



\*NOTE: RENDERING IS ONLY A GRAPHICAL REPRESENTATION OF GENERAL DESIGN INTENT AND FINISH. IMAGE MAY NOT BE A COMPLETE AND FULLY ACCURATE REPRESENTATION OF ALL ARCHITECTURAL DETAIL OR DESCRIPTION INCLUDED IN THESE DRAWINGS.

### EXTERIOR RENDERING SOUTH EAST ALONG BRAND

SCALE:

2  
A0.1



# New Century Honda

1235 S. Brand Boulevard, Glendale, CA 91204

## PLANNING REVIEW

OCTOBER 05, 2021

### PROJECT DATA

**PROJECT DESCRIPTION**  
DEMOLISH AND REMOVE EXISTING VEHICLE SALES SHOWROOM, VEHICLE REPAIR GARAGE, VEHICLE PARTS STORAGE BUILDINGS. CONSTRUCT NEW TWO STORY, 54,000 SQFT, AUTODEALERSHIP WITH "B", "S-1" AND "S-2" OCCUPANCY FOR VEHICLE SALES, VEHICLE REPAIRS, VEHICLE PARTS AND TIRE STORAGE, VEHICLE CIRCULATION RAMP, INTERIOR VEHICLE PARKING AND OFFICE USE. PROJECT SCOPE INCLUDES ROOFTOP PARKING WITH ROOFTOP CANOPY MOUNTED ROOF SOLAR PANELS. PROJECT SCOPE INCLUDES A SEPARATE ONE STORY 1,500 SQFT SERVICE RECEPTION CANOPY OPEN ON THREE SIDES AND EXTERIOR FINISHES ONLY TO AN EXISTING ONE STORY, 3,175 SQFT, S-1 OCCUPANCY, VEHICLE REPAIR WORKSHOP AND CAR WASH. PROJECT SCOPE INCLUDES MODIFIED OUTDOOR VEHICLE DISPLAY, MODIFIED CUSTOMER PARKING LAYOUT, NEW SITE LIGHTING, NEW DRIVEWAYS AND SITE GRADING AND NEW...

**APN**  
5640-012-001, 002, 5640-012-005, 5640-012-033, 5640-012-035, 036.

**PROJECT INFORMATION**  
OWNER: NEW CENTURY GLENDALE AUTOMOBILES, LLC  
1235 SOUTH BRAND BLVD., GLENDALE, CA 91204  
CONTACT: DANIEL LIN  
PROPERTY ADDRESS: 1235 SOUTH BRAND BLVD GLENDALE, CA 91204

**ZONING**  
ZONE: CA - COMMERCIAL  
EXISTING USE: AUTO SALES AND SERVICE  
USE: AUTO SALES AND SERVICE  
LOT AREA: 70,718 SQFT (1.623 ACRES)

**DEVELOPMENT...**  
SETBACKS (30.12.030 TABLE 30.12-B)  
REQ'D STREET FRONT - NONE, PROPOSED = 0'-0"  
REQ'D STREET SIDE - NONE, PROPOSED = 0'-0"  
REQ'D INT NOT ADJACENT TO RES ZONES SETBACK = 10'-0" N/A  
REQ'D INT ADJACENT TO RES ZONES SETBACK = 10'-0" N/A

**HEIGHT RESTRICTIONS** (30.12.030 TABLE 30.12-B)  
REQ'D MAX HEIGHT: 90'-0" BUT LIMITED TO 35'-0" WITHIN 40'-0" OF A RESIDENTIAL ZONE BOUNDARY (INCLUDING CENTER LINE OF ALLEY WHERE APPLICABLE)  
PROPOSED = 40'-0" BUT LIMITED TO 35'-0" WITHIN 40'-0" OF A RESIDENTIAL ZONE BOUNDARY (INCLUDING CENTER LINE OF ALLEY)  
EXCEPTIONS: ENCLOSED OR SCREEN ROOFTOP EQUIPMENT NOT EXCEEDING 5'-0" IN HEIGHT ABOVE THE ROOF OF A BUILDING SHALL NOT BE COMPUTED AS PART OF THE HEIGHT OF THE BUILDING. ELEVATOR SHAFTS AND ROOF OF A BUILDING SHALL NOT BE COMPUTED AS PART OF THE HEIGHT OF THE BUILDING. CANOPY MOUNTED SOLAR PANELS SHALL NOT BE COMPUTED AS PART OF THE HEIGHT OF THE BUILDING

