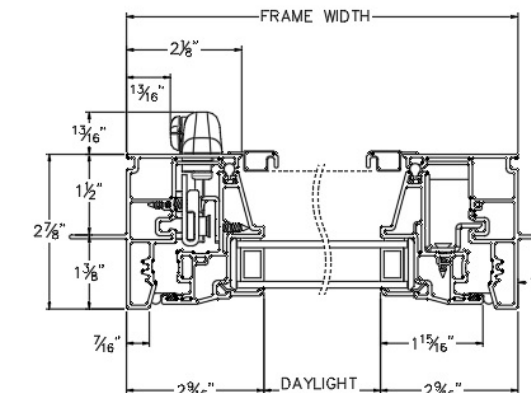


JAMBS

HORIZONTAL SLIDING WINDOW (A)

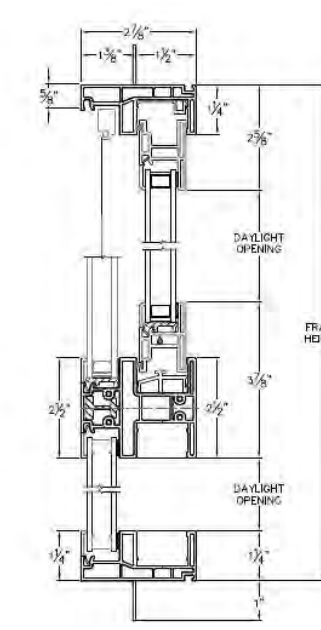


HEAD & SILL

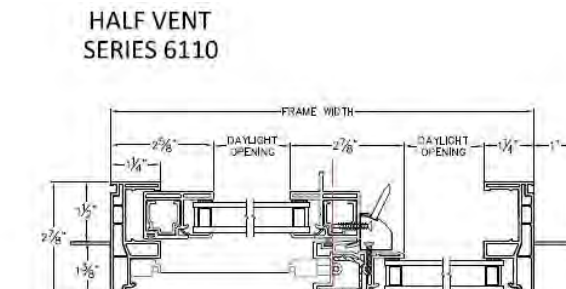


JAMBS

SINGLE CASEMENT WINDOW (B)



HEAD & SILL



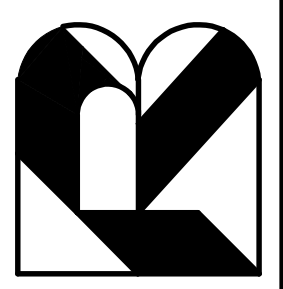
JAMBS

SLIDING WINDOW - HALF VENT ABOVE (C)

REVISIONS	BY

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17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date	
Scale	
Drawn	
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Sheet	
A-11	

DASSO XTR FUSED BAMBOO FOR EXTERIOR USE



Classic Espresso 1x7 RainClad Siding Shiplap T&G End-Match Pre-primed Reversible
Item #: XTR-SID18-178TG-PP

- PRODUCT DESCRIPTION: Classic Espresso 1x7 RainClad Siding Shiplap T&G End-Match Pre-primed Reversible DASSO XTR Fused Bamboo
- COLOR: Espresso
- THICKNESS (FRACTION): 3/4"
- WIDTH (FRACTION): 7"
- FACE COVERAGE (INCH): 6.61"
- SPACE BETWEEN BOARD FACES WHEN SET IN CLIPS: Fascia 6-10 1/8" (165mm) include 1/4" Reveal (7mm)
- LENGTH (RANGE): 6-7'
- LINEAL FEET PER BUNDLE: 19.00
- INSTALLATION: Hang on clips which are mounted on panel or to studs/batten. Use marine-grade stainless steel fasteners designed for fastening to the panel/batten (wood or metal screws to wood or metal).

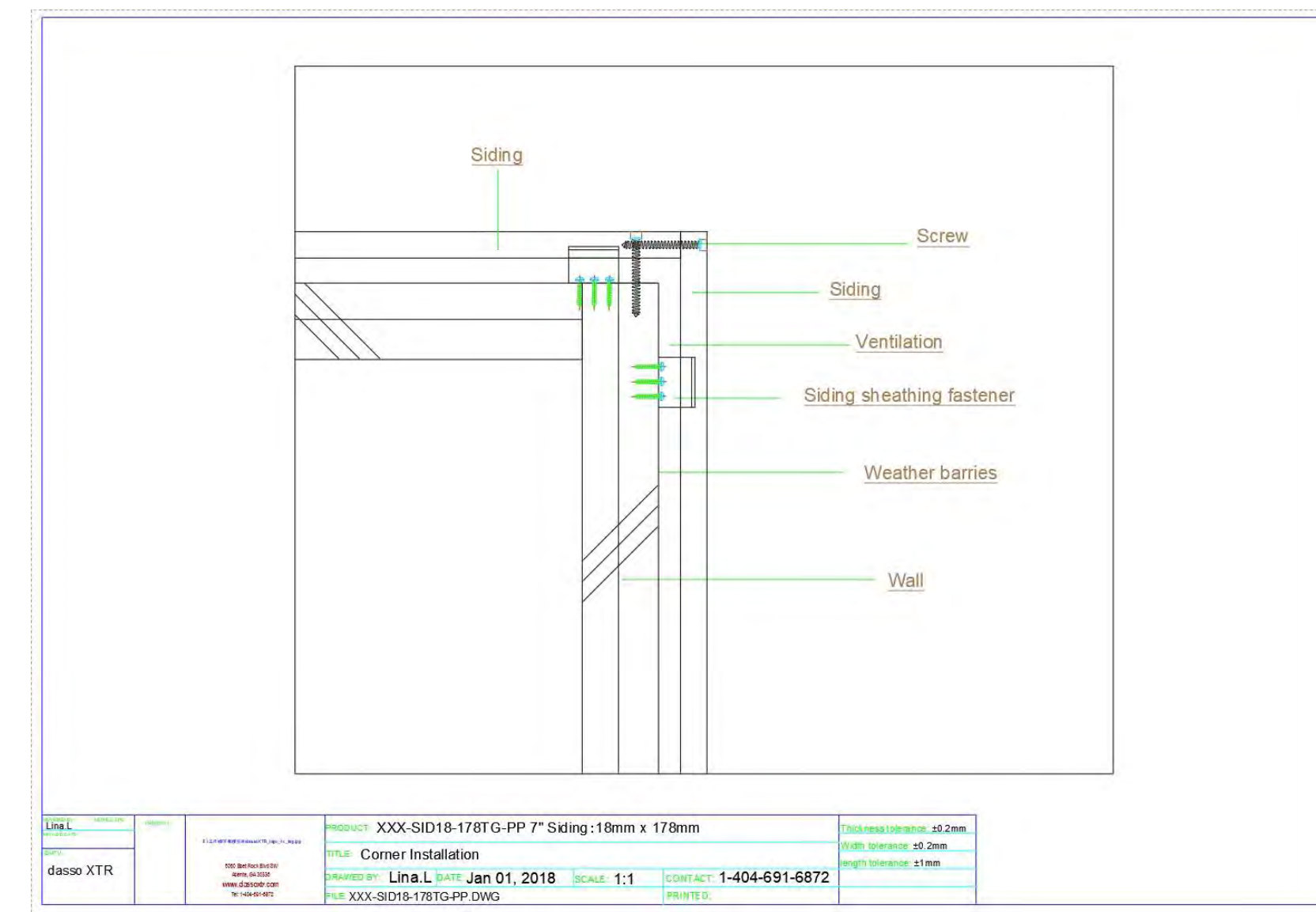
Product Info
PRODUCT DESCRIPTION: Classic Espresso 1x7 RainClad Siding Shiplap T&G End-Match Pre-primed Reversible DASSO XTR Fused Bamboo
PRE-PRIMED: Yes - WCOCA oil
FINISHES: Pre-primed - with Natural Oil

Composition
CONSTRUCTION: Strand
PROCESS OR TREATMENT: Carbonized and Fused
DYEING PROCESS: Wet Process
FACE/BOTTOM MILLING: One side milled face, trim left
BLENDED AGENT: Phthalic anhydride

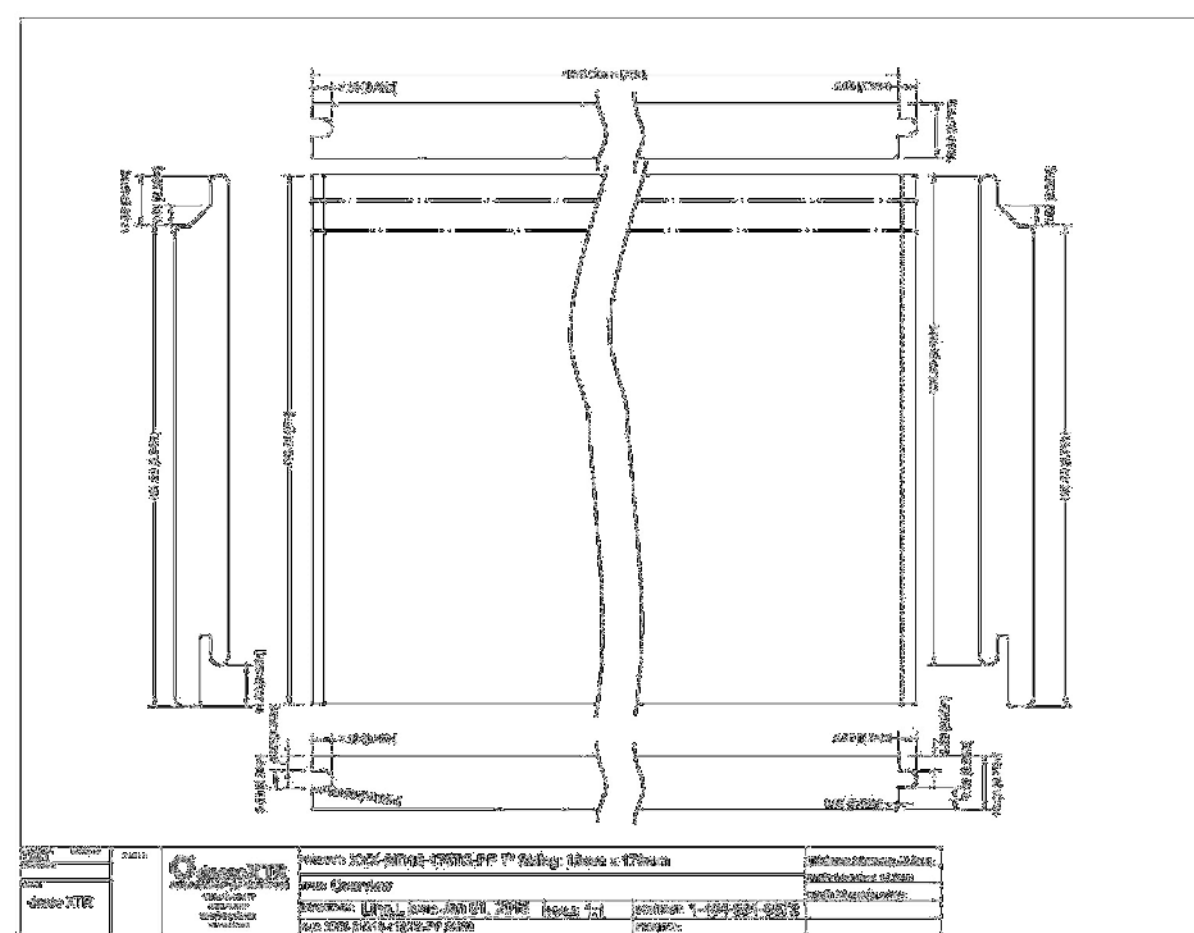
Dimensions
THICKNESS (DECIMAL): 0.71 inches
WIDTH (DECIMAL): 7.21 inches
LENGTH (DECIMAL): 72.00 inches
THICKNESS (DECIMAL): 1
WIDTH (DECIMAL): 7
THICKNESS (FRACTION): 3/4"
WIDTH (FRACTION): 7
WIDTH IN FEET (INCLUDE GAP): 0.585
LENGTH (RANGE): 6-7'

FACE COVERAGE (INCH): 6.61"	SPACE BETWEEN BOARD FACES WHEN SET IN CLIPS: Fascia 6-10 1/8" (165mm) include 1/4" Reveal (7mm)
THICKNESS (MM): 18 mm	WIDTH (MM): 178 mm
LENGTH (MM): 1,829 mm	WIDTH IN METERS (INCLUDE GAP): 0.178
FACE COVERAGE (MM): 168 mm	
Packaging	
PIECES PER BUNDLE: 3 (18 LxHxL long)	BUNDLES PER PALLET: 54
SOFT PER PALLET: 567.64	SOFT PER BUNDLE: 18.513
SOFT COVERAGER (sq. ft.): 10.039	LINEAL FEET PER PALLET: 19
LINEAL FEET PER BUNDLE: 18	LINEAL FEET PER PALLET: 872
LB PER PALLET: 2.50	LB PER BUNDLE: 45
LB PER PALLET: 2430	LB PER PALLET SHKES: 55
TOTAL WEIGHT (LBS): 2430.00	PALLET DIM (INCLUDE PALLET SHKES): 48" x 94" x 47 1/2"
A20 FCL CONTAINER CAN LOAD: 15 to 18 pallets depending on load-loading limits of each state	PIECES PER BUNDLE (sq. ft.): 3 (5.487 Meter long)
BUNDLES PER PALLET (sq. ft.): 54	NO PER BUNDLE: 0.977
NO PER PALLET: 52.74 Sq. Meter per Pallet	NO COVERAGER (sq. ft.): 0.933
METER PER PIECE: 1.829	METER PER BUNDLE: 5.487
METER PER PALLET: 246.208	NO PER METER: 3.720
NO PER BUNDLE: 20.412	NO PER PALLET: 1102.23
NO PER PALLET SHKES: 25	TOTAL WEIGHT (kg): 1127.23
PALLET DIM (INCLUDE PALLET SHKES) (MM): 1406mm x 1910mm x 1184mm	
Technical Info	
INSTALLATION: Hang on clips which are mounted on panel or to studs/batten. Use marine-grade stainless steel fasteners designed for fastening to the panel/batten (wood or metal screws to wood or metal).	
FIRE RATING: Class A	
Eco Properties	
FORMALDEHYDE EMISSION RATING: E1 (F****)	

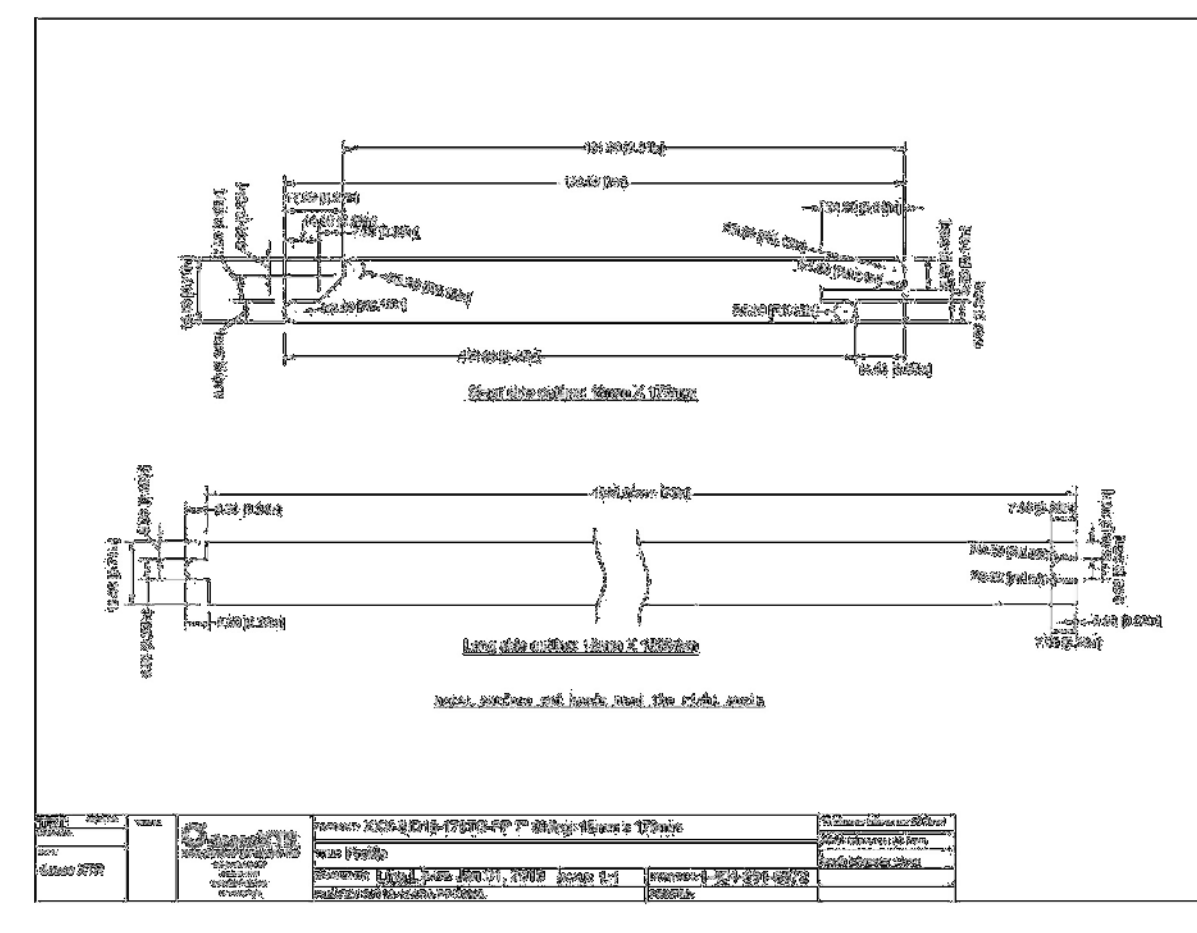
FSC CERTIFIED AVAILABILITY: Yes - as Special Order
Installation / Warranty
CONSTRUCTION RECOMMENDATION: For applications exposed to salt air, near large bodies of water, swimming pools or other areas where corrosion is more likely to occur, always use Grade 316 stainless steel screws.
WARRANTY RESIDENTIAL: 30 Years
WARRANTY COMMERCIAL: 10 Years
Copyright © 2019 DASSO XTR | dasso@xtr.com | +1 800.774.9002 | 404.691.6872 | info@dasso@xtr.com | 6000 East Rock Blvd (BX) Suite 600, Atlanta, GA 30328



