



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

September 30, 2021

Decision Date

3575 East Chevy Chase Drive

Address

Administrative Design Review (ADR)

Review Type

5658-017-038

APN

PDR2019832

Case Number

Hamlet Zohrabians

Applicant

Cassandra Pruet, AICP

Case Planner

Housik Megerdichian & Talin Golestanian

Owner

Project Summary

The applicant is proposing to add a 1,255 square-foot (SF), two-story addition to an existing 2,026 SF, two-story single-family dwelling (originally constructed in 1969), located on an approximately 22,230 SF lot in the R1R-III Zone (Restricted Residential, Floor Area Ratio District III). The addition includes a 629 SF, first-story deck, a 169 SF, second-story balcony, and a façade remodel to modernize the style of the residence.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 10,000 SF of floor area in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan, and which is not environmentally sensitive.

Existing Property/Background

The project site is an approximately 22,230 SF, irregularly shaped flag lot with an over 100-foot long driveway, resulting in the house having limited visibility from the street. The site slopes down gently from the street, resulting in the street level nearly aligning with the top of the first story of the house. The site is developed with a two-story, 2,026 SF single-family home with an attached two-car garage. The existing house does not appear to be eligible for designation at the local, state, or federal level and is therefore not considered a historic resource under CEQA.

Staff Recommendation

Approve

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: III

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	23,195 SF	8,150 SF – 121,968 SF	22,230 SF
Setback	58'	5' - 160'	109'
House size	2,251 SF	1,387 SF – 3,415 SF	3,281 SF
Floor Area Ratio	0.16	0.10 - 0.38	0.15
Number of stories	1.56 (7 one-story, 9 two-story)	1 to 2 stories	2 stories

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

Garage Location and Driveway

☐ yes ☒ n/a ☐ no

If "no" select from below and explain:

- ☐ Predominant pattern on block

- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition expands the existing building footprint from the rear corner, and utilizes an existing relatively flat area of the site. The topography in the flat area varies by approximately one foot and contains no trees.
- The building is located near the center of the flag lot, behind another property, so has limited visibility from the street.
- The addition and decks are located approximately 40 feet, on average, from all interior property lines.
- The first floor deck is primarily a replacement of the existing deck, moved over to compensate for the addition, and slightly extended toward the south to align with the front façade.
- Existing oak trees will be maintained.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The existing two-story building is 24'-10" in height, with a large first-floor deck wrapping the rear corner of the house. The proposed addition extends the building massing to the west by about 18 feet, with a total proposed height of 27'-3"; however, the height increase takes place mostly at the ground level (where the site

slopes down) and therefore the highest point of the addition will be only slightly higher than the existing house.

- The building size is being increased from 2,026 SF to 3,281 SF, which is higher than the neighborhood average of 2,251 SF; however, the total floor area ratio is 15%, which is lower than the neighborhood average of 16%. The large lot, its configuration as a flag lot, the over 100' long driveway to the front façade, the limited visibility from the street, the extensive setbacks to the addition, and placement on the site all contribute to the massing and scale being appropriate for this particular site.
- The first floor deck and second-story balcony extend westward from the main building mass. They utilize open railings and widely spaced columns, reducing their massing.
- The addition, deck and balcony are located toward the rear corner of this large lot with ample setbacks, reducing their visibility from and impact on neighboring properties.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

Paving Materials

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

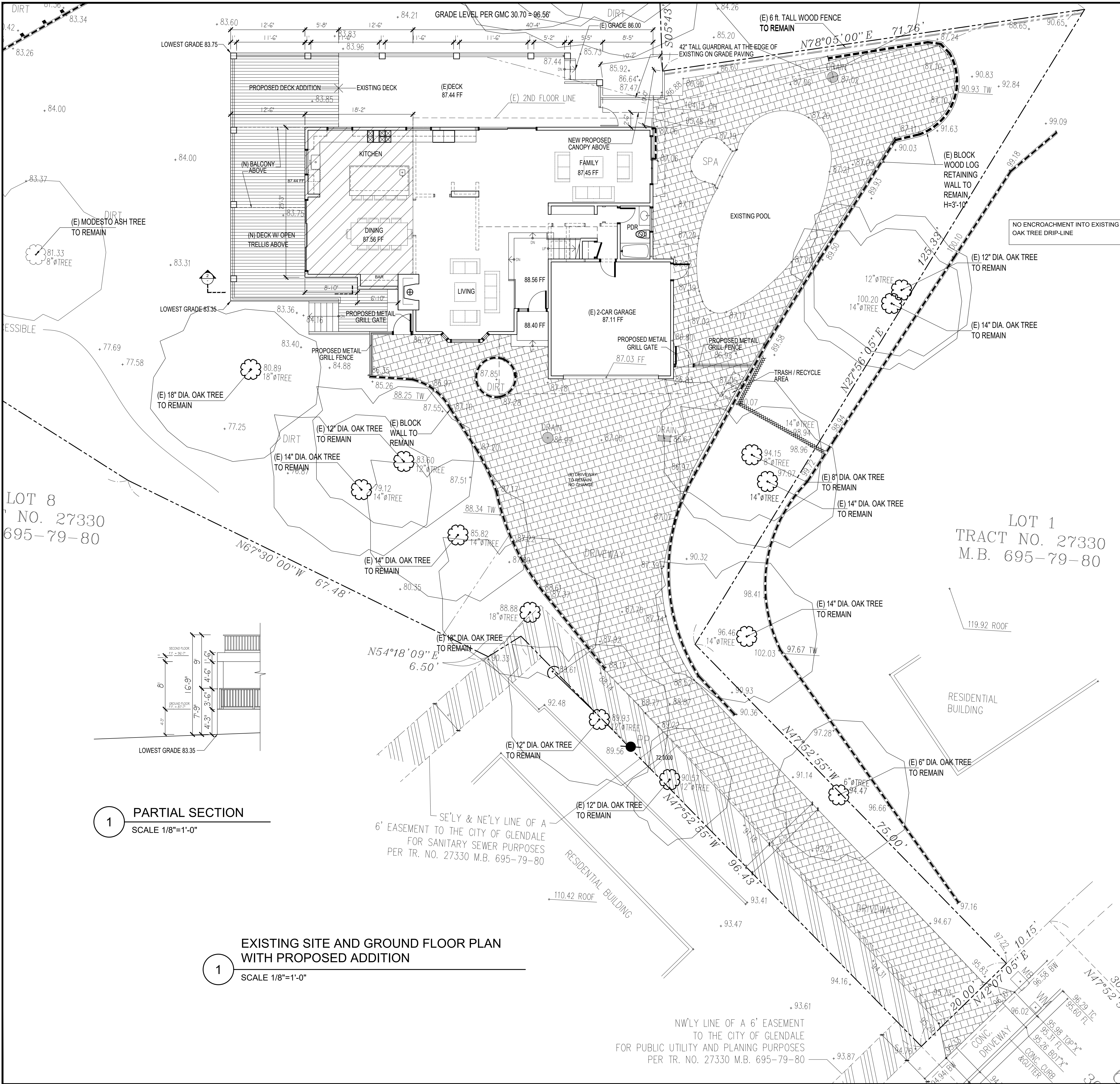
- The project involves a façade remodel to modernize the style. The existing house was built in 1969 and is of a traditional style. It has a large gable roof with an inset balcony at the second floor, a brick chimney, a large bay window and brick veneer on the front façade, and a recessed entryway. The rest of the building has stucco siding. The remodel includes replacing the existing asphalt shingle and brick veneer with the same material in a different color, reducing the size of the inset balcony, plastering over the brick chimney, and using stucco siding on the addition. The bay window will be removed and replaced with a large fixed window. The entryway will be aligned with the front façade and the front door replaced with a larger door with less detail. The garage door will be replaced with one of a simpler pattern. Although these changes result in a net decrease in design detailing and variation, the simplification provides a more contemporary aesthetic to the house while retaining some textural and color variation.
- The addition uses the same exterior finish materials as the adjoining walls, allowing it to blend well with the existing volumes.
- Exterior materials are varied and of high quality, including asphalt shingle roofing, smooth stucco siding, fiberglass Marvin windows and doors, brick veneer tiles, painted redwood deck and balcony railings, and painted metal gates and fences. The contemporary color scheme primarily consists of dark gray/black and white.
- The new front door, garage door and front picture window are consistent with the new contemporary style.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. [Click or tap here to enter text.](#)

Attachments

1. Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey



PROJECT DESCRIPTION:
PROPOSED 471 s.f. GROUND FLOOR, 784 s.f. SECOND FLOOR,
629 s.f. GROUND FLOOR DECK AND 169 s.f. SECOND FLOOR BALCONY
ADDITION TO EXISTING TWO STORY HOUSE
W/ TWO-CAR ATTACHED GARAGE

LEGAL DESCRIPTION:
FOR DESO SEE ASSESSOR'S MAPS POR LOT A
MB 30-37 AND POR OF LOT 2 TR = 27330

APN = 5658 - 017 - 038
ZONE = R1R- III
OCCUPANCY = R-3 / U
TYPE OF CONSTRUCTION = V-B (FULLY SPRINKLERED)
NUMBER OF STORIES = 2
CA CLIMATE ZONE = 9
HIGH FIRE ZONE = YES
FIRE SPRINKLER = YES
EXISTING LOT AREA = 22,230 s.f.

FLOOR AREA:
ALLOWABLE FLOOR AREA = (%45) 10,000 s.f. + (%10)12,230 = 5,723 s.f.
EXISTING GROUND FLOOR LIVING AREA = 1,181 s.f.
EXISTING GARAGE AREA = 425 s.f.
EXISTING SECOND FLOOR AREA = 845 s.f.
EXISTING TOTAL FLOOR AREA = 2,451 s.f.
EXISTING NET FLOOR AREA LESS GARAGE = 2,026 s.f.

PROPOSED FLOOR ADDITION:
GROUND FLOOR ADDITION AREA = 471 s.f.
SECOND FLOOR ADDITION AREA = 784 s.f.
TOTAL PROPOSED ADDITION AREA = 1,255 s.f.

FINAL BUILDING FLOOR AREA LESS GARAGE = 3,281 s.f.

LOT COVERAGE :
ALLOWABLE LOT COVERAGE = (%40) 22,230 s.f. = 8,892 s.f.
EXISTING BUILDING AND GARAGE FOOT PRINT = 1,606 s.f.
PROPOSED GROUND FLOOR ADDITION = 471 s.f.
EXISTING GROUND FLOOR DECK (TO REMAIN) = 600 s.f.
PROPOSED GROUND FLOOR DECK = 615 s.f.
PROPOSED ENTRY CANOPY = 66 s.f.
TOTAL PROPOSED LOT COVERAGE = 3,358 s.f. = 15.1%

FRONT SET BACK:
REQUIRED FRONT SET BACK = 15'-0"
PROPOSED FRONT SET BACK = 105'-4" (Unchanged)

BUILDING HEIGHT:
ALLOWABLE MAX. BUILDING HEIGHT = 32 FT. + 3' FOR ROOFS W/ MIN. 3:12 = 35'-0"
PROPOSED MAX. BUILDING HEIGHT = 28'-9"

LANDSCAPE:
REQUIRED OPEN LANDSCAPED AREA = 40% = 7,672 s.f.
FINAL PROPOSED BUILDING FOOT PRINT = 2,077 s.f.
PROPOSED AND EXISTING DECK AREA = 1,215 s.f.
EXISTING STAIR LANDING = 124 s.f.
EXISTING SWIMMING POOL AND DECK AREA = 1,593 s.f.
EXISTING PAVED DRIVEWAY = 2,503 s.f.
TOTAL = 7,512 s.f.

TOTAL PROPOSED OPEN LANDSCAPED AREA = 22,230 - 7,512 = 14,718 s.f. = 66.20%

PARKING GARAGE:
EXISTING 2-CAR DETACHED GARAGE AREA = 425 s.f.

NOTE:
FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY
FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE
OF 10 FEET

- ZONING NOTES:**
- 1- NO NEW ROOFTOP EQUIPMENT IS ALLOWED
 - 2- THE FOLLOWING ITEMS SHALL BE ON A SEPARATE PERMIT:
 - * RETAINING WALLS / BOUNDARY WALLS
 - * POOLS / SPAS / JACUZZIS
 - * FENCES / TRELLIS / PATIO COVERS
 - * GRADING / DRAINAGE / EROSION
 - * FIRE SPRINKLERS

- LEGEND:**
- A.D. AREA DRAIN
 - 4"Ø DRAIN PIPE TO STREET
 - 2% MIN. SLOPE (TYP)
 - DS DOWN SPOUT
 - PROPOSED ADDITION
 - PROPOSED DECK ADDITION

ZOHRABIANSLOS ANGELES

Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

CLIENT:
Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:
**Megerdichian Residence
Addition and Remodel**
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
**EXISTING SITE AND
PROPOSED ADDITION**

DATE	07/14/21
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A2



STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

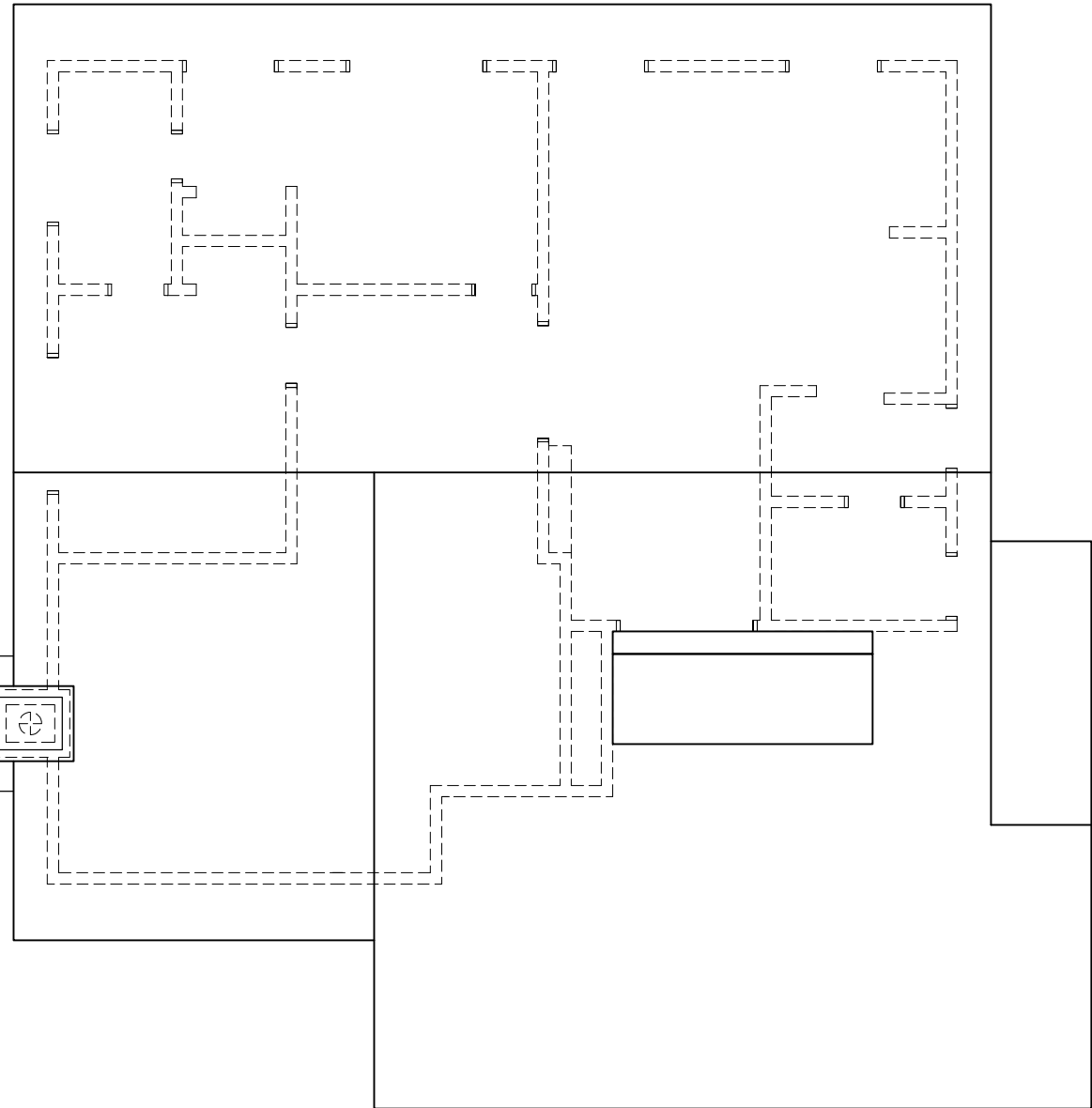
DESCRIPTION	DATE	BY

SHEET TITLE:

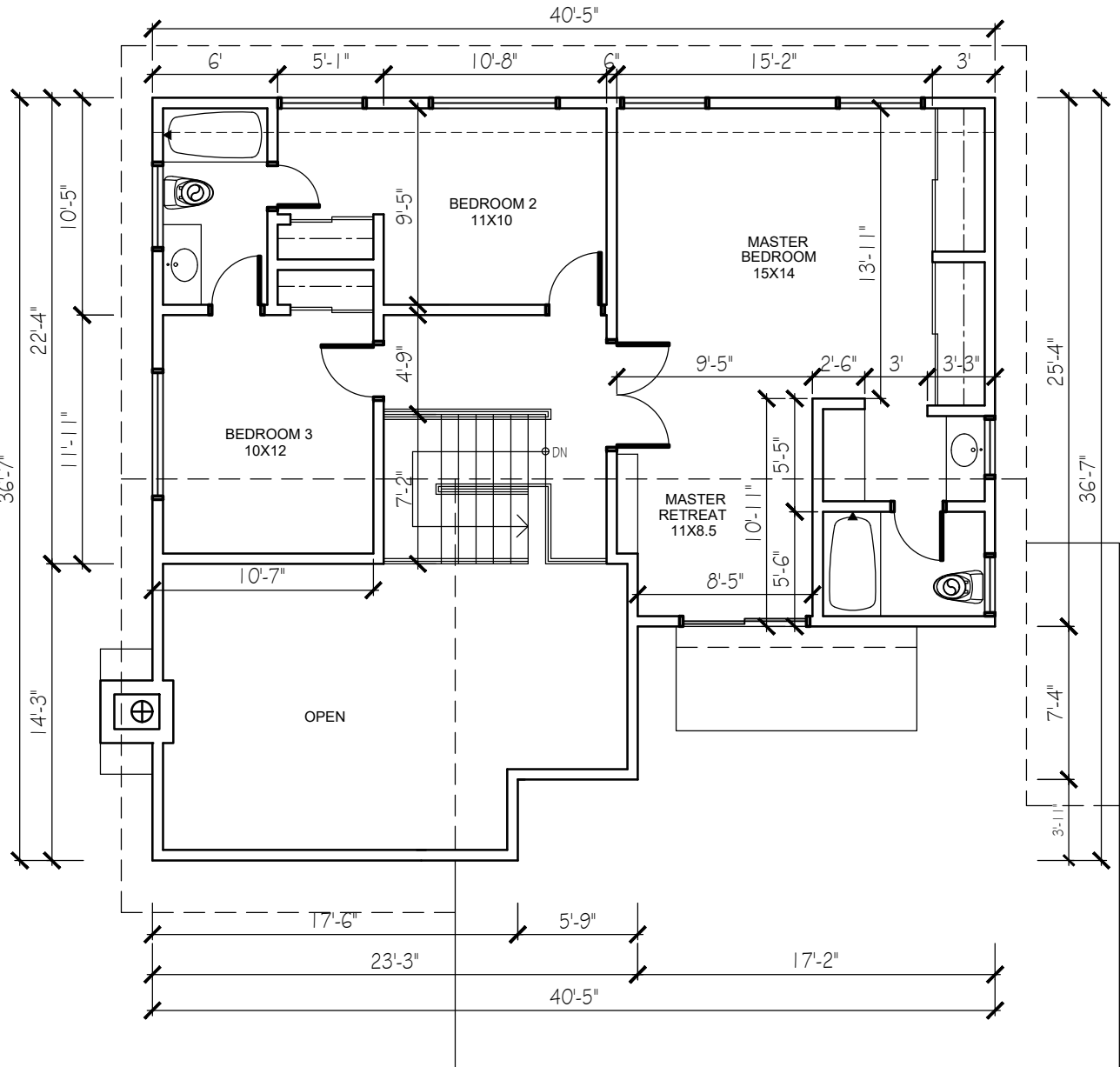
EXISTING
FLOOR PLANS

DATE	06.14.21
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

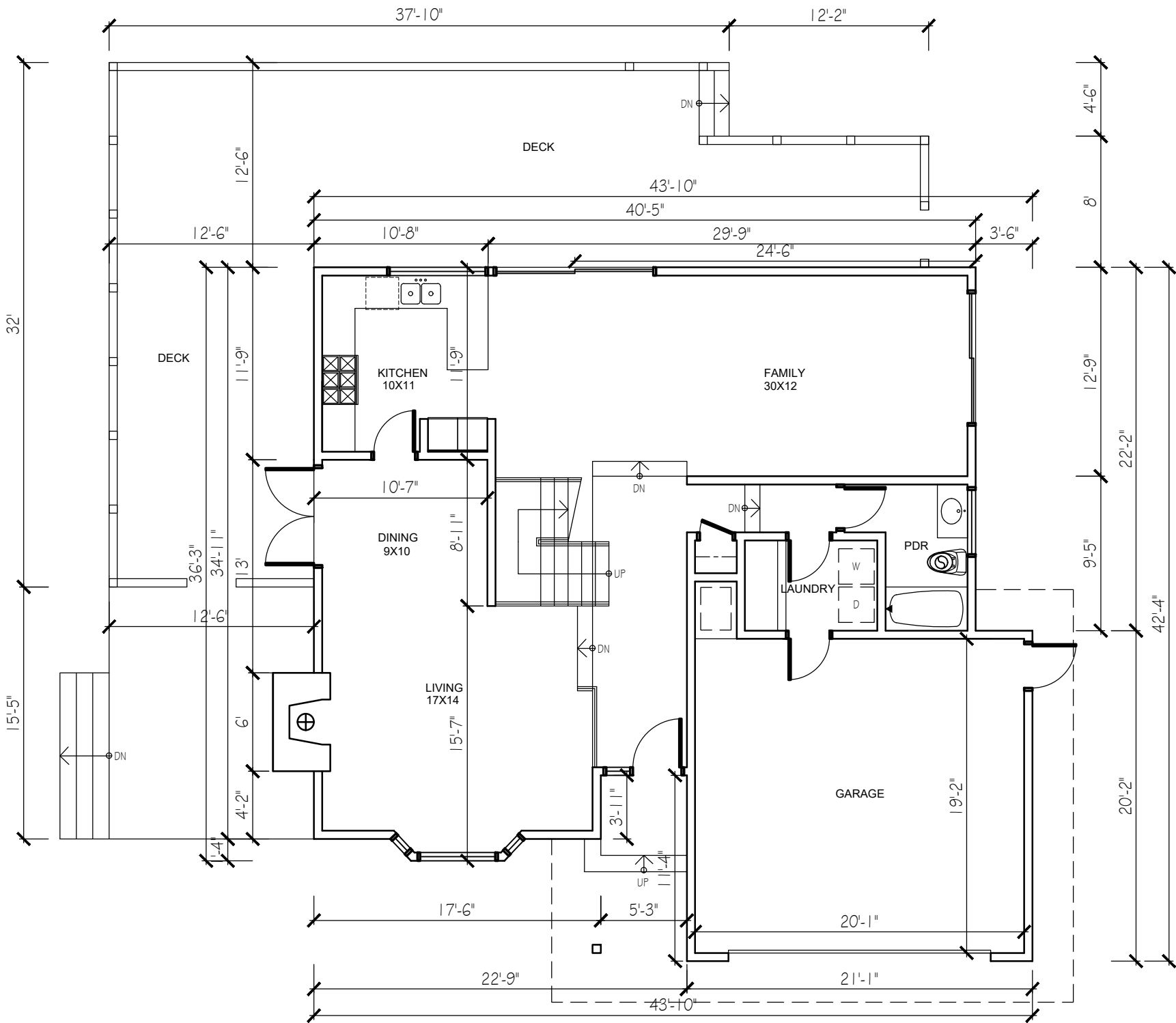
A2.1



3 EXISTING ROOF PLAN
SCALE 1/4"=1'-0"



2 EXISTING SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



1 EXISTING GROUND FLOOR PLAN
SCALE 1/4"=1'-0"

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:
**Megerdichian Residence
Addition and Remodel**
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
**EXISTING
ELEVATIONS**

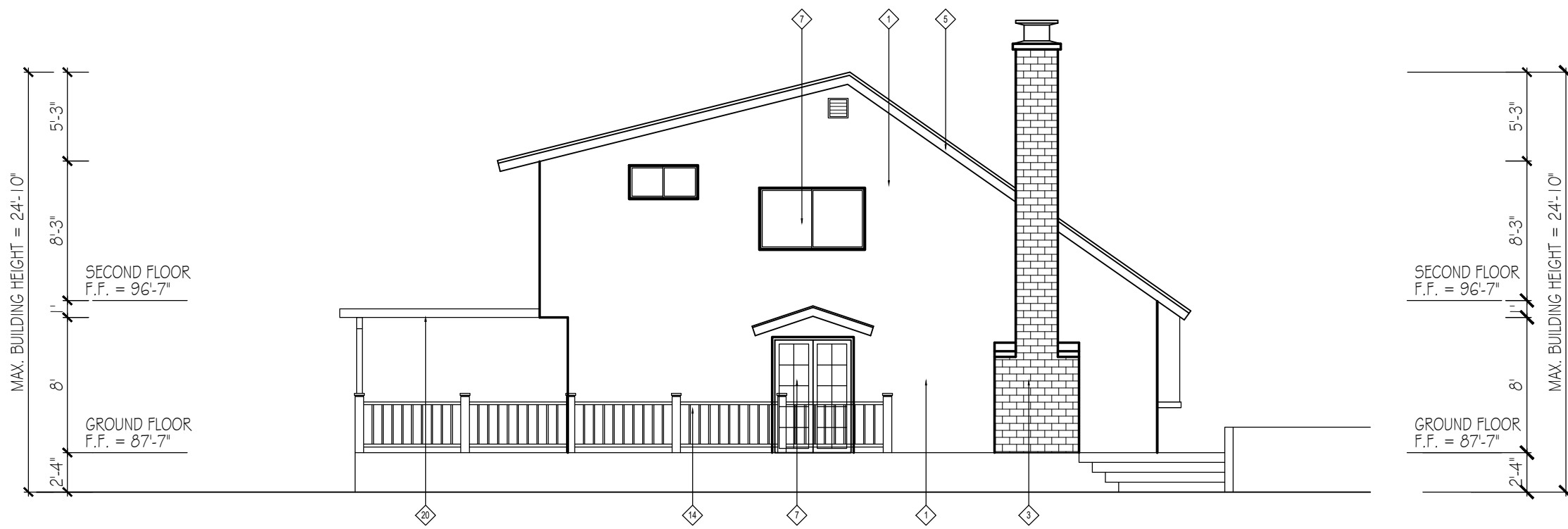
DATE	06.14.21
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A2.2

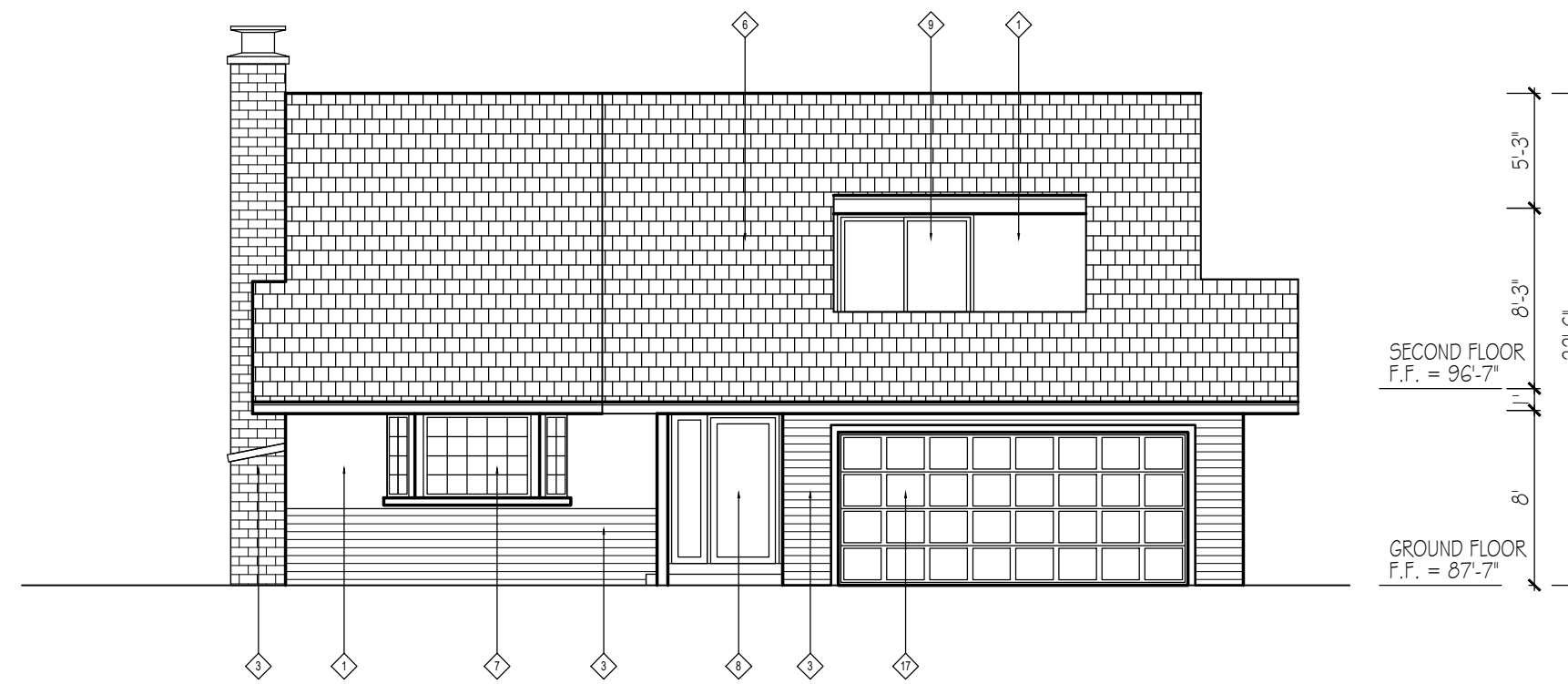
KEY NOTES :