**LOT AREA:** 13,000 SQFT MIN.  
**FAR:** 3.5 MAX. (247,513 SQFT MAX.)  
**BUILDING FOOTPRINT:** 31,675 SQFT  
**FLOOR AREA:** SEE CALCULATIONS BELOW  
**PARKING:** SEE CALCULATIONS BELOW  
**LANDSCAPING:** 1300 SQFT  
**FIRE SPRINKLERS:** YES

**BUILDING FLOOR AREA CALCULATIONS**

	SOFT	SOFT
TOTAL EXISTING BUILDINGS:		17,293
DEMO EXISTING BUILDINGS:		
VEHICLE SALES SHOWROOM	2,524	
VEHICLE REPAIR WORKSHOP #2	2,246	
VEHICLE REPAIR WORKSHOP #3	4,448	
VEHICLE PARTS STORAGE	4,900	
TOTAL DEMO:		(14,118)
EXISTING BUILDINGS TO REMAIN:		
VEHICLE REPAIR WORKSHOP #1	3,175	
TOTAL EXISTING BUILDINGS TO REMAIN:	3,175	3,175
PROPOSED:		
1ST FLOOR DEALERSHIP	27,000	
2ND FLOOR DEALERSHIP	27,000	
ROOF DEALERSHIP (NOT COUNTED TOWARDS FLOOR...)	-	
TOTAL NEW DEALERSHIP FLOOR AREA		54,000
PROPOSED NEW SERVICE RECEPTION CANOPY	1,500	
TOTAL PROPOSED BUILDING FLOOR AREA	58,675	
TOTAL PROPOSED NET BUILDING AREA		

**AREA BREAKDOWN FOR PARKING CALCULATIONS**

FLOOR:	FIRST	SECOND	ROOF	TOTAL
VEHICLE SALES/REPAIR/PARTS	25,700	8,511	0	37,386
VEHICLE REPAIRS (WORKSHOP #1)	3,175	0	0	3,175
OFFICE	0	2,981	0	2,981
INTERIOR PARKING	1,300	15,508	0	16,808
ROOFTOP PARKING	0	0	27,000	27,000
SERVICE CANOPY	1,500	0	0	1,500
TOTAL PARKING FLOOR AREA (GROSS)	31,675	27,000	27,000	85,675

**REQUIRED PARKING**

VEHICLE SALES & REPAIR: PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	37,386 / 250	150
OFFICE AREAS: CONSIDERED PART OF DEALERSHIP. PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	2,981 / 250	12
INTERIOR PARKING: CONSIDERED PART OF DEALERSHIP. PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000...	16,808 / 250	67
ROOFTOP PARKING: PER GMC 30.70.070, ROOFTOP PARKING SPACES NOT INCLUDED IN FLOOR AREA.	27,000 / 0	0
SERVICE RECEPTION CANOPY: PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	1,500 / 250	6
REQUIRED OFF-STREET PARKING STALLS		235
LESS PARKING VARIANCE PERMIT		145
TOTAL REQUIRED OFF-STREET PARKING STALLS		90
PROVIDED PARKING		
ACCESSIBLE SPACES: PER 2019 CBC TABLE 11B-208.2, (4 SPACES REQUIRED) PER 11B-208.2.4, 1/6 SPACE TO VAN ACCESSIBLE: (1) VAN ACCESSIBLE, (3) STANDARD		4
STANDARD STALLS: SIZE PER GMC 30.32.18C CHART III: 8'-6" X 18'-0" MIN. @ 90 DEG. WITH 24'-0" BACKUP AISLE.		86
COMPACT STALLS:		0
TANDAM STALLS:		0
TOTAL PROVIDED OFF-STREET PARKING STALLS		90
29 STALLS LOCATED ON SITE		
0 STALLS LOCATED ON 2ND FLOOR		
61 STALLS LOCATED ON ROOFTOP		