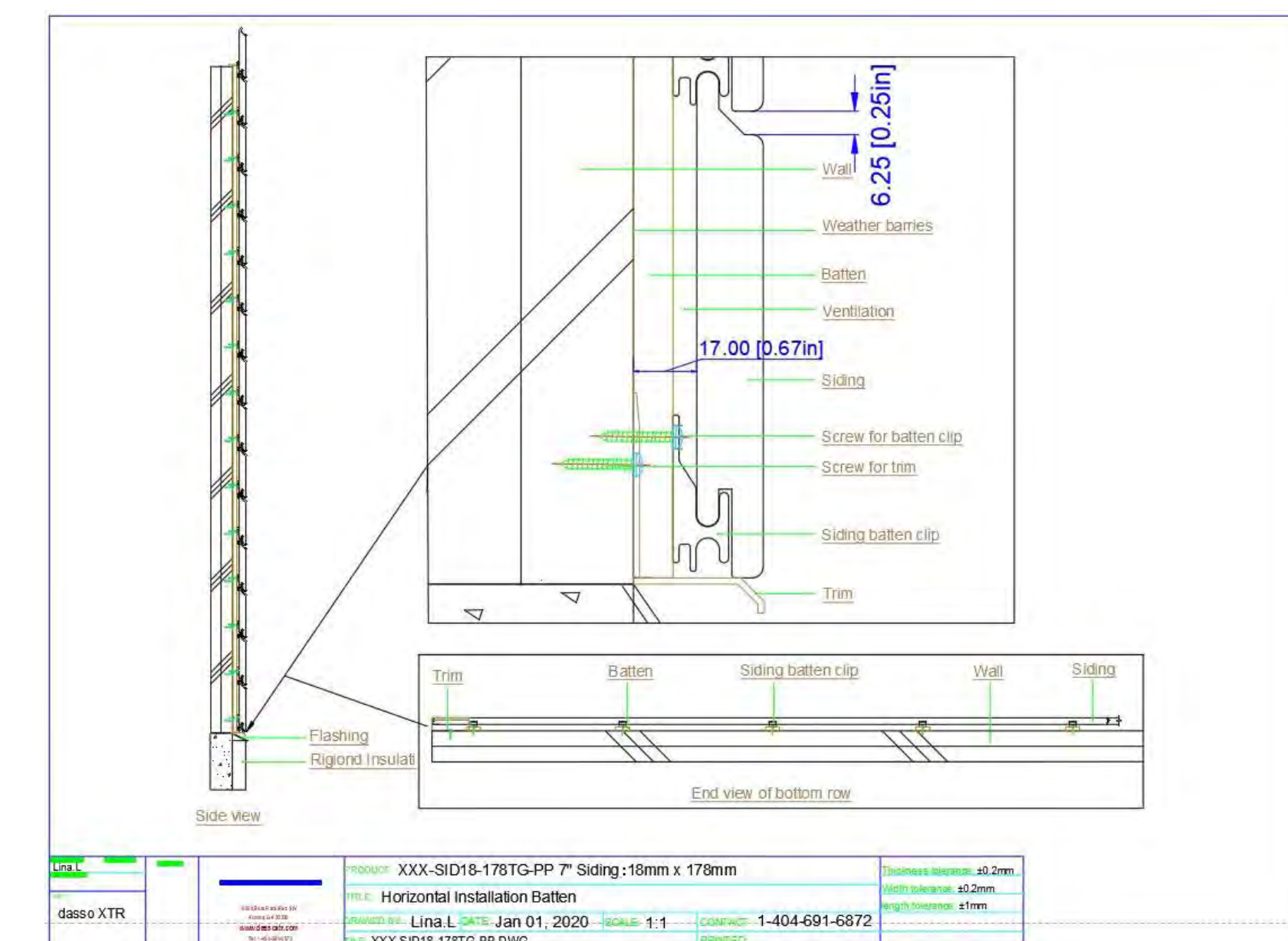
CORNER INSTALLATION



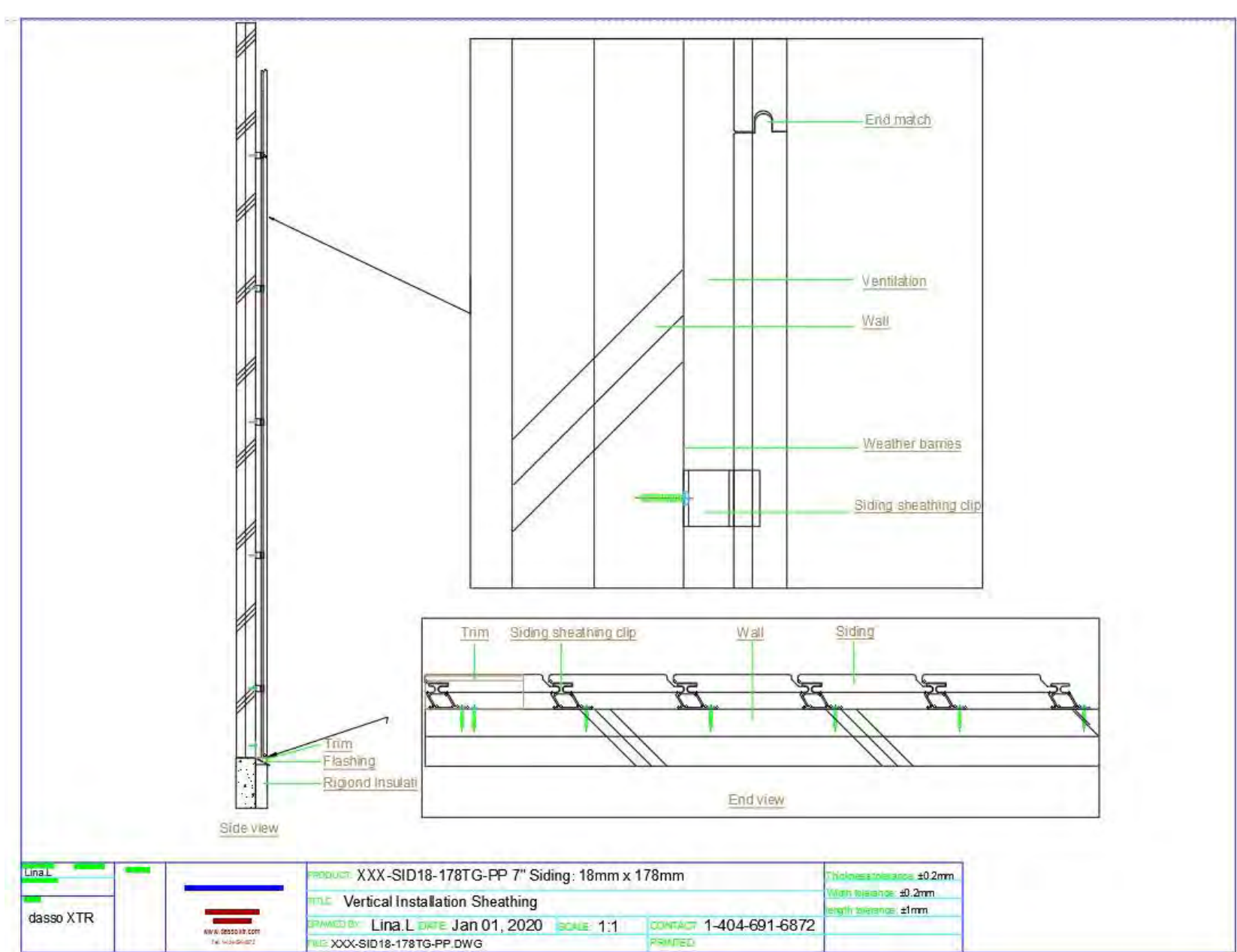
DASSO XTR FUSED BAMBOO DETAIL



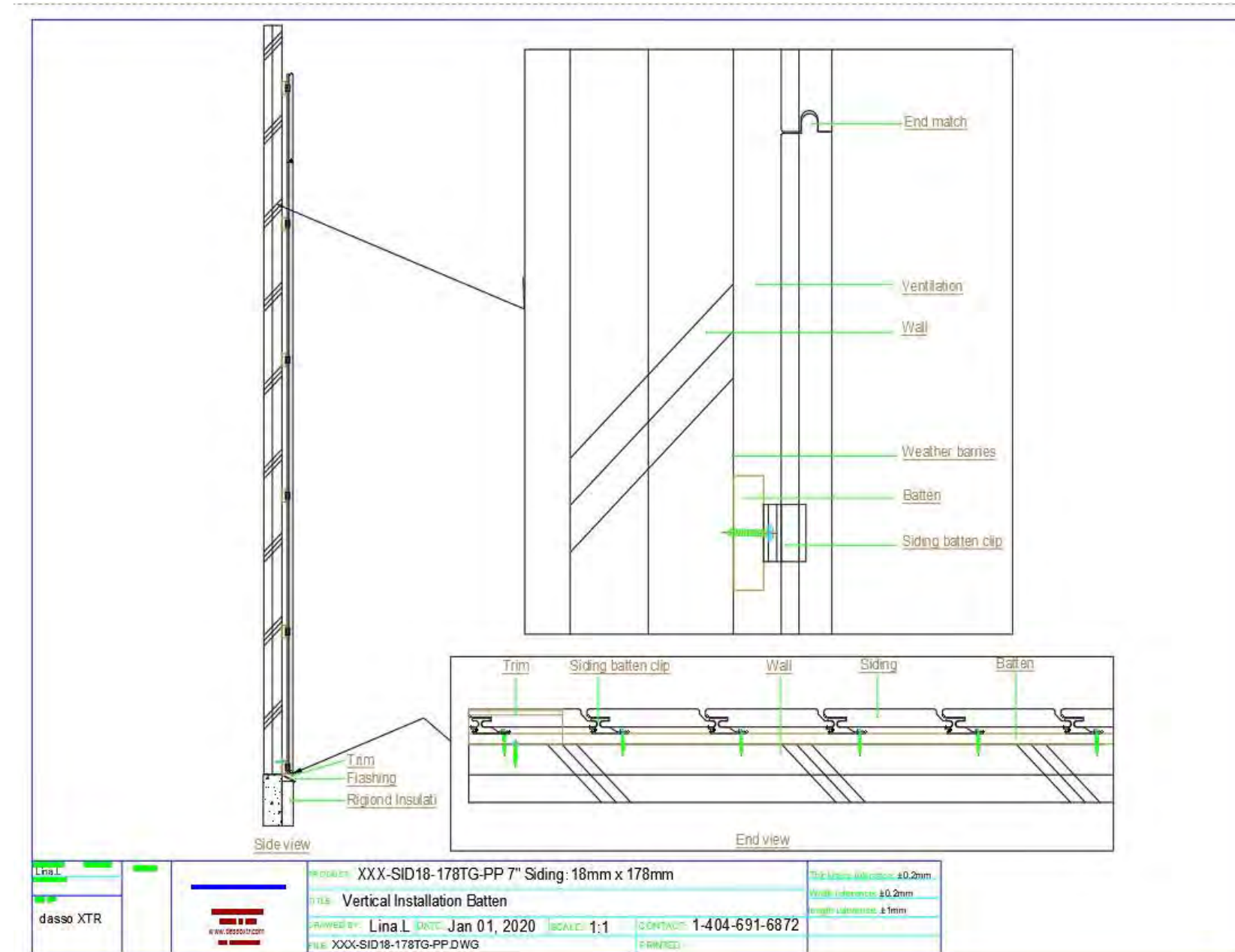
HORIZONTAL INSTALLATION SHEATHING



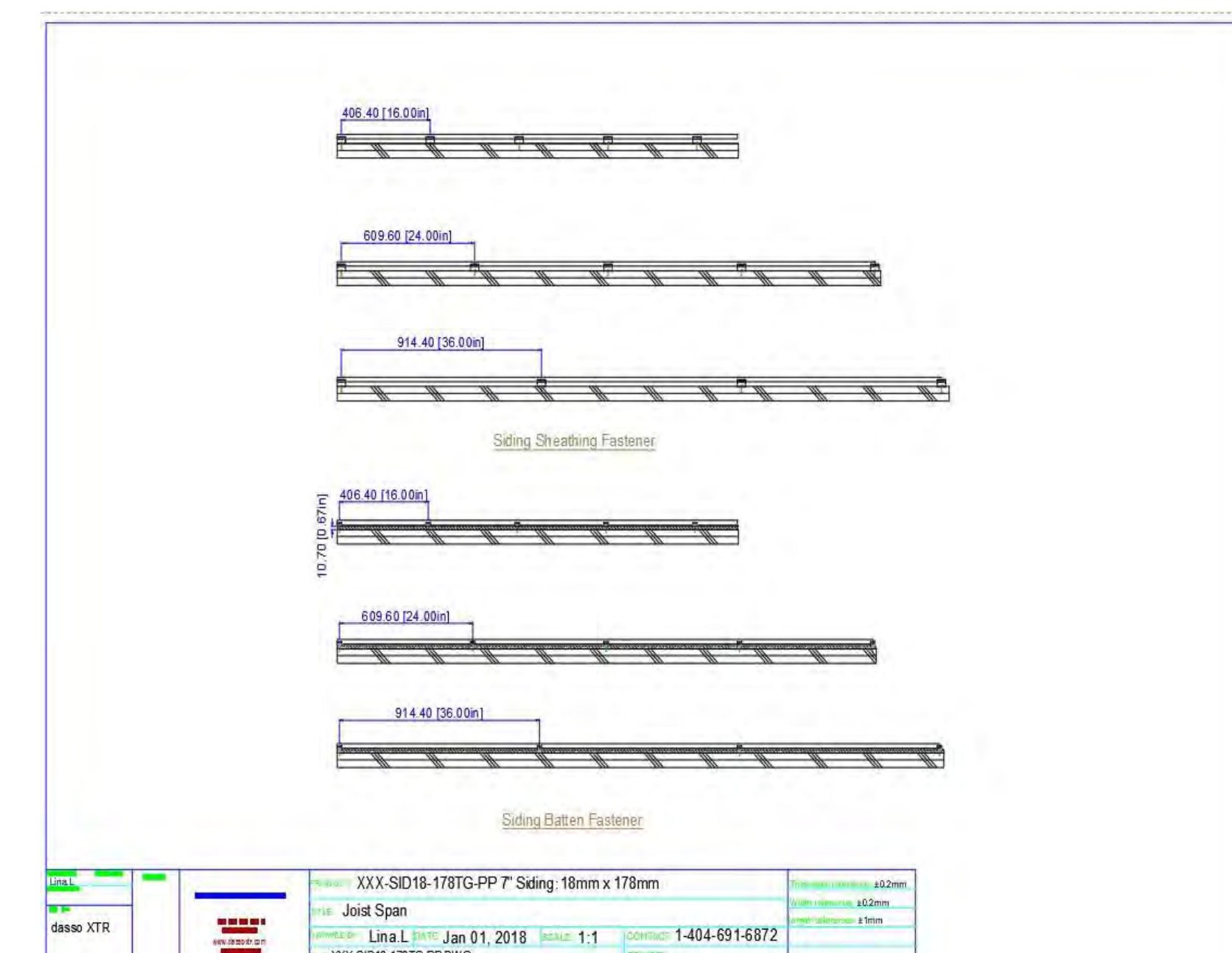
HORIZONTAL INSTALLATION BATTEN



VERTICAL INSTALLATION SHEATHING



VERTICAL INSTALLATION BATTEN



JOIST SPAN

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17 UNITS APARTMENT
526,528,532 HAZEL ST.,
GLENDALE, CA 91201

Date: _____
Scale: _____
Drawn: _____
Job: _____
Sheet: _____
A-12.1
Of: _____ Sheets

ALX CONTEMPORARY PRE-ASSEMBLED RAILING INSTALLATION INSTRUCTIONS

Items and Tools Needed:

- (3) Pre-assembled panels
- (2) Rail supports for lift
- (2) Rail supports for lift
- (4) Rail support connectors for lift
- (8) Rail support connectors for lift
- (8) Brackets with washers
- (8) Brackets with washers
- (1) Pre-assembled panel
- (2) Rail supports for lift
- (2) Rail supports for lift
- (4) Rail support connectors for lift
- (8) Rail support connectors for lift
- (8) Brackets with washers
- (8) Brackets with washers

Tools required:

- Drill/driver
- Level
- Chalk line
- Utility knife
- Hand saw
- Hammer
- Adjustable wrench
- Square
- Level
- Chalk line
- Utility knife
- Hand saw
- Hammer
- Adjustable wrench
- Square

Posts Installation:

- Check with your local regulatory agency for special code requirements in your area. Common railing height is 36" or 42". Read instructions completely to get an understanding of how the product goes together and how each piece affects the other.
- Determine the number of railing posts needed for your deck. Post spacing is 4' or 6' on-center. Example: A 12' x 10' deck attached to a building with a 4' access opening on one side will need a total of eight posts.
- Install posts by attaching the aluminum base to the surface of the deck. Position the post so the balustrade will fit into the base plate, and make sure the decking is firmly attached to the post at the location of the posts. If necessary, use wood blocking securely attached to the post structure as reinforcement underneath the decking where the posts are located. Fasteners that hold the post base to the surface should be able to secure to post or reinforcement square. Do not use the decking itself. Note: When installing aluminum post on top of a wood surface, screws must be placed at least 2" of deck wood post including the blocking. Cut 1/2" x 1/2" deck boards do not provide sufficient material for a safe installation. If necessary, add additional material to the underside of the surface (Fig. 3).
- Position the post assembly onto the location where it will attach to the deck. Four 3/8" diameter mounting holes are provided on the base. When the final position is determined, mark the base hole locations. Remove the post assembly and drill 1/4" holes in the marked locations through the decking and into structural blocking.
- Reposition the post assembly with the leveling plate inserted between the deck and the post base, and aligned with the predrilled holes. Insert the post fasteners **NOT INCLUDED**, and partially tighten. Using a level, adjust the leveling plate screws with a 3/16" allen wrench until the post is plumb. Fully tighten the post fasteners to secure the base to the deck structure. Note: Recommended 3/16" x 4" of longer lag screws.

STOP - Make sure post base trim is installed before continuing.

Railings Installation

Prior to construction:

- Check building code requirements for maximum spacing between deck surface and bottom of rail (swage). Spacing of 3" is recommended for 36" or 42" finished rail height.
- Measure the distance between installed posts to determine the length of the top and bottom rails. Position rail adjacent to installed posts. The distance between the post and the first baluster should be less than 4" and equal on both ends. Mark the length on top and bottom rails.
- Remove an additional 1/2" on both ends (1" overall) for the bracket to fit between the rail and post. Trim the top and bottom rails to length (Fig. 4).
- Place the brackets on ends of the rails. Attach the brackets to the rails with a screw attached through back of bracket into each post hole (Fig. 5).
- Place the rail in place and mark the bracket holes on both posts. Remove rail. Pre-drill screw locations through the posts, using a 3/16" drill bit at top bracket locations and 5/16" drill bit at lower bracket locations.
- Install rail support in raised every 2nd post **are included in the kit kit, 3 in the kit kit**. Attach rail support connectors to the bottom of the lower rail at 2-foot intervals. Pre-drill using a 1/8" drill bit. Attach the rail supports to the support block connectors. Mark the location of the rail support on the deck surface and attach the other rail support connector to the deck using the provided screws (Fig. 7). **For Awkward Branded Titanium Railing drill two 1/2" drain holes through the bottom of the rail to prevent trapping water. Center drain holes between two baluster locations as baluster can block the pathway and stop water from properly draining.**
- Position the rail between the posts. Check for level and to-and-fro and vertically. Attach brackets to the post at one end. Repeat for the other end. Note: Use a driver extension bit to avoid marking the rail with the drill chuck (Fig. 6).
- Set post caps on each post. Identify top with rubber mallet to secure.

Star Railing Installation Instructions:

- Ensure post location is compatible with railing, prior to setting to the deck, place both posts in position, and lay the bottom rail along the rear railing from top to bottom adjacent to both posts. On the rear side of the post, measure up from the top of the rail and ensure there is a minimum of 2" to the top of the post. Post location may need to be adjusted to ensure minimum is achieved. Repeat this step for the bottom post.
- For a wood deck, position the post so the fasteners will go into the joists, and make sure the decking is firmly attached to the joists at the location of the posts. Pre-drill structural blocking through under the decking material to be used when attaching the post to a wood frame deck because blocking alone is not adequate as structural framing.

HOW TO INSTALL

Step 1 Design by determining where the top and bottom post will be located. Mark the desired location of the post.

Step 2 Four 3/8" diameter mounting holes are provided on the base. When final position is determined, mark hole locations and remove the post assembly. Drill the marked locations through decking and into structural blocking.

Step 3 Reposition the post assembly with the leveling plate inserted between the deck and the post base, and aligned with the predrilled holes. Insert the post fasteners **NOT INCLUDED**, and partially tighten. Using a level, adjust the leveling plate screws with a 3/16" allen wrench until the post is plumb. Fully tighten the post fasteners to secure the base to the deck structure.

STOP - Make sure post base trim is installed before continuing.

Step 4 Measure the distance between installed posts to determine the length of the top and bottom rails. Position the railing on the stairs on top of a spacer block along the stair nosing. Ensure the balusters are square. The distance between the post and the first baluster should be less than 4" and equal on both ends. On the railing in its position, clamp the railing to the posts.

Step 5 Temporarily assemble the **welded brackets**. Position the welded bracket in location and mark the rail and post. Pre-drill for other end of railing. Note: The distance between the post and the post base, and aligned with the predrilled holes. Insert the post fasteners **NOT INCLUDED**, and partially tighten. Using a level, adjust the leveling plate screws with a 3/16" allen wrench until the post is plumb. Fully tighten the post fasteners to secure the base to the deck structure.

Step 6 Mark location of the bracket base screw holes on the post. Remove brackets. Pre-drill through the rail only, using a 5/16" drill bit. Attach the front end of bracket to rail.

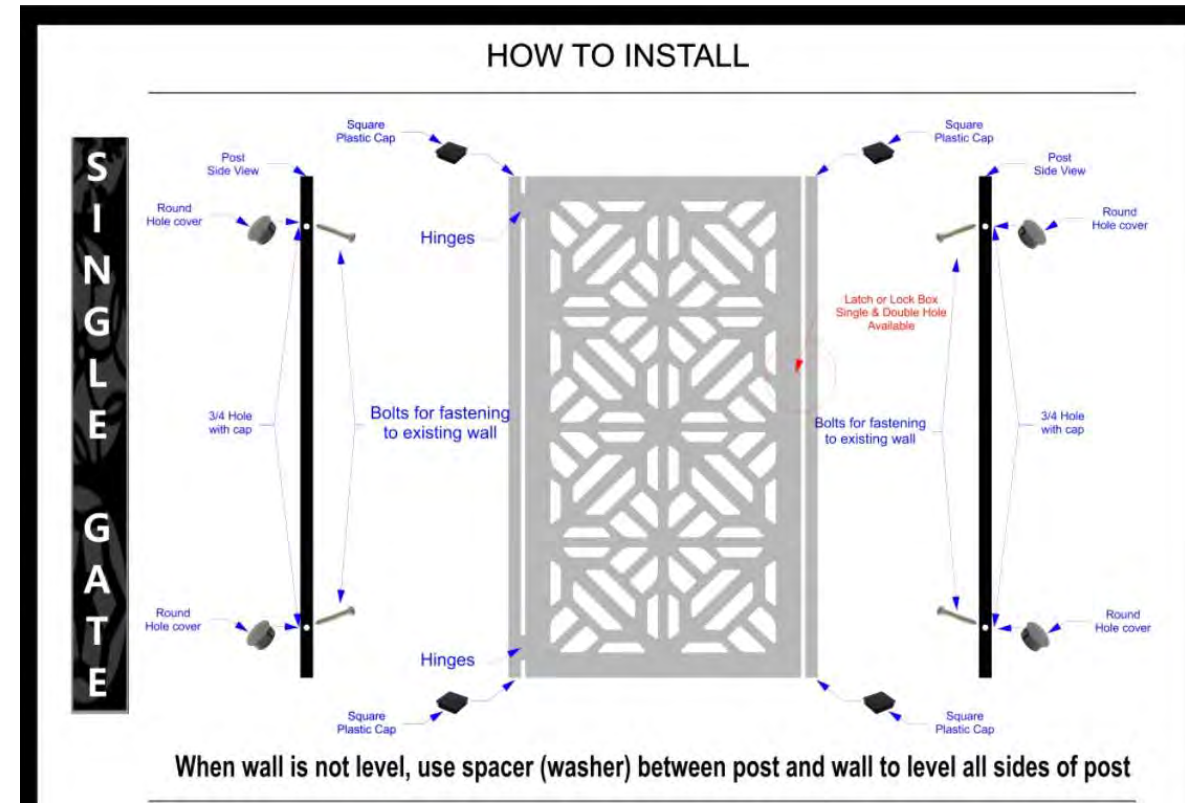
Step 7 Mark location of the bracket base screw holes on the post. Mark the bracket side cover when determining the center location. Pre-drill through the post, using a 1/8" drill bit. Position the base of each bracket with the bracket cover side facing the stairs, and attach to the post with two screws.

Step 8 A rail support is needed every 2nd post **are included in the kit kit, 3 in the kit kit**. Attach rail support connectors to the bottom of the lower rail at 2-foot intervals using included screws. Pre-drill using a 1/8" drill bit. Mark the location of the rail support on the step tread and attach the other rail support connector to the step tread (Fig. 6). **Drill one 1/2" drain hole through the bottom of the rail to prevent trapping water. Position the hole toward the lower end of the rail, roughly 1" from rail end to avoid the lower bracket.**

Step 9 Install the bottom railing between the posts by sliding it inside together. Attach the ends of the brackets with the barrel bolt to secure in place.

Step 10 Set post caps on each post. Gently tap with rubber mallet to secure.

When wall is not level, use spacer (washer) between post and wall to level all sides of post.



DECK EXPRESSIONS ALUMINUM RAILING 42"

HIGH PERFORMANCE LINE TECHNICAL DETAILS

EXTREME® MICROCOIL® GRILLE - 500K CYCLES

Model EPG324C

MEASURE THE WIDTH AND HEIGHT OF THE OPENING

STAINLESS STEEL CURTAIN

COMPONENT DIMENSIONS

DOOR SIZE AND AREA	A	B	C	D	E
10'0" x 12'0"	10'0"	12'0"	10'0"	12'0"	10'0"
10'6" x 12'6"	10'6"	12'6"	10'6"	12'6"	10'6"
11'0" x 13'0"	11'0"	13'0"	11'0"	13'0"	11'0"
11'6" x 13'6"	11'6"	13'6"	11'6"	13'6"	11'6"

Opening width (ft)

Opening height (ft)

ALUMINUM CURTAIN

COMPONENT DIMENSIONS

DOOR SIZE AND AREA	A	B	C	D	E
10'0" x 12'0"	10'0"	12'0"	10'0"	12'0"	10'0"
10'6" x 12'6"	10'6"	12'6"	10'6"	12'6"	10'6"
11'0" x 13'0"	11'0"	13'0"	11'0"	13'0"	11'0"
11'6" x 13'6"	11'6"	13'6"	11'6"	13'6"	11'6"

Opening width (ft)

Opening height (ft)

CURTAIN DESIGNS Straight and Brick

Straight

Brick

The dimensions featured on this sheet are provided as a rough guide for planning purposes. Exact dimensions cannot be provided until field conditions and all options are confirmed. Once field conditions are confirmed, please visit our website at www.cornell.com/drawings to generate custom drawings on demand for your specific opening.

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HIGH PERFORMANCE LINE EXTREME® MICROCOIL® GRILLE - 500K CYCLES

Model EPG324C

FACE OF WALL GUIDE CONSTRUCTION OPTIONS

ALUMINUM

2 GUIDE Typically used with masonry wall construction, guides are mounted to the interior or exterior side of the wall.

3 GUIDE Typically used with steel jambs, guides are mounted to the interior or exterior side of the wall.

BOTTOM BAR Compact extruded aluminum in mill finish.

2 GUIDE TO TUBE

3 GUIDE TO TUBE

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Model EPG324C

BETWEEN JAMBS GUIDE CONSTRUCTION OPTIONS

STAINLESS STEEL

ALUMINUM

OPERATIONAL WIND LOAD LIMITS

Max. DBG	Stainless Steel		Aluminum	
	Max. operational wind load (PSF)		Max. operational wind load (PSF)	
12'	12	18	12	18
20'	12	18	10	15
26'	10	15	9	14

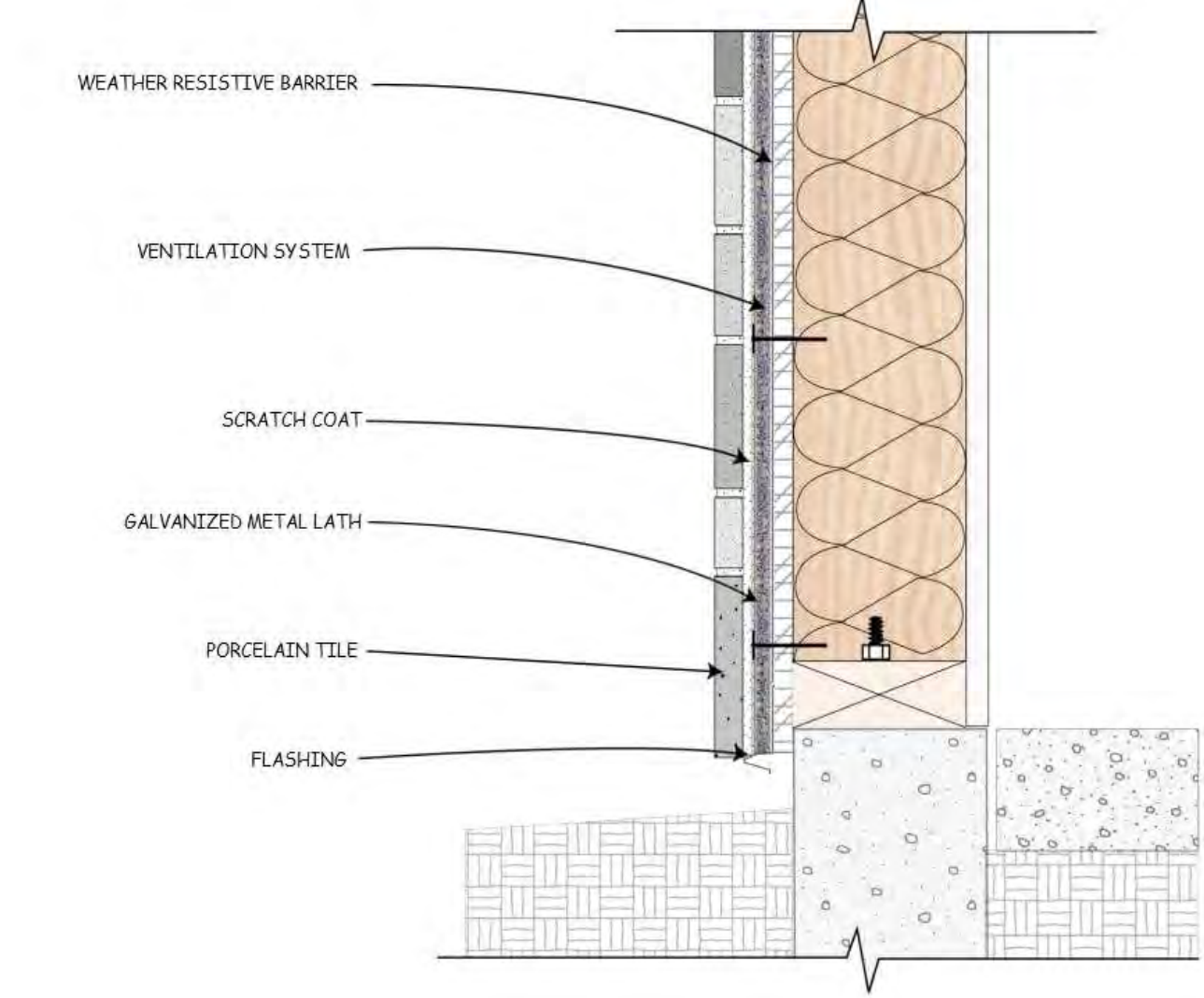
The dimensions featured on this sheet are provided as a rough guide for planning purposes. Exact dimensions cannot be provided until field conditions and all options are confirmed. Once field conditions are confirmed, please visit our website at www.cornell.com/drawings to generate custom drawings on demand for your specific opening.

CUSTOM-DESIGNED SOLUTIONS

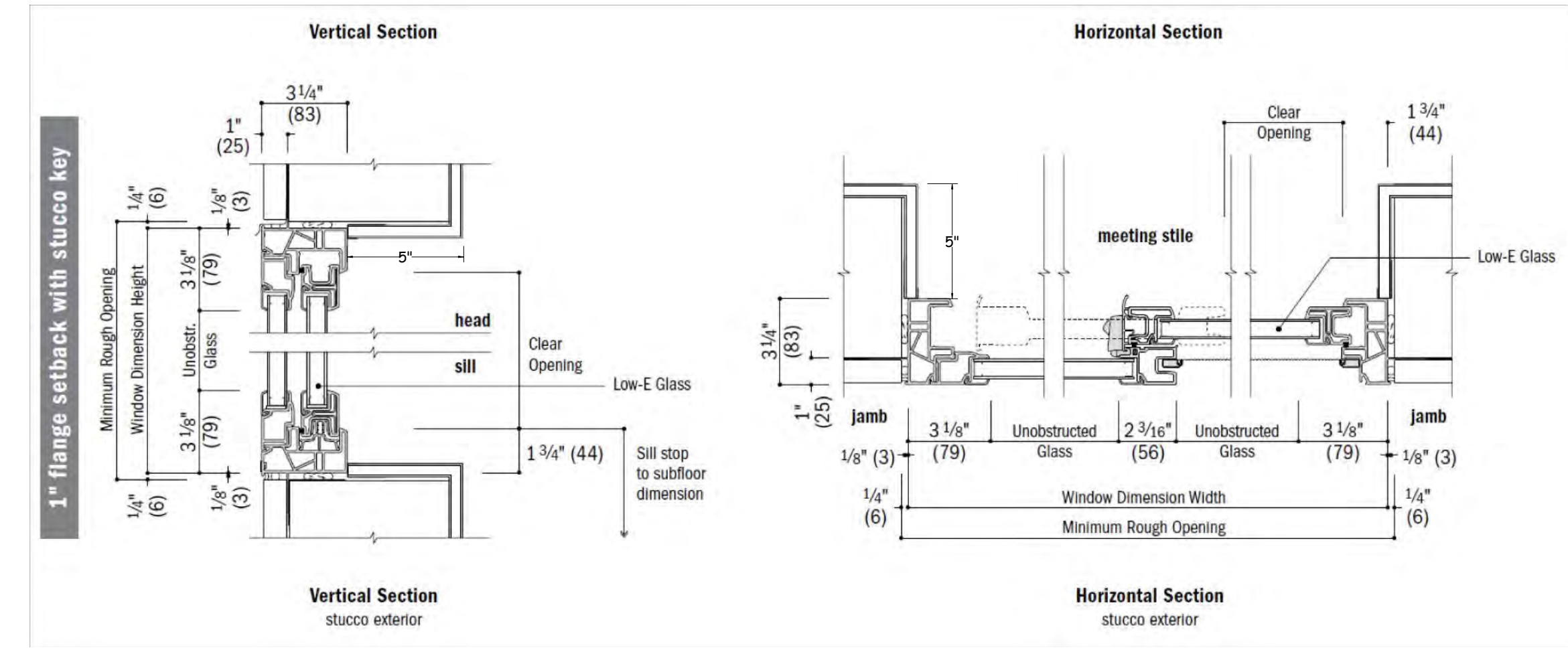
Our experienced Architectural Design Support Team can customize our products to fit your specific application. Call 800.233.8366 ext. 4551 • architecturaldesignsupport@cornell.com

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DA VINCI METAL DOOR



PORCELAIN TILE

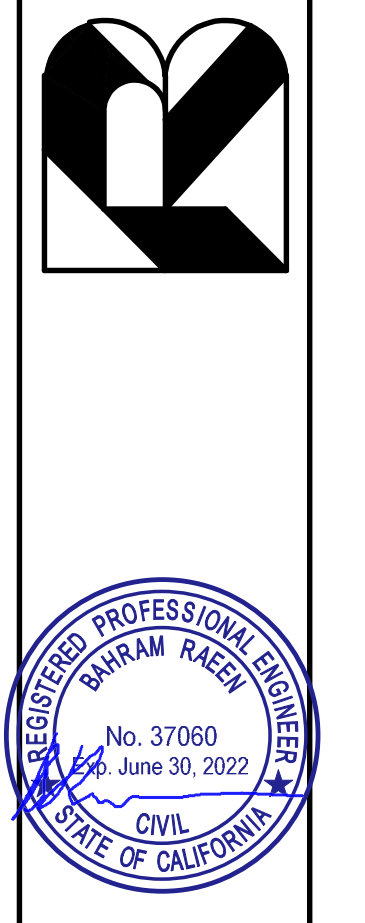


WINDOWS DETAIL

CORNELL ALUMINUM GARAGE DOOR

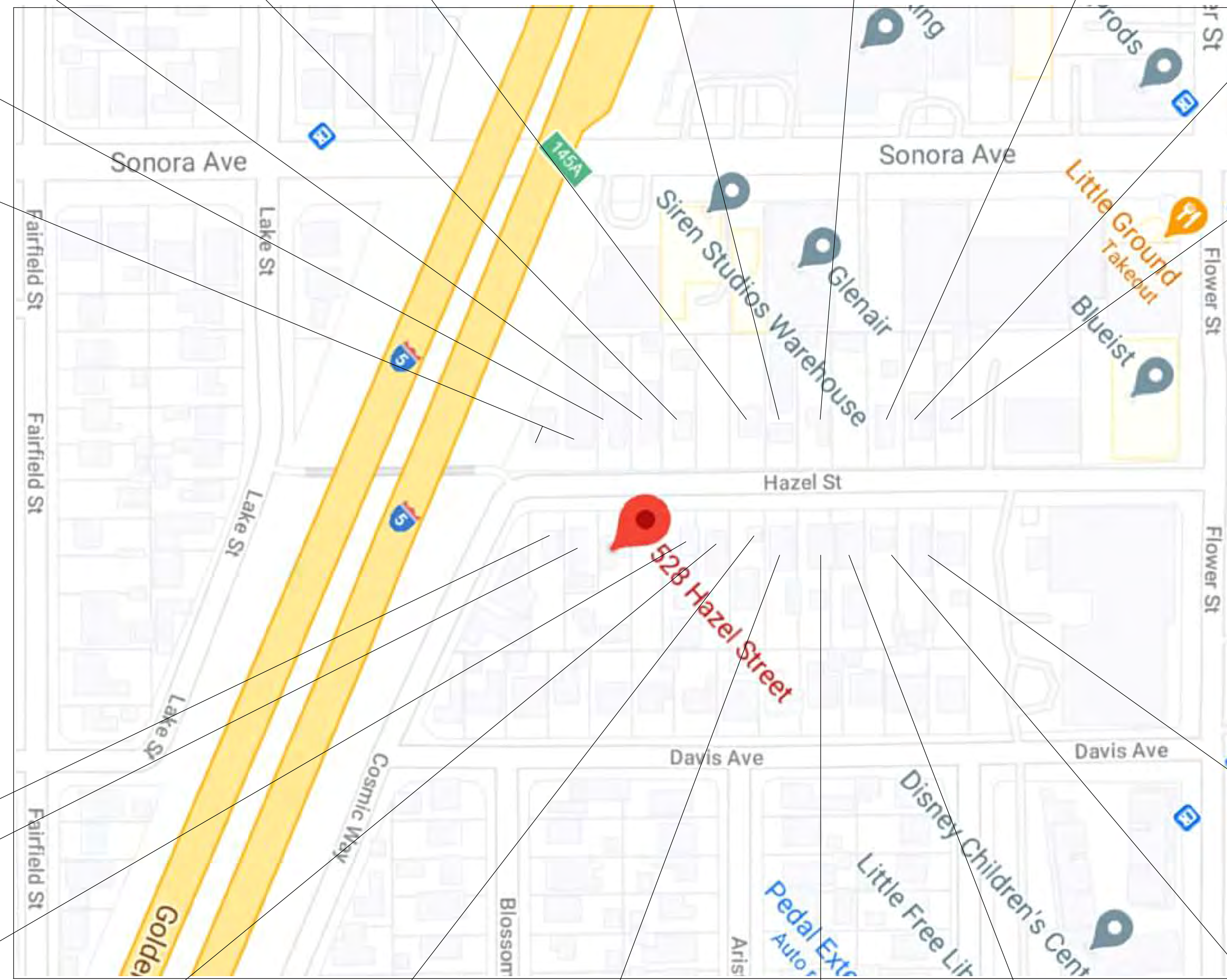
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 email: braeen@raeen.com