E = EXISTING (TO REMAIN)
R = REMOVE EXISTING
N = PROPOSED

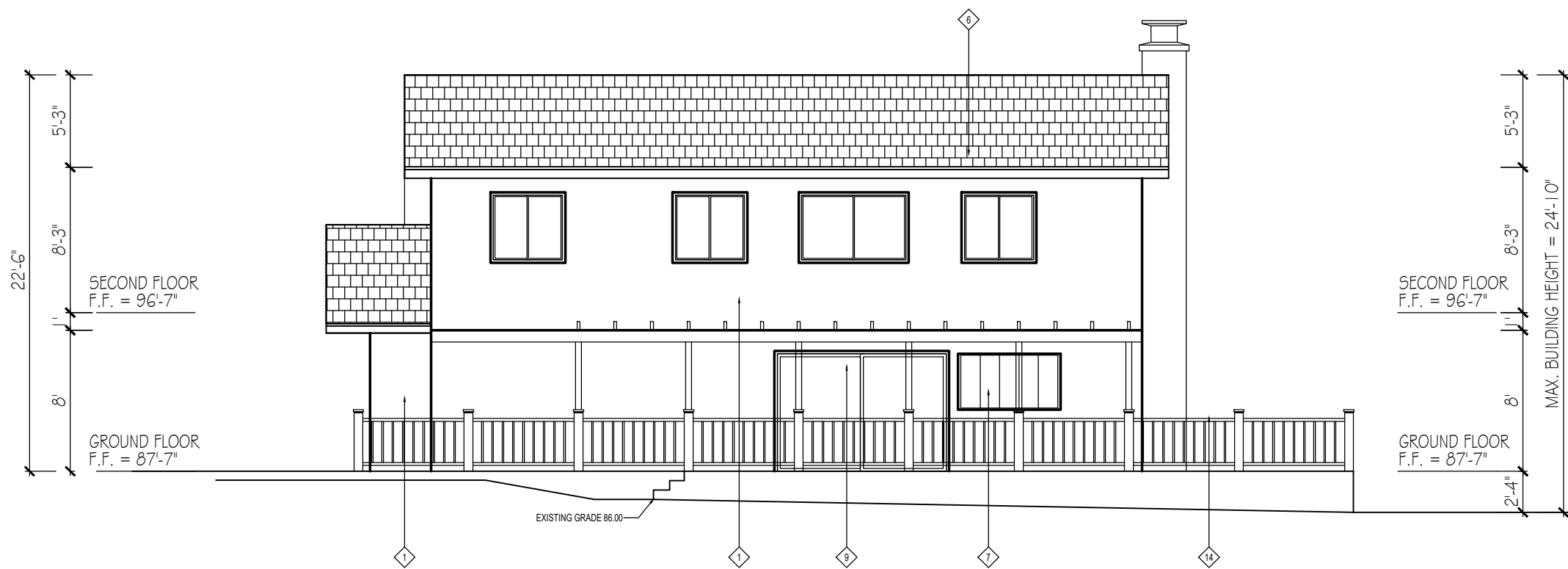
- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR : X-72 Adobe (La Habra)
- 3- BRICK VENEER OVER PLASTER
COLOR : Brown / Red
- 4- VINYL WINDOW
COLOR : White
- 5- PAINTED WOOD FASCIA
COLOR : White
- 6- COMPOSITION SHINGLES ROOF COVERING
OVER 2 - 40# ROOFING PAPER
- 7- ANODIZED ALUMINUM FRAMED WINDOW
COLOR : Dark Brown
- 8- PAINTED WOOD FRAMED GLASS ENTRY DOOR
COLOR : Dark Brown
- 9- ANODIZED ALUMINUM FRAMED GLASS DOOR
COLOR : Dark Brown
- 10- PAINTED WOOD POST
COLOR : Dark Brown
- 11- PAINTED WOOD DOOR
COLOR : Dark Brown
- 12- PRE-FINISHED METAL LANTERN
COLOR : Dark Bronze
- 13- 1X6 WOOD FENCE AND GATE
COLOR : Dark Bronze
- 14- PAINTED WOOD GUARD RAIL
COLOR : Dark Bronze
- 15- CONCRETE STEPS
COLOR : Honey Oat
- 16- PAINTED METAL CHIMNEY CAP
COLOR : Dark Bronze
- 17- PRE-PAINTED METAL SECTIONAL GARAGE DOOR
COLOR : Dark Brown
- 18- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Dark Brown
- 19- PAINTED METAL LOUVERED VENT
COLOR : Dark Brown
- 20- PAINTED WOOD TRELLIS
COLOR : Dark Brown



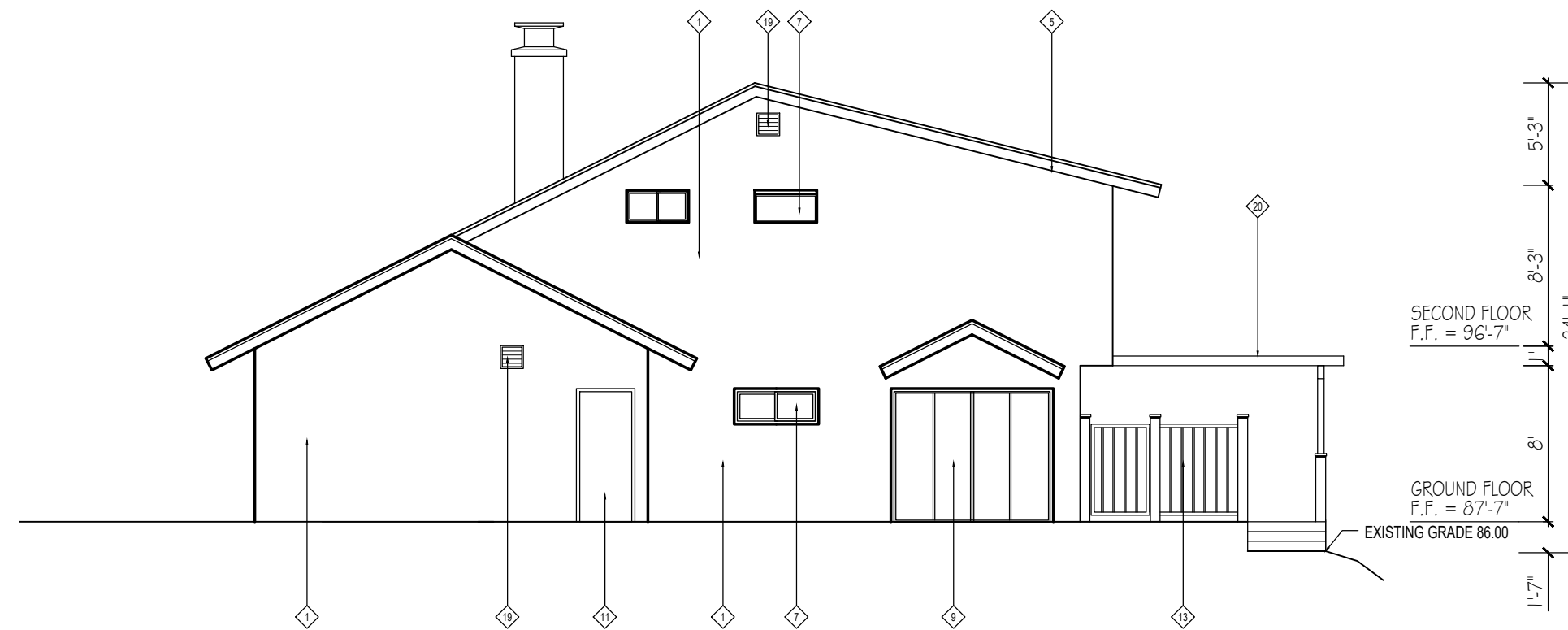
2 EXISTING BUILDING WEST ELEVATION
SCALE 1/8"=1'-0"



1 EXISTING BUILDING SOUTH ELEVATION
SCALE 1/8"=1'-0"



3 EXISTING BUILDING NORTH ELEVATION
SCALE 1/8"=1'-0"



4 EXISTING BUILDING EAST ELEVATION
SCALE 1/8"=1'-0"

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

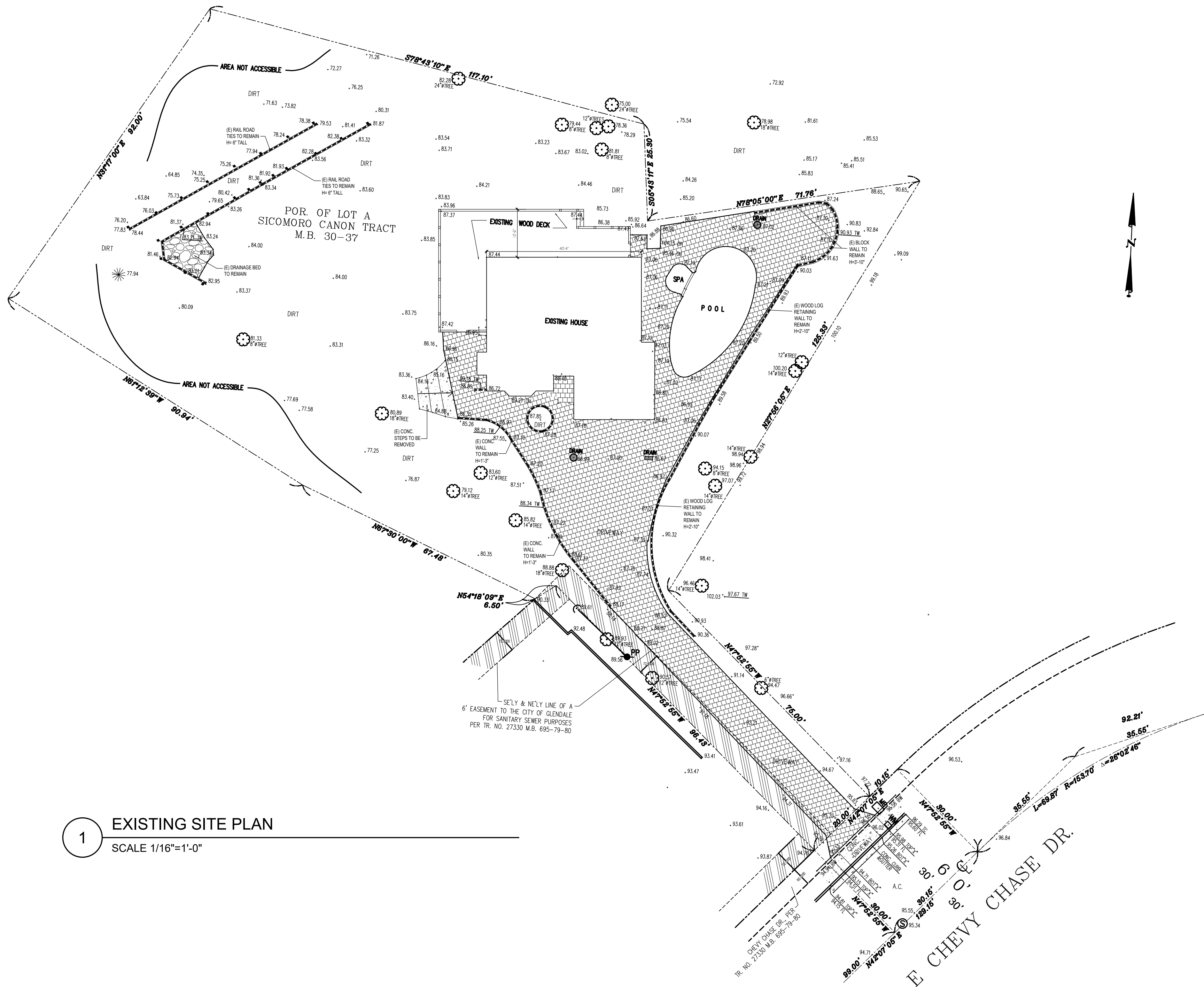
DESCRIPTION	DATE	BY

SHEET TITLE:

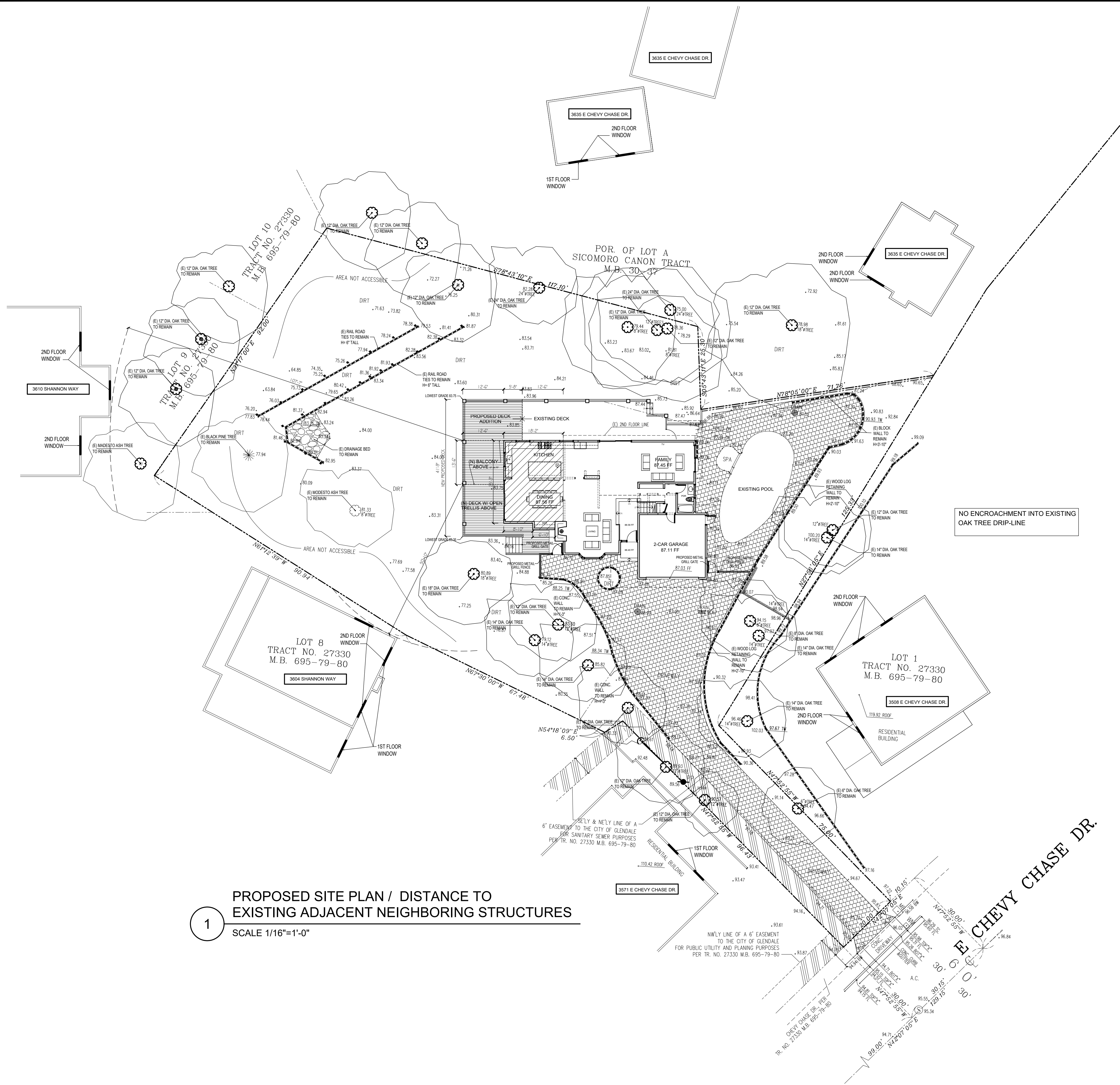
EXISTING SITE PLAN

DATE	06.14.21
SCALE	1/16" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A2.3a



1 EXISTING SITE PLAN
SCALE 1/16"=1'-0"



1
PROPOSED SITE PLAN / DISTANCE TO
EXISTING ADJACENT NEIGHBORING STRUCTURES
SCALE 1/16"=1'-0"

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

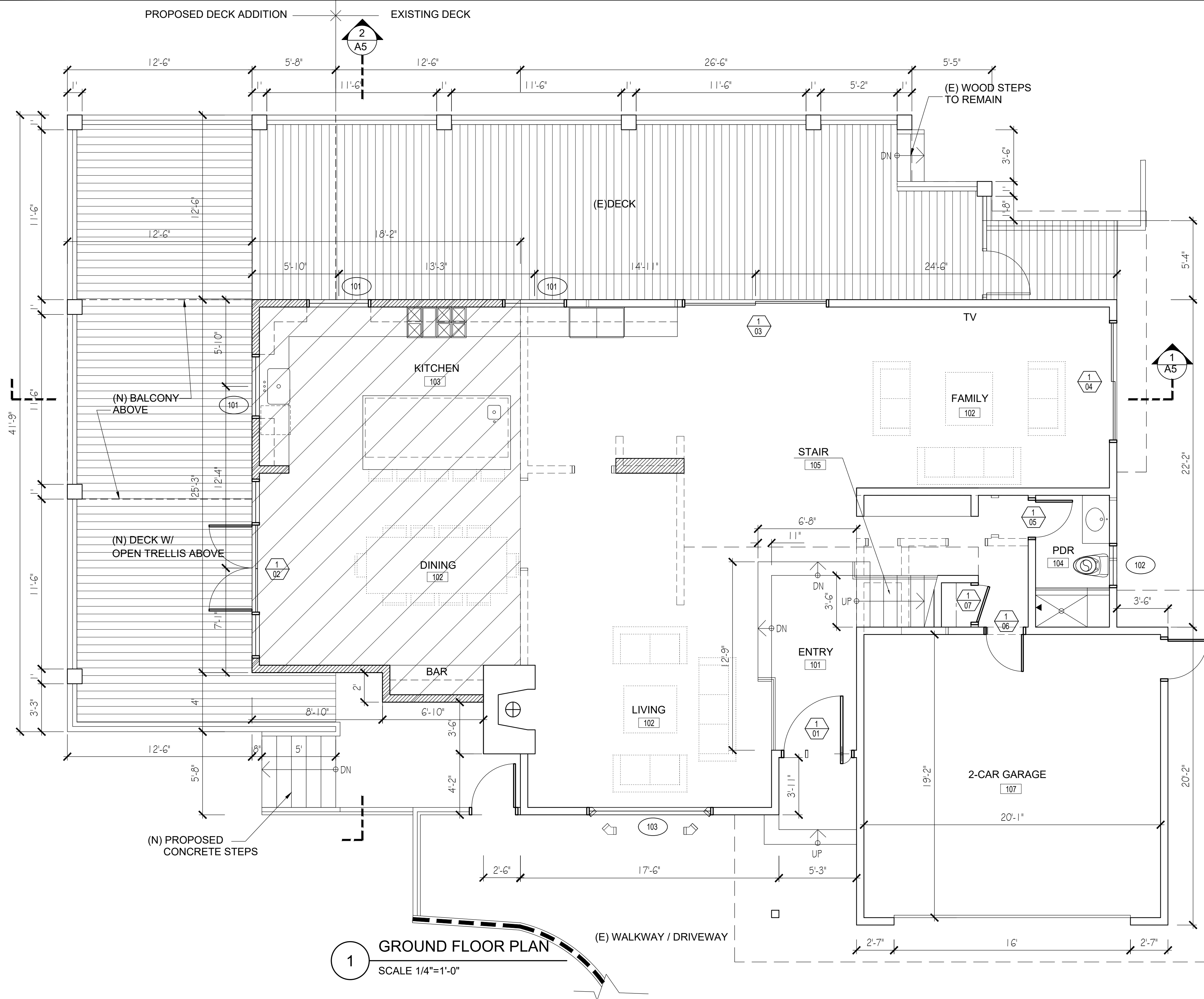
Megerdichian Residence
Addition and Remodel
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SITE PLAN
DISTANCE TO EXISTING
ADJACENT NEIGHBORING
STRUCTURES