### SHEET INDEX

SHEET NO.	SHEET NAME
A0.1	COVER SHEET
<b>INFORMATIONAL</b>	
A0.1	COVER SHEET
<b>CIVIL</b>	
C1	ALTA SURVEY
C2 (EXH02)	GRADING PLAN EXHIBIT
C3 (EXH04)	CUT AND FILL EXHIBIT
<b>LANDSCAPE</b>	
L1	LANDSCAPE DEVELOPMENT PLAN
<b>ARCHITECTURAL</b>	
A1.0	SITE DEMO PLAN
A1.1	SITE PLAN
A2.1	1ST FLOOR PLAN
A2.2	2ND FLOOR PLAN
A2.3	SERVICE RECEPTION CANOPY
A3.1	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A6.0	AXONOMETRIC EXHIBITS
A7.0	PERSPECTIVE VIEWS
<b>ELECTRICAL</b>	
E1	SITE PHOTOMETRIC

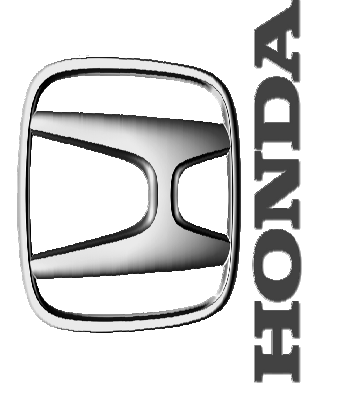


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New Century Honda  
1235 S. BRAND BLVD, GLENDALE, CA 91204



SHEET TITLE:

COVER SHEET

PROGRESS 10-05-2021

REVISION / DESCRIPTION:

PROJECT NO:  
SHEET NO:

A0.1

### SIGNAGE NOTES

ALL SIGNS, INCLUDING BUT NOT LIMITED TO ACCESSORY GROUND SIGNS, WALLS SIGNS, DIRECTIONAL, INFORMATIONAL, IDENTIFICATION SIGNS, ETC., ARE FOR REFERENCE ONLY, AND ARE NOT PART OF THE PARKING REDUCTION PERMIT REQUEST. ALL PROPOSED SIGNS SHALL COMPLY WITH THE SIGN ORDINANCE, AND WILL BE REVIEWED AT THE TIME A SIGN PERMIT AND PLANS ARE SUBMITTED FOR PLAN CHECK.