17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date: _____
 Scale: _____
 Drawn: _____
 Job: _____
 Sheet: _____
A-12
 Of _____ Sheets



PROJECT SITE PHOTOGRAPHS

526 Hazet St.



526 North Side



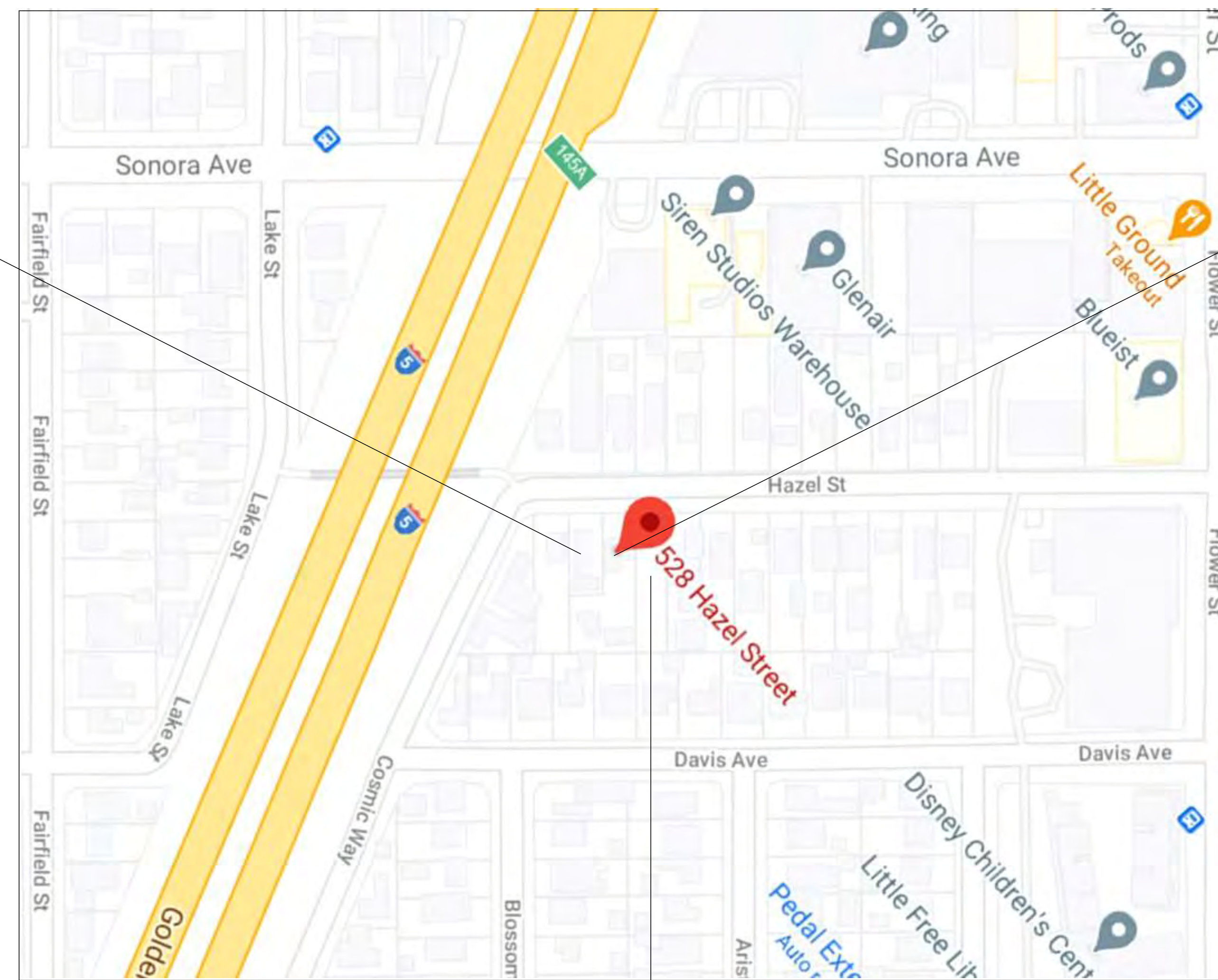
526 South Side



526 East Side



526 West Side



526 Hazet St.



528 North Side



528 South Side



528 East Side



528 West Side

532 Hazet St.



VACANT LAND

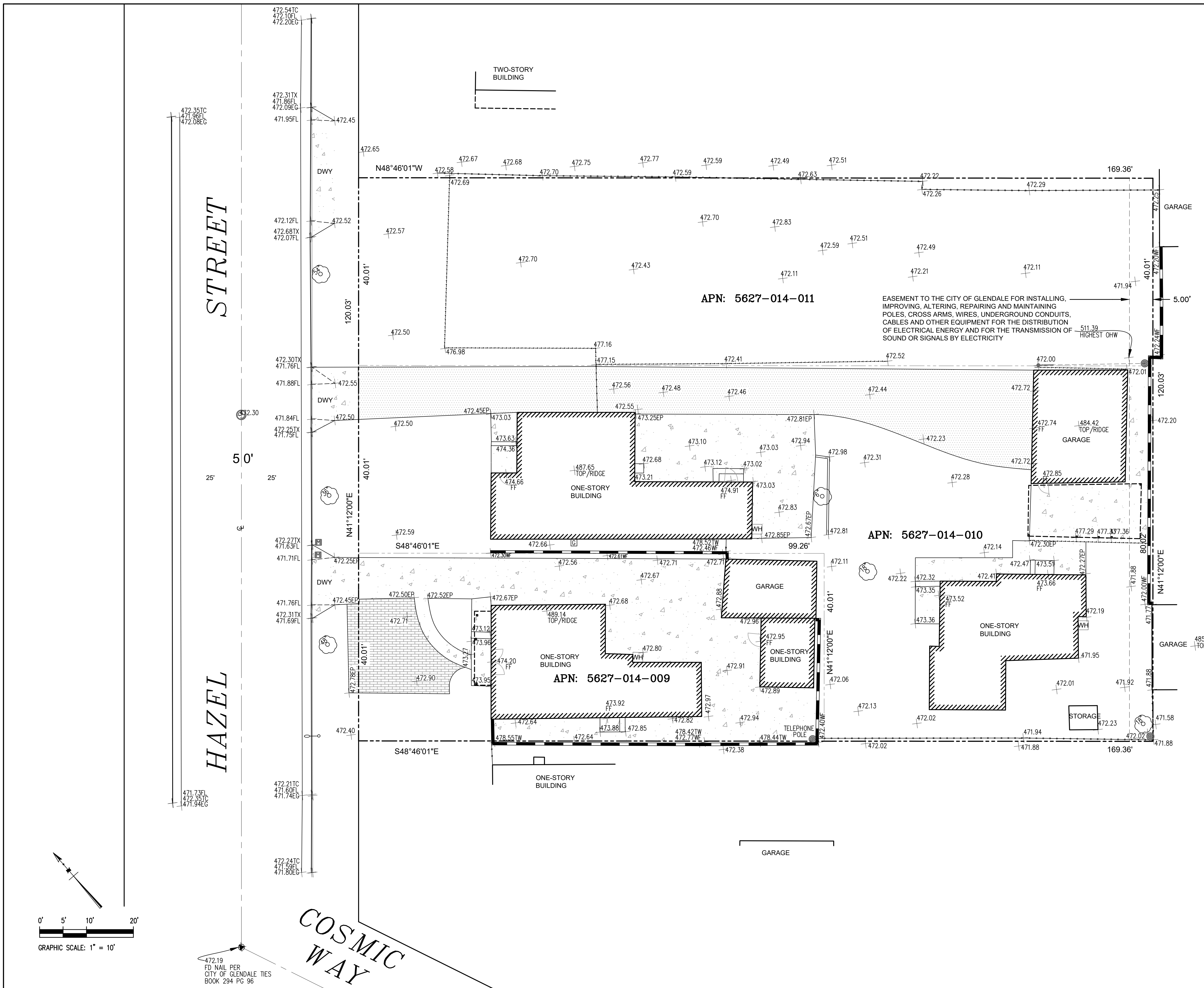


526 Garage View



528 Garage View

PICTURES OF THE EXISTING BUILDINGS ALL SIDES



NOTES

LEGAL DESCRIPTION:

APN: 5627-014-009
 THE SOUTHWESTERLY 40 FEET OF THE NORTHWESTERLY 99.26 FEET OF LOT 21 OF TRACT NO. 4593, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 105, PAGE 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5627-014-010
 LOT 21 OF TRACT NO. 4593, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 105, PAGE 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THE SOUTHWESTERLY 40 FEET OF THE NORTHWESTERLY 99.26 FEET OF SAID LOT.

APN: 5627-014-011
 LOT 22 OF TRACT NO. 4593, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 105, PAGE 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM THE NORTHEAST 40 FEET THEREOF.

NOTES:

- THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA.
- TITLE REPORTS BY THE FOLLOWING TITLE COMPANIES:
 APN: 5627-014-009
 ONE REPUBLIC TITLE COMPANY
 ORDER NUMBER: 2676011588-52
 DATED AS OF: SEPT 25, 2017
 APN: 5627-014-010
 LAWYERS TITLE COMPANY
 FILE NUMBER: 116074715
 APN: 5627-014-011
 LAWYERS TITLE COMPANY
 FILE NUMBER: 116074716
- MISC. DATA
 TOTAL PROPERTY AREA: 20,328 SQ.FT.

BENCH MARK:

ROUND HEAD NAIL IN LEAN IN W'LY CURB HAZEL ST 28.9 FT S'LY OF BCR S-W'LY CORNER CHSLD 'BM'
 BENCHMARK: BM 314 PER LA COUNTY PUBLIC WORKS
 ELEVATION = 472.24 FT

LEGEND	
SANITATION	MISCELLANEOUS
<ul style="list-style-type: none"> SEWER MAINT HOLE 	<ul style="list-style-type: none"> FD MONUMENT AS NOTED SPOT ELEVATION WOOD FENCE CHAIN LINK FENCE FREE STAND BLOCK WALL BOUNDARY LINE TREE - SIZE IN INCHES DOOR BRICK PAVEMENT ASPHALT PAVEMENT CONCRETE PAVEMENT
POWER	ABBREVIATIONS
<ul style="list-style-type: none"> POWER POLE GUY WIRE 	<ul style="list-style-type: none"> TC TOP OF CURB EG EDGE OF GUTTER FL FLOW LINE CL CENTERLINE EP EDGE OF PAVEMENT TW TOP OF WALL FW WALL FACE DWY DRIVEWAY WH WATER HEATER OHW OVERHEAD WIRE TRAFFIC CONTROL STREET LIGHT
WATER	
<ul style="list-style-type: none"> WATER METER 	
GAS	
<ul style="list-style-type: none"> GAS METER 	

PREPARED BY:
NICK KAZEM, INC.
 4966 TOPANGA CYN. BLVD.,
 WOODLAND HILLS, CA 91364
 (818) 999-9890

Nick Kazem
 NICK KAZEMI L.S. NO. 7022 EXP. 6-30-2020

PREPARED FOR:
LEILA RAEEN
 (310) 826-2646

REV. NO	DATE	REVISION	BY	APP.
SCALE	CHK'D BY	APPROVED BY:	R.C.E. NO.	DATE
1" = 10'				05-10-2019
			DWG. NO.	3718-TOPO

TOPOGRAPHY SURVEY

FOR
 526, 528, 532 HAZEL STREET GLENDALE, CALIFORNIA 91201

SHEET 1 OF 1 SHEET

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	*Arbutus 'Marina'	Marina Strawberry Tree	24"box	3		low 0.3
⊙	*Laurus nobilis	Sweet Bay	24"box	35	Hedge	low 0.3
⊙	Lophostemon confertus	Brisbane Box	24"box	2		medium 0.4
⊙	Podocarpus elongates	Breede River Yellowwood	24"box	29		medium 0.4
⊙	Rhapis excelsa	Lady Palm	15-gal	2		medium 0.4

*Points claimed for low water use
 NOTE:
 Waterproofing and drains in planters by others.
 All trees to be planted with commercial root barriers.
 2" deep shredded Cedar bark to spread between plants.

NOTE:
 All groundcover areas where plants are 3' or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

LANDSCAPE AREA: 6,231 SF
 IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Achillea m. 'Terracotta'	Common Yarrow	1-gal	18"oc		low 0.3
⊙	Achillea m. 'Salmon Beauty'	Common Yarrow	1-gal	18"oc		low 0.3
⊙	*Aspidistra elatior	Cast Iron Plant	5-gal	27		low 0.3
⊙	*Carpenteria californica	Bush Anemone	5-gal	6		low 0.3
⊙	*Carex divulsa	Berkeley Sedge	5-gal	18		low 0.3
⊙	*Chondropetalum elephantinum	Large Cape Rush	5-gal	31		low 0.3
⊙	*Diets bicolor	Fortnight Lily	5-gal	9		low 0.3
⊙	*Lomandra l. 'Platinum Beauty'	Dwarf Mat Rush	5-gal	9		low 0.3
⊙	*Rhaphiolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	5-gal	4		low 0.3
⊙	Tradescantia zebrina 'Purpusii'	Wandering Jew	5-gal	18"oc		medium 0.4
⊙	*Sansevieria t. 'Silver Queen'	Mother In Law's Tongue	5-gal	58		low 0.3
⊙	Sesleria autumnalis	Autumn Moor Grass	5-gal	12"oc		medium 0.4
⊙	*Senecio radicans	String of Bananas	1-gal	18		low 0.3
⊙	*Senecio rowleyanus	String-of-Pearls	1-gal	38		low 0.3
⊙	*Senecio vitalis		1-gal	40		low 0.3

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 *150 LBS. GRO-POWER
 *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

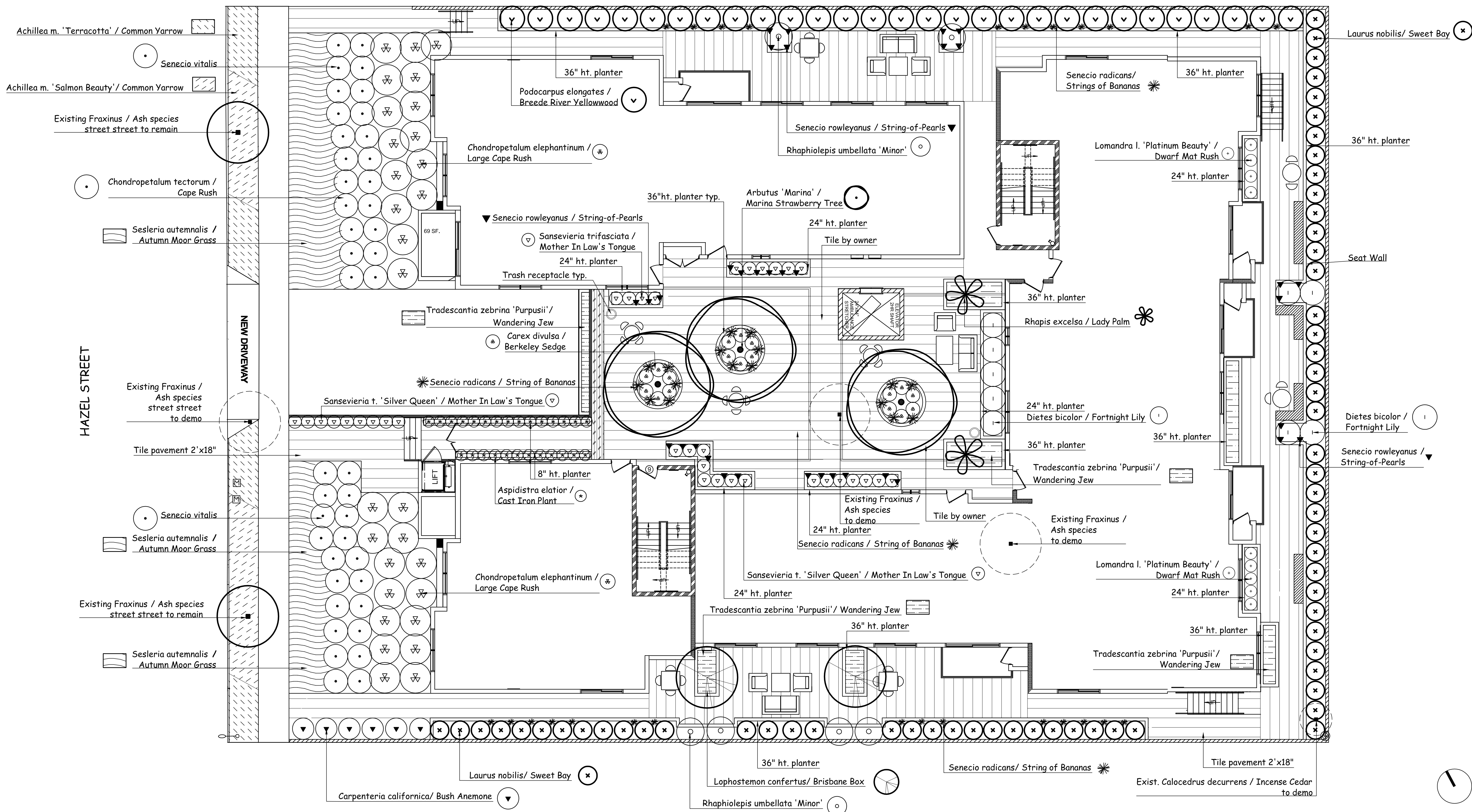
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:
 5 GAL 6-9
 24" box 14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.

- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.

- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.

- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.



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17 UNIT
 526-532 HAZEL ST.
 GLENDALE, CA 91201

GROUND FLOOR
 PLANTING PLAN



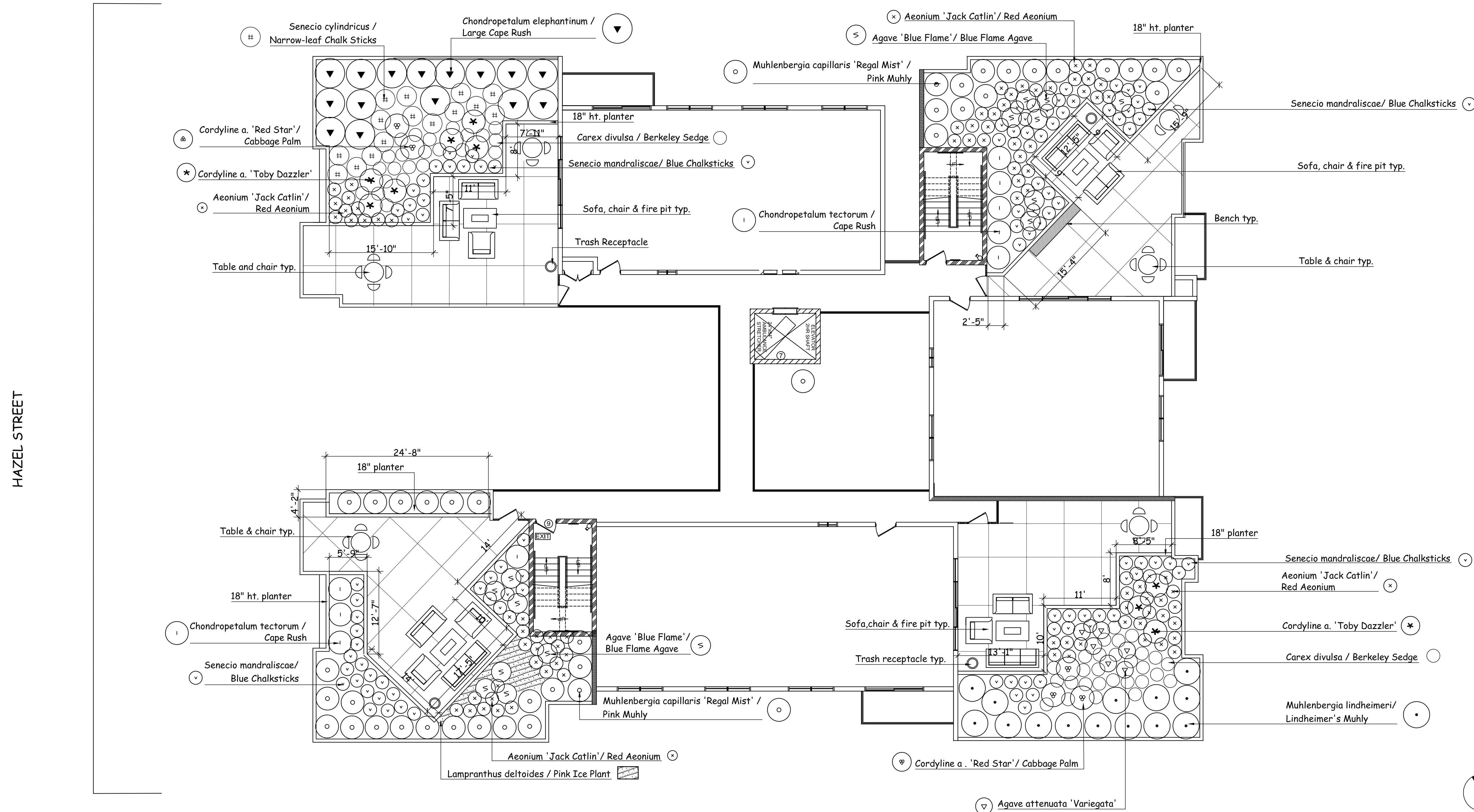
DATE: SEPT. 14, 2020
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 219820
 DRAWN BY:

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	* Aeonium 'Jack Catlin'	Red Aeonium	5-gal	91		low 0.3
▽	* Agave attenuata 'Variegata'		5-gal	6		low 0.3
⊙	* Agave 'Blue Flame'	Blue Glow Agaves	5-gal	14		low 0.3
○	* Carex divulsa	Berkeley Sedge	5-gal	51		low 0.3
⊙	* Cordyline a. 'Red Star'	Cabbage Palm	5-gal	5		low 0.3
⊙	* Cordyline a. 'Toby Dazzler'	Wandering Jew	5-gal	9		low 0.3
▽	* Chondropetalum elephantinum	Large Cape Rush	5-gal	15		low 0.3
○	* Chondropetalum tectorum	Cape Rush	5-gal	9		low 0.3
⊙	* Lampranthus deltoides	Pink Ice Plant	5-gal	12" oc		low 0.3
○	Muhlenbergia capillaris 'regal mist'	Pink Muhly	5-gal	39		medium 0.4
○	* Muhlenbergia lindheimeri	Lindheimer's Muhly	5-gal	14		low 0.3
⊙	* Senecio cylindricus	Narrow-leaf Chalk Sticks	5-gal	15		low 0.3
⊙	* Senecio mandraliscae	Blue Chalksticks	5-gal	101		low 0.3

* Points claimed for low water use 3" deep shredded Cedar bark to spread between plants.

NOTE:
Waterproofing and drains in planters by others.



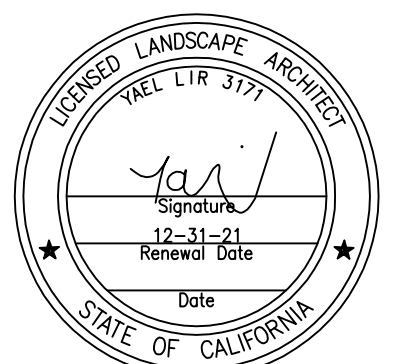
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THIRD FLOOR
PLANTING PLAN



DATE: SEPT. 14, 2020
SCALE: 1/8" = 1'-0"
JOB NUMBER: 219820
DRAWN BY:

ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND	
DESCRIPTION	SYM.
'NIBCO' GATE VALVE T-113 'CHRISTY' CONCRETE VALVE BOX 'RAINBIRD' QUICK COUPLER 44 LRC 1" 'WILKINS' BACKFLOW PREVENTER 375 'HUNTER' SOLAR SYNC WEATHER SENSOR 'TORO' CUSTOM COMMAND SLEEVING SCH. 40 P.V.C. PRESSURE LINE CLASS 315 PVC NON-PRESSURE LINE SCH. 40 P.V.C. POINT OF CONNECTION	 P.O.C.
TO BE INSTALLED BY PAVED AREA W/WYE STRAINER (BFP TO BE PAINTED DARK GREEN) MOUNTED ON EAVE OF ROOF LOCATION BY OWNER TWICE LINE SIZE (MIN.) 1.5" SEE PLAN FOR SIZE VERIFY LOCATION ON SITE	
NETAFIM LEGEND	
'NETAFIM' LVCZ10075-HF 'NETAFIM' LINE FLUSH VALVE 'NETAFIM' TECHLINE CV TLCV4-18025 NON-PRESSURE 1" SCH. 40 PVC HEADER	 CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR. BURIED 3" BELOW GRADE

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

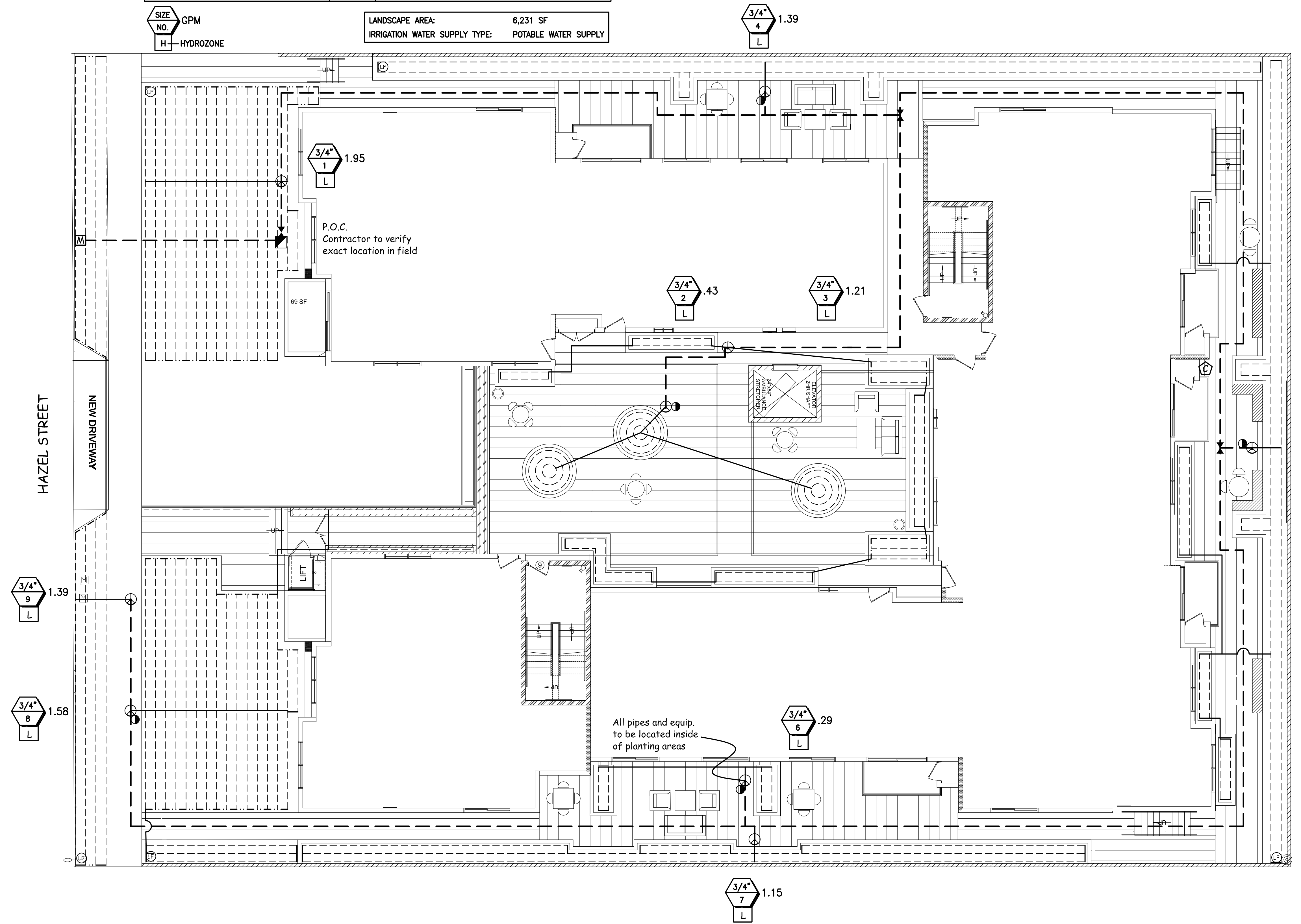
A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

SIZE NO. GPM
H—HYDROZONE

LANDSCAPE AREA: 6,231 SF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY



IRRIGATION NOTES

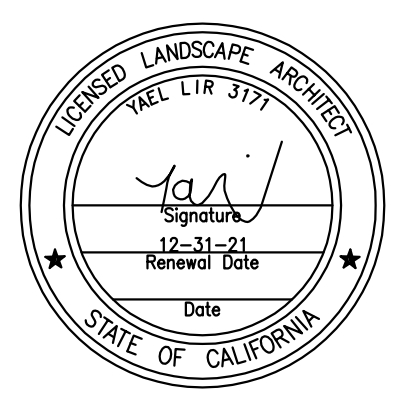
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.