DATE	03/18/21
SCALE	1/16" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	



1 GROUND FLOOR PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR
THE DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE WHOLE-BUILDING VENTILATION FAN
AND FOR THE DUCT DESIGN FOR THE
WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE
DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION

$$Q_{fan} = 0.01A_{floor} \sqrt{7.5(N+1)} \text{ or } Q_{fan} = 0.01(4519) \sqrt{7.5(6)}$$

$Q_{fan} = 90$

PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN,
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

KEY NOTES:

- 1" CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2X6 AT 16" O.C. AND 5/8" GYP. BD. ON INTERIOR SIDE. PROVIDE R13 INSULATION IN STUD SPACE.
- PREFABRICATED GAS FIREPLACE BY: SPARK MODERN FIRES (DIRECT VENT) OMNI-TESTED LABORATORIES - ANSI Z21.88-2009/CSA 2.33-2009
- GRANT COUNTER TOPS AND 18" SPLASH OVER MAPLE WOOD CABINETS
- DOUBLE STAINLESS STEEL SINKS W/ GARBAGE DISPOSAL
- WOOD UPPER CABINETS
- STOVE/OVEN WITH 100 CFM FAN
- REFRIGERATOR/FREEZER
- WOOD CABINET/SHELVES FOR ENTERTAINMENT CENTER
- DISH WASHER
- WASHER
- DRYER
- W.C. AND VENT ABOVE
- GRANT COUNTER OVER WOOD CABINET W/ UNDR. COUNTER SINK
- FREE STANDING TUB
- TILED SHOWER AND SEAT W/ TEMPERED GLASS SHOWER DOORS
- TUB/SHOWER
- THIN SET CERAMIC TILES OVER WATER PROOFING. (MIN. 1/4" 12" SLOPE TO DRAIN)

WALL LEGEND:

- CONCRETE BLOCK WALL
- EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 X 6 AT 16" O.C. AND A LAYER OF 5/8" GYP/UM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C.
PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- EXISTING WALL TO BE REMOVED
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP) (SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
- 1/4" - 1/2" MAX @ FLOOR THRESHOLD
- PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN:
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30
- PROPOSED ADDITION

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
GROUND FLOOR PLAN

DATE 06.14.21

SCALE 1/4" = 1'-0"

DRAWN BY HZ

JOB NUMBER 050319

SHEET

A3.1

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

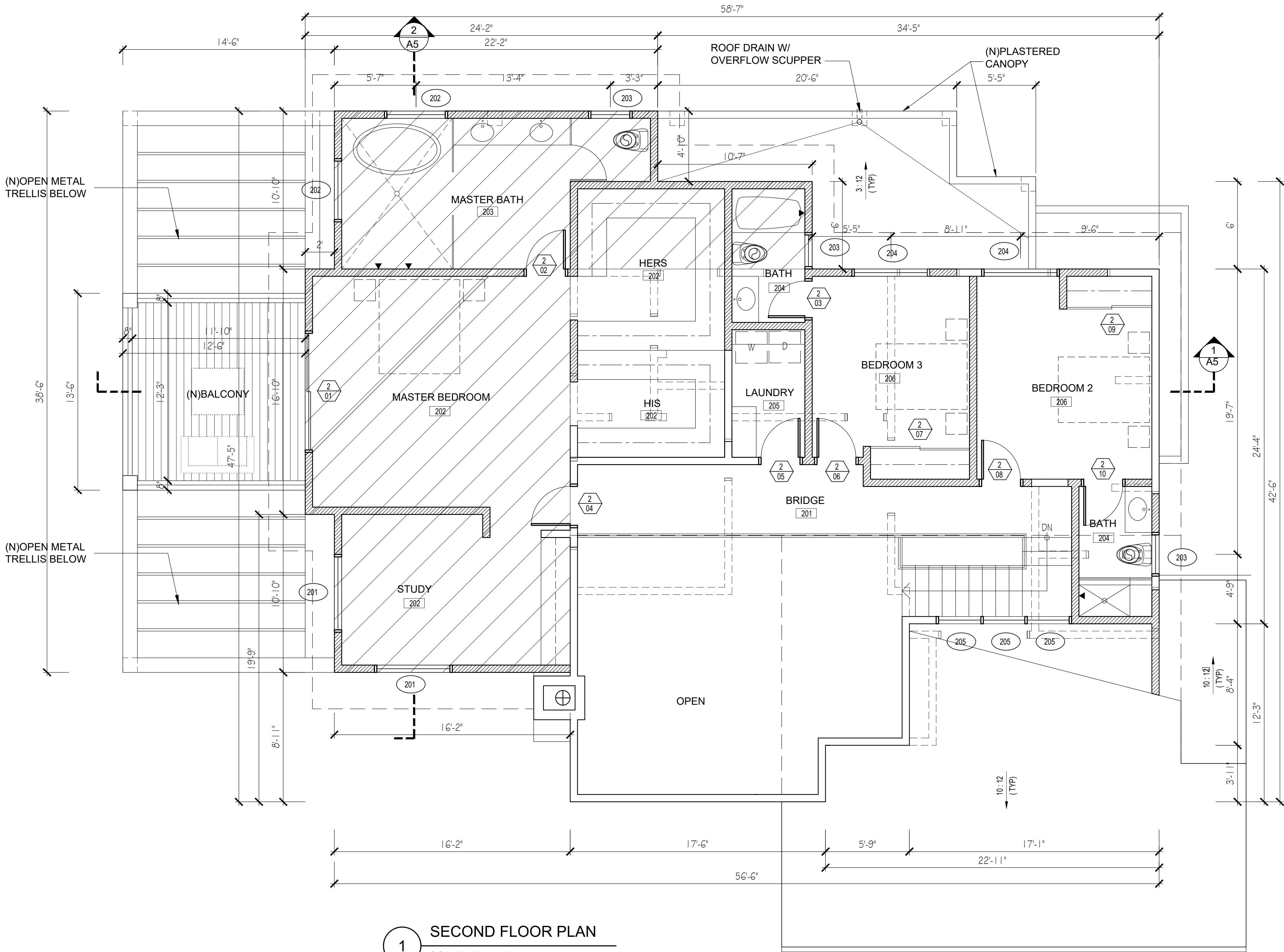
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
SECOND FLOOR PLAN

DATE	09.25.19
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A3.2



1 SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE WHOLE-BUILDING VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION
$$Q_{fan} = 0.01A_{floor} + 7.5(N + 1)$$

$$Q_{fan} = 0.01(4519) + 7.5(6)$$

$$Q_{fan} = 90$$

PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

KEY NOTES:

- 1" CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PL WOOD SHEATHING ON EXTERIOR SIDE OF 2X6 AT 16" O.C. AND 5/8" GYP. BD. ON INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE.
- PREFABRICATED GAS FIREPLACE BY SPARK MODERN FIRES (DIRECT VENT) OMNI-TESTED LABORATORIES - ANSI Z21.88-2009/CSA 2.33-2009
- GRANITE COUNTER TOPS AND 18" SPLASH OVER MAPLE WOOD CABINETS
- DOUBLE STAINLESS STEEL SINKS W/ GARBAGE DISPOSAL
- WOOD UPPER CABINETS
- STOVE/OVEN WITH 100 CFM FAN
- REFRIGERATOR/FREEZER
- WOOD CABINET/SHELVES FOR ENTERTAINMENT CENTER
- DISH WASHER
- WASHER
- DRYER
- W.C. AND VENT ABOVE
- GRANITE COUNTER OVER WOOD CABINET W/ UNDER COUNTER SINK
- FREE STANDING TUB
- TILED SHOWER AND SEAT W/ TEMPERED GLASS SHOWER DOORS
- TUB/SHOWER
- THIN SET CERAMIC TILES OVER WATER PROOFING (MIN. 1/4" 12" SLOPE TO DRAIN)

WALL LEGEND:

- CONCRETE BLOCK WALL
- EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C. PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- EXISTING WALL TO BE REMOVED
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP) (SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
- 1/4" - 1/2" MAX. @ FLOOR THRESHOLD
- PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

PROPOSED ADDITION

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

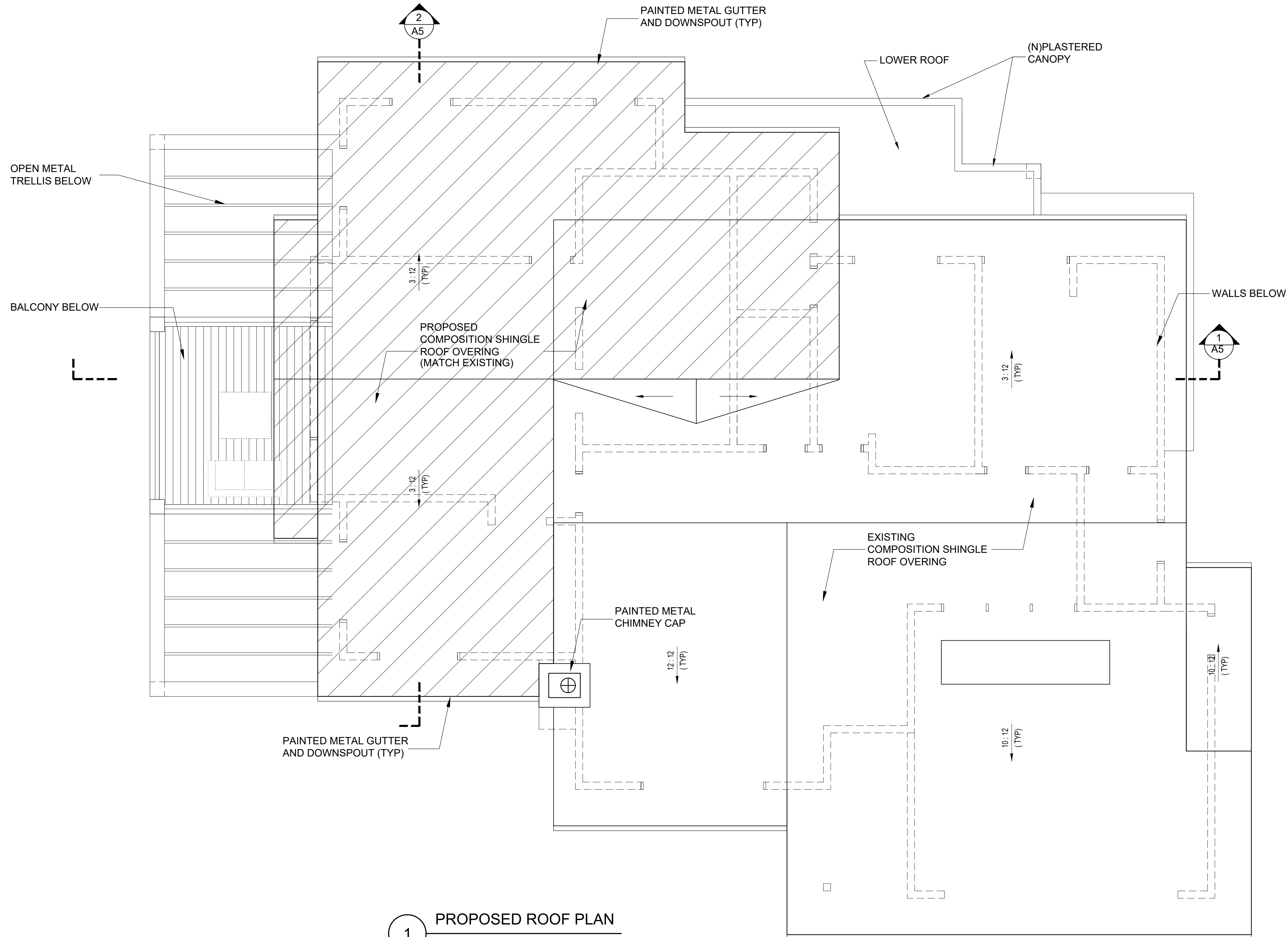
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
ROOF PLAN

DATE	09.25.19
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A3.3



1 PROPOSED ROOF PLAN
SCALE 1/4"=1'-0"

ATTIC VENTILATION

TOTAL ATTIC AREA TO BE VENTED = 437 s.f.
TOTAL REQUIRED VENT AREA = 437 / 150 = 2.92 s.f.
PROVIDE:
1 LOUVERED ACCESS PANEL = (30" X 24") = 5 s.f.
2 LOUVERED ROOF ATTIC VENTS = 2(14" X 14") = 3.59 s.f.
TOTAL = 8.59 s.f.

NOTE:

1" AIRSPACE IS REQUIRED BETWEEN INSULATION AND ROOF SHEATHING.