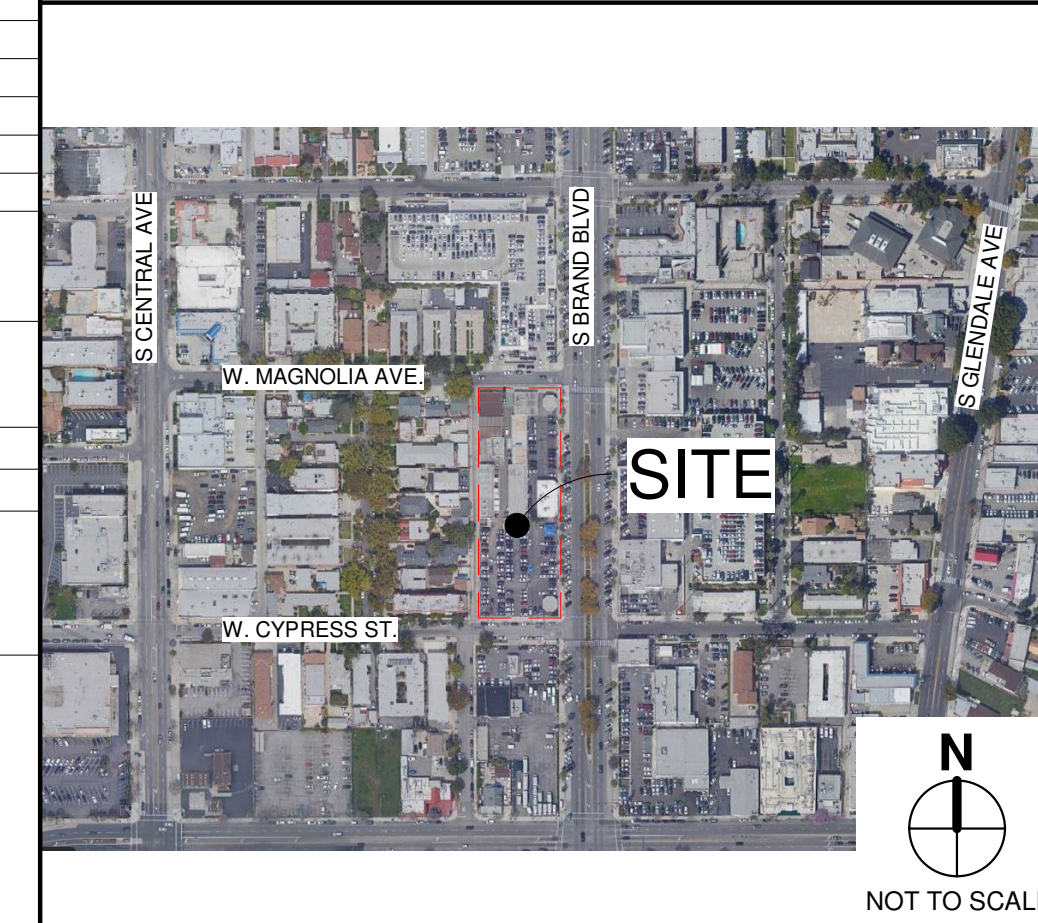
### LANDSCAPE AREAS

SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION  
SITE AREA DESIGNATED FOR CUSTOMER PARKING = 12,600 SQFT  
SITE AREA FOR VEHICLE DISPLAY/INVENTORY = 16,300 SQFT