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GROUND FLOOR IRRIGATION PLAN



DATE: SEPT. 14, 2020
SCALE: 1/8" = 1'-0"
JOB NUMBER: 219820
DRAWN BY:

WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET₀): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	657	243.09	7550
2 / water use plants	.3	DRIP	.81	.37	144	53.28	1654
3 / water use plants	.3	DRIP	.81	.37	410	151.7	4712
4 / water use plants	.3	DRIP	.81	.37	470	173.9	5401
5 / water use plants	.3	DRIP	.81	.37	546	202.02	6275
6 / water use plants	.3	DRIP	.81	.37	64	23.68	735
7 / water use plants	.3	DRIP	.81	.37	391	144.67	4493
8 / water use plants	.3	DRIP	.81	.37	534	197.58	6137
9 / water use plants	.3	DRIP	.81	.37	468	173.16	5378
10 / water use plants	.3	DRIP	.81	.37	725	268.25	8332
11 / water use plants	.3	DRIP	.81	.37	578	213.86	6642
12 / water use plants	.3	DRIP	.81	.37	659	243.83	7573
13 / water use plants	.3	DRIP	.81	.37	585	216.45	6723
SUM					6,231	2,305.47	
ESTIMATED TOTAL WATER USE (ETWU)							71,605
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)							106,451

ETAF CALCULATION

ETAF x AREA	2,305.47
TOTAL AREA	6,231
AVERAGE ETAF	.37

ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND	
DESCRIPTION	SYM.
'NIBCO' GATE VALVE T-113	⊘
'CHRISTY' CONCRETE VALVE BOX	⊙
'RAINBIRD' QUICK COUPLER 44 LRC 1"	⊕
'WILKINS' BACKFLOW PREVENTER 375	⊖
'HUNTER' SOLAR SYNC WEATHER SENSOR	⊗
'TORO' CUSTOM COMMAND	⊘
SLEEVING SCH. 40 P.V.C.	---
PRESSURE LINE CLASS 315 PVC	---
NON-PRESSURE LINE SCH. 40 P.V.C.	---
POINT OF CONNECTION	P.O.C.
NETAFIM LEGEND	
'NETAFIM' LVC210075-HF	⊕
'NETAFIM' LINE FLUSH VALVE	⊖
'NETAFIM' TECHLINE CV TLCV4-18025	⊗
NON-PRESSURE 1" SCH. 40 PVC HEADER	---

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Yael 11/30/2020

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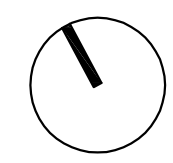
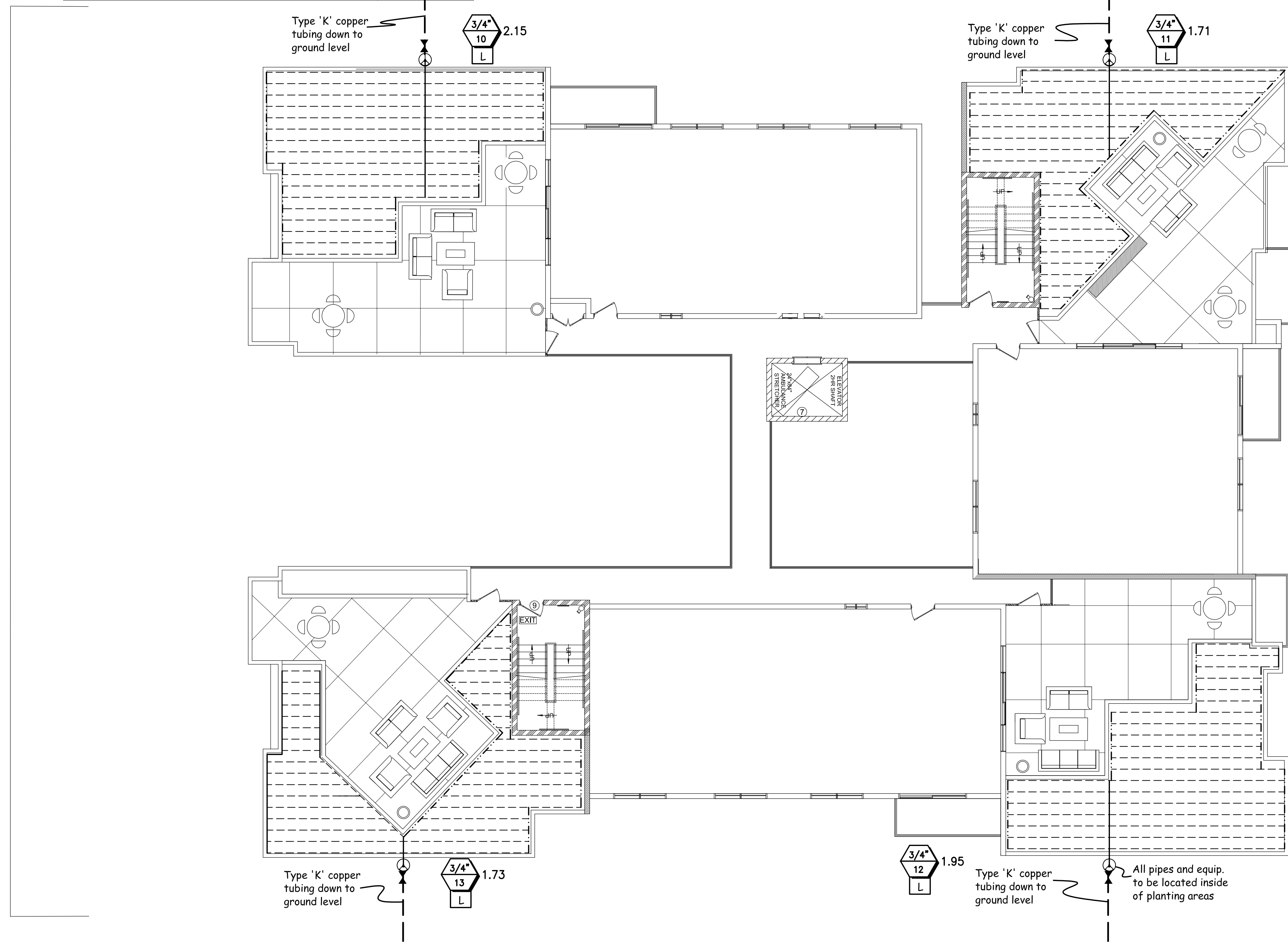
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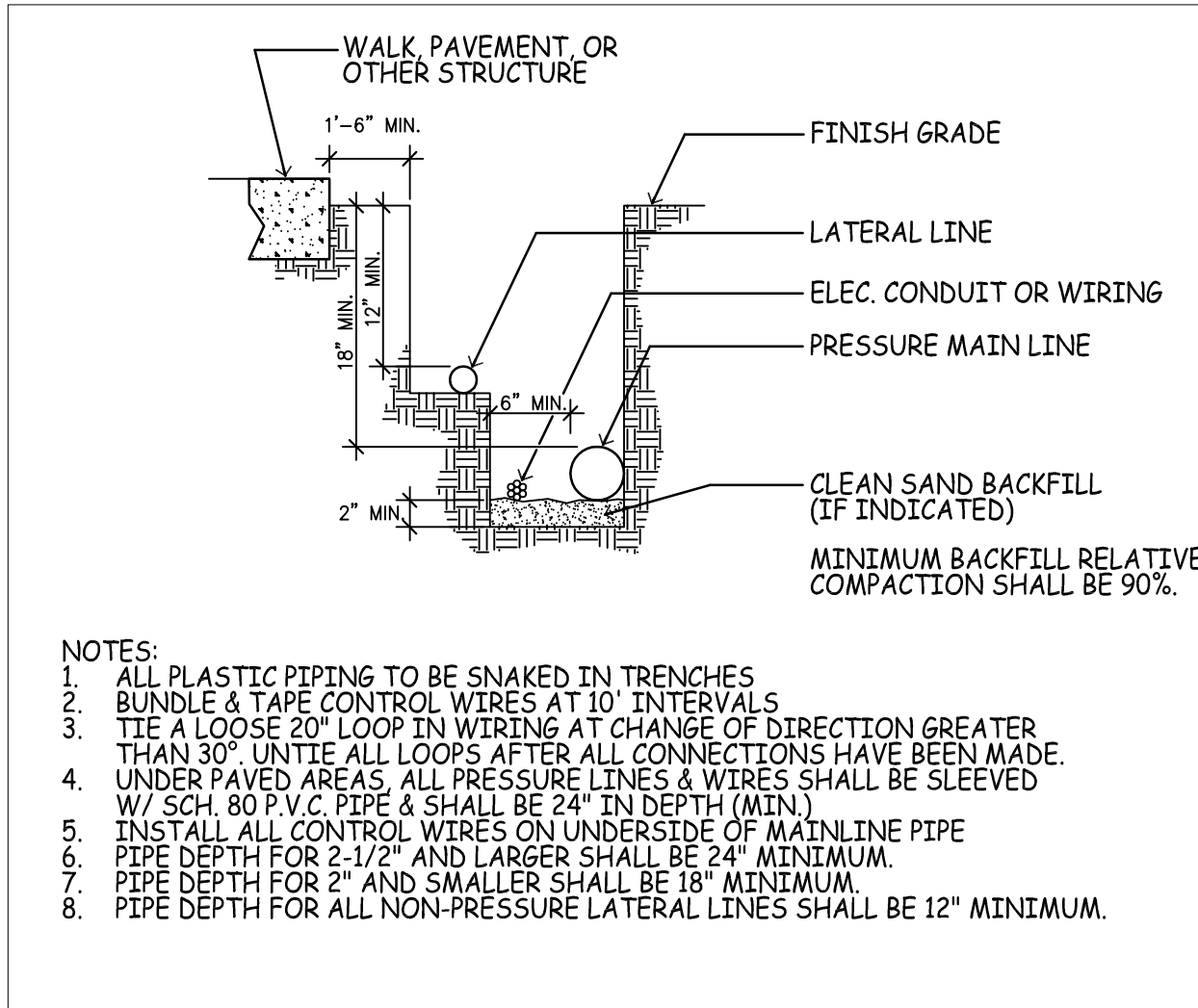
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THIRD FLOOR
 IRRIGATION PLAN



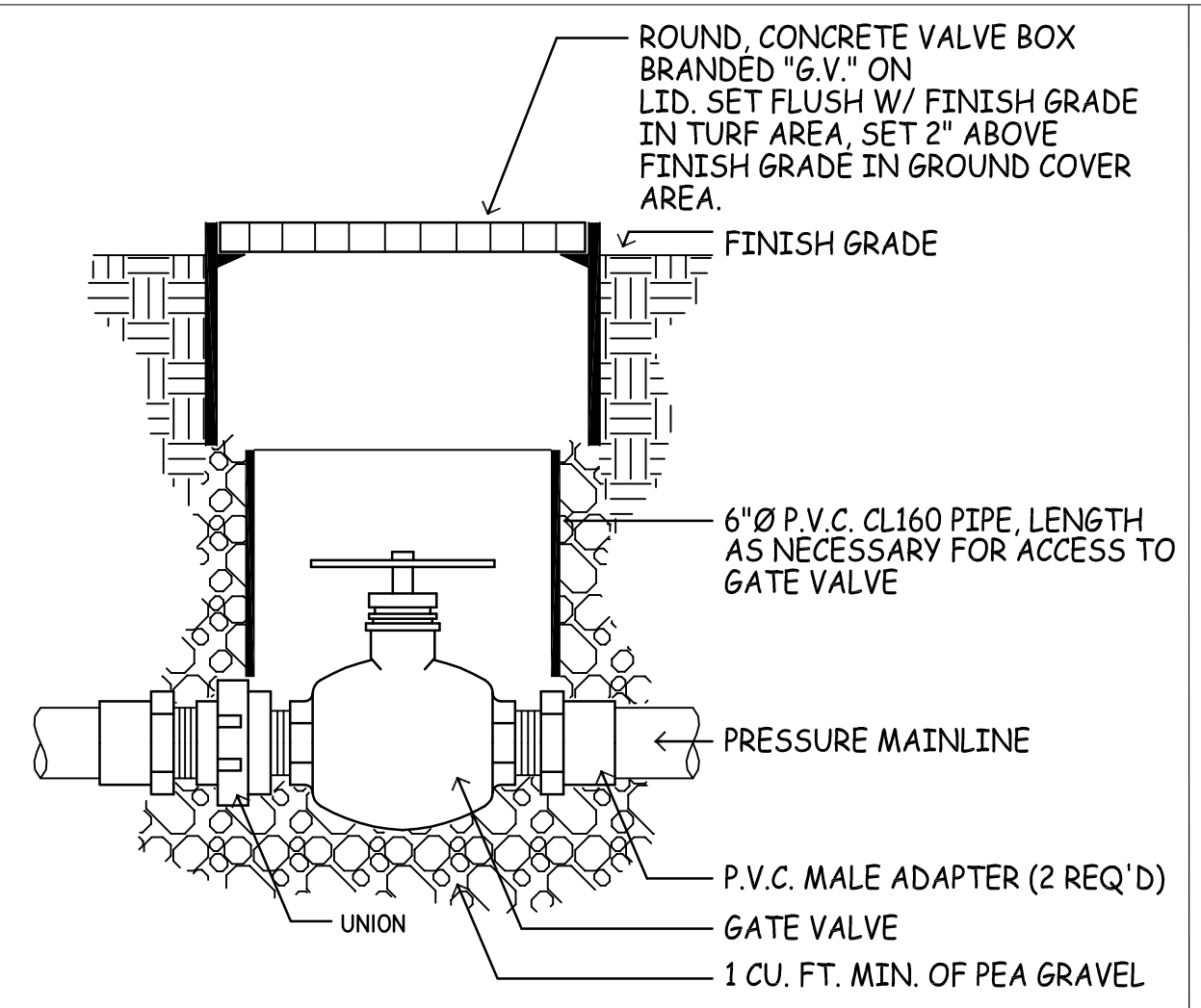
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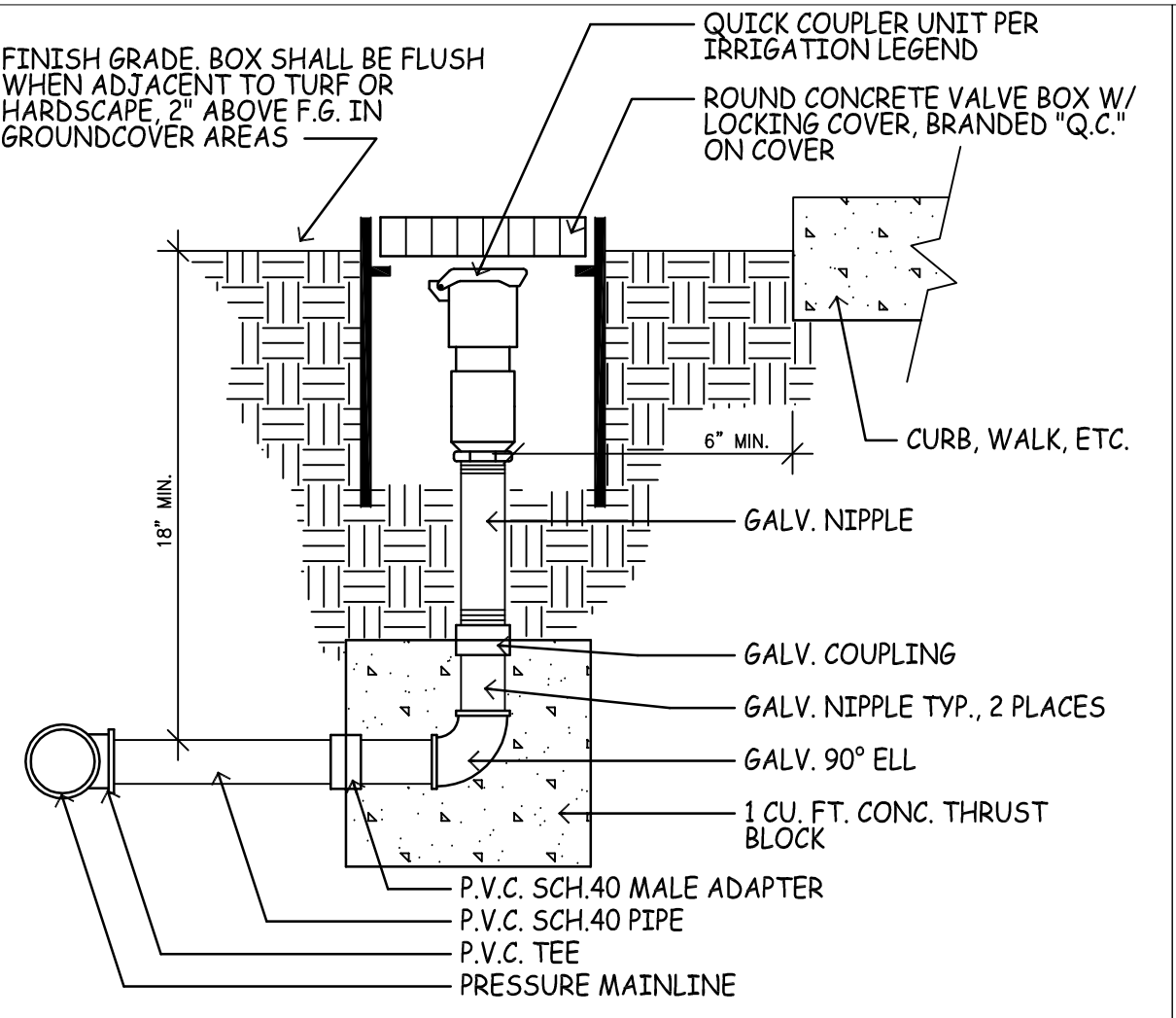


- NOTES:
1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES
2. BUNDLE & TAPE CONTROL WIRES AT 10' INTERVALS
3. TIE A LOOSE 20' LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30'. UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.
4. UNDER PAVED AREAS, ALL PRESSURE LINES & WIRES SHALL BE SLEEVED W/ SCH. 80 P.V.C. PIPE & SHALL BE 24" IN DEPTH (MIN).
5. INSTALL ALL CONTROL WIRES ON UNDERSIDE OF MAINLINE PIPE
6. PIPE DEPTH FOR 2-1/2" AND LARGER SHALL BE 24" MINIMUM.
7. PIPE DEPTH FOR 2" AND SMALLER SHALL BE 18" MINIMUM.
8. PIPE DEPTH FOR ALL NON-PRESSURE LATERAL LINES SHALL BE 12" MINIMUM.

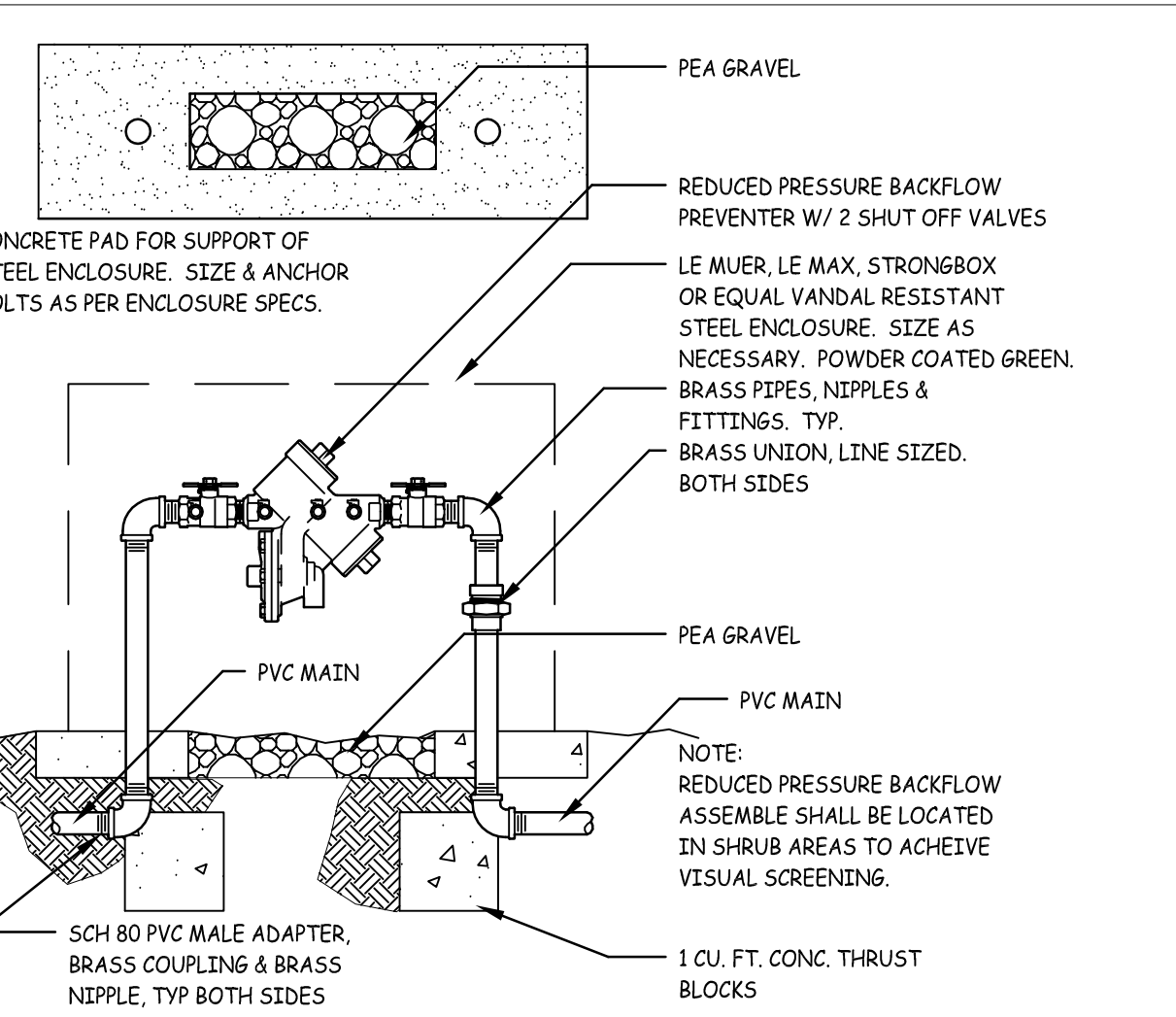
TRENCHING DETAIL
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FILE: D_IRR002



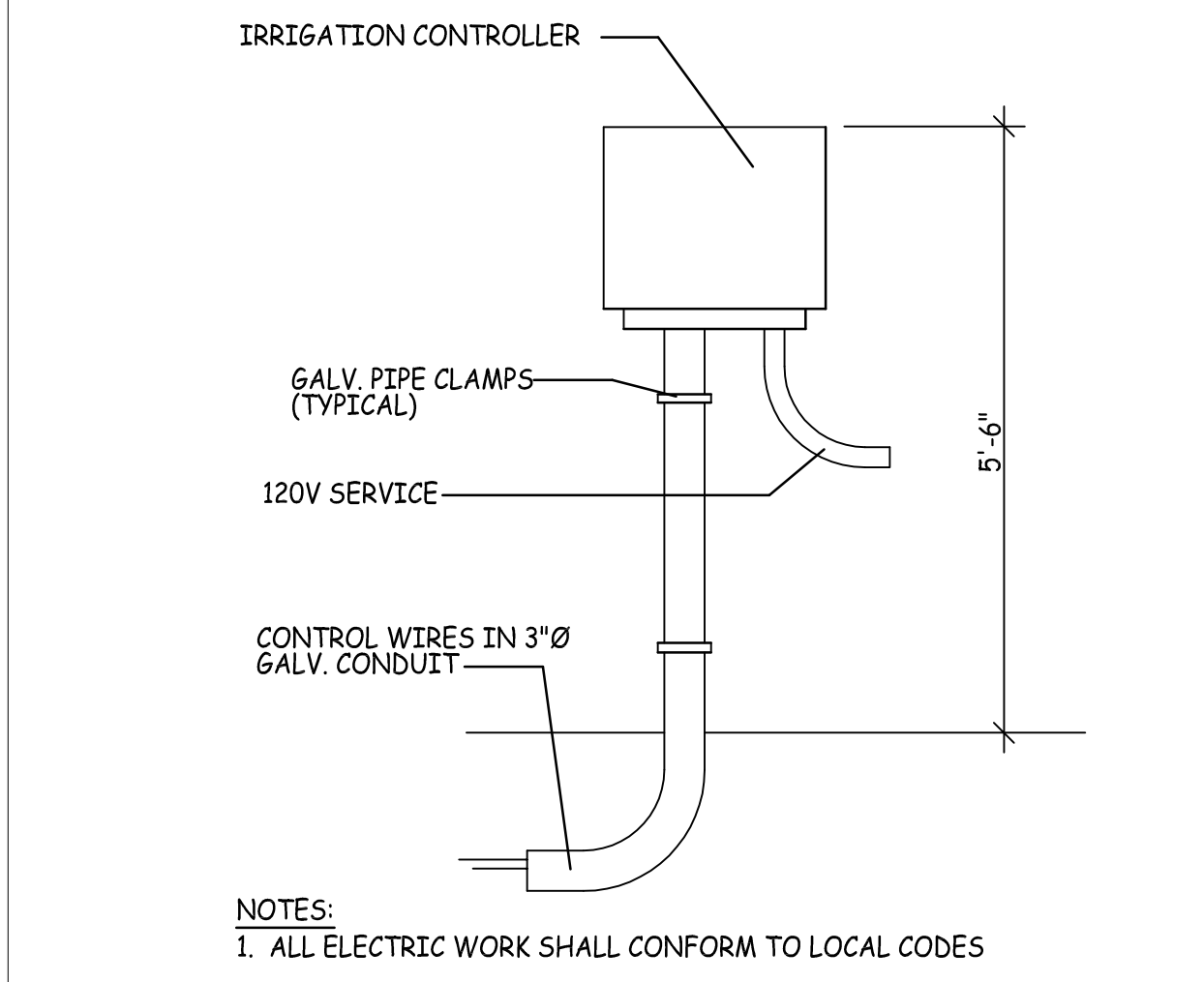
GATE VALVE
SCALE: N.T.S.
FILE: D_IRR003



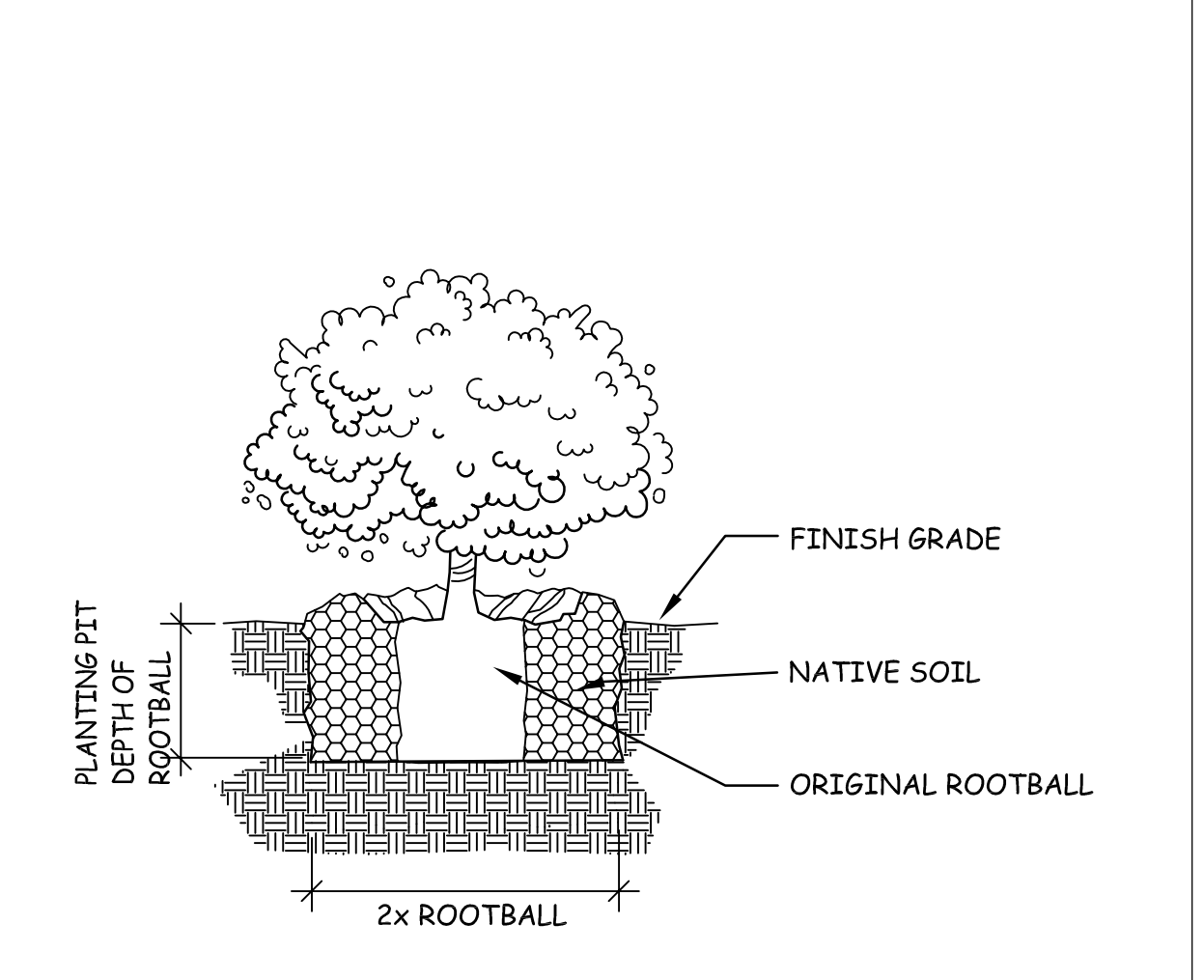
QUICK COUPLER
SCALE: N.T.S.
FILE: D_IRR005