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

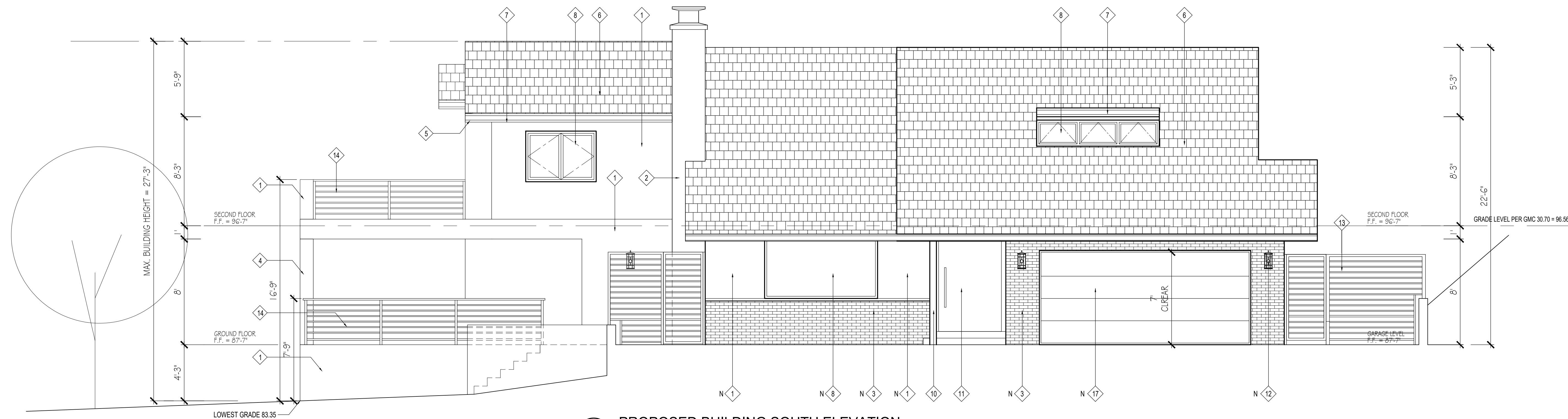
DESCRIPTION	DATE	BY

SHEET TITLE:

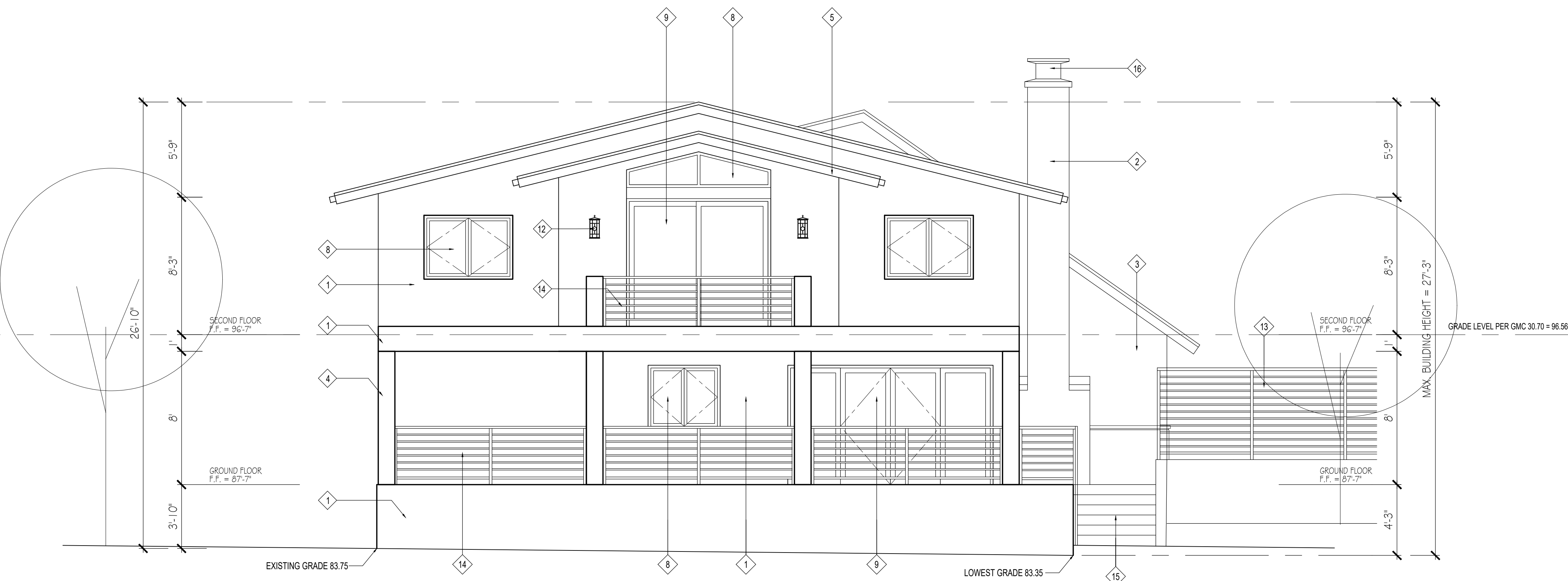
PROPOSED BUILDING
SOUTH AND WEST
ELEVATIONS

DATE	07/14/21
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A4.1



1 PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/4"=1'-0"



2 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4"=1'-0"

KEY NOTES :

E = EXISTING (TO REMAIN)
R = REMOVE EXISTING
N = PROPOSED

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR : LAHARBA "Crystal White"
 - 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK OR MASONRY WALL.
COLOR : LAHABRA "Crystal White"
 - BRICK VENEER TILES OVER EXISTING WALLS
"Capella Stone" Brick Veneer
COLOR : Off-White (matte finish)
 - PLASTERED RECTANGULAR COLUMN
COLOR : LAHABRA "Crystal White"
 - PAINTED WOOD FASCIA
COLOR : Dunn Edwards "Black Tie"
 - COMPOSITION SHINGLES ROOF COVERING OVER 2 - 40# ROOFING PAPER
COLOR : Charcoal
ICBO# - ES 3523
 - PRE-PAINTED METAL GUTTER AND DOWN SPOUT
COLOR : Black
 - FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Black (Marvin All Ultrex -Ebony)
 - FIBER GLASS FRAMED DUAL GLAZED DOORS
COLOR : Black (Marvin All Ultrex -Ebony)
 - PAINTED WOOD POST
COLOR : Dunn Edwards "Black Tie"
 - HOLLOW METAL PIVIT DOOR
COLOR : Dunn Edwards "Black Tie"
 - PRE-FINISHED WALL LIGHT FIXTURE
COLOR : Black
 - PAINTED METAL FENCE / GATE
COLOR : Dunn Edwards "Black Tie"
 - PAINTED REDWOOD GUARD RAIL
COLOR : Dunn Edwards "Black Tie"
 - PRE- CAST CONCRETE STEPS
COLOR : Natural Concrete
 - PAINTED METAL CHIMNEY CAP
COLOR : Dunn Edwards "Black Tie"
 - PRE-PAINTED SMOTH HOLLOW METAL SECTIONAL GARAGE DOOR
COLOR : Dunn Edwards "Black Tie"
 - METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
 - PAINTED METAL LOUVERED VENT
COLOR : Black
 - PLASTERED CANOPY
COLOR : LAHABRA "Crystal White"
- EW = ESCAPE WINDOW

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
NORTH AND EAST
ELEVATIONS

DATE	07/14/21
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

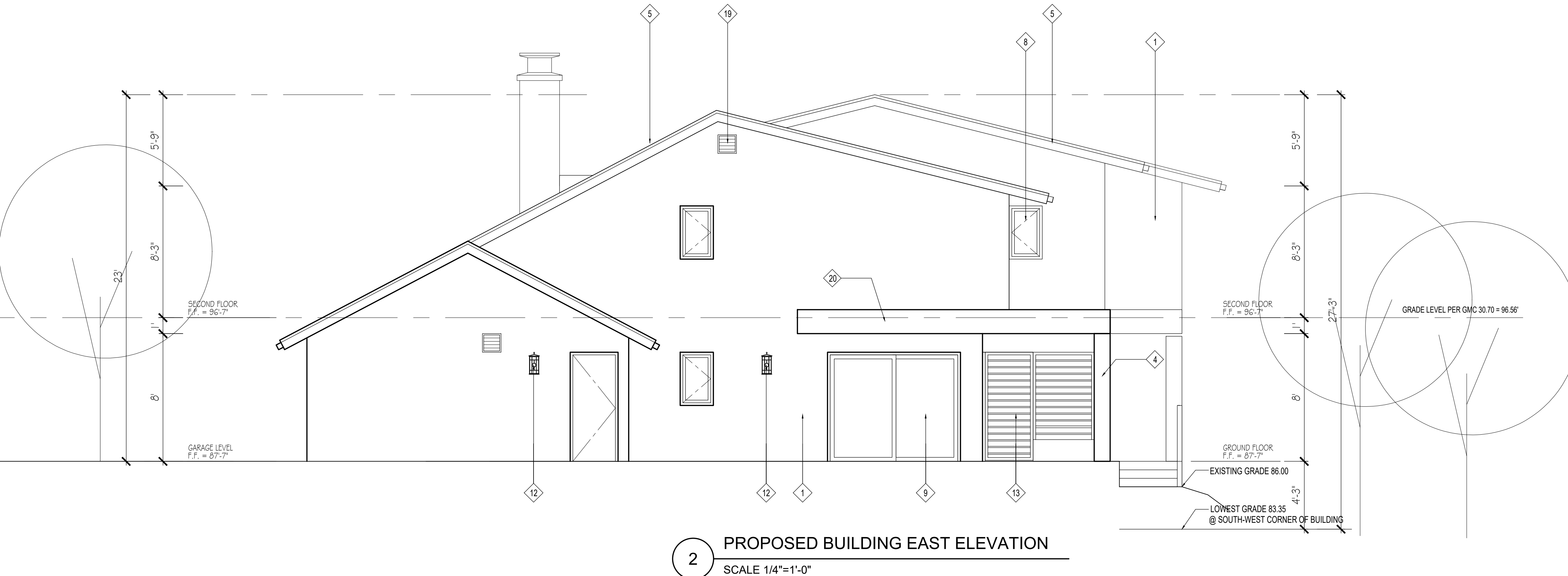
A4.2



KEY NOTES :

E = EXISTING (TO REMAIN)
R = REMOVE EXISTING
N = PROPOSED

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-15 INSULATION IN STUD SPACE
COLOR : LAHARBA "Crystal White"
 - 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK OR MASONRY WALL.
COLOR : LAHABRA "Crystal White"
 - BRICK VENEER TILES OVER EXISTING WALLS
"Capella Stone" Brick Veneer
COLOR : Off-White (matte finish)
 - PLASTERED RECTANGULAR COLUMN
COLOR : LAHABRA "Crystal White"
 - PAINTED WOOD FASCIA
COLOR : Dunn Edwards "Black Tie"
 - COMPOSITION SHINGLES ROOF COVERING OVER 2 - 40# ROOFING PAPER
COLOR : Charcoal
ICBO# - ES 3523
 - PRE-PAINTED METAL GUTTER AND DOWN SPOUT
COLOR : Black
 - FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Black (Marvin All Ultrex -Ebony)
 - FIBER GLASS FRAMED DUAL GLAZED DOORS
COLOR : Black (Marvin All Ultrex -Ebony)
 - PAINTED WOOD POST
COLOR : Dunn Edwards "Black Tie"
 - HOLLOW METAL PIVOT DOOR
COLOR : Dunn Edwards "Black Tie"
 - PRE-FINISHED WALL LIGHT FIXTURE
COLOR : Black
 - PAINTED METAL FENCE / GATE
COLOR : Dunn Edwards "Black Tie"
 - PAINTED REDWOOD GUARD RAIL
COLOR : Dunn Edwards "Black Tie"
 - PRE- CAST CONCRETE STEPS
COLOR : Natural Concrete
 - PAINTED METAL CHIMNEY CAP
COLOR : Dunn Edwards "Black Tie"
 - PRE-PAINTED SMOTH HOLLOW METAL SECTIONAL GARAGE DOOR
COLOR : Dunn Edwards "Black Tie"
 - METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
 - PAINTED METAL LOUVERED VENT
COLOR : Black
 - PLASTERED CANOPY
COLOR : LAHABRA "Crystal White"
- EW = ESCAPE WINDOW



STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS

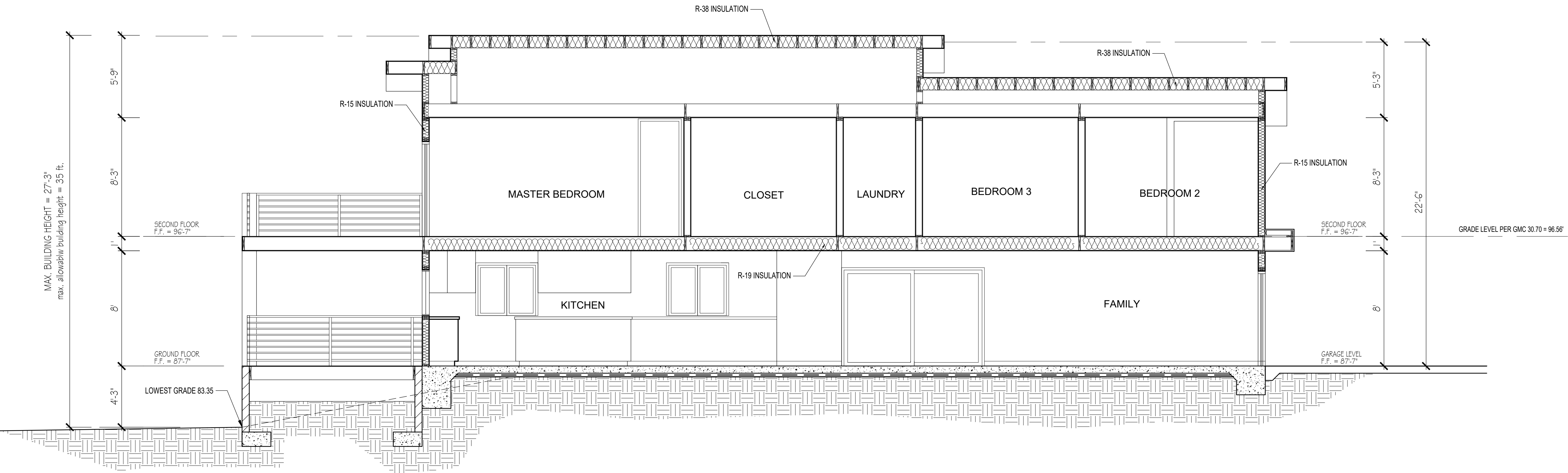
DESCRIPTION	DATE	BY

SHEET TITLE:

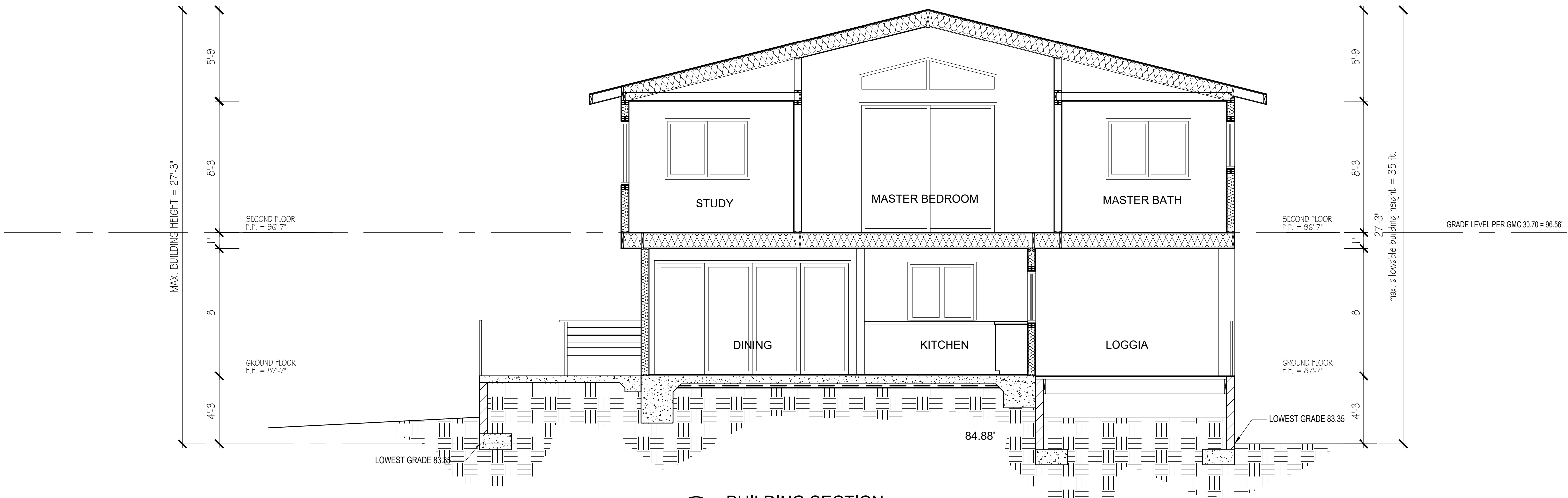
PROPOSED BUILDING
SECTIONS

DATE	06/14/21
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	

A5



1 BUILDING SECTION
SCALE 1/4"=1'-0"



2 BUILDING SECTION
SCALE 1/4"=1'-0"

EXTERIOR DOOR AND WINDOW REPLACEMENT SCHEDULE (Glendale City Format)

NO.	QUANTITY	EXISTING WIDTH X HEIGHT	NEW WIDTH X HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL)	KEEP EXISTING SILL AND FRAME	BUILT NEW SILL AND FRAME	EXISTING EDGE DETAIL	NEW EDGE DETAIL	REMARKS
101	3	N/A	4'-0" X 3'-6"	N/A	FIBERGLASS /GLASS	N	N/A	SLIDING	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
102	1	4'-0" X 1'-6"	4'-0" X 1'-6"	ALUMINUM	FIBERGLASS /GLASS	N	SLIDING	SLIDING	NAIL-IN	N	N	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
103	1	N/A	8'-0" X 4'-0"	N/A	FIBERGLASS /GLASS	Y	N/A	FIXED	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
201	6	N/A	5'-0" X 3'-6"	N/A	FIBERGLASS /GLASS	Y	N/A	SLIDING	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
202	3	N/A	2'-6" X 3'-6"	N/A	FIBERGLASS /GLASS	N	N/A	CASEMENT	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
203	1	N/A	8'-0" X 2'-2"	N/A	FIBERGLASS /GLASS	N	N/A	FIXED	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE