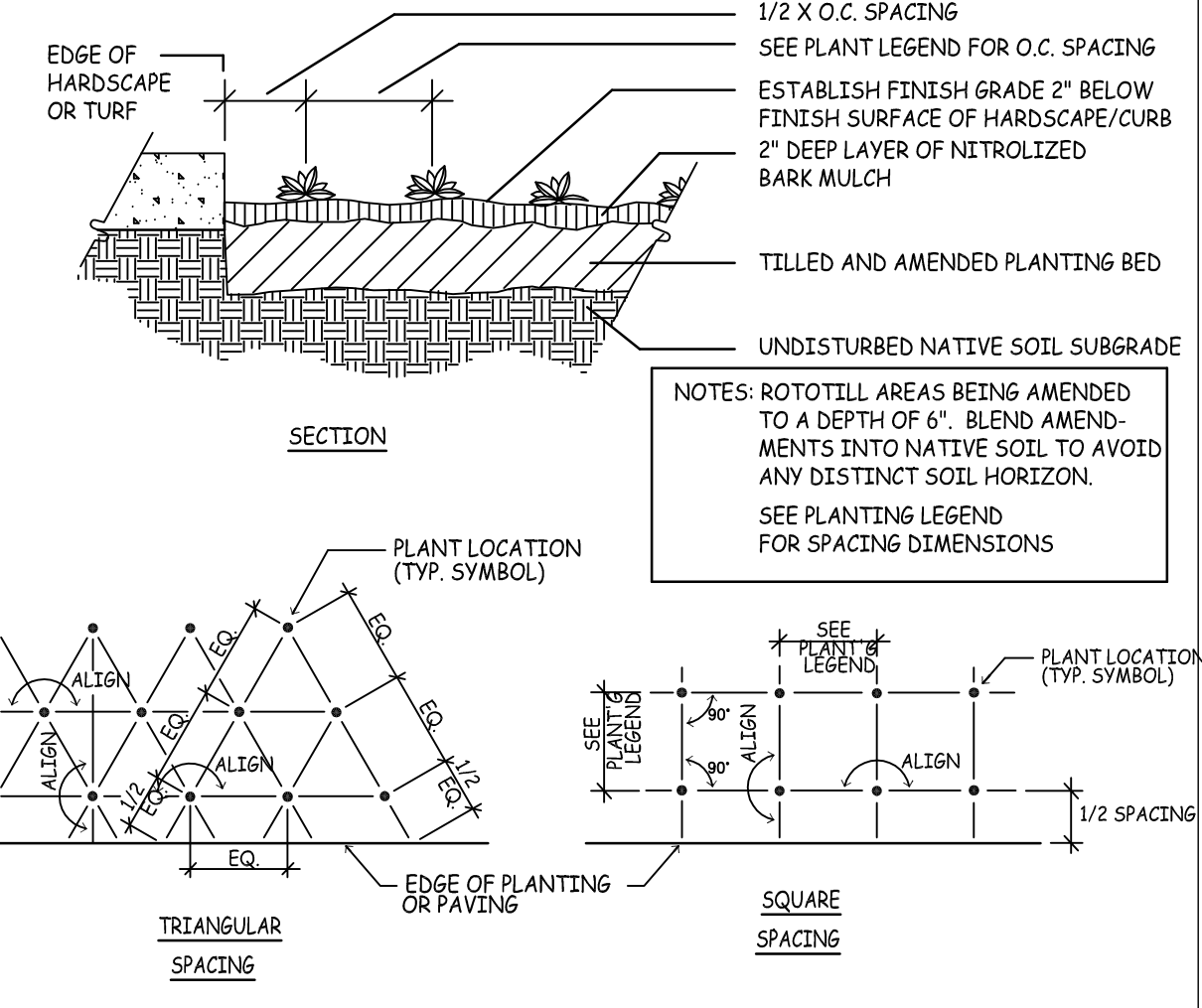
BACKFLOW PREVENTER
SCALE: N.T.S.
FILE: D_IRR006



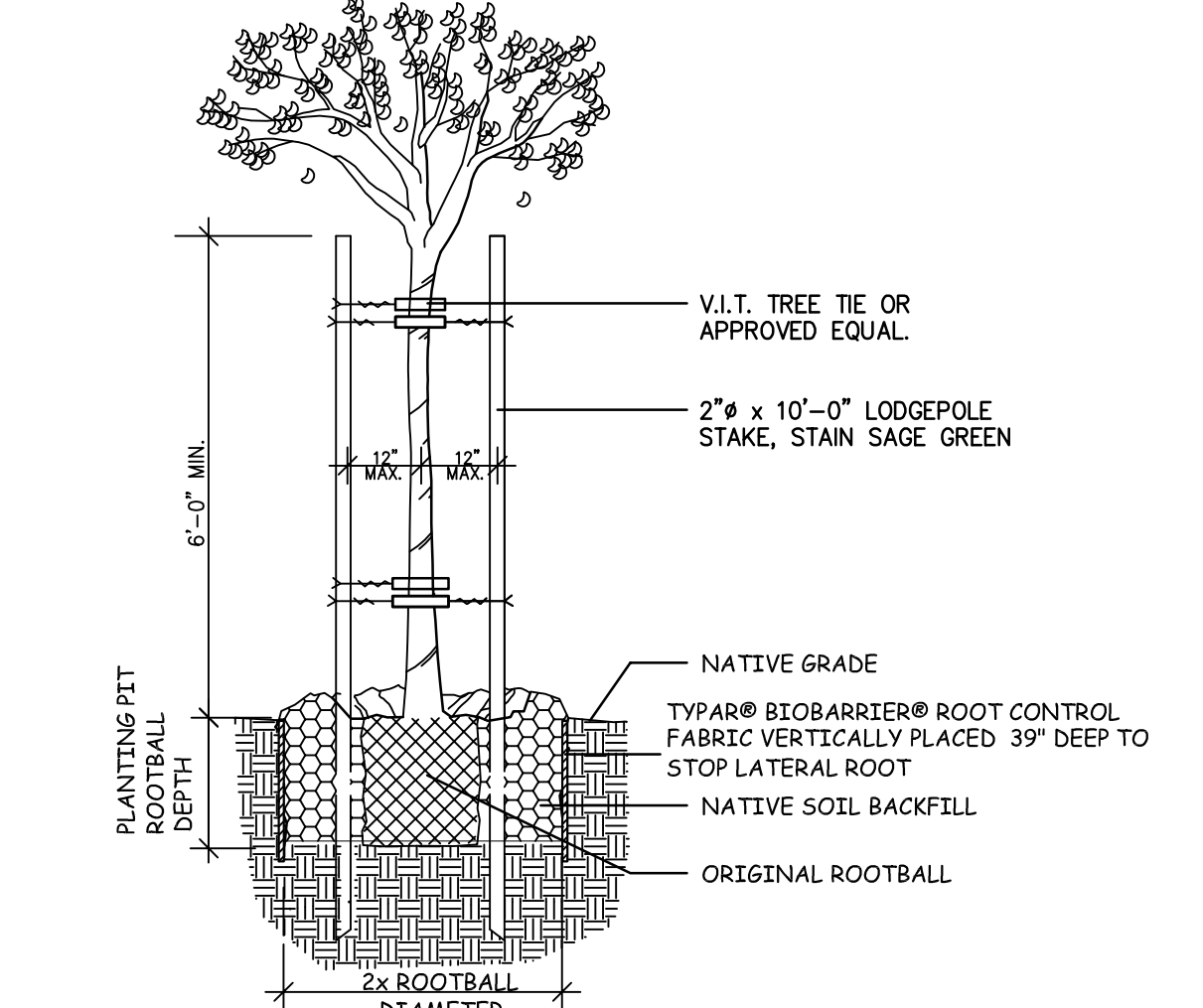
WALL MOUNT CONTROLLER
SCALE: N.T.S.
FILE: D_IRR008



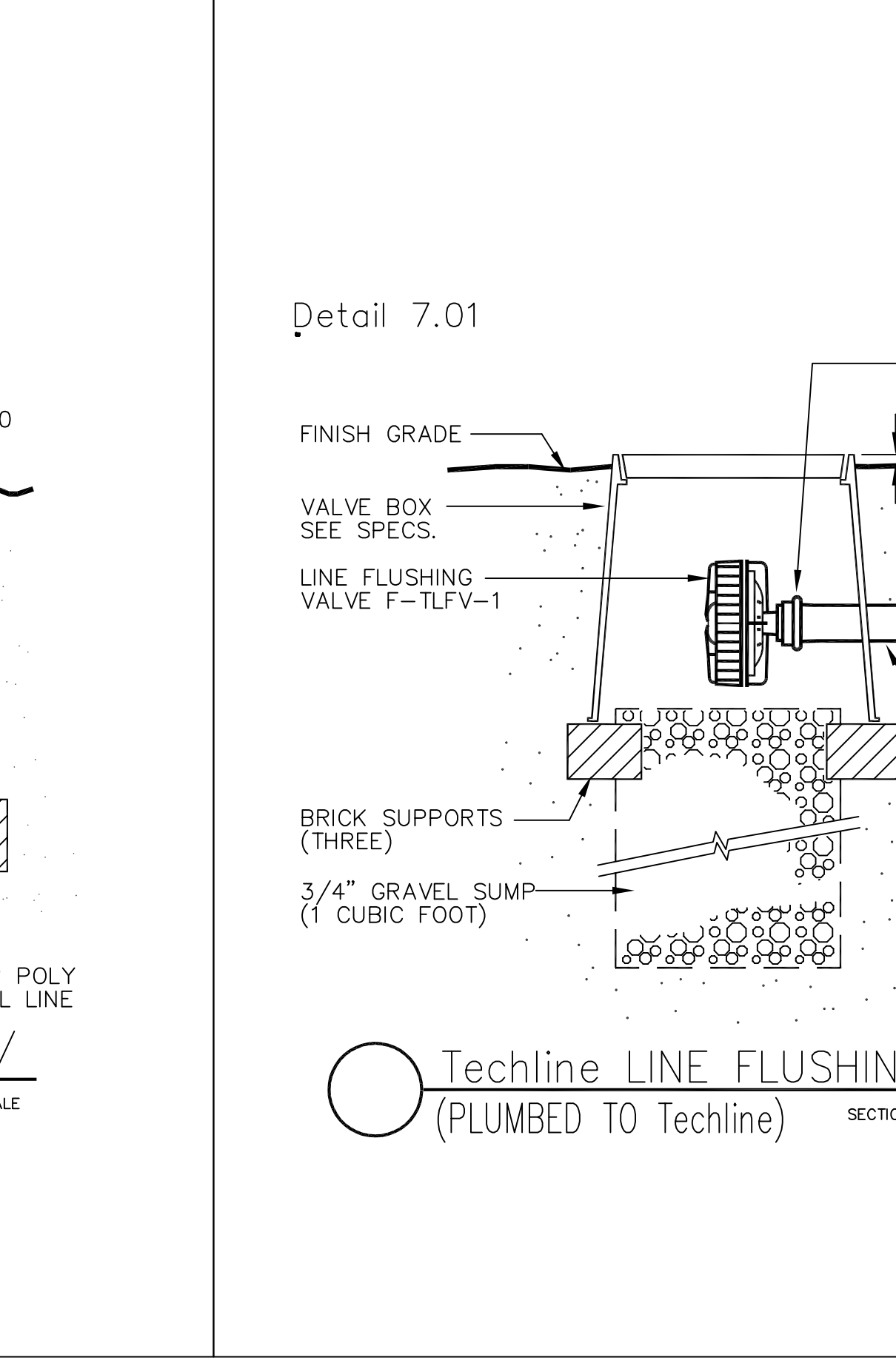
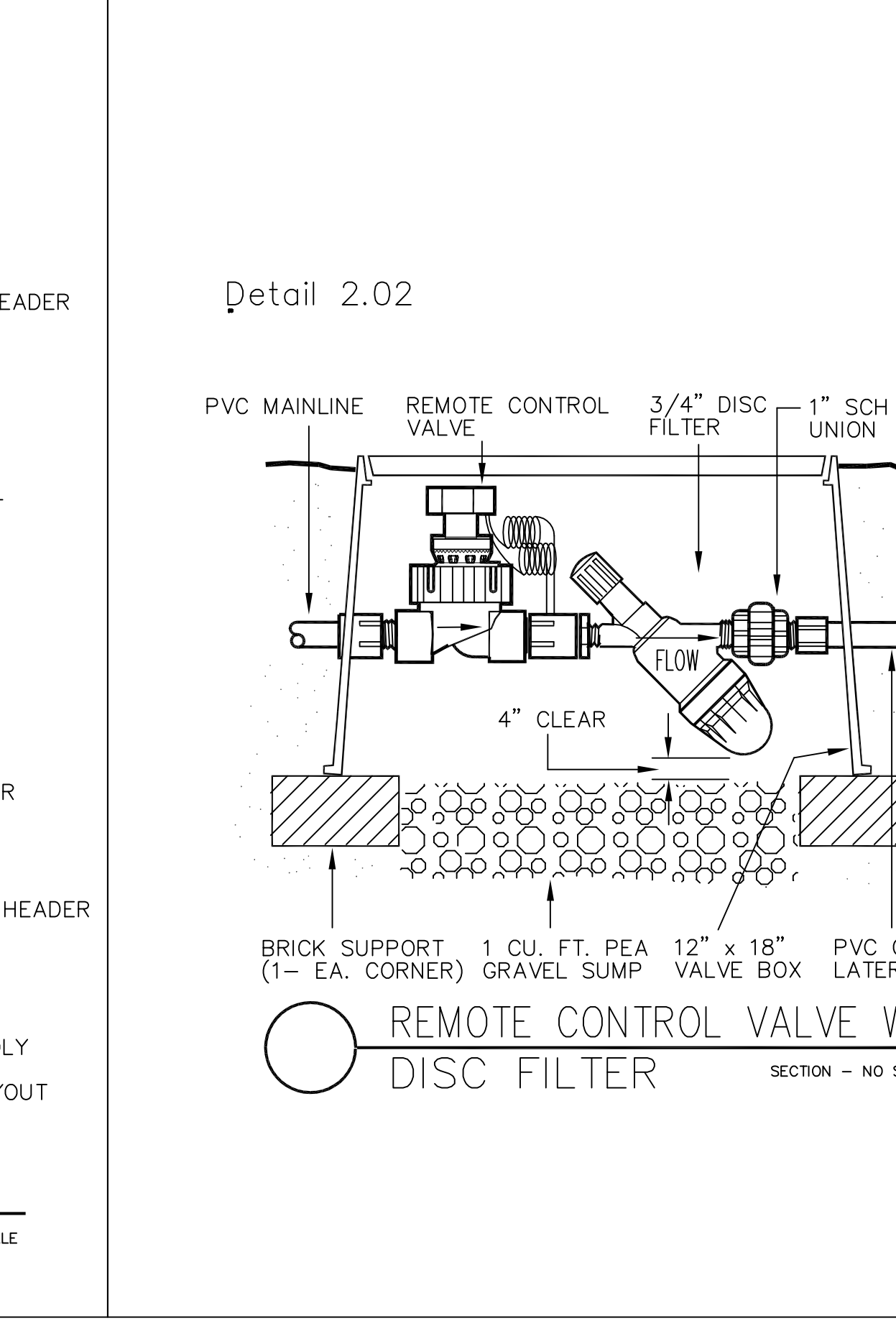
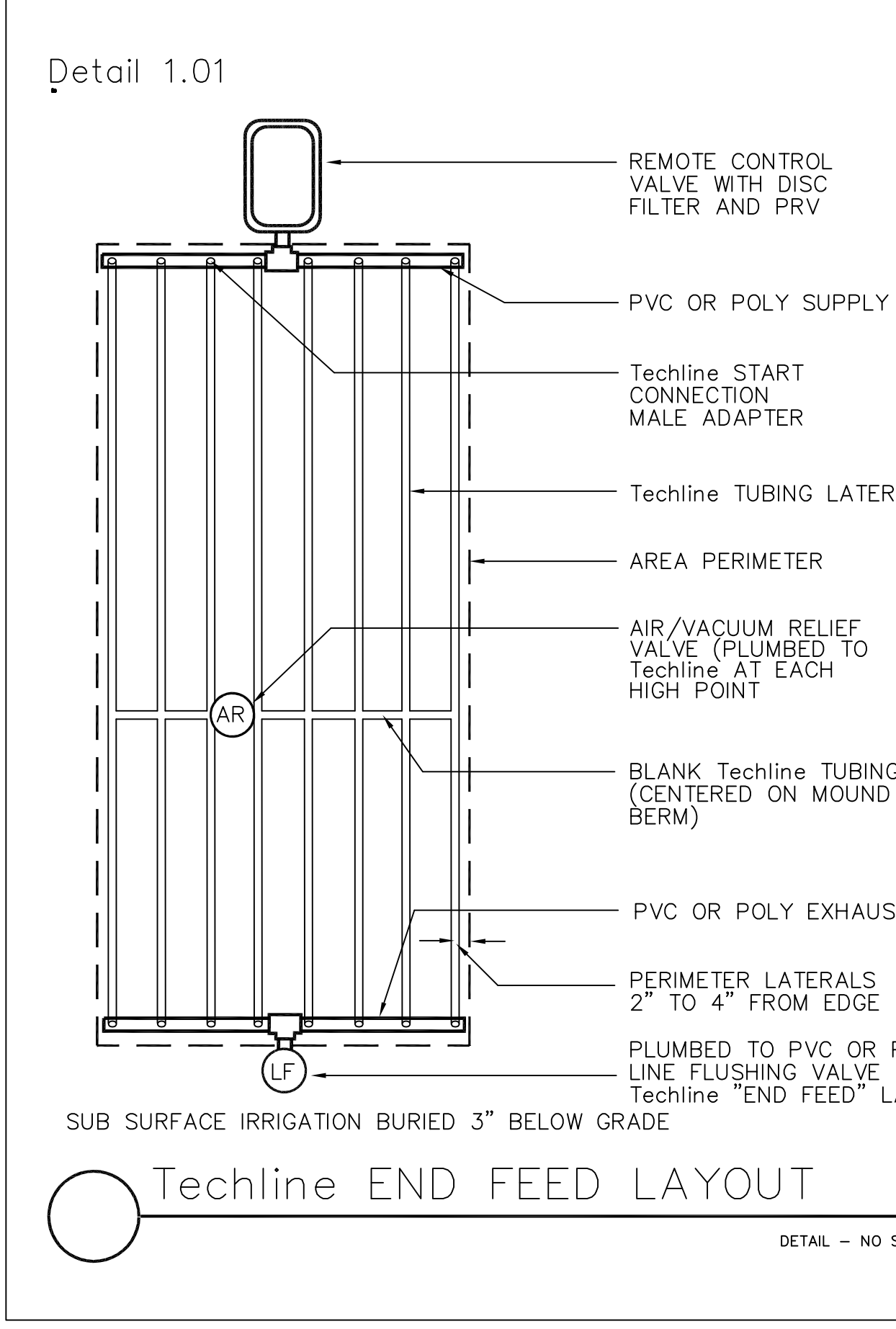
SHRUB PLANTING
SCALE: N.T.S.
FILE: D_PLA001



GROUND COVER PLANTING
SCALE: N.T.S.
FILE: D_PLA002



TREE PLANTING & STAKING
SCALE: N.T.S.
FILE: PLA_003



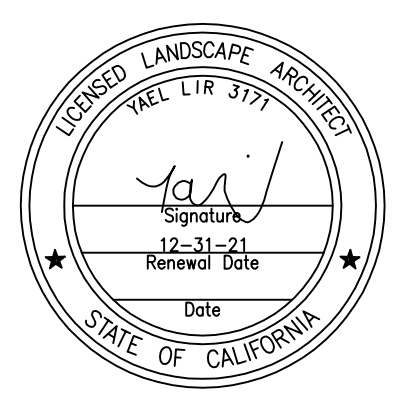
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DETAIL SHEET



DATE: SEPT. 14, 2020
SCALE: 1"=10'
JOB NUMBER: 219820
DRAWN BY:

Density Bonus and Inclusionary Housing Plan

**526, 528, and 532 Hazel Street
Glendale, CA 91201**

August 11, 2021

Hazel Cole Investments, LLC
c/o Mahsa Taj
11040 Santa Monica Blvd., Suite 326
Los Angeles, CA 90025

City of Glendale
Community Development Department
Housing Division
141 North Glendale Avenue, Room 202
Glendale, CA 91206

Number of Dwelling Units Proposed:

Mahsa Taj (“Applicant”) has proposed the development of a new, 23,134 square foot density bonus rental housing project totaling seventeen (17) residential dwelling units (the “Project”). The Project will provide a total of two (2) affordable units (15 percent of the total number of units of the base density of 11.29 (rounded up to 12)) to very low income households.

Maximum Number of Units Permitted per Glendale Municipal Code (“GMC”):

The Project is located in the R-2250 (Medium Density Residential) zone. The Project site (collectively, APNs 5627-014-009, 5627-014-010 and 5627-014-011) has a lot area of 20,328 square feet. Sites zoned R-2250 with more than ninety (90) feet of frontage are permitted one (1) unit per 1,800 square feet, which permits a maximum density of 25 units per acre (24.2 rounded up to 25). By right, Applicant has a base density of 12 units (20,328 divided by 1,800 = 11.29 (rounded up to 12)).

Number of Affordable Units Meeting Density Bonus Requirement:

Applicant is required to designate two (2) units as affordable to very low income households (15 percent of 12 base density units (1.8 rounded up to 2)). The affordable units were selected pursuant to the Density Bonus and Inclusionary Zoning Implementation Policies. The affordable units are detailed in Project floorplans attached hereto as Attachment 1, as well as immediately below:

Unit Number	Square Footage	Bedroom(s)	Bathroom(s)
103	1,256	3	2
205	1,274	3	2

Amount of Density Bonus Requested:

Pursuant to State Density Bonus Law (CA Government Code section 65915, *et seq.*), Applicant is entitled to a 50 percent density bonus by providing two (2) very low income units (15 percent of the base density of 11.29 (rounded up to 12)). With a fifty percent density bonus, the Project is permitted eighteen (18) units (12 (rounded up from 11.29) x 1.50 = 18). Applicant is requesting a lesser density bonus of 35 percent, however, for a total of 17 units (12 (rounded up from 11.29) x 1.35 = 16.2 (rounded up to 17)). This request complies with State Density Bonus Law, as it is less than the maximum to which the Applicant is entitled.

Number and Description of Incentives and Concessions Requested:

Applicant has requested the following two concessions pursuant to GMC 30.36.070A: to (1) exceed the maximum allowable Floor Area Ratio (FAR) of 0.85 to 1.13; and (2) exceed the maximum allowable lot coverage of 50 percent to 67.5 percent. Applicant is entitled to request three concessions under State Density Bonus Law since the project will restrict at least 15 percent of the base density units to very-low income households. (CA Government Code § 65915(d)(2)(C))

Amount of Parking Concessions Requested:

Applicant has also requested an automatic parking concession under California Government Code Section 65915(p), which provides that upon the request of an applicant, the City must allow

the following vehicular parking ratios (inclusive of handicapped and guest parking), of a development providing at least 15 percent of the base unit count to very low income households: one (1) on-site parking space per unit for zero to one bedroom units; and one and one-half (1.5) on-site parking spaces per unit for two to three bedroom units (collectively, the “Parking Concession”). Applicant has requested to provide one (1) parking space per each one-bedroom unit and two (2) parking spaces per each two to three-bedroom unit. The Project’s unit mix includes three (3) two-bedroom units and fourteen (14) three-bedroom units. Based on the number of units and bedrooms provided, the Parking Concession requires a minimum of 26 parking spaces. The Project exceeds the minimum requirement under the Parking Concession, and will provide 38 parking spaces total.

Child Care Space:

Not applicable.

Inclusionary Housing Requirement:

On May 7, 2019, the City adopted a Citywide Inclusionary Zoning Ordinance, Ordinance No. 5928, codified at GMC 30.35 (collectively, the “IZO”). The IZO became effective after a 30-day period on June 7, 2019. The IZO requires a housing development (a rental development project of eight (8) or more dwelling units proposed to be constructed in the City) to provide fifteen percent of the units as affordable to low income households. The Project is subject to the IZO.

The Project is required to provide two (2) affordable units to very low income households (15 percent of 12 base density units (1.8 rounded up to 2)). Under the IZO (GMC 30.35.050(C)), “[t]o the extent required by state law, all affordable units required pursuant to the grant of a density bonus shall count toward the inclusionary unit requirement contained in this chapter. Very low income density bonus units shall be equivalent to low income inclusionary units.”

Therefore, the Project meets the IZO requirement through the requirement to provide two (2) affordable units to very low income households under Density Bonus (GMC 30.36). No additional affordable units are required under the IZO.

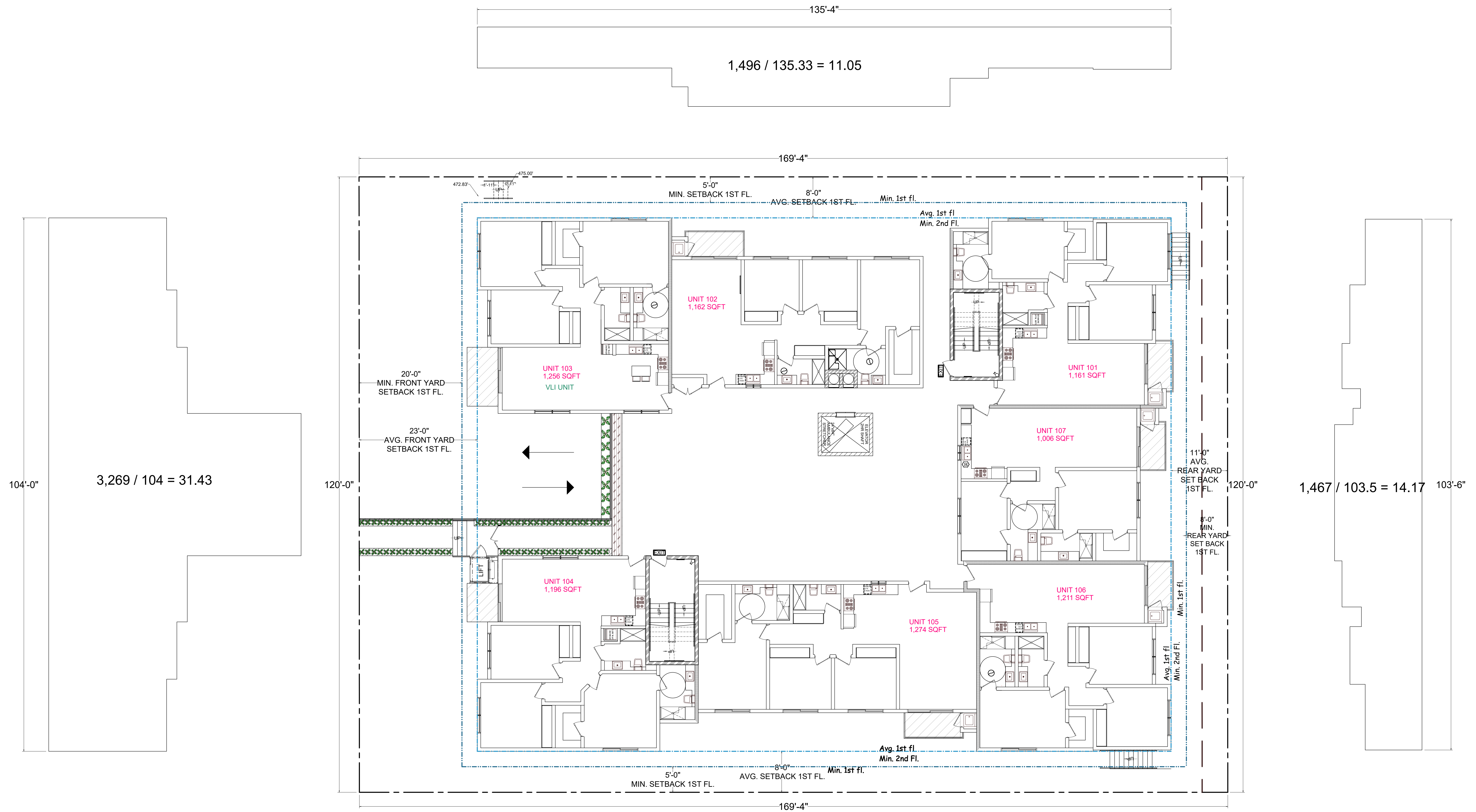
Affordable Housing Commercial Development Impact Fee

On May 7, 2019, the City adopted a Citywide Affordable Housing Commercial Development Impact Fee, Ordinance No. 5929, codified at GMC 4.11 (collectively, the “CDIF”). The CDIF became effective after a 60-day period on July 7, 2019.

With the exception of hotels, auto dealerships, community land uses which serve the public, and the reconstruction of any building destroyed by fire, flood, earthquake or other act of nature (so long as the square footage does not exceed the square footage before the loss), the CDIF imposes a \$4 per square foot fee (per the FY 2020-2021 Citywide Fee Schedule) on all commercial development projects with a gross floor area exceeding 1,250 square feet.

The Project is not subject to the CDIF as the Project does not entail a permitted commercial component.

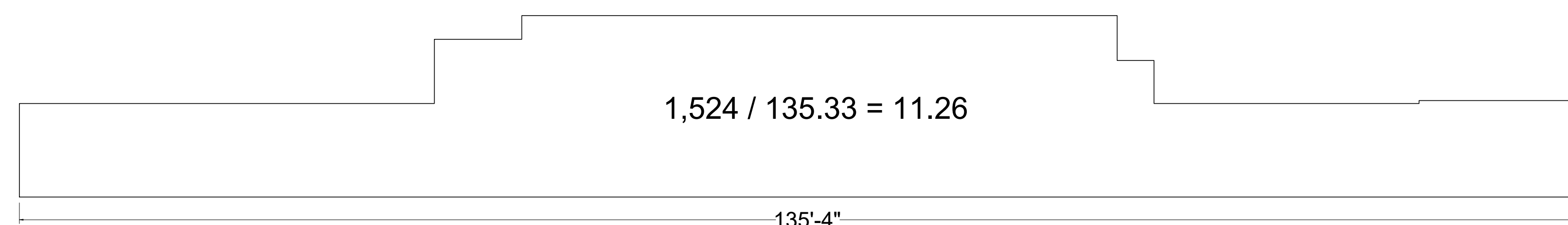
Attachment 1



FIRST FLOOR AVERAGE SETBACK

SCALE: 1/8"=1'-0"

FIRST FLOOR SETBACK:
 MIN. FRONT YARD SETBACK FIRST FL. 20'
 AVG. FRONT YARD SETBACK FIRST FL. 23'
 MIN. INTERIOR SETBACK FIRST FL. 5'
 AVG. INTERIOR SETBACK FIRST FL. 8'



REVISIONS	BY

THESE PLANS, SPECIFICATIONS, SCHEDULES, NOTES, AND EXHIBITS SHOW THE DESIGN AND CONSTRUCTION OF THE PROJECT AND NO PART THEREOF SHALL BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT A WRITTEN CONSENT OF THE ENGINEER.

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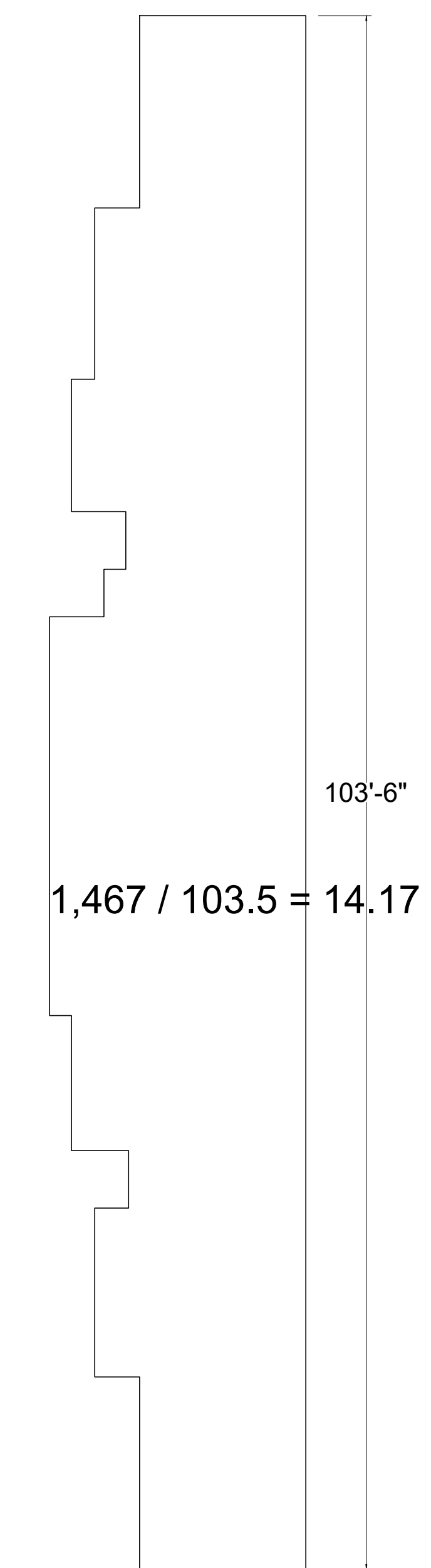
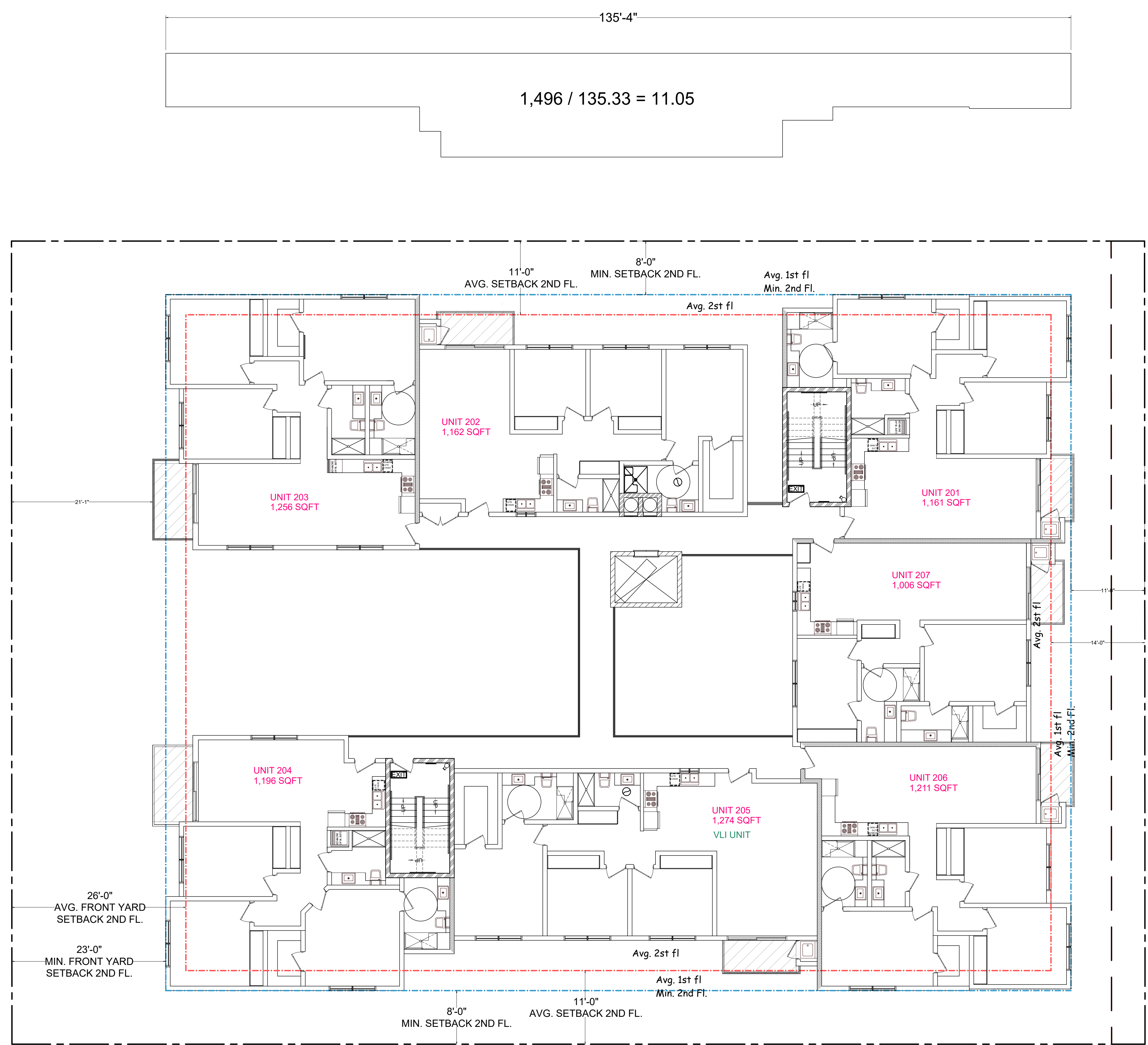
BAHRAM RAEEN
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 3280 S. MOTOR AVE., SUITE 226, W. LOS ANGELES, CA 90084

17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date	
Scale	
Drawn	
Job	
Sheet	

A-1.2

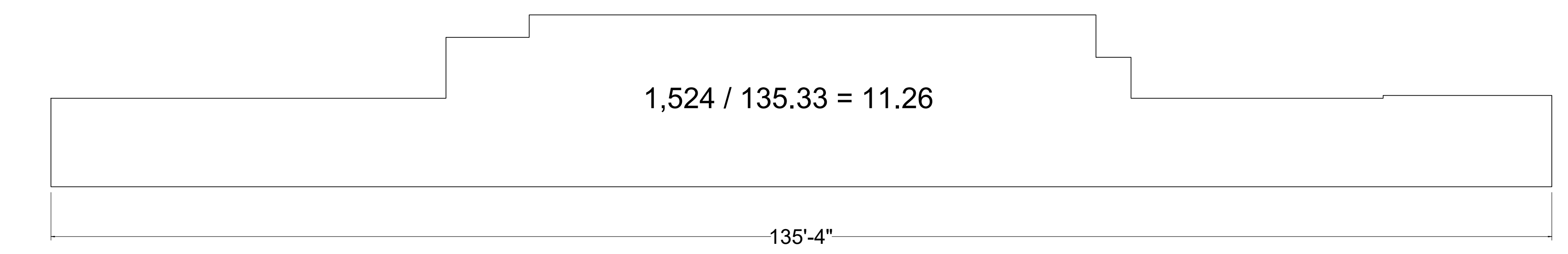
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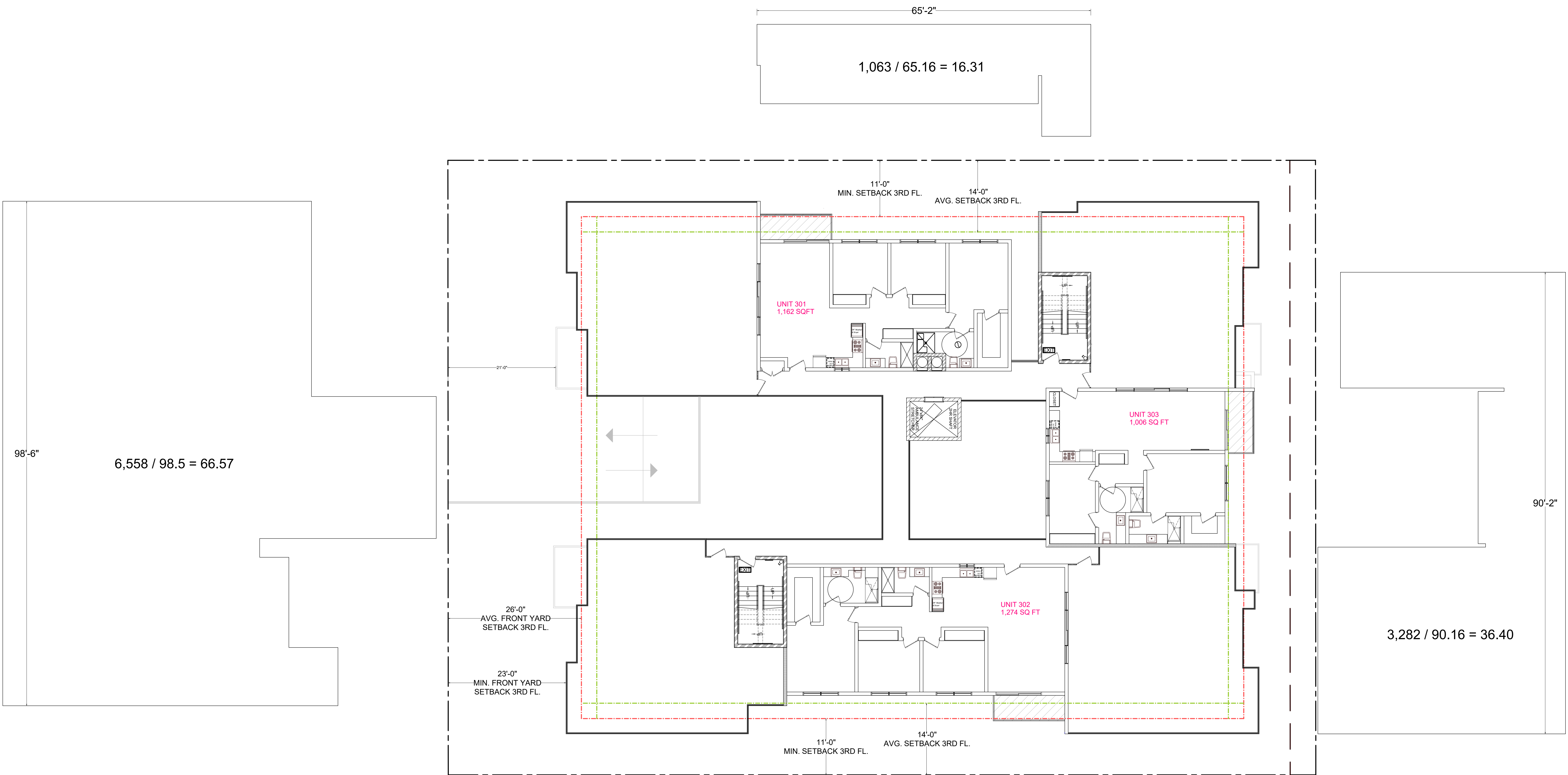


SECOND FLOOR AVERAGE SETBACKS

SCALE: 1/8"=1'-0"

- SECOND FLOOR SETBACK:
- MIN. FRONT YARD SETBACK SECOND FL. 23'
 - AVG. FRONT YARD SETBACK SECOND FL. 26'
 - MIN. INTERIOR SETBACK SECOND FL. 8'
 - AVG. INTERIOR SETBACK SECOND FL. 11'

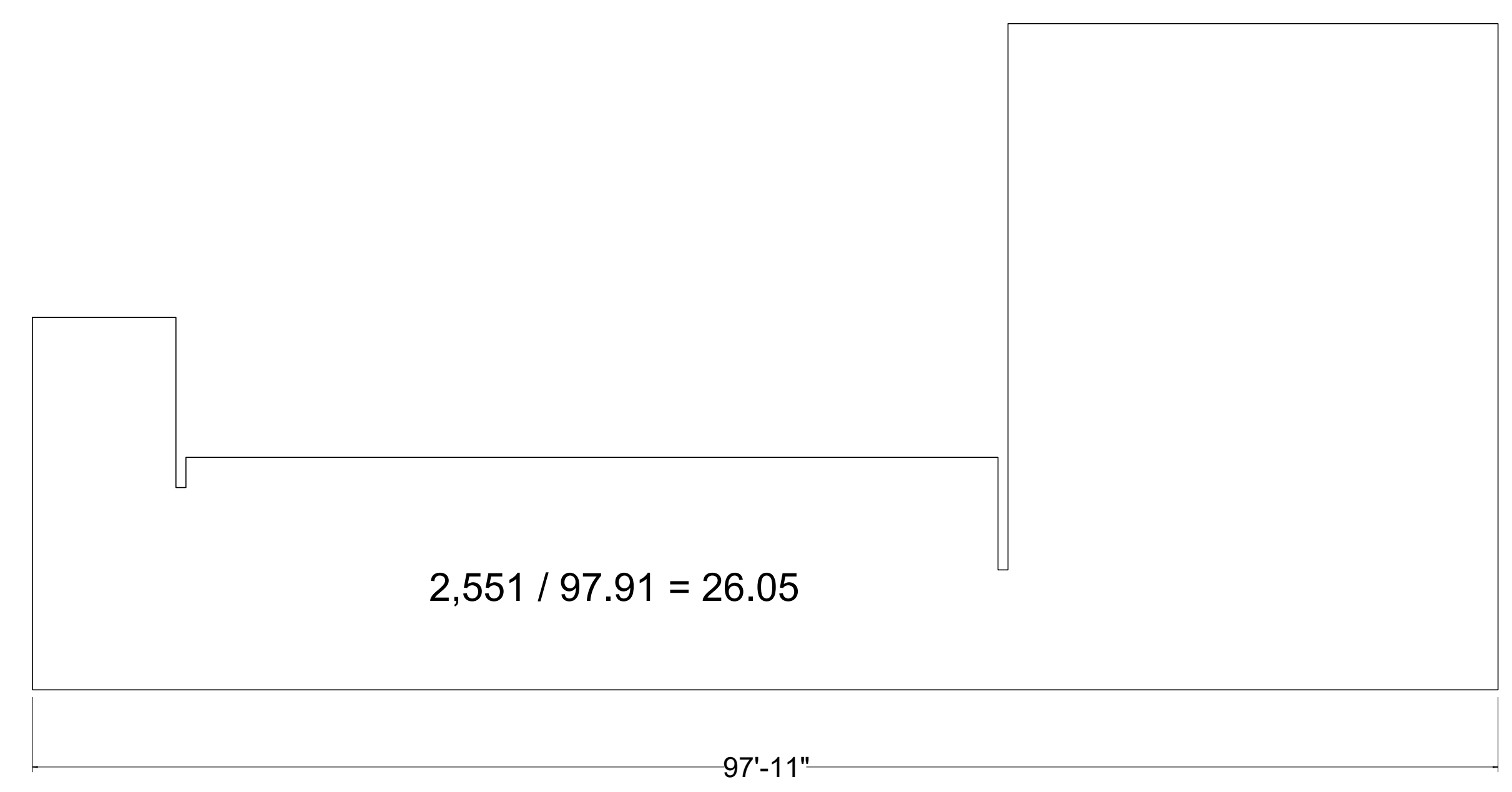




THIRD FLOOR AVERAGE SETBACKS

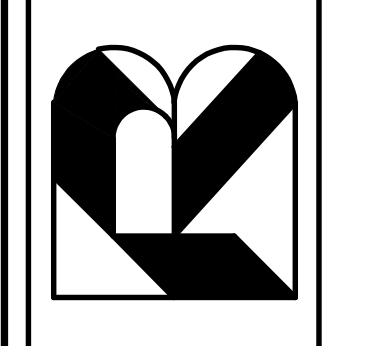
SCALE: 1/8"=1'-0"

THIRD FLOOR SETBACK:
 MIN. FRONT YARD SETBACK THIRD FL. 23'
 AVG. FRONT YARD SETBACK THIRD FL. 26'
 MIN. INTERIOR SETBACK THIRD FL. 11'
 AVG. INTERIOR SETBACK THIRD FL. 14'



REVISIONS	BY

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17 UNITS APARTMENT
 526,528,532 HAZEL ST.,
 GLENDALE, CA 91201

Date	
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Drawn	
Job	
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Of	

A-1.2.2

**Class 32 Categorical Exemption Findings
526, 528, and 532 Hazel Street, Glendale, CA 91201**

“Class 32 consists of Projects characterized as in-fill development meeting the conditions described in this section. (a) The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a Project site of no more than five acres substantially surrounded by urban uses. (c) The Project site has no value, as habitat for endangered, rare or threatened species. (d) Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.” (14 Cal. Code Regs. § 15332)(“CEQA Guidelines”).

Project Description

The Project at 526, 528, and 532 Hazel Street is a 17-unit, 3-story residential building located in the City of Glendale. The 526, 528, and 532 Hazel Street is identified as “Project” and comprises the “Project Site”.

The Project Site is zoned R-2250 (Medium Density Residential Zone). The General Plan designation for the Project site is Medium Density Residential. The Project site is comprised of 20,328 square feet and is currently improved with three single-family residences and two detached garages at adjoining lots, addressed at 526 and 528 Hazel Street. 532 Hazel Street is currently vacant.

The Project site is bordered by the Golden State Freeway to the west, San Fernando Road to the east, Sonora Avenue to the north, and Ventura Freeway to the south. The Project Site is surrounded by existing urban uses, including single and multi-family residential buildings. Immediately to the east of the Project site is a 3-unit residential building. The Project is immediately adjacent to single-family residential buildings to west, south east, and north (across Hazel Street).

The proposed Project would demolish the existing three one-story dwelling units and two detached garages for construction of a new three-story, 36-foot in height residential building with 17 dwelling units, which two of the units will be reserved for very-low income households. The proposed 23,134 square-foot residential building will include 14 three-bedroom units and three two-bedroom units and will have a proposed Floor Area Ratio (FAR) of 1.13. The proposed Project provides 929 square feet of private open space, 5,789 square feet of common open space, and 2,095 square feet of additional open space.

Thirty-eight (38) automobile parking stalls will be provided in a one level subterranean parking garage, including three guest parking spaces and one handicap parking space. The Project is providing the required amount of parking per Glendale Municipal Code (GMC 30.36.090) and California Government Code Section 65915(p). The Project's main pedestrian and vehicle access will be on Hazel Street.

a. The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The Land Use Element of the Glendale General Plan includes a goal to “Support the creation of higher density residential development and alternative forms of medium and high density housing in those areas best suited from the standpoint of accessibility, current development, community organization, transportation and circulation facilities and economic feasibility.” (Glendale General Plan Land Use Element, page 7.) The Project is consistent with and helps achieve this goal by redeveloping the underutilized Project site and existing structures and building new structures which will yield a total of 17 dwelling units in a medium-density development with proximate access to public transportation to access neighborhood services on a daily basis. Moreover, the Project will advance the goals and policies of the General Plan, Housing Element (2014-2021), including, but not limited to, Chapter 2, 2.1.6 Goal 1 (“A City with a Wide Range of Housing Types to Meet the Needs of Current and Future Residents), Chapter 2, 2.1.9 Goal 4 (“A City with Housing Services that Address Groups with Special Housing Needs) and Policies 4.1 and 4.2 (“Encourage both the private and public sectors to produce or assist in the production of housing for special needs groups such as: the handicapped, the elderly, large families, single parent households, and formerly homeless.”) and (“Promote the development of extremely low, very low, low and moderate income housing by allowing developers density bonuses or other financial incentives for providing units for low and moderate income residents. The unit mix and location of affordable housing units in density bonus Projects must be approved by the City and included in an affordable housing agreement.”).

The proposed 17-unit affordable housing residential Project will be consistent with the various elements and objectives of the General Plan. The Land Use Element of the General Plan designates the Project site as Medium Density Residential, and the Project is consistent with its land use designation. The Project Site is located in the Area 1 (the Grand Central Industrial Center), a planned industrial park of 133.34 acres, which has the highest efficiency of industrial utilization of all eight areas in the City. Nearly thirty acres of residential zoning in this area (which includes the subject site) is sandwiched between the industrially zoned areas and the Golden State Freeway. The Project provides landscaping buffers as recommended by the City's General Plan to create buffers between residential and industrial zoning in this area in order to continue coexistence while upgrading the quality of each zone type. Per General Plan, noise buffering need not be extensive in this area because it is surrounded by streets, freeways, and a portion of Griffith Park. The Project Site is located in an area where

the ambient noise contour is 70 CNEL and over, as shown on the map of the 2030 Noise Contours, Exhibit 2 of the City's Noise Element. Noise levels of 65 CNEL and below are "Normally Acceptable" for residential multi-family Projects as recommended in the Noise Element of the General Plan. On-site design features including utilization of special insulation techniques with acoustical characteristics will lower the noise levels to acceptable levels. The Project site has not been slated for open space or recreation, and will operate within compliance with the Noise Element thresholds.

All other elements of the General Plan will not be impacted as a result of the Project. The Circulation Element identifies Hazel Street as Local Street. These streets are fully developed and can adequately handle the traffic circulation around the site. Vehicular access to the site will be from a driveway entrance along Hazel Street.

The Project also complies with all policies and all applicable zoning designations and regulations, as discussed below:

The Project Site is located in the R-2250 (Medium Density Residential) zone. In accordance with GMC 30.12.020, the maximum density allowed on a lot where the width is greater than 90 feet is one dwelling unit for every 1,800 square-feet of lot area. The subject property is 20,328 square feet in size, with a lot width of 120 feet, allowing for 17 units consistent with state and local density bonus provisions.

The R-2250 zone requires setbacks of 20 feet minimum and an average of 23 feet for any garage or first residential floor and not less than 23 feet and an average of 26 feet for the second and third residential floors. The R-2250 zone requires Interior Setbacks to be 5 feet minimum and 8 feet average for the first floor, 8 feet minimum and 11 feet average for the second floor, and 11 feet minimum and 14 feet average for the third floor. As proposed, the Project is consistent with the GMC setback regulations.

The R-2050 zone requires studio and two-bedroom units to be at least 800 square feet a three bedroom units to be at least 1,000 square feet (GMC § 30.11.050). The Project would include two-bedroom units with a minimum square footage of 1,006 square feet and three-bedroom units with a minimum square footage of 1,162 square feet. Thus, the Project would be consistent with the GMC unit size regulations.

The R-2250 zone requires a minimum of 40 square feet of private open space for each dwelling unit and a total 3,400 square feet of outdoor common open space (GMC § 30.11.050.) The Project includes 40 square feet of private open space for each dwelling unit and will provide at minimum 5,789 square feet of outdoor common open space, thus the Project complies with GMC private and outdoor common open space requirements. Additional open space of 2,095 square feet is also provided as required by zoning code (GMC § 30.11.020 A7.).

The GMC allows for a maximum of 50 percent lot coverage (10,164 square feet). The Project proposes 67.5% lot coverage (13,721 square feet) through the use of a density bonus incentive, since reducing the Project lot coverage by 3,557 square feet would decrease the number of affordable units. Thus, with the use of the density bonus incentive (concession), the Project would be permitted the additional and necessary lot coverage.

As proposed, the Project features Floor Area Ratio (FAR) of 1.13 (23,134 square feet), exceeding the maximum allowable FAR by 0.28 (5,856 square feet) through the use of a density bonus incentive. Thus with the use of the density bonus incentive (concession), the Project would be permitted the additional and necessary FAR.

The GMC requires a minimum Permanently Landscape Open Space requirement of 25% of lot area. The Project proposes for approximately 34% of site to be permanently landscaped. Thus, the Project would comply with the GMC Permanently Landscape Open Space requirements.