101	1	N/A	5'-0" X 6'-8"	N/A	FIBERGLASS /GLASS	Y	N/A	CASEMENT	NAIL-IN	N	N	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
102	1	N/A	12'-0" X 6'-8"	N/A	FIBERGLASS /GLASS	N	N/A	SLIDING	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
103	1	10'-0" X 6'-8"	10'-0" X 6'-8"	ALUMINUM / GLASS	FIBERGLASS /GLASS	N	SLIDING	CASEMENT	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
104	1	8'-0" X 6'-8"	8'-0" X 6'-8"	ALUMINUM / GLASS	FIBERGLASS /GLASS	N	SLIDING	CASEMENT	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE
201	1	N/A	8'-0" X 8'-0"	N/A	FIBERGLASS /GLASS	N	N/A	SLIDING	NAIL-IN	N	N/A	N	N/A	STUCCO	DUAL PANE GLASS WITH A MINIMUM OF ONE TEMPERED GLASS PANE

DOOR SCHEDULE

LEVEL							DOOR		FRAME					DETAILS SHEET - A-					
	NO.	TYPE	PAIR	WIDTH	HEIGHT	THICK	MATERIALS	FINISH	MATERIALS	FINISH	SCREEN	HARDWARE GROUP	FIRE RATING	HEAD	JAMB	SILL			
GROUND FLOOR	101	B	PAIR	5'-0"	6'-8"	1-3/4"	FIBER GLASS/ TEMPERED GLASS	MFR.	FIBERGLASS	MFR.		1	---						
	102	E	PAIR	12'-0"	6'-8"	1-3/4"	FIBER GLASS/ TEMPERED GLASS	MFR.	FIBERGLASS	MFR.		4	---						
	103	C	PAIR	10'-0"	6'-8"	1-3/4"	FIBER GLASS/ TEMPERED GLASS	MFR.	FIBERGLASS	MFR.		4	---						
	104	C	PAIR	8'-0"	6'-8"	1-3/4"	FIBER GLASS/ TEMPERED GLASS	MFR.	FIBERGLASS	MFR.		4	---						
	105	A	--	2'-8"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
	106	A	--	3'-0"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		1	20 min.						
	107	A	--	2'-8"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		3	---						
SECOND FLOOR	201	C	PR	8'-0"	8'-0"	1-3/4"	FIBER GLASS/ TEMPERED GLASS	MFR.	FIBERGLASS	MFR.		4	---						
	202	A	--	3'-0"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
	203	A	--	3'-0"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
	204	A	--	2'-8"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
	205	A	--	3'-0"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		3	---						
	206	A	--	3'-0"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
	207	D	--	6'-0"	6'-8"	1-3/4"	ALUMINUM / MIRROR	PAINT	WOOD	PAINT		-	---						
	208	A	--	3'-0"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
	209	D	--	6'-0"	6'-8"	1-3/4"	ALUMINUM / MIRROR	PAINT	WOOD	PAINT		-	---						
	210	A	--	2'-8"	6'-8"	1-3/4"	SC / WOOD	PAINT	WOOD	PAINT		2	---						
HARDWARE	1 - ENTRANCE LOCK UNLOCKED BY KEY FROM OUTSIDE INSIDE TURN BUTTON LOCKING						2 - PRIVACY LOCK PUSH-BUTTON LOCKING, TURNING INSIDE LEVER RELEASES PUSH-BUTTON CAN OPEN FROM OUTSIDE VIA EMERGENCY RELEASE		3 - PASSAGE LATCH BOTH LEVERS ALWAYS UNLOCKED		4 - PATIO DOOR NO KEY FROM OUTSIDE INSIDE TURN BUTTON LOCKING		5 - REMOTE CONTROLLED						

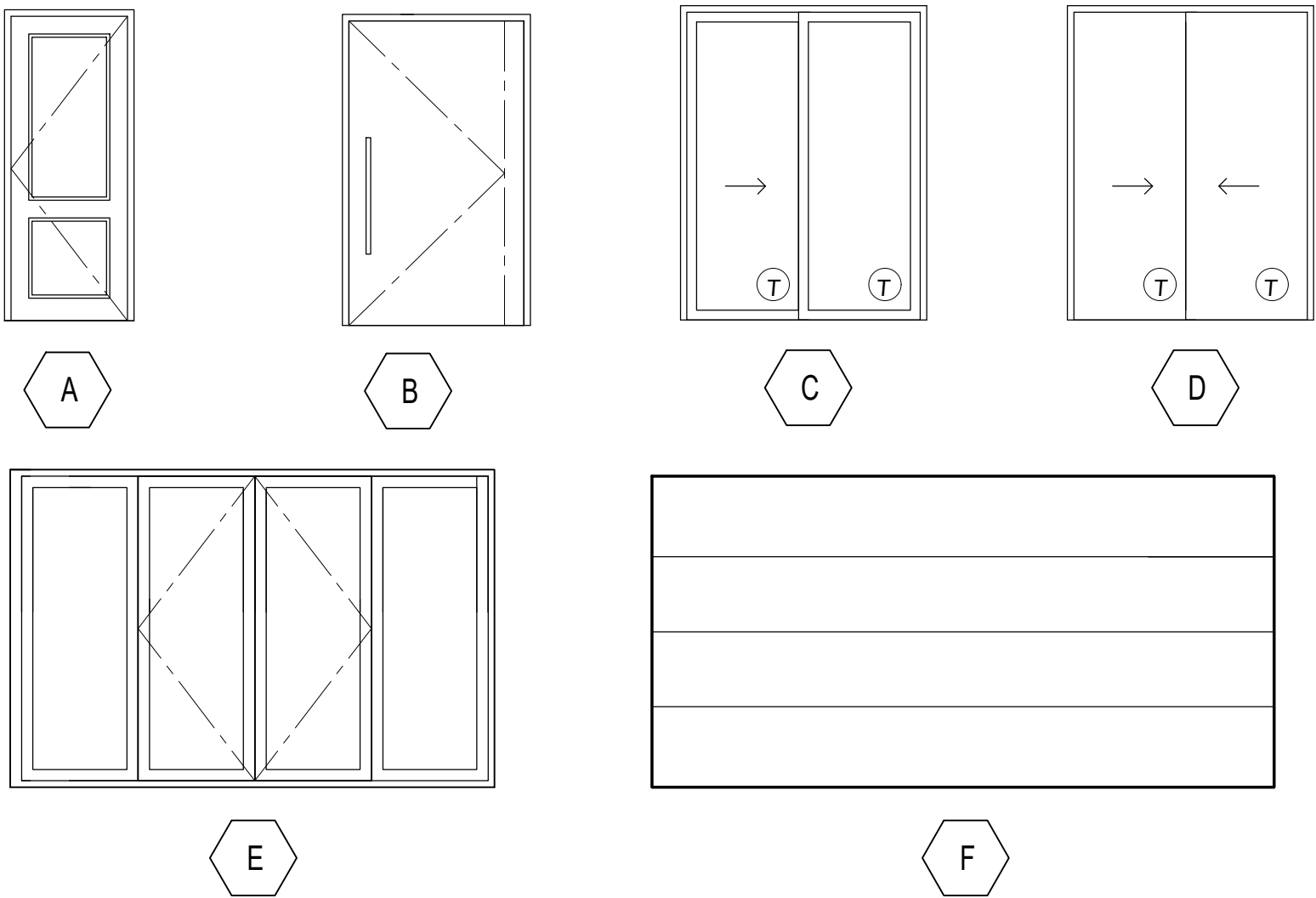
WINDOW SCHEDULE

LEVEL	GLASS								FRAME		DETAILS			REMARKS
	NO.	TYPE	WIDTH	HEIGHT	THICK	TYPE	TINT	SCREEN	MATERIALS	FINISH	HEAD	JAMB	SILL	
GROUND FLOOR	101	A	4'-0"	3'-6"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	YES	FIBER GLASS	MFR.				
	102	B	2'-6"	1-3/4"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	-	FIBER GLASS	MFR.				
	103	E	8'-0"	4'-0"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	-	FIBER GLASS	MFR.				
SECOND FLOOR														
	201	A	5'-0"	3'-6"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	YES	FIBER GLASS	MFR.				
	202	B	2'-6"	3'-0"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	YES	FIBER GLASS	MFR.				
	203	D	8'-0"	2'-2"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	YES	FIBER GLASS	MFR.				FIXED TRANSUM
	204	A	5'-0"	3'-6"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	YES	FIBER GLASS	MFR.				
	205	F	3'-0"	2'-0"	1-3/4"	DUAL GLAZED (TEMPERED)	LOW-E	YES	FIBER GLASS	MFR.				

ROOM FINISH SCHEDULE

LEVEL	ROOM		FLOOR				WALL				BASE				CEILING				CEILING-HT	REMARKS
			HARDWOOD	STONE TILE	CERAMIC TILES		PAINTED GYPSUM BD (FLAT)	PAINTED GYPSUM BD (SEMI-GLOSS)	STONE TILES	CERAMIC TILES	PAINTED WOOD (SEMI-GLOSS)	CERAMIC TILES			PAINTED GYPSUM BOARD (FLAT)	PAINTED GYPSUM BD (SEMI-GLOSS)				
GROUND FLOOR	101	ENTRY																		
	102	LIVING / DINING / FAMILY																		
	103	KITCHEN																		
	104	PDR																		
	105	STAIR																		
SECOND FLOOR	201	BRIDGE																		
	202	MASTER BEDROOM / STUDY / HIS AND HER CLOSETS																		
	203	MASTER BATH																		
	204	BATH																		
	205	LAUNDRY																		
	206	BEDROOM 2 AND BEDROOM 3																		

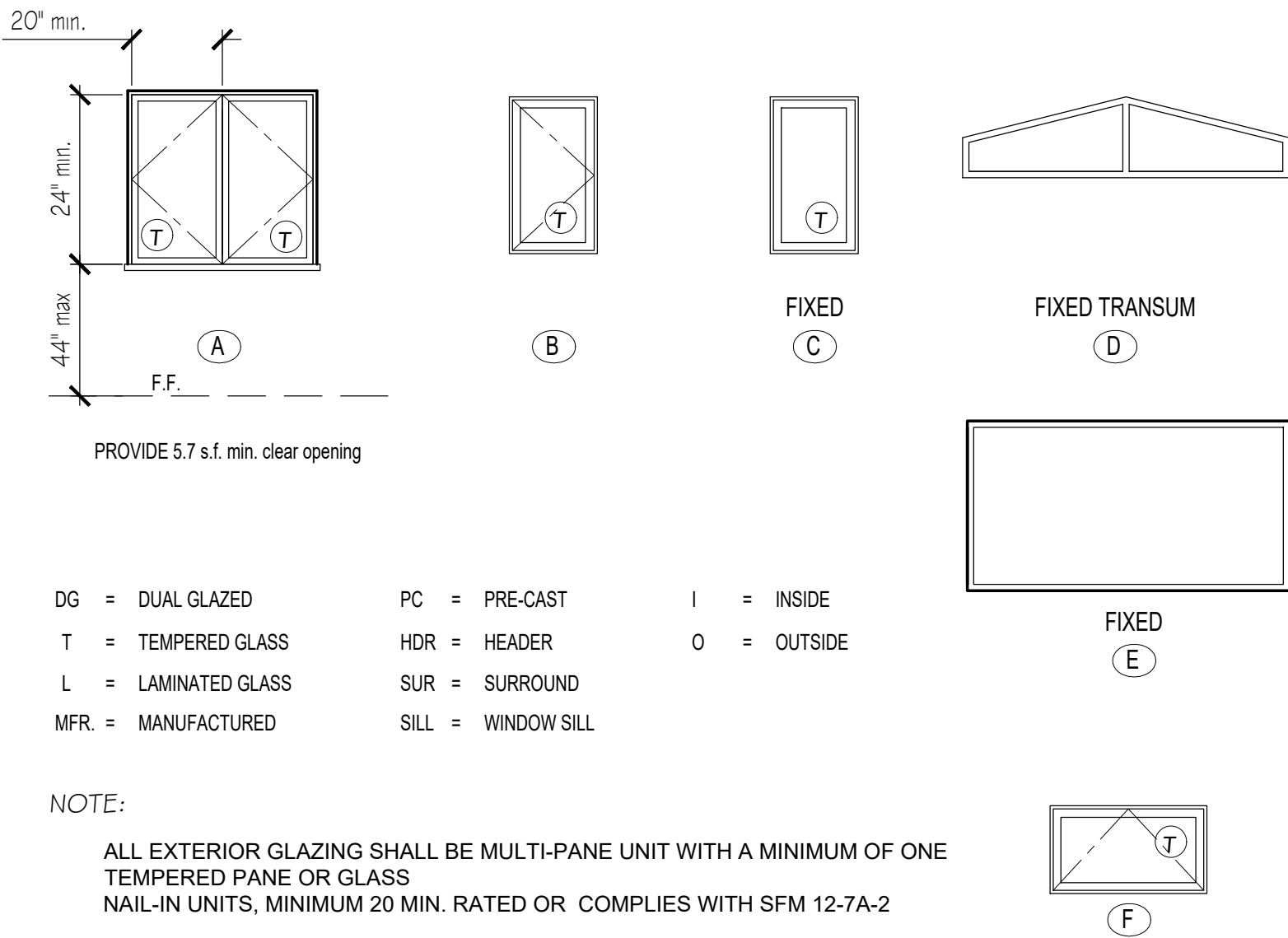
DOOR TYPES



HC - HOLLOW CORE
SC - SOLID CORE
WD - WOOD
GL - GLASS
MFR - MANUFACTURED
T - TEMPERED

NOTE:
ALL EXTERIOR DOORS SHALL BE SOLID CORE WOOD MINIMUM 1-3/8" THICK IN THE INTERIOR PANEL THICKNESS NOT LESS THEN 1-1/4" .

WINDOW TYPES



DG = DUAL GLAZED
T = TEMPERED GLASS
L = LAMINATED GLASS
MFR. = MANUFACTURED

PC = PRE-CAST
HDR = HEADER
SUR = SURROUND
SILL = WINDOW SILL

I = INSIDE
O = OUTSIDE

NOTE:
ALL EXTERIOR GLAZING SHALL BE MULTI-PANE UNIT WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS
NAIL-IN UNITS, MINIMUM 20 MIN. RATED OR COMPLIES WITH SFM 12-7A-2

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Megerdichian
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:

Megerdichian Residence
Addition and Remodel
3575 E Chevy Chase Dr.
Glendale, Ca. 91206