The R-2250 zone requires a height limit of three stories or 36 feet. The Project proposes a height limit of 36 feet (three stories) in compliance with the GMC height requirements.

The Project qualifies for parking concessions in accordance with GMC §30.36.090 and California Government Code Section 65915(p) and based on the number of units and bedrooms provided, the Parking Concession requires the Project to provide a minimum of 26 parking spaces for the proposed residential development. The Project is providing a total of 38 parking spaces within a one-level subterranean parking garage including three guest parking spaces and one handicap accessible parking space with a total of seventeen parking spaces being tandem parking spaces in accordance with GMC off-street and minimum parking requirements.

The Project is consistent with the General Plan and complies with the applicable zoning designation and regulations and no variances are required.

b. The proposed development occurs within city limits on a Project site of no more than five acres substantially surrounded by urban uses.

The Project Site is entirely within the City of Glendale. The site is approximately 20,328 square feet (0.46 acres), which is less than five acres in size. The Project Site is substantially surrounded by urban uses. The Project Site is surrounded by existing urban uses, including single and multifamily residential buildings. Immediately to the east of the Project site is a 3-unit residential building. The Project is immediately adjacent to single-family residential buildings to west, south east, and north (across

Hazel Street). As the Public Resources Code (PRC) defines qualified urban use as “any residential, commercial, public institutional, transit or transportation passenger facility, or retail use, or any combination of those uses,” the Project Site is substantially surrounded by urban uses. (PRC § 21072.)

c. The Project site has no value as habitat for endangered, rare or threatened species.

The Project Site is fully developed with three existing residential dwellings and two detached accessory buildings (parking garages). The Project Site is not currently a habitat for endangered, rare, or threatened species, and no documentation exists which identifies the Project Site as such. There are no protected trees on the Project Site. Therefore, the site does not contain or have value as a habitat for endangered, rare or threatened species.

d. Approval of the Project would not result in any significant effects relating to traffic, noise, air quality or water quality.

A short-term construction and long-term operational activities associated with the Project would not constitute a significant noise impact. The Project would not result in any significant impacts related to traffic, noise, air quality or water quality. The new Project would be constructed to reduce interior noise to acceptable levels as required by the building code, and the Project is not anticipated to generate noise in excess of limits contained in the Noise Element. Construction associated with the Project will be required to comply with the City of Glendale Noise Ordinance (GMC Chapter 8.36), which prohibits construction activities between the hours of 7:00 PM on one day and 7:00 AM of the next day or from 7:00 PM on Saturday to 7:00 AM on Monday or from 7:00 PM preceding a holiday. Compliance with the City’s noise ordinance would ensure that noise impacts will be less than significant.

An Air Quality and Greenhouse Gas study prepared by Urban Crossroads, dated August 18, 2021, and reviewed by City staff (attached hereto as Exhibit “A” and incorporated herein by this reference), found that the Project would comply with local regulatory measures, and that neither construction nor operation of the Project would result in significant air quality or greenhouse gas impacts.

Because the proposed infill development would redevelop land that is fully developed with urban uses, construction would not impact water flows or water quality. The Project would comply with the City’s Low Impact Development (LID) Guidelines set forth in Chapter 13.43 of the GMC and with applicable state and federal regulations. Such LID standards are designed to minimize the impervious area footprint, prevent pollutants of concern from leaving the development site in stormwater as the result of storms, and minimize hydromodification impacts to natural drainage systems. (GMC § 13.43.040(A).) Compliance with these regulations will ensure that the Project would not

result in a significant impact to water quality. Existing utilities would provide water supplies and wastewater treatment services to the subject property.

Vehicle Miles Traveled

In 2018, the State of California amended the California Environmental Quality Act (CEQA) Guidelines Appendix G question for transportation impacts to delete reference to vehicle delay and level of service and instead refer to Section 15064.3, subdivision (b)(1) of the CEQA Guidelines asking if the Project will result in a substantial increase in VMT. Accordingly, the City of Glendale adopted VMT as the metric for assessing transportation impacts for land use Projects. To comply with the requirements of the California Environmental Quality Act (CEQA) and Senate Bill 743 (SB 743), development Projects in the City of Glendale must conduct vehicle miles traveled (VMT) analysis to evaluate a Project's potential significant impacts. The City has prepared Transportation Analysis (TIA) Guidelines to provide guidance on whether a Project can be screened out of a detailed VMT analysis, or if the applicant would need to perform a detailed VMT analysis. The guidelines include detailed guidance for conducting an SB 743-consistent transportation impact analysis of VMT as well as assessing significant impacts related to public transit, pedestrians, bicyclists, hazards/design features, and emergency access.

The Project is eligible to screen out of a detailed Vehicle Miles Traveled (VMT) analysis because according to Section 2.1.2.1 of the City's Transportation Analysis Guidelines, Projects that generate fewer than 145 daily vehicle trips can be presumed to cause a less-than-significant transportation impact and would not require a detailed VMT analysis; this should be based on the proposed Project's total uses without taking a credit for existing uses. As proposed, the Project is considered small Project, which is estimated to generate less than 50 net peak-hour trips and is screened out of VMT analysis. As such a detailed VMT analysis is not required and the Project would have a less-than-significant VMT impact

e. The site can be adequately served by all required utilities and public services.

There will not be a considerable increase in demand for services or utilities due to Project implementation. The Project would be located in an existing urban area with existing buildings that have been adequately served by existing public utilities and services. All new construction on site will be served by the same existing public utilities and services. These services include water, electricity, solid waste collection and sewer services provided by the City of Glendale. Accordingly, the Project will be adequately served by all required utilities and public services.

Exceptions to Categorical Exemptions (CEQA Guidelines Section 15300.2)

Proposed Findings

- a. **Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the Project is to be located -a Project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply in all instances, except where the Project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.**

Because the Project is relying on Class 32 exemption, this exception does not apply.

- b. **Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive Projects of the same type in the same place, over time is significant.**

There is not a succession of known Projects of the same type located in the same place as the subject Project. Since this Project qualifies for a Class 32 Categorical Exemption and is subject to Regulatory Compliance Measures, no cumulative impacts are anticipated. Further, the proposed apartment buildings with 17 dwelling units do not exceed thresholds identified for impacts to the area (including noise, traffic, and air quality) and will not result in significant cumulative impacts.

- c. **Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

The Project proposes a multi-family residential building in an area zoned and designated for such use. Other similarly situated sites could be developed in the same manner and there is nothing unusual about the Project Site. Immediately adjacent lots are developed with single-family and multi-family residences. The properties across Hazel Street are developed with single-family and multifamily residential buildings. No unusual circumstances are present or foreseeable.

- d. **Scenic Highways. A categorical exemption shall not be used for a Project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.**

The Project Site is located in an urban environment, and is bordered by the Golden State Freeway to the west, San Fernando Road to the east, Sonora Avenue to the north, and Ventura Freeway to the south. The Project Site is surrounded by existing urban uses, including single and multifamily residential buildings. According to

information on the California Department of Transportation's State Scenic Highway Program, there are no state scenic highways in the vicinity of the Project Site.

- e. Hazardous Waste Sites. A categorical exemption shall not be used for a Project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.**

The Project Site is developed and is not within a designated hazardous site. The Project Site is not located on the California Department of Toxic Substances Control's Hazardous Waste and Substances Site List-Site Cleanup (Cortese List), nor is it listed on the EnvironStor database. Further, the Project Site is not on the following lists maintained by the State Water Board: Leaking Underground Storage Tank Sites, Solid Waste Disposal Sites, or Active Cease and Desist Orders and Cleanup and Abatement Orders. The Project Site is also not identified on the list of hazardous waste facilities subject to corrective action pursuant to Section 25187.5 of the Health and Safety Code, identified by the Department of Toxic Substances Control.

- f. Historical Resources. A categorical exemption shall not be used for a Project which may cause a substantial adverse change in the significance of a historical resource.**

The Project Site at 526, 528, and 532 Hazel Street is not listed on the National Register of Historic Places, California Register of Historical Resources, or Glendale Register of Historical Resources, and has not been identified as a historic resource in any survey. The Project Site is therefore not a historic resource under CEQA.

526-528-532 Hazel Street - South Coast AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

**526-528-532 Hazel Street
South Coast AQMD Air District, Annual**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Enclosed Parking with Elevator	16.06	1000sqft	0.37	16,060.00	0
Apartments Mid Rise	17.00	Dwelling Unit	0.46	20,327.00	49

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	31
Climate Zone	12			Operational Year	2023
Utility Company	Glendale Water and Power				
CO2 Intensity (lb/MWhr)	948.98	CH4 Intensity (lb/MWhr)	0.033	N2O Intensity (lb/MWhr)	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics - to demolish three single-family dwellings (2,589 SF total) and to construct a 17 multifamily dwelling units above a subterranean garage.

Land Use - Lot Area: 20,328 SF, multi-level residence above a 16,060 SF subterranean garage.

Demolition - Project includes the demolition of three DU's totaling 2,589 SF

Grading - Grading: 4,950 Cubic Yards (all export)

Table Name	Column Name	Default Value	New Value
tblGrading	MaterialExported	0.00	4,950.00
tblLandUse	LandUseSquareFeet	17,000.00	20,327.00
tblLandUse	LotAcreage	0.45	0.46

2.0 Emissions Summary

526-528-532 Hazel Street - South Coast AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	1-3-2022	4-2-2022	0.2955	0.2955
2	4-3-2022	7-2-2022	0.2784	0.2784
		Highest	0.2955	0.2955

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.1421	6.4300e-003	0.2836	2.8000e-004		0.0172	0.0172		0.0172	0.0172	1.8057	3.7568	5.5625	5.6600e-003	1.2000e-004	5.7405
Energy	9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	75.5425	75.5425	2.4700e-003	4.6000e-004	75.7403
Mobile	0.0464	0.0581	0.4892	1.0900e-003	0.1131	8.0000e-004	0.1139	0.0302	7.4000e-004	0.0309	0.0000	100.5853	100.5853	6.4700e-003	4.4800e-003	102.0826
Waste						0.0000	0.0000		0.0000	0.0000	1.5874	0.0000	1.5874	0.0938	0.0000	3.9327
Water						0.0000	0.0000		0.0000	0.0000	0.3514	9.5475	9.8989	0.0364	8.9000e-004	11.0754
Total	0.1895	0.0730	0.7764	1.4200e-003	0.1131	0.0187	0.1318	0.0302	0.0186	0.0488	3.7445	189.4320	193.1766	0.1448	5.9500e-003	198.5716

526-528-532 Hazel Street - South Coast AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

2.2 Overall Operational

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.1421	6.4300e-003	0.2836	2.8000e-004		0.0172	0.0172		0.0172	0.0172	1.8057	3.7568	5.5625	5.6600e-003	1.2000e-004	5.7405
Energy	9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	75.5425	75.5425	2.4700e-003	4.6000e-004	75.7403
Mobile	0.0464	0.0581	0.4892	1.0900e-003	0.1131	8.0000e-004	0.1139	0.0302	7.4000e-004	0.0309	0.0000	100.5853	100.5853	6.4700e-003	4.4800e-003	102.0826
Waste						0.0000	0.0000		0.0000	0.0000	1.5874	0.0000	1.5874	0.0938	0.0000	3.9327
Water						0.0000	0.0000		0.0000	0.0000	0.3514	9.5475	9.8989	0.0364	8.9000e-004	11.0754
Total	0.1895	0.0730	0.7764	1.4200e-003	0.1131	0.0187	0.1318	0.0302	0.0186	0.0488	3.7445	189.4320	193.1766	0.1448	5.9500e-003	198.5716

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	1/3/2022	1/14/2022	5	10	
2	Site Preparation	Site Preparation	1/15/2022	1/17/2022	5	1	
3	Grading	Grading	1/18/2022	1/19/2022	5	2	

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4	Building Construction	Building Construction	1/20/2022	6/8/2022	5	100
5	Paving	Paving	6/9/2022	6/15/2022	5	5
6	Architectural Coating	Architectural Coating	6/16/2022	6/22/2022	5	5

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 1.5

Acres of Paving: 0.37

Residential Indoor: 41,162; Residential Outdoor: 13,721; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 964 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

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Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	12.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	619.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	19.00	4.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	4.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					1.2700e-003	0.0000	1.2700e-003	1.9000e-004	0.0000	1.9000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.5500e-003	0.0321	0.0374	6.0000e-005		1.6900e-003	1.6900e-003		1.6100e-003	1.6100e-003	0.0000	5.2068	5.2068	9.6000e-004	0.0000	5.2308
Total	3.5500e-003	0.0321	0.0374	6.0000e-005	1.2700e-003	1.6900e-003	2.9600e-003	1.9000e-004	1.6100e-003	1.8000e-003	0.0000	5.2068	5.2068	9.6000e-004	0.0000	5.2308

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3.2 Demolition - 2022

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	3.0000e-005	9.9000e-004	2.3000e-004	0.0000	1.0000e-004	1.0000e-005	1.1000e-004	3.0000e-005	1.0000e-005	4.0000e-005	0.0000	0.3614	0.3614	2.0000e-005	6.0000e-005	0.3790
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.7000e-004	1.4000e-004	1.7700e-003	0.0000	5.5000e-004	0.0000	5.5000e-004	1.5000e-004	0.0000	1.5000e-004	0.0000	0.4436	0.4436	1.0000e-005	1.0000e-005	0.4474
Total	2.0000e-004	1.1300e-003	2.0000e-003	0.0000	6.5000e-004	1.0000e-005	6.6000e-004	1.8000e-004	1.0000e-005	1.9000e-004	0.0000	0.8049	0.8049	3.0000e-005	7.0000e-005	0.8264

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					1.2700e-003	0.0000	1.2700e-003	1.9000e-004	0.0000	1.9000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.5500e-003	0.0321	0.0374	6.0000e-005		1.6900e-003	1.6900e-003		1.6100e-003	1.6100e-003	0.0000	5.2068	5.2068	9.6000e-004	0.0000	5.2308
Total	3.5500e-003	0.0321	0.0374	6.0000e-005	1.2700e-003	1.6900e-003	2.9600e-003	1.9000e-004	1.6100e-003	1.8000e-003	0.0000	5.2068	5.2068	9.6000e-004	0.0000	5.2308

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3.2 Demolition - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	3.0000e-005	9.9000e-004	2.3000e-004	0.0000	1.0000e-004	1.0000e-005	1.1000e-004	3.0000e-005	1.0000e-005	4.0000e-005	0.0000	0.3614	0.3614	2.0000e-005	6.0000e-005	0.3790
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.7000e-004	1.4000e-004	1.7700e-003	0.0000	5.5000e-004	0.0000	5.5000e-004	1.5000e-004	0.0000	1.5000e-004	0.0000	0.4436	0.4436	1.0000e-005	1.0000e-005	0.4474
Total	2.0000e-004	1.1300e-003	2.0000e-003	0.0000	6.5000e-004	1.0000e-005	6.6000e-004	1.8000e-004	1.0000e-005	1.9000e-004	0.0000	0.8049	0.8049	3.0000e-005	7.0000e-005	0.8264

3.3 Site Preparation - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					2.7000e-004	0.0000	2.7000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	2.9000e-004	3.4700e-003	1.9800e-003	0.0000		1.3000e-004	1.3000e-004		1.2000e-004	1.2000e-004	0.0000	0.4275	0.4275	1.4000e-004	0.0000	0.4310
Total	2.9000e-004	3.4700e-003	1.9800e-003	0.0000	2.7000e-004	1.3000e-004	4.0000e-004	3.0000e-005	1.2000e-004	1.5000e-004	0.0000	0.4275	0.4275	1.4000e-004	0.0000	0.4310

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3.3 Site Preparation - 2022

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.0000e-005	1.0000e-005	9.0000e-005	0.0000	3.0000e-005	0.0000	3.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0222	0.0222	0.0000	0.0000	0.0224
Total	1.0000e-005	1.0000e-005	9.0000e-005	0.0000	3.0000e-005	0.0000	3.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0222	0.0222	0.0000	0.0000	0.0224

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					2.7000e-004	0.0000	2.7000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	2.9000e-004	3.4700e-003	1.9800e-003	0.0000		1.3000e-004	1.3000e-004		1.2000e-004	1.2000e-004	0.0000	0.4275	0.4275	1.4000e-004	0.0000	0.4310
Total	2.9000e-004	3.4700e-003	1.9800e-003	0.0000	2.7000e-004	1.3000e-004	4.0000e-004	3.0000e-005	1.2000e-004	1.5000e-004	0.0000	0.4275	0.4275	1.4000e-004	0.0000	0.4310

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3.3 Site Preparation - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.0000e-005	1.0000e-005	9.0000e-005	0.0000	3.0000e-005	0.0000	3.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0222	0.0222	0.0000	0.0000	0.0224
Total	1.0000e-005	1.0000e-005	9.0000e-005	0.0000	3.0000e-005	0.0000	3.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0222	0.0222	0.0000	0.0000	0.0224

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					5.5900e-003	0.0000	5.5900e-003	2.6100e-003	0.0000	2.6100e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.0800e-003	0.0120	5.9400e-003	1.0000e-005		5.2000e-004	5.2000e-004		4.8000e-004	4.8000e-004	0.0000	1.2381	1.2381	4.0000e-004	0.0000	1.2482
Total	1.0800e-003	0.0120	5.9400e-003	1.0000e-005	5.5900e-003	5.2000e-004	6.1100e-003	2.6100e-003	4.8000e-004	3.0900e-003	0.0000	1.2381	1.2381	4.0000e-004	0.0000	1.2482

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3.4 Grading - 2022

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	1.2900e-003	0.0509	0.0116	1.9000e-004	5.3300e-003	4.0000e-004	5.7300e-003	1.4600e-003	3.9000e-004	1.8500e-003	0.0000	18.6418	18.6418	1.0000e-003	2.9600e-003	19.5487
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	2.0000e-005	2.8000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0710	0.0710	0.0000	0.0000	0.0716
Total	1.3200e-003	0.0509	0.0119	1.9000e-004	5.4200e-003	4.0000e-004	5.8200e-003	1.4800e-003	3.9000e-004	1.8700e-003	0.0000	18.7128	18.7128	1.0000e-003	2.9600e-003	19.6203

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					5.5900e-003	0.0000	5.5900e-003	2.6100e-003	0.0000	2.6100e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.0800e-003	0.0120	5.9400e-003	1.0000e-005		5.2000e-004	5.2000e-004		4.8000e-004	4.8000e-004	0.0000	1.2381	1.2381	4.0000e-004	0.0000	1.2482
Total	1.0800e-003	0.0120	5.9400e-003	1.0000e-005	5.5900e-003	5.2000e-004	6.1100e-003	2.6100e-003	4.8000e-004	3.0900e-003	0.0000	1.2381	1.2381	4.0000e-004	0.0000	1.2482

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3.4 Grading - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	1.2900e-003	0.0509	0.0116	1.9000e-004	5.3300e-003	4.0000e-004	5.7300e-003	1.4600e-003	3.9000e-004	1.8500e-003	0.0000	18.6418	18.6418	1.0000e-003	2.9600e-003	19.5487
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	2.0000e-005	2.8000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0710	0.0710	0.0000	0.0000	0.0716
Total	1.3200e-003	0.0509	0.0119	1.9000e-004	5.4200e-003	4.0000e-004	5.8200e-003	1.4800e-003	3.9000e-004	1.8700e-003	0.0000	18.7128	18.7128	1.0000e-003	2.9600e-003	19.6203

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0343	0.3513	0.3576	5.7000e-004		0.0186	0.0186		0.0171	0.0171	0.0000	50.0739	50.0739	0.0162	0.0000	50.4787
Total	0.0343	0.3513	0.3576	5.7000e-004		0.0186	0.0186		0.0171	0.0171	0.0000	50.0739	50.0739	0.0162	0.0000	50.4787

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3.5 Building Construction - 2022

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	3.6000e-004	9.7700e-003	3.2400e-003	4.0000e-005	1.2600e-003	1.0000e-004	1.3600e-003	3.6000e-004	9.0000e-005	4.6000e-004	0.0000	3.7324	3.7324	1.2000e-004	5.4000e-004	3.8969
Worker	3.1900e-003	2.5800e-003	0.0337	9.0000e-005	0.0104	6.0000e-005	0.0105	2.7700e-003	6.0000e-005	2.8300e-003	0.0000	8.4274	8.4274	2.3000e-004	2.3000e-004	8.5010
Total	3.5500e-003	0.0124	0.0369	1.3000e-004	0.0117	1.6000e-004	0.0119	3.1300e-003	1.5000e-004	3.2900e-003	0.0000	12.1598	12.1598	3.5000e-004	7.7000e-004	12.3979

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0343	0.3513	0.3576	5.7000e-004		0.0186	0.0186		0.0171	0.0171	0.0000	50.0738	50.0738	0.0162	0.0000	50.4787
Total	0.0343	0.3513	0.3576	5.7000e-004		0.0186	0.0186		0.0171	0.0171	0.0000	50.0738	50.0738	0.0162	0.0000	50.4787

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3.5 Building Construction - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	3.6000e-004	9.7700e-003	3.2400e-003	4.0000e-005	1.2600e-003	1.0000e-004	1.3600e-003	3.6000e-004	9.0000e-005	4.6000e-004	0.0000	3.7324	3.7324	1.2000e-004	5.4000e-004	3.8969
Worker	3.1900e-003	2.5800e-003	0.0337	9.0000e-005	0.0104	6.0000e-005	0.0105	2.7700e-003	6.0000e-005	2.8300e-003	0.0000	8.4274	8.4274	2.3000e-004	2.3000e-004	8.5010
Total	3.5500e-003	0.0124	0.0369	1.3000e-004	0.0117	1.6000e-004	0.0119	3.1300e-003	1.5000e-004	3.2900e-003	0.0000	12.1598	12.1598	3.5000e-004	7.7000e-004	12.3979

3.6 Paving - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	1.6200e-003	0.0148	0.0176	3.0000e-005		7.4000e-004	7.4000e-004		6.9000e-004	6.9000e-004	0.0000	2.3492	2.3492	6.8000e-004	0.0000	2.3663
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	1.6200e-003	0.0148	0.0176	3.0000e-005		7.4000e-004	7.4000e-004		6.9000e-004	6.9000e-004	0.0000	2.3492	2.3492	6.8000e-004	0.0000	2.3663

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3.6 Paving - 2022

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.5000e-004	1.2000e-004	1.5900e-003	0.0000	4.9000e-004	0.0000	5.0000e-004	1.3000e-004	0.0000	1.3000e-004	0.0000	0.3992	0.3992	1.0000e-005	1.0000e-005	0.4027
Total	1.5000e-004	1.2000e-004	1.5900e-003	0.0000	4.9000e-004	0.0000	5.0000e-004	1.3000e-004	0.0000	1.3000e-004	0.0000	0.3992	0.3992	1.0000e-005	1.0000e-005	0.4027

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	1.6200e-003	0.0148	0.0176	3.0000e-005		7.4000e-004	7.4000e-004		6.9000e-004	6.9000e-004	0.0000	2.3492	2.3492	6.8000e-004	0.0000	2.3663
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	1.6200e-003	0.0148	0.0176	3.0000e-005		7.4000e-004	7.4000e-004		6.9000e-004	6.9000e-004	0.0000	2.3492	2.3492	6.8000e-004	0.0000	2.3663

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.6 Paving - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.5000e-004	1.2000e-004	1.5900e-003	0.0000	4.9000e-004	0.0000	5.0000e-004	1.3000e-004	0.0000	1.3000e-004	0.0000	0.3992	0.3992	1.0000e-005	1.0000e-005	0.4027
Total	1.5000e-004	1.2000e-004	1.5900e-003	0.0000	4.9000e-004	0.0000	5.0000e-004	1.3000e-004	0.0000	1.3000e-004	0.0000	0.3992	0.3992	1.0000e-005	1.0000e-005	0.4027

3.7 Architectural Coating - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.0658					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	5.1000e-004	3.5200e-003	4.5300e-003	1.0000e-005		2.0000e-004	2.0000e-004		2.0000e-004	2.0000e-004	0.0000	0.6383	0.6383	4.0000e-005	0.0000	0.6394
Total	0.0663	3.5200e-003	4.5300e-003	1.0000e-005		2.0000e-004	2.0000e-004		2.0000e-004	2.0000e-004	0.0000	0.6383	0.6383	4.0000e-005	0.0000	0.6394

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3.7 Architectural Coating - 2022

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	3.0000e-005	3.5000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0887	0.0887	0.0000	0.0000	0.0895
Total	3.0000e-005	3.0000e-005	3.5000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0887	0.0887	0.0000	0.0000	0.0895

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.0658					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	5.1000e-004	3.5200e-003	4.5300e-003	1.0000e-005		2.0000e-004	2.0000e-004		2.0000e-004	2.0000e-004	0.0000	0.6383	0.6383	4.0000e-005	0.0000	0.6394
Total	0.0663	3.5200e-003	4.5300e-003	1.0000e-005		2.0000e-004	2.0000e-004		2.0000e-004	2.0000e-004	0.0000	0.6383	0.6383	4.0000e-005	0.0000	0.6394

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3.7 Architectural Coating - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-005	3.0000e-005	3.5000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0887	0.0887	0.0000	0.0000	0.0895
Total	3.0000e-005	3.0000e-005	3.5000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0887	0.0887	0.0000	0.0000	0.0895

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.0464	0.0581	0.4892	1.0900e-003	0.1131	8.0000e-004	0.1139	0.0302	7.4000e-004	0.0309	0.0000	100.5853	100.5853	6.4700e-003	4.4800e-003	102.0826
Unmitigated	0.0464	0.0581	0.4892	1.0900e-003	0.1131	8.0000e-004	0.1139	0.0302	7.4000e-004	0.0309	0.0000	100.5853	100.5853	6.4700e-003	4.4800e-003	102.0826

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Mid Rise	92.48	83.47	69.53	300,416	300,416
Enclosed Parking with Elevator	0.00	0.00	0.00		
Total	92.48	83.47	69.53	300,416	300,416

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking with Elevator	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.543139	0.060749	0.184760	0.130258	0.023830	0.006353	0.011718	0.009137	0.000812	0.000509	0.024193	0.000750	0.003791
Enclosed Parking with Elevator	0.543139	0.060749	0.184760	0.130258	0.023830	0.006353	0.011718	0.009137	0.000812	0.000509	0.024193	0.000750	0.003791

5.0 Energy Detail

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	65.7836	65.7836	2.2900e-003	2.8000e-004	65.9234
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	65.7836	65.7836	2.2900e-003	2.8000e-004	65.9234
NaturalGas Mitigated	9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	9.7590	9.7590	1.9000e-004	1.8000e-004	9.8170
NaturalGas Unmitigated	9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	9.7590	9.7590	1.9000e-004	1.8000e-004	9.8170

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Mid Rise	182876	9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	9.7590	9.7590	1.9000e-004	1.8000e-004	9.8170
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total		9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	9.7590	9.7590	1.9000e-004	1.8000e-004	9.8170

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Mid Rise	182876	9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	9.7590	9.7590	1.9000e-004	1.8000e-004	9.8170
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total		9.9000e-004	8.4300e-003	3.5900e-003	5.0000e-005		6.8000e-004	6.8000e-004		6.8000e-004	6.8000e-004	0.0000	9.7590	9.7590	1.9000e-004	1.8000e-004	9.8170

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5.3 Energy by Land Use - Electricity

Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Mid Rise	65458.7	28.1767	9.8000e-004	1.2000e-004	28.2366
Enclosed Parking with Elevator	87366.4	37.6069	1.3100e-003	1.6000e-004	37.6868
Total		65.7836	2.2900e-003	2.8000e-004	65.9234

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Mid Rise	65458.7	28.1767	9.8000e-004	1.2000e-004	28.2366
Enclosed Parking with Elevator	87366.4	37.6069	1.3100e-003	1.6000e-004	37.6868
Total		65.7836	2.2900e-003	2.8000e-004	65.9234

6.0 Area Detail

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6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.1421	6.4300e-003	0.2836	2.8000e-004		0.0172	0.0172		0.0172	0.0172	1.8057	3.7568	5.5625	5.6600e-003	1.2000e-004	5.7405
Unmitigated	0.1421	6.4300e-003	0.2836	2.8000e-004		0.0172	0.0172		0.0172	0.0172	1.8057	3.7568	5.5625	5.6600e-003	1.2000e-004	5.7405

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6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	6.5800e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.0745					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.0557	4.4100e-003	0.1081	2.8000e-004		0.0162	0.0162		0.0162	0.0162	1.8057	3.4700	5.2757	5.3900e-003	1.2000e-004	5.4469
Landscaping	5.3000e-003	2.0200e-003	0.1756	1.0000e-005		9.7000e-004	9.7000e-004		9.7000e-004	9.7000e-004	0.0000	0.2868	0.2868	2.8000e-004	0.0000	0.2937
Total	0.1421	6.4300e-003	0.2836	2.9000e-004		0.0172	0.0172		0.0172	0.0172	1.8057	3.7568	5.5625	5.6700e-003	1.2000e-004	5.7405

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6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	6.5800e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.0745					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.0557	4.4100e-003	0.1081	2.8000e-004		0.0162	0.0162		0.0162	0.0162	1.8057	3.4700	5.2757	5.3900e-003	1.2000e-004	5.4469
Landscaping	5.3000e-003	2.0200e-003	0.1756	1.0000e-005		9.7000e-004	9.7000e-004		9.7000e-004	9.7000e-004	0.0000	0.2868	0.2868	2.8000e-004	0.0000	0.2937
Total	0.1421	6.4300e-003	0.2836	2.9000e-004		0.0172	0.0172		0.0172	0.0172	1.8057	3.7568	5.5625	5.6700e-003	1.2000e-004	5.7405

7.0 Water Detail

7.1 Mitigation Measures Water

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	9.8989	0.0364	8.9000e-004	11.0754
Unmitigated	9.8989	0.0364	8.9000e-004	11.0754

7.2 Water by Land Use

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Mid Rise	1.10762 / 0.698281	9.8989	0.0364	8.9000e-004	11.0754
Enclosed Parking with Elevator	0 / 0	0.0000	0.0000	0.0000	0.0000
Total		9.8989	0.0364	8.9000e-004	11.0754

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7.2 Water by Land Use

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Mid Rise	1.10762 / 0.698281	9.8989	0.0364	8.9000e-004	11.0754
Enclosed Parking with Elevator	0 / 0	0.0000	0.0000	0.0000	0.0000
Total		9.8989	0.0364	8.9000e-004	11.0754

8.0 Waste Detail

8.1 Mitigation Measures Waste

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	1.5874	0.0938	0.0000	3.9327
Unmitigated	1.5874	0.0938	0.0000	3.9327

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8.2 Waste by Land Use

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Mid Rise	7.82	1.5874	0.0938	0.0000	3.9327
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000
Total		1.5874	0.0938	0.0000	3.9327

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Mid Rise	7.82	1.5874	0.0938	0.0000	3.9327
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000
Total		1.5874	0.0938	0.0000	3.9327

9.0 Operational Offroad

526-528-532 Hazel Street - South Coast AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

**526-528-532 Hazel Street
South Coast AQMD Air District, Summer**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Enclosed Parking with Elevator	16.06	1000sqft	0.37	16,060.00	0
Apartments Mid Rise	17.00	Dwelling Unit	0.46	20,327.00	49

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	31
Climate Zone	12			Operational Year	2023
Utility Company	Glendale Water and Power				
CO2 Intensity (lb/MWhr)	948.98	CH4 Intensity (lb/MWhr)	0.033	N2O Intensity (lb/MWhr)	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics - to demolish three single-family dwellings (2,589 SF total) and to construct a 17 multifamily dwelling units above a subterranean garage.

Land Use - Lot Area: 20,328 SF, multi-level residence above a 16,060 SF subterranean garage.

Demolition - Project includes the demolition of three DU's totaling 2,589 SF

Grading - Grading: 4,950 Cubic Yards (all export)

Table Name	Column Name	Default Value	New Value
tblGrading	MaterialExported	0.00	4,950.00
tblLandUse	LandUseSquareFeet	17,000.00	20,327.00
tblLandUse	LotAcreage	0.45	0.46

2.0 Emissions Summary

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202
Energy	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Mobile	0.2823	0.3084	2.9021	6.5200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		664.9069	664.9069	0.0403	0.0273	674.0451
Total	5.2290	0.7235	12.9716	0.0289	0.6658	1.3147	1.9805	0.1774	1.3144	1.4918	159.2376	1,032.3805	1,191.6182	0.5187	0.0392	1,216.2602

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202
Energy	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Mobile	0.2823	0.3084	2.9021	6.5200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		664.9069	664.9069	0.0403	0.0273	674.0451
Total	5.2290	0.7235	12.9716	0.0289	0.6658	1.3147	1.9805	0.1774	1.3144	1.4918	159.2376	1,032.3805	1,191.6182	0.5187	0.0392	1,216.2602

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	1/3/2022	1/14/2022	5	10	
2	Site Preparation	Site Preparation	1/15/2022	1/17/2022	5	1	
3	Grading	Grading	1/18/2022	1/19/2022	5	2	
4	Building Construction	Building Construction	1/20/2022	6/8/2022	5	100	
5	Paving	Paving	6/9/2022	6/15/2022	5	5	
6	Architectural Coating	Architectural Coating	6/16/2022	6/22/2022	5	5	

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 1.5

Acres of Paving: 0.37

Residential Indoor: 41,162; Residential Outdoor: 13,721; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 964 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	12.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	619.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	19.00	4.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	4.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.2 Demolition - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2549	0.0000	0.2549	0.0386	0.0000	0.0386			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225		1,147.9025	1,147.9025	0.2119		1,153.2001
Total	0.7094	6.4138	7.4693	0.0120	0.2549	0.3375	0.5924	0.0386	0.3225	0.3611		1,147.9025	1,147.9025	0.2119		1,153.2001

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	5.0700e-003	0.1872	0.0447	7.3000e-004	0.0210	1.5700e-003	0.0226	5.7500e-003	1.5000e-003	7.2500e-003		79.6609	79.6609	4.2800e-003	0.0127	83.5364
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0344	0.0242	0.3812	1.0100e-003	0.1118	6.7000e-004	0.1124	0.0296	6.1000e-004	0.0303		102.2532	102.2532	2.6700e-003	2.4500e-003	103.0491
Total	0.0395	0.2115	0.4259	1.7400e-003	0.1328	2.2400e-003	0.1350	0.0354	2.1100e-003	0.0375		181.9141	181.9141	6.9500e-003	0.0151	186.5854

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.2 Demolition - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2549	0.0000	0.2549	0.0386	0.0000	0.0386			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225	0.0000	1,147.9025	1,147.9025	0.2119		1,153.2001
Total	0.7094	6.4138	7.4693	0.0120	0.2549	0.3375	0.5924	0.0386	0.3225	0.3611	0.0000	1,147.9025	1,147.9025	0.2119		1,153.2001

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	5.0700e-003	0.1872	0.0447	7.3000e-004	0.0210	1.5700e-003	0.0226	5.7500e-003	1.5000e-003	7.2500e-003		79.6609	79.6609	4.2800e-003	0.0127	83.5364
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0344	0.0242	0.3812	1.0100e-003	0.1118	6.7000e-004	0.1124	0.0296	6.1000e-004	0.0303		102.2532	102.2532	2.6700e-003	2.4500e-003	103.0491
Total	0.0395	0.2115	0.4259	1.7400e-003	0.1328	2.2400e-003	0.1350	0.0354	2.1100e-003	0.0375		181.9141	181.9141	6.9500e-003	0.0151	186.5854

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.3 Site Preparation - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5303	0.0000	0.5303	0.0573	0.0000	0.0573			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367		942.5179	942.5179	0.3048		950.1386
Total	0.5797	6.9332	3.9597	9.7300e-003	0.5303	0.2573	0.7876	0.0573	0.2367	0.2940		942.5179	942.5179	0.3048		950.1386

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0172	0.0121	0.1906	5.1000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		51.1266	51.1266	1.3400e-003	1.2200e-003	51.5245
Total	0.0172	0.0121	0.1906	5.1000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		51.1266	51.1266	1.3400e-003	1.2200e-003	51.5245

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.3 Site Preparation - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5303	0.0000	0.5303	0.0573	0.0000	0.0573			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367	0.0000	942.5179	942.5179	0.3048		950.1386
Total	0.5797	6.9332	3.9597	9.7300e-003	0.5303	0.2573	0.7876	0.0573	0.2367	0.2940	0.0000	942.5179	942.5179	0.3048		950.1386

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0172	0.0121	0.1906	5.1000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		51.1266	51.1266	1.3400e-003	1.2200e-003	51.5245
Total	0.0172	0.0121	0.1906	5.1000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		51.1266	51.1266	1.3400e-003	1.2200e-003	51.5245

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					5.5918	0.0000	5.5918	2.6109	0.0000	2.6109			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759		1,364.8198	1,364.8198	0.4414		1,375.8551
Total	1.0832	12.0046	5.9360	0.0141	5.5918	0.5173	6.1091	2.6109	0.4759	3.0868		1,364.8198	1,364.8198	0.4414		1,375.8551

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.3078	48.2886	11.5402	0.1873	5.4137	0.4038	5.8175	1.4839	0.3863	1.8702		20,545.8700	20,545.8700	1.1036	3.2616	21,545.4182
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0275	0.0194	0.3049	8.1000e-004	0.0894	5.3000e-004	0.0900	0.0237	4.9000e-004	0.0242		81.8026	81.8026	2.1400e-003	1.9600e-003	82.4393
Total	1.3353	48.3080	11.8451	0.1881	5.5031	0.4043	5.9074	1.5076	0.3868	1.8944		20,627.6726	20,627.6726	1.1058	3.2636	21,627.8574

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.4 Grading - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					5.5918	0.0000	5.5918	2.6109	0.0000	2.6109			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759	0.0000	1,364.8198	1,364.8198	0.4414		1,375.8551
Total	1.0832	12.0046	5.9360	0.0141	5.5918	0.5173	6.1091	2.6109	0.4759	3.0868	0.0000	1,364.8198	1,364.8198	0.4414		1,375.8551

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.3078	48.2886	11.5402	0.1873	5.4137	0.4038	5.8175	1.4839	0.3863	1.8702		20,545.8700	20,545.8700	1.1036	3.2616	21,545.4182
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0275	0.0194	0.3049	8.1000e-004	0.0894	5.3000e-004	0.0900	0.0237	4.9000e-004	0.0242		81.8026	81.8026	2.1400e-003	1.9600e-003	82.4393
Total	1.3353	48.3080	11.8451	0.1881	5.5031	0.4043	5.9074	1.5076	0.3868	1.8944		20,627.6726	20,627.6726	1.1058	3.2636	21,627.8574

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422		1,103.9393	1,103.9393	0.3570		1,112.8652
Total	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422		1,103.9393	1,103.9393	0.3570		1,112.8652

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	7.2900e-003	0.1861	0.0638	7.6000e-004	0.0256	1.9500e-003	0.0276	7.3700e-003	1.8600e-003	9.2400e-003		82.2677	82.2677	2.7600e-003	0.0119	85.8909
Worker	0.0654	0.0460	0.7242	1.9200e-003	0.2124	1.2700e-003	0.2136	0.0563	1.1700e-003	0.0575		194.2811	194.2811	5.0800e-003	4.6500e-003	195.7933
Total	0.0727	0.2322	0.7880	2.6800e-003	0.2380	3.2200e-003	0.2412	0.0637	3.0300e-003	0.0667		276.5489	276.5489	7.8400e-003	0.0166	281.6842

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.5 Building Construction - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422	0.0000	1,103.939 3	1,103.939 3	0.3570		1,112.865 2
Total	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422	0.0000	1,103.939 3	1,103.939 3	0.3570		1,112.865 2

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	7.2900e-003	0.1861	0.0638	7.6000e-004	0.0256	1.9500e-003	0.0276	7.3700e-003	1.8600e-003	9.2400e-003		82.2677	82.2677	2.7600e-003	0.0119	85.8909
Worker	0.0654	0.0460	0.7242	1.9200e-003	0.2124	1.2700e-003	0.2136	0.0563	1.1700e-003	0.0575		194.2811	194.2811	5.0800e-003	4.6500e-003	195.7933
Total	0.0727	0.2322	0.7880	2.6800e-003	0.2380	3.2200e-003	0.2412	0.0637	3.0300e-003	0.0667		276.5489	276.5489	7.8400e-003	0.0166	281.6842

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.6 Paving - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758		1,035.8246	1,035.8246	0.3017		1,043.3677
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758		1,035.8246	1,035.8246	0.3017		1,043.3677

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0620	0.0436	0.6861	1.8200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		184.0558	184.0558	4.8100e-003	4.4000e-003	185.4883
Total	0.0620	0.0436	0.6861	1.8200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		184.0558	184.0558	4.8100e-003	4.4000e-003	185.4883

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.6 Paving - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758	0.0000	1,035.8246	1,035.8246	0.3017		1,043.3677
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758	0.0000	1,035.8246	1,035.8246	0.3017		1,043.3677

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0620	0.0436	0.6861	1.8200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		184.0558	184.0558	4.8100e-003	4.4000e-003	185.4883
Total	0.0620	0.0436	0.6861	1.8200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		184.0558	184.0558	4.8100e-003	4.4000e-003	185.4883

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.7 Architectural Coating - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	26.3319					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062
Total	26.5364	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0138	9.6900e-003	0.1525	4.0000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		40.9013	40.9013	1.0700e-003	9.8000e-004	41.2196
Total	0.0138	9.6900e-003	0.1525	4.0000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		40.9013	40.9013	1.0700e-003	9.8000e-004	41.2196

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.7 Architectural Coating - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	26.3319					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062
Total	26.5364	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0138	9.6900e-003	0.1525	4.0000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		40.9013	40.9013	1.0700e-003	9.8000e-004	41.2196
Total	0.0138	9.6900e-003	0.1525	4.0000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		40.9013	40.9013	1.0700e-003	9.8000e-004	41.2196

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.2823	0.3084	2.9021	6.5200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		664.9069	664.9069	0.0403	0.0273	674.0451
Unmitigated	0.2823	0.3084	2.9021	6.5200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		664.9069	664.9069	0.0403	0.0273	674.0451

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Mid Rise	92.48	83.47	69.53	300,416	300,416
Enclosed Parking with Elevator	0.00	0.00	0.00		
Total	92.48	83.47	69.53	300,416	300,416

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking with Elevator	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

4.4 Fleet Mix

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.543139	0.060749	0.184760	0.130258	0.023830	0.006353	0.011718	0.009137	0.000812	0.000509	0.024193	0.000750	0.003791
Enclosed Parking with Elevator	0.543139	0.060749	0.184760	0.130258	0.023830	0.006353	0.011718	0.009137	0.000812	0.000509	0.024193	0.000750	0.003791

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
NaturalGas Unmitigated	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	501.03	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	0.50103	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950

6.0 Area Detail

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202
Unmitigated	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0361					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4082					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	4.4546	0.3527	8.6454	0.0221		1.2986	1.2986		1.2986	1.2986	159.2376	306.0000	465.2376	0.4749	0.0108	480.3303
Landscaping	0.0424	0.0162	1.4045	7.0000e-005		7.7700e-003	7.7700e-003		7.7700e-003	7.7700e-003		2.5289	2.5289	2.4400e-003		2.5899
Total	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0361					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4082					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	4.4546	0.3527	8.6454	0.0221		1.2986	1.2986		1.2986	1.2986	159.2376	306.0000	465.2376	0.4749	0.0108	480.3303
Landscaping	0.0424	0.0162	1.4045	7.0000e-005		7.7700e-003	7.7700e-003		7.7700e-003	7.7700e-003		2.5289	2.5289	2.4400e-003		2.5899
Total	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202

7.0 Water Detail

7.1 Mitigation Measures Water

526-528-532 Hazel Street - South Coast AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

**526-528-532 Hazel Street
South Coast AQMD Air District, Winter**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Enclosed Parking with Elevator	16.06	1000sqft	0.37	16,060.00	0
Apartments Mid Rise	17.00	Dwelling Unit	0.46	20,327.00	49

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	31
Climate Zone	12			Operational Year	2023
Utility Company	Glendale Water and Power				
CO2 Intensity (lb/MWhr)	948.98	CH4 Intensity (lb/MWhr)	0.033	N2O Intensity (lb/MWhr)	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics - to demolish three single-family dwellings (2,589 SF total) and to construct a 17 multifamily dwelling units above a subterranean garage.

Land Use - Lot Area: 20,328 SF, multi-level residence above a 16,060 SF subterranean garage.

Demolition - Project includes the demolition of three DU's totaling 2,589 SF

Grading - Grading: 4,950 Cubic Yards (all export)

Table Name	Column Name	Default Value	New Value
tblGrading	MaterialExported	0.00	4,950.00
tblLandUse	LandUseSquareFeet	17,000.00	20,327.00
tblLandUse	LotAcreage	0.45	0.46

2.0 Emissions Summary

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202
Energy	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Mobile	0.2723	0.3316	2.7933	6.2200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		633.9645	633.9645	0.0414	0.0284	643.4557
Total	5.2190	0.7467	12.8628	0.0286	0.6658	1.3147	1.9805	0.1774	1.3144	1.4918	159.2376	1,001.4381	1,160.6758	0.5199	0.0403	1,185.6708

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202
Energy	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Mobile	0.2723	0.3316	2.7933	6.2200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		633.9645	633.9645	0.0414	0.0284	643.4557
Total	5.2190	0.7467	12.8628	0.0286	0.6658	1.3147	1.9805	0.1774	1.3144	1.4918	159.2376	1,001.4381	1,160.6758	0.5199	0.0403	1,185.6708

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	1/3/2022	1/14/2022	5	10	
2	Site Preparation	Site Preparation	1/15/2022	1/17/2022	5	1	
3	Grading	Grading	1/18/2022	1/19/2022	5	2	
4	Building Construction	Building Construction	1/20/2022	6/8/2022	5	100	
5	Paving	Paving	6/9/2022	6/15/2022	5	5	
6	Architectural Coating	Architectural Coating	6/16/2022	6/22/2022	5	5	

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 1.5

Acres of Paving: 0.37

Residential Indoor: 41,162; Residential Outdoor: 13,721; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 964 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	12.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	619.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	19.00	4.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	4.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.2 Demolition - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2549	0.0000	0.2549	0.0386	0.0000	0.0386			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225		1,147.9025	1,147.9025	0.2119		1,153.2001
Total	0.7094	6.4138	7.4693	0.0120	0.2549	0.3375	0.5924	0.0386	0.3225	0.3611		1,147.9025	1,147.9025	0.2119		1,153.2001

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	4.9300e-003	0.1955	0.0456	7.3000e-004	0.0210	1.5700e-003	0.0226	5.7500e-003	1.5000e-003	7.2500e-003		79.6902	79.6902	4.2700e-003	0.0127	83.5670
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0362	0.0265	0.3446	9.5000e-004	0.1118	6.7000e-004	0.1124	0.0296	6.1000e-004	0.0303		96.3077	96.3077	2.7000e-003	2.6000e-003	97.1489
Total	0.0412	0.2220	0.3902	1.6800e-003	0.1328	2.2400e-003	0.1350	0.0354	2.1100e-003	0.0375		175.9979	175.9979	6.9700e-003	0.0153	180.7159

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.2 Demolition - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2549	0.0000	0.2549	0.0386	0.0000	0.0386			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225	0.0000	1,147.9025	1,147.9025	0.2119		1,153.2001
Total	0.7094	6.4138	7.4693	0.0120	0.2549	0.3375	0.5924	0.0386	0.3225	0.3611	0.0000	1,147.9025	1,147.9025	0.2119		1,153.2001

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	4.9300e-003	0.1955	0.0456	7.3000e-004	0.0210	1.5700e-003	0.0226	5.7500e-003	1.5000e-003	7.2500e-003		79.6902	79.6902	4.2700e-003	0.0127	83.5670
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0362	0.0265	0.3446	9.5000e-004	0.1118	6.7000e-004	0.1124	0.0296	6.1000e-004	0.0303		96.3077	96.3077	2.7000e-003	2.6000e-003	97.1489
Total	0.0412	0.2220	0.3902	1.6800e-003	0.1328	2.2400e-003	0.1350	0.0354	2.1100e-003	0.0375		175.9979	175.9979	6.9700e-003	0.0153	180.7159

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.3 Site Preparation - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5303	0.0000	0.5303	0.0573	0.0000	0.0573			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367		942.5179	942.5179	0.3048		950.1386
Total	0.5797	6.9332	3.9597	9.7300e-003	0.5303	0.2573	0.7876	0.0573	0.2367	0.2940		942.5179	942.5179	0.3048		950.1386

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0181	0.0133	0.1723	4.8000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		48.1539	48.1539	1.3500e-003	1.3000e-003	48.5745
Total	0.0181	0.0133	0.1723	4.8000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		48.1539	48.1539	1.3500e-003	1.3000e-003	48.5745

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.3 Site Preparation - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5303	0.0000	0.5303	0.0573	0.0000	0.0573			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367	0.0000	942.5179	942.5179	0.3048		950.1386
Total	0.5797	6.9332	3.9597	9.7300e-003	0.5303	0.2573	0.7876	0.0573	0.2367	0.2940	0.0000	942.5179	942.5179	0.3048		950.1386

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0181	0.0133	0.1723	4.8000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		48.1539	48.1539	1.3500e-003	1.3000e-003	48.5745
Total	0.0181	0.0133	0.1723	4.8000e-004	0.0559	3.3000e-004	0.0562	0.0148	3.1000e-004	0.0151		48.1539	48.1539	1.3500e-003	1.3000e-003	48.5745

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					5.5918	0.0000	5.5918	2.6109	0.0000	2.6109			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759		1,364.8198	1,364.8198	0.4414		1,375.8551
Total	1.0832	12.0046	5.9360	0.0141	5.5918	0.5173	6.1091	2.6109	0.4759	3.0868		1,364.8198	1,364.8198	0.4414		1,375.8551

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.2716	50.4104	11.7572	0.1874	5.4137	0.4045	5.8182	1.4839	0.3870	1.8709		20,553.4382	20,553.4382	1.1017	3.2629	21,553.3176
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0290	0.0212	0.2757	7.6000e-004	0.0894	5.3000e-004	0.0900	0.0237	4.9000e-004	0.0242		77.0462	77.0462	2.1600e-003	2.0800e-003	77.7191
Total	1.3006	50.4316	12.0328	0.1882	5.5031	0.4050	5.9081	1.5076	0.3875	1.8951		20,630.4844	20,630.4844	1.1038	3.2650	21,631.0367

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.4 Grading - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					5.5918	0.0000	5.5918	2.6109	0.0000	2.6109			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759	0.0000	1,364.8198	1,364.8198	0.4414		1,375.8551
Total	1.0832	12.0046	5.9360	0.0141	5.5918	0.5173	6.1091	2.6109	0.4759	3.0868	0.0000	1,364.8198	1,364.8198	0.4414		1,375.8551

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.2716	50.4104	11.7572	0.1874	5.4137	0.4045	5.8182	1.4839	0.3870	1.8709		20,553.4382	20,553.4382	1.1017	3.2629	21,553.3176
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0290	0.0212	0.2757	7.6000e-004	0.0894	5.3000e-004	0.0900	0.0237	4.9000e-004	0.0242		77.0462	77.0462	2.1600e-003	2.0800e-003	77.7191
Total	1.3006	50.4316	12.0328	0.1882	5.5031	0.4050	5.9081	1.5076	0.3875	1.8951		20,630.4844	20,630.4844	1.1038	3.2650	21,631.0367

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422		1,103.9393	1,103.9393	0.3570		1,112.8652
Total	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422		1,103.9393	1,103.9393	0.3570		1,112.8652

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	7.1600e-003	0.1943	0.0661	7.7000e-004	0.0256	1.9500e-003	0.0276	7.3700e-003	1.8700e-003	9.2400e-003		82.3089	82.3089	2.7500e-003	0.0119	85.9365
Worker	0.0688	0.0503	0.6547	1.8100e-003	0.2124	1.2700e-003	0.2136	0.0563	1.1700e-003	0.0575		182.9846	182.9846	5.1400e-003	4.9300e-003	184.5829
Total	0.0760	0.2446	0.7208	2.5800e-003	0.2380	3.2200e-003	0.2412	0.0637	3.0400e-003	0.0667		265.2936	265.2936	7.8900e-003	0.0169	270.5194

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.5 Building Construction - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422	0.0000	1,103.939 3	1,103.939 3	0.3570		1,112.865 2
Total	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422	0.0000	1,103.939 3	1,103.939 3	0.3570		1,112.865 2

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	7.1600e-003	0.1943	0.0661	7.7000e-004	0.0256	1.9500e-003	0.0276	7.3700e-003	1.8700e-003	9.2400e-003		82.3089	82.3089	2.7500e-003	0.0119	85.9365
Worker	0.0688	0.0503	0.6547	1.8100e-003	0.2124	1.2700e-003	0.2136	0.0563	1.1700e-003	0.0575		182.9846	182.9846	5.1400e-003	4.9300e-003	184.5829
Total	0.0760	0.2446	0.7208	2.5800e-003	0.2380	3.2200e-003	0.2412	0.0637	3.0400e-003	0.0667		265.2936	265.2936	7.8900e-003	0.0169	270.5194

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.6 Paving - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758		1,035.8246	1,035.8246	0.3017		1,043.3677
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758		1,035.8246	1,035.8246	0.3017		1,043.3677

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0652	0.0477	0.6202	1.7200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		173.3539	173.3539	4.8700e-003	4.6700e-003	174.8680
Total	0.0652	0.0477	0.6202	1.7200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		173.3539	173.3539	4.8700e-003	4.6700e-003	174.8680

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.6 Paving - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758	0.0000	1,035.824 6	1,035.824 6	0.3017		1,043.367 7
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6469	5.9174	7.0348	0.0113		0.2961	0.2961		0.2758	0.2758	0.0000	1,035.824 6	1,035.824 6	0.3017		1,043.367 7

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0652	0.0477	0.6202	1.7200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		173.3539	173.3539	4.8700e-003	4.6700e-003	174.8680
Total	0.0652	0.0477	0.6202	1.7200e-003	0.2012	1.2000e-003	0.2024	0.0534	1.1000e-003	0.0545		173.3539	173.3539	4.8700e-003	4.6700e-003	174.8680

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.7 Architectural Coating - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	26.3319					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062
Total	26.5364	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817		281.4481	281.4481	0.0183		281.9062

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0145	0.0106	0.1378	3.8000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		38.5231	38.5231	1.0800e-003	1.0400e-003	38.8596
Total	0.0145	0.0106	0.1378	3.8000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		38.5231	38.5231	1.0800e-003	1.0400e-003	38.8596

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

3.7 Architectural Coating - 2022

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	26.3319					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2045	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062
Total	26.5364	1.4085	1.8136	2.9700e-003		0.0817	0.0817		0.0817	0.0817	0.0000	281.4481	281.4481	0.0183		281.9062

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0145	0.0106	0.1378	3.8000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		38.5231	38.5231	1.0800e-003	1.0400e-003	38.8596
Total	0.0145	0.0106	0.1378	3.8000e-004	0.0447	2.7000e-004	0.0450	0.0119	2.5000e-004	0.0121		38.5231	38.5231	1.0800e-003	1.0400e-003	38.8596

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.2723	0.3316	2.7933	6.2200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		633.9645	633.9645	0.0414	0.0284	643.4557
Unmitigated	0.2723	0.3316	2.7933	6.2200e-003	0.6658	4.6100e-003	0.6704	0.1774	4.2900e-003	0.1817		633.9645	633.9645	0.0414	0.0284	643.4557

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Mid Rise	92.48	83.47	69.53	300,416	300,416
Enclosed Parking with Elevator	0.00	0.00	0.00		
Total	92.48	83.47	69.53	300,416	300,416

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking with Elevator	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

4.4 Fleet Mix

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.543139	0.060749	0.184760	0.130258	0.023830	0.006353	0.011718	0.009137	0.000812	0.000509	0.024193	0.000750	0.003791
Enclosed Parking with Elevator	0.543139	0.060749	0.184760	0.130258	0.023830	0.006353	0.011718	0.009137	0.000812	0.000509	0.024193	0.000750	0.003791

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
NaturalGas Unmitigated	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	501.03	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	0.50103	5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		5.4000e-003	0.0462	0.0197	2.9000e-004		3.7300e-003	3.7300e-003		3.7300e-003	3.7300e-003		58.9447	58.9447	1.1300e-003	1.0800e-003	59.2950

6.0 Area Detail

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202
Unmitigated	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0361					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4082					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	4.4546	0.3527	8.6454	0.0221		1.2986	1.2986		1.2986	1.2986	159.2376	306.0000	465.2376	0.4749	0.0108	480.3303
Landscaping	0.0424	0.0162	1.4045	7.0000e-005		7.7700e-003	7.7700e-003		7.7700e-003	7.7700e-003		2.5289	2.5289	2.4400e-003		2.5899
Total	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0361					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4082					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	4.4546	0.3527	8.6454	0.0221		1.2986	1.2986		1.2986	1.2986	159.2376	306.0000	465.2376	0.4749	0.0108	480.3303
Landscaping	0.0424	0.0162	1.4045	7.0000e-005		7.7700e-003	7.7700e-003		7.7700e-003	7.7700e-003		2.5289	2.5289	2.4400e-003		2.5899
Total	4.9413	0.3689	10.0499	0.0221		1.3064	1.3064		1.3064	1.3064	159.2376	308.5289	467.7665	0.4773	0.0108	482.9202

7.0 Water Detail

7.1 Mitigation Measures Water

526-528-532 Hazel Street - South Coast AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation