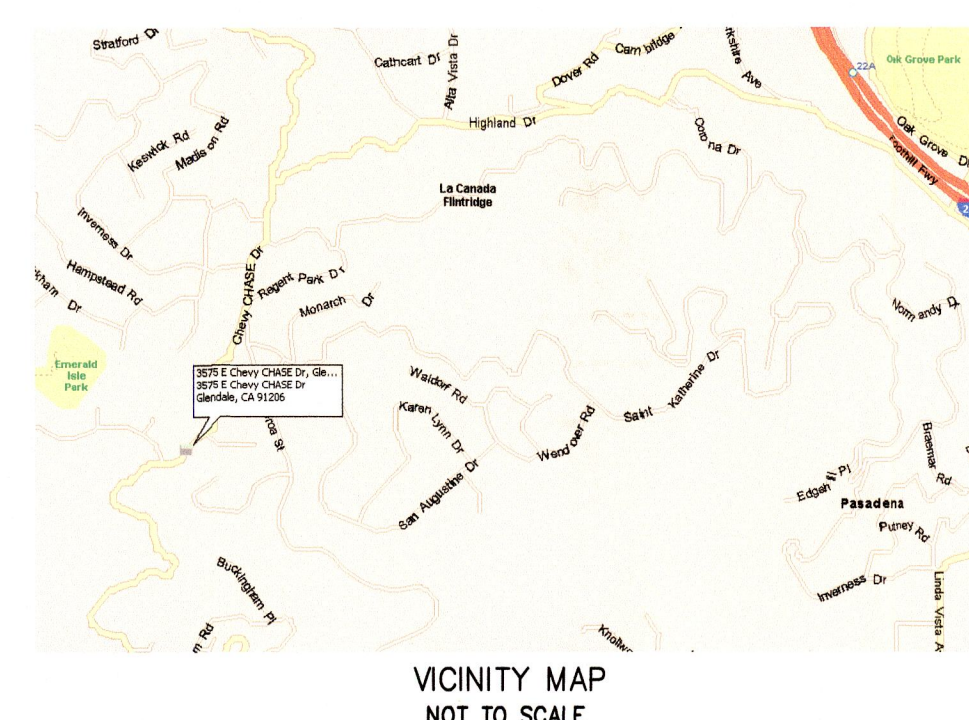
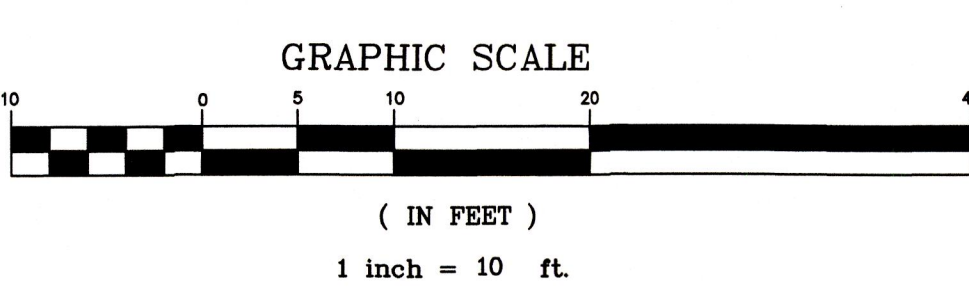
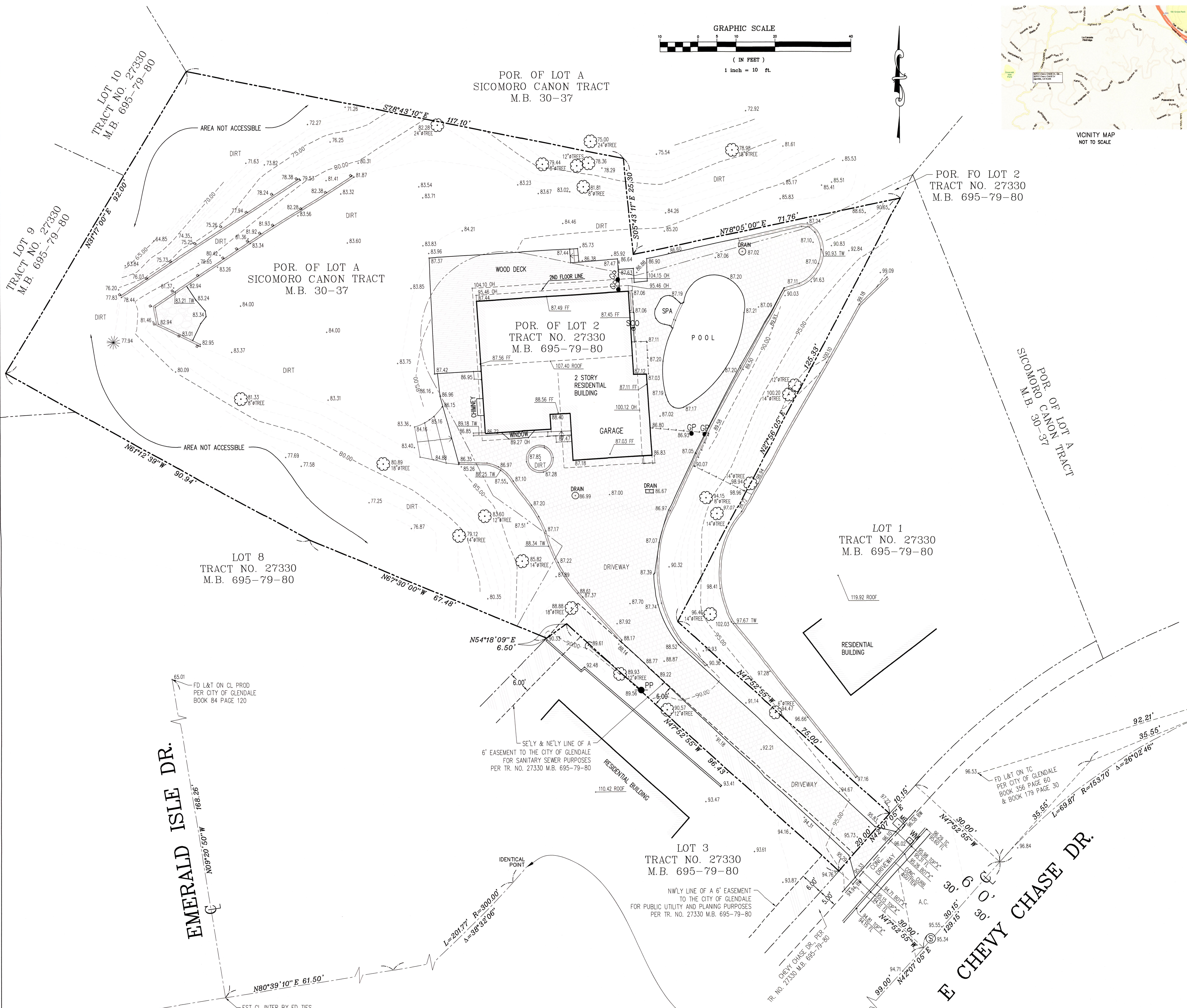
REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
EXTERIOR DOORS
AND WINDOW
SCHEDULES

DATE	09.25.19
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	050319
SHEET	



LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 2 OF TRACT NO. 27330, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 695, PAGES 79 AND 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM THAT PORTION OF SAID LOT 2 DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 83° 36' 08" WEST, ALONG THE NORTHERLY LINE OF SAID LOT 2, 21.46 FEET; THENCE NORTH 78° 05' 00" EAST, 16.30 FEET TO A POINT ON THE SOUTHEASTERN LINE OF SAID LOT 2; THENCE NORTH 27° 56' 05" EAST, ALONG SAID SOUTHEASTERN LINE, 6.99 FEET TO THE POINT OF BEGINNING.
TOGETHER WITH THAT PORTION OF LOT 1 OF SICOMORO CANON TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 30, PAGE 37 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 83° 36' 08" WEST, ALONG THE NORTHERLY LINE OF SAID LOT 2, 21.46 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 78° 05' 00" WEST, 55.46 FEET; THENCE SOUTH 87° 30' 05" WEST, 26.33 FEET; THENCE NORTH 78° 43' 50" WEST, 117.10 FEET TO AN ANGLE POINT IN THE EASTERLY LINE OF LOT 10 OF SAID TRACT NO. 27330, SAID ANGLE POINT BEING AT THE NORTHEASTERN TERMINUS OF THAT COURSE SHOWN ON SAID LOT 10 AS HAVING A BEARING OF NORTH 31° 17' 00" EAST, AND A DISTANCE OF 31.70 FEET, SAID BEARING AND DISTANCE ALSO SHOWN ON A SOUTHEASTERN LINE OF PARCEL D OF PARCEL MAP ON, NO. 1234, AS PER MAP FILED IN BOOK 88, PAGES 89 AND 90 OF PARCELS MAPS, OFFICIAL RECORDS OF SAID COUNTY, THENCE ALONG THE BOUNDARY LINES OF SAID LOT 10 AND LOTS 9 AND 8 OF SAID TRACT NO. 27330, SOUTH 31° 17' 00" WEST, 92.00 FEET; THENCE SOUTH 61° 12' 38" EAST, 90.34 FEET; THENCE SOUTH 67° 30' 00" EAST, 84.00 FEET TO A SOUTHWESTERN CORNER OF SAID LOT 2; THENCE ALONG THE BOUNDARY LINES OF SAID LOT 2, NORTH 30° 03' 56" EAST, 24.00 FEET; THENCE NORTH 53° 37' 20" WEST, 22.56 FEET; THENCE SOUTH 27° 51' 16" WEST, 35.14 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTWARD AND HAVING A RADIUS OF 22.21 FEET, THROUGH A CENTRAL ANGLE OF 129° 01' 32" AND AN ARC DISTANCE OF 50.01 FEET; THENCE SOUTH 78° 49' 44" EAST, 30.67 FEET; THENCE NORTH 74° 38' 42" EAST, 45.54 FEET; THENCE NORTH 63° 36' 08" EAST, 10.44 FEET TO THE POINT OF BEGINNING.
SAID LAND IS ALSO SHOWN IN THE CERTIFICATE OF COMPLIANCE RECORDED AUGUST 22, 2005 AS INSTRUMENT NO. 05-20282, OF OFFICIAL RECORDS.
ASSESSOR'S PARCEL NUMBER: 5658-017-038

REFERENCE DOCUMENT:

PER GRANT DEED
INSTRUMENT NO. 20190304336
DATED AS OF: APRIL 24, 2019

FAIS OF BEARINGS:

THE BEARING NORTH 01° 13' 30" EAST, ON THE CENTERLINE OF CHEVY CHASE DRIVE AS SHOWN ON TRACT NO. 27330, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 695, PAGES 79-80, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 22,227.2 SQ. FT., OR 0.5103 ACRES, MORE OR LESS.

ASSUMED BENCHMARK:

FD SEWER MANHOLE INTER E CHEVY CHASE DR & FULLMOON DR
ELEV. = 100.00 FT.

SURVEYOR'S NOTE:

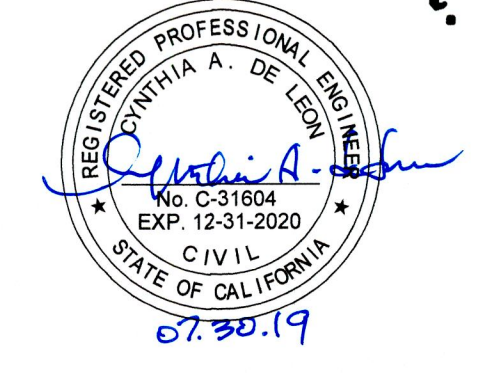
- 1) THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
- 2) SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
- 3) RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.
- 4) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

LEGEND:

- APN - ASSESSOR'S PARCEL NO.
- A.C. - ASPHALT CONCRETE
- BM - BENCHMARK
- BW - BACK OF WALK
- CL - CENTERLINE
- CONC. - CONCRETE
- EST. - ESTABLISH
- FFB - FIELD BOOK
- FFD - FOUND
- FFF - FINISH FLOOR ELEV.
- FTL - FLOWLINE ELEV.
- INT. - INTERSECTION
- LL&T - LEAD & TACK
- M&B - MAP BOOK
- OH - OVERHANG
- PI - POINT OF INTERSECTION
- PL - PROPERTY LINE
- PMS - PUNCH MARKS
- PROD. - PRODUCED (PROLONGED)
- SMH - SEWER MANHOLE
- TC - TOP OF CURB ELEV.
- TR - TRACT MAP
- TW - TOP OF WALL ELEV.

SYMBOLS:

- DR - DRAIN
- GP - GATE POST
- MB - MAIL BOX
- PC - PINE TREE
- PP - POWER POLE
- PPA - POWER POLE ANCHOR
- SC - SEWER CL OUT
- SMH - SEWER MANHOLE
- T - TREE
- WM - WATER METER
- PROPERTY LINE
- CENTERLINE
- RETAINING WALL
- BUILDING LINE
- FENCE LINE



TITLE: TOPOGRAPHIC SURVEY	
3575 E CHEVY CHASE DRIVE, GLENDALE, CA 91206	
CLIENT: MR. HOUSK NEGERICHIAN	JOB NO.: 19-15247
SCALE: 1" = 10'	DATE: 7/26/19
DESIGNED BY: G. MEL	REVISION (S):
DRAWN BY: MC	SHEET 1
CHECKED BY: C.D.L.	OF 1 SHEET

FD L&T ON TC PER CITY OF GLENDALE
BOOK 356 PAGE 69 & CEF 0304-10

EST CL INT BY
FD 4 PMS ON SMH
FITS FD TIES
PER CITY OF GLENDALE
BOOK 356 PAGE 60

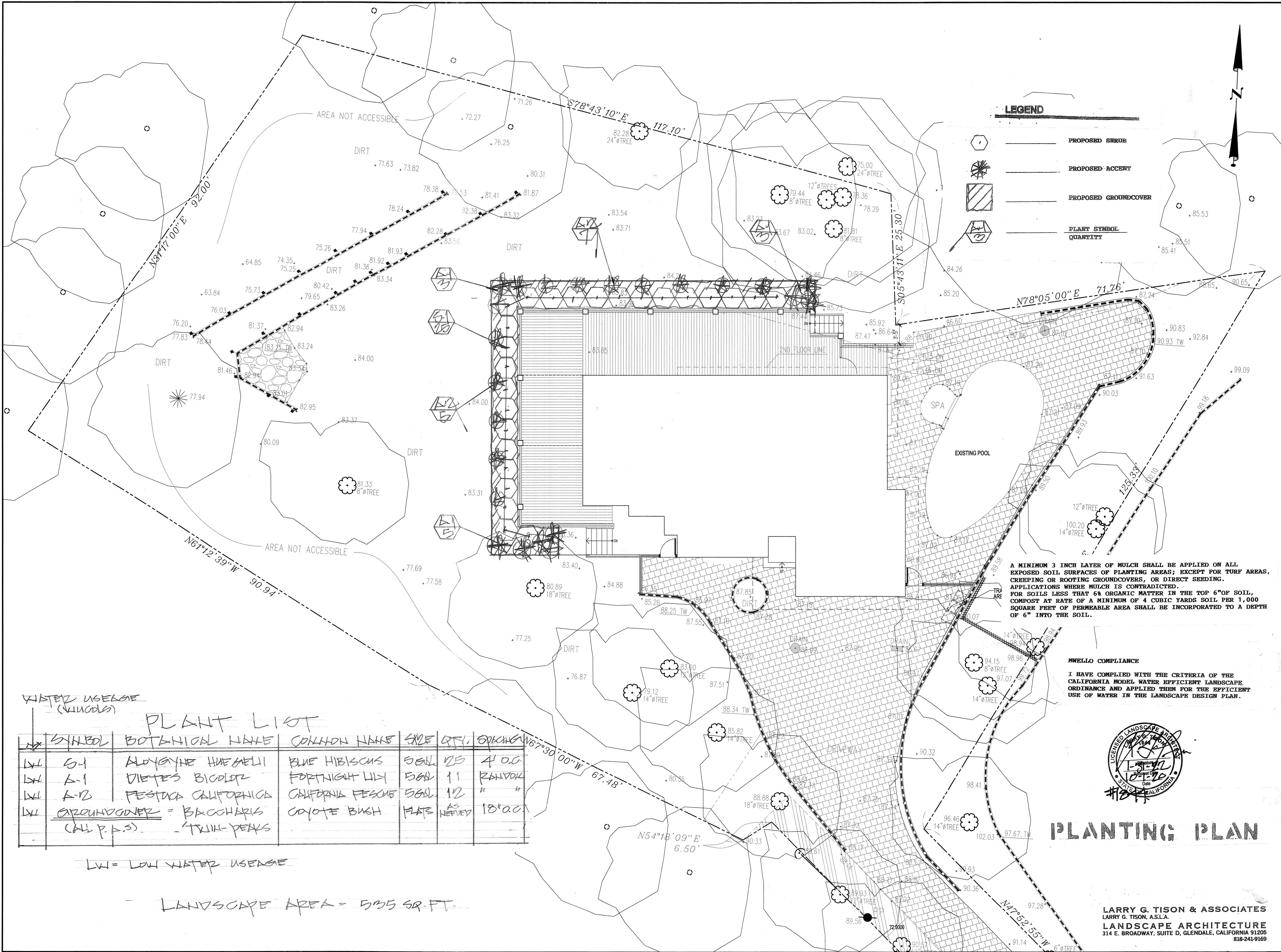
EST CL PRC
BY FD REC. DIST & ANGLE
PER CITY OF GLENDALE
BOOK 356 PAGE 60

FD L&T ON TC
PER CITY OF GLENDALE
BOOK 356 PAGE 60

FD L&T ON TC
PER CITY OF GLENDALE
BOOK 356 PAGE 60

FD L&T ON TC
PER CITY OF GLENDALE
BOOK 356 PAGE 60

FD L&T ON TC
PER CITY OF GLENDALE
BOOK 356 PAGE 60



WATER USAGE
(WUCOLS)

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LW	S-1	ALOYSENE HUEBELLII	BLUE HIBISCUS	5 GAL	25
LW	A-1	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	11
LW	A-12	PESTICA CALIFORNICA	CALIFORNIA FESCUE	5 GAL	12
LW	GROUNDCOVER = BACCHARIS		COYOTE BUSH	FLATS	AS NEEDED
	(ALL P.P.S.)		TRIM-PEAKS		

LW = LOW WATER USAGE

LANDSCAPE AREA = 5935 SQ. FT.

LEGEND

- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUNDCOVER
- PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

WELLCO COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



PLANTING PLAN

LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

ZOHRABIANS
LOS ANGELES

Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd. Suite B
Glendale, California 91208
T +1 818.236.3619
F +1 818.236.2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

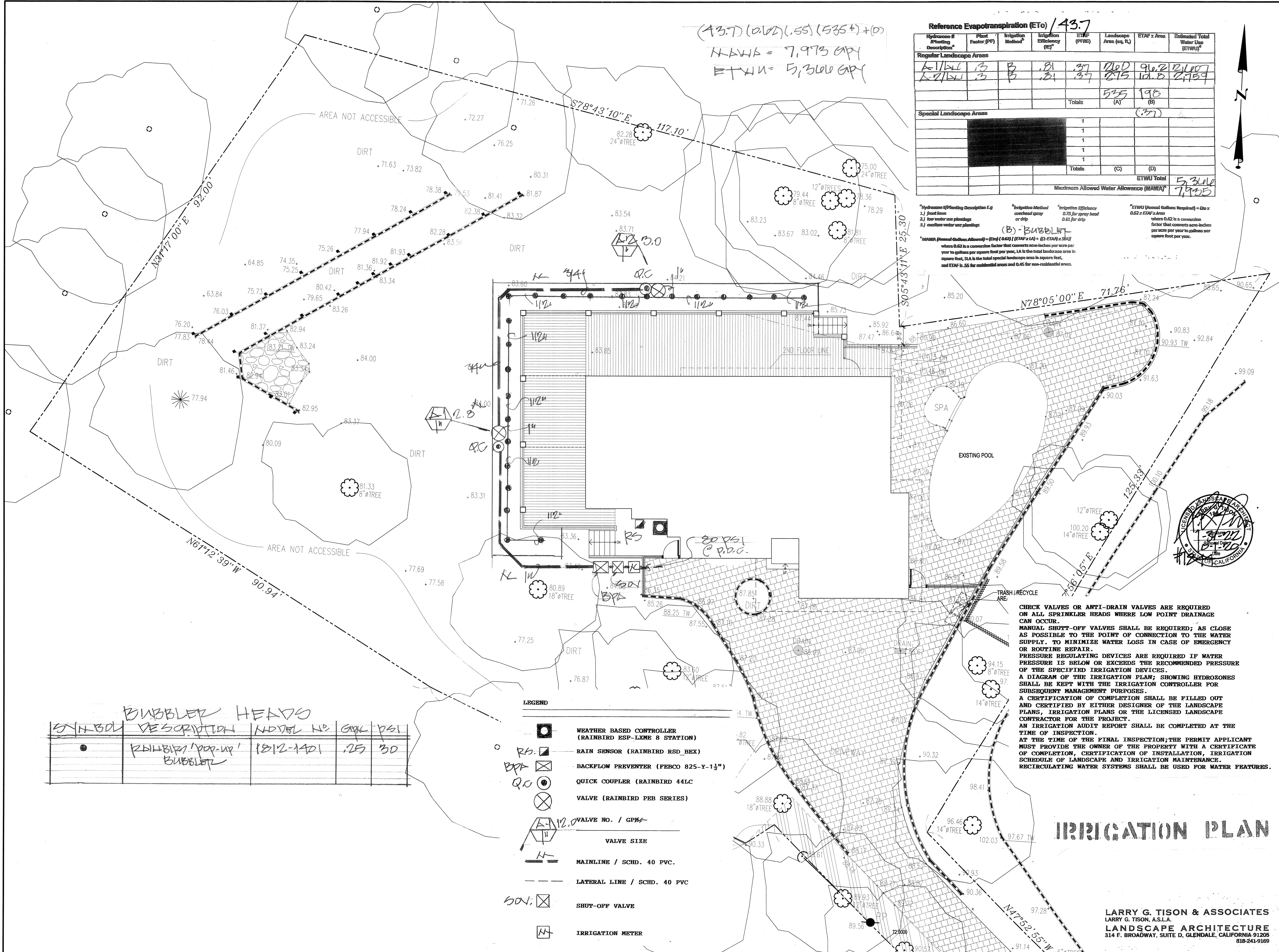
CLIENT:
Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

PROJECT:
**Megerdichian Residence
Addition and Remodel**
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

DATE	09.25.19
SCALE	1/8" = 1'-0"
DRAWN BY	HZ/LAT
JOB NUMBER	050319
SHEET	L-1



(43.7) (0.62) (.55) (535+) + (0)
HAWA = 7,973 GPM
ETWU = 5,300 GPM

Reference Evapotranspiration (ETo) / 43.7							
Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETP (PFIE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1-1/2" 13	3	B	.81	.37	720	96.2	2107
1-2/3" 13	3	B	.81	.37	215	10.8	2159
					535	196	
Totals					(A)	(B)	
Special Landscape Areas							
					1		
					1		
					1		
					1		
					1		
Totals					(C)	(D)	
						ETWU Total	5,300
						Maximum Allowed Water Allowance (HAWA)	7,973

Hydrozone #/Planting Description
1) front lawn
2) low water use plantings
3) medium water use plantings

Irrigation Method
overhead spray or drip

Irrigation Efficiency
0.75 for spray head
0.81 for drip

ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, ETAF is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

(B) - BUBBLER

BUBBLER HEADS				
SYMBOL	DESCRIPTION	MODEL NO.	GPM	PSI
●	RAINBIRD 'POP-UP' BUBBLER	1812-1401	.25	30

- LEGEND
- WEATHER BASED CONTROLLER (RAINBIRD ESP-LXME 8 STATION)
 - RAIN SENSOR (RAINBIRD RSD BEX)
 - BACKFLOW PREVENTER (FEBCO 825-Y-1 1/2")
 - QUICK COUPLER (RAINBIRD 44LC)
 - VALVE (RAINBIRD PEB SERIES)
 - VALVE NO. / GPM
 - VALVE SIZE
 - MAINLINE / SCHD. 40 PVC
 - LATERAL LINE / SCHD. 40 PVC
 - SHUT-OFF VALVE
 - IRRIGATION METER

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.

MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATION OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF INSPECTION.

AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

IRRIGATION PLAN

LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

ZOHRABIANS
LOS ANGELES

Zohrabians Architects and Builders, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818 236 3619
F +1 818 236 2171
zab@zohrabians.com
www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Mr. & Mrs. Megerdichian
3575 Chevy Chase Dr.
Glendale, Ca. 91206

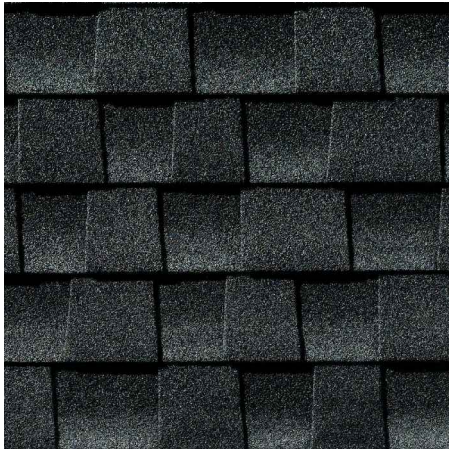
PROJECT:
Megerdichian Residence
Addition and Remodel
3575 Chevy Chase Dr.
Glendale, Ca. 91206

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:	
DATE	09.25.19
SCALE	1/8" = 1'-0"
DRAWN BY	HZ/Lat
JOB NUMBER	050319
SHEET	L-2

ZOHRABIANS ARCHITECTS
3467 OCEAN VIEW BLVD. SUITE B
GLENDALE, CA. 91208
T.818.236.3619

PROJECT ADDRESS: 3575 E. CHEVY CHASE DR. GLENDALE CA 91206



COMPOSITION SHINGLES ROOF COVERING
CHARCOAL



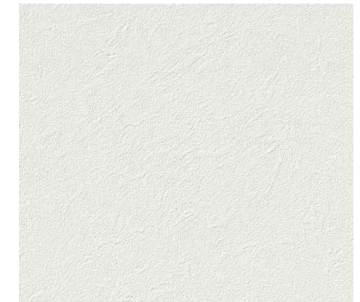
DOUBLE BOX 15 1/2" HIGH CLEAR GLASS
BLACK FRAME WALL LIGHT



WOOD AND METAL TRIMS
WOOD WINDOW SILL, ROOF FASCIA BOARD
METAL GUTTER AND DOWNSPOUTS, CHIMNEY
CAP, RAILING, FENCE WALL RAILING



CAPELLA WHITE BRICK 2"x10"
MATTE FINISH



LAHABRA STUCCO
SMOOTH FINISH - CRYSTAL WHITE
CANOPY BEAMS
(MATCH STUCCO COLOR)



PRE-PAINTED SMOOTH HOLLOW METAL
SECTIONAL GARAGE DOOR
COLOR : Dunn Edwards "Black Tie"



ENTRY PIVOT DOOR
FIBERGLASS SLAB - BLACK



MARVIN DOORS AND WINDOWS
ALL ULTREX - EBONY (BLACK)



View from the South (entrance)



View from East



View from West



View from North



LOCATION MAP
 3575 E CHEVY CHASE DR
 GLENDALE, CA 91206
 APN: 5658-017-038
 500' RADIUS

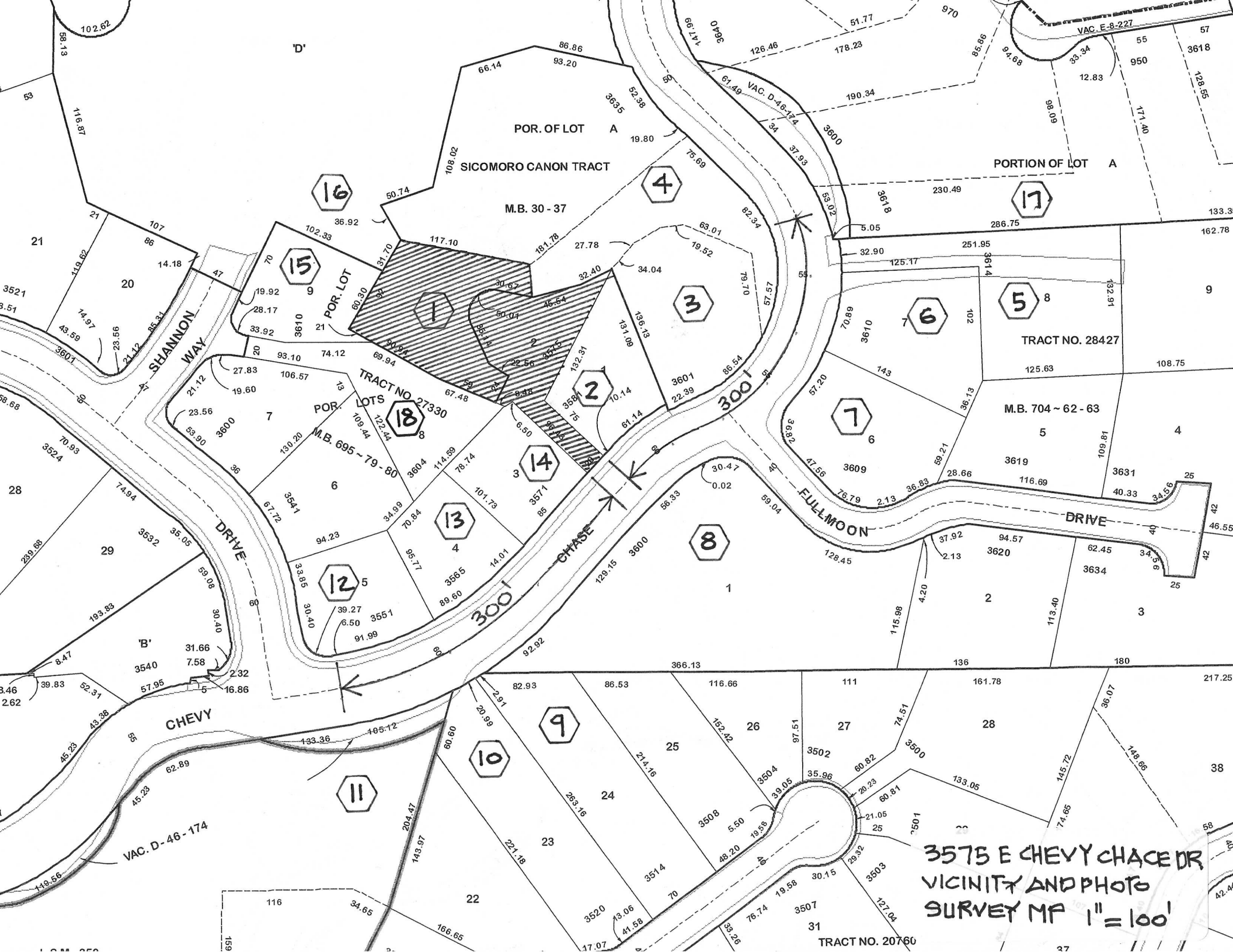
SCALE: 1" = 200'



3575 Chevy Case Dr. Glendale, 91206

Neighborhood Survey List

Address	Address	Stories	Roof Type	Set Back	Lot Area	Floor Area	FAR
1 (Proposed)	3575 E Chevy Chase	2	Comp. Shingles	109	22,230	3,281	0.15
1 (Existing)	3575 E Chevy Chase	2	Comp. Shingles	109	22,230	2,026	0.09
2	3581 E Chevy Chase	2	Comp. Shingles	44	9,080	2,257	0.25
3	3601 E Chevy Chase	2	Comp. Shingles	38	14,810	2,452	0.17
4	3635 E Chevy Chase	2	Clay tiles	110	43,995	1,387	0.03
5	3641 E Chevy Chase	2	Comp. Shingles	114	20,120	2,340	0.12
6	3610 E Chevy Chase	1	Comp. Shingles	45	14,080	2,080	0.15
7	3609 E Chevy chase	1	Comp. Shingles	48	14,340	2,080	0.15
8	3600 E Chevy Chase	1	Comp. Shingles	70	45,738	2,096	0.05
9	3514 Saint Elizabeth	1	Comp. Shingles	20	16,710	1,624	0.1
10	3520 Saint Elizabeth	1	Comp. Shingles	20	18,300	1,624	0.09
11	Vacant Land				97,979		
12	3551 E Chevy Chase	1	Comp. Shingles	40	10,090	1,848	0.18
13	3565 E Chevy Chase	2	Comp. Shingles	42	8,450	2,388	0.28
14	3571 E Chevy Chase	1	Comp. Shingles	40	8,320	1,742	0.21
15	3610 Shannon Way	2	Comp. Shingles	22	8,150	3,060	0.38
16	3641 E Chevy Chase	2	Comp. Shingles	160	121,968	3,231	0.03
17	960 Norham	2	Comp. Shingles	5	22,216	3,415	0.15
18	3604 Shannon Way	2	Clay tiles	110	11,760	2,388	0.2
	Average	1.56	Comp. Shingles	58	24,258 23,195	2,251	0.16



D'

POR. OF LOT A

SICOMORO CANON TRACT

M.B. 30 - 37

16

4

17

15

3

5

18

2

7

12

14

8

9

10

11

3575 E CHEVY CHASE DR
VICINITY AND PHOTO
SURVEY MP 1"=100'

TRACT NO. 20760



1) 3575 E. Chevy Chase Dr. Glendale, CA 91206



2) 3581 E. Chevy Chase Dr. Glendale, CA 91206



3) 3601 E. Chevy Chase Dr. Glendale, CA 91206



4) 3635 E. Chevy Chase Dr. Glendale, CA 91206



5) 3614 E. Chevy Chase Dr. Glendale, CA 91206



6) 3610 E. Chevy Chase Dr. Glendale, CA 91206



7) 3609 Fullmoon Dr. Glendale, CA 91206



8) 3600 Fullmoon Dr. Glendale, CA 91206



9) Vacant Lot



10) 3551 E. Chevy Chase Dr. Glendale, CA 91206



11) 3565 E. Chevy Chase Dr. Glendale, CA 91206



12) 3571 E. Chevy Chase Dr. Glendale, CA 91206



13) 3610 Shannon Way Glendale, CA 91206