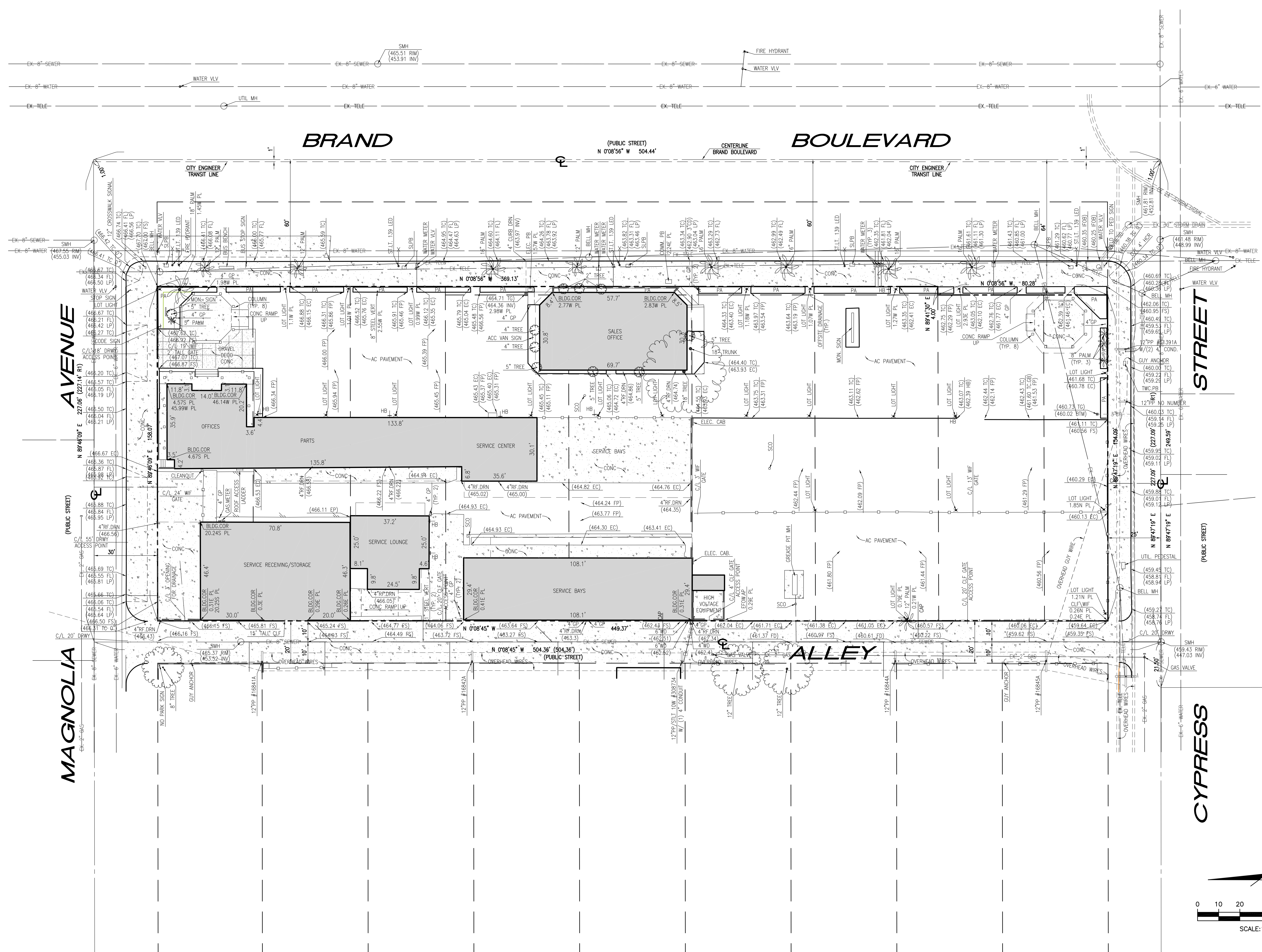
### PROJECT TEAM

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### VICINITY MAP

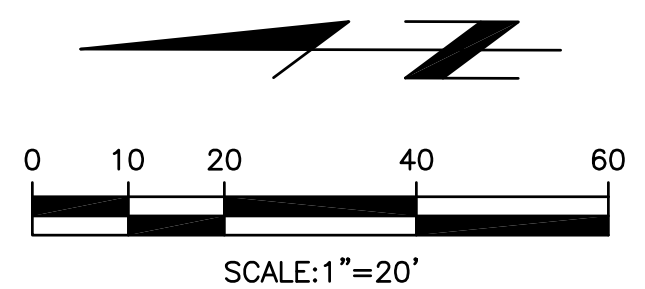






**LEGEND:**

- |     |                    |   |                  |
|-----|--------------------|---|------------------|
| ABN | ABANDONED          | AW  | NORTHWEST CORNER |
| ACC | ACCEPTED           | AW/L  | NORTHWESTLY      |
| AC  | ADHESIVE CONCRETE  | AW/R  | NORTHWESTLY      |
| AD  | ANGLE IRON         | AW/S  | NORTHWESTLY      |
| AE  | AIR RELEASE VALVE  | AW/W  | NORTHWESTLY      |
| AF  | ARRESTOR           | AW/WS   | NORTHWESTLY      |
| AG  | BEARING OF CURVE   | AW/WS/L   | NORTHWESTLY      |
| AH  | BENT               | AW/WS/S   | NORTHWESTLY      |
| AI  | BLOCK              | AW/WS/W   | NORTHWESTLY      |
| AJ  | BLOCK              | AW/WS/S/W   | NORTHWESTLY      |
| AK  | BRIDGE OF BEARINGS | AW/WS/W/L   | NORTHWESTLY      |
| AL  | BRASS              | AW/WS/W/S   | NORTHWESTLY      |
| AM  | BROKEN             | AW/WS/W/S/L   | NORTHWESTLY      |
| AN  | BOTTOM OF RAMP     | AW/WS/W/S/W   | NORTHWESTLY      |
| AO  | BOTTOM STEP        | AW/WS/W/S/W/L   | NORTHWESTLY      |
| AP  | BOTTOM OF CURVE    | AW/WS/W/S/W/S   | NORTHWESTLY      |
| AQ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/L   | NORTHWESTLY      |
| AR  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W   | NORTHWESTLY      |
| AS  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/L   | NORTHWESTLY      |
| AT  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S   | NORTHWESTLY      |
| AU  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/L   | NORTHWESTLY      |
| AV  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W   | NORTHWESTLY      |
| AW  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/L   | NORTHWESTLY      |
| AX  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S   | NORTHWESTLY      |
| AY  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/L   | NORTHWESTLY      |
| AZ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W   | NORTHWESTLY      |
| BA  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/L   | NORTHWESTLY      |
| BB  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S   | NORTHWESTLY      |
| BC  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/L   | NORTHWESTLY      |
| BD  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W   | NORTHWESTLY      |
| BE  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/L   | NORTHWESTLY      |
| BF  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S   | NORTHWESTLY      |
| BG  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/L   | NORTHWESTLY      |
| BH  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W   | NORTHWESTLY      |
| BI  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/L   | NORTHWESTLY      |
| BJ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S   | NORTHWESTLY      |
| BK  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L   | NORTHWESTLY      |
| BL  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W   | NORTHWESTLY      |
| BM  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L                                       | NORTHWESTLY      |
| BN  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S                                       | NORTHWESTLY      |
| BO  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L                                     | NORTHWESTLY      |
| BP  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W                                     | NORTHWESTLY      |
| BQ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L                                   | NORTHWESTLY      |
| BR  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S                                   | NORTHWESTLY      |
| BS  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L                                 | NORTHWESTLY      |
| BT  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W                                 | NORTHWESTLY      |
| BU  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L                               | NORTHWESTLY      |
| BV  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S                               | NORTHWESTLY      |
| BW  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L                             | NORTHWESTLY      |
| BX  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W                             | NORTHWESTLY      |
| BY  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L                           | NORTHWESTLY      |
| BZ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S                           | NORTHWESTLY      |
| CA  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L                         | NORTHWESTLY      |
| CB  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W                         | NORTHWESTLY      |
| CC  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L                       | NORTHWESTLY      |
| CD  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S                       | NORTHWESTLY      |
| CE  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L                     | NORTHWESTLY      |
| CF  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W                     | NORTHWESTLY      |
| CG  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L                   | NORTHWESTLY      |
| CH  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S                   | NORTHWESTLY      |
| CI  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L                 | NORTHWESTLY      |
| CJ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W                 | NORTHWESTLY      |
| CK  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L               | NORTHWESTLY      |
| CL  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S               | NORTHWESTLY      |
| CM  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L             | NORTHWESTLY      |
| CN  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W             | NORTHWESTLY      |
| CO  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L           | NORTHWESTLY      |
| CP  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S           | NORTHWESTLY      |
| CQ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L         | NORTHWESTLY      |
| CR  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W         | NORTHWESTLY      |
| CS  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L       | NORTHWESTLY      |
| CT  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S       | NORTHWESTLY      |
| CU  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L     | NORTHWESTLY      |
| CV  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W     | NORTHWESTLY      |
| CW  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/L   | NORTHWESTLY      |
| CX  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S   | NORTHWESTLY      |
| CY  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/L | NORTHWESTLY      |
| CZ  | BOTTOM OF CURVE    | AW/WS/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W/S/W | NORTHWESTLY      |



**DIAL ALERT**  
 DIAL TOLL FREE  
 1-800-422-4133  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG

**UNDERGROUND SERVICE ALERT(SA) OF SOUTHERN CALIFORNIA**  
 Underground  
 Services Alert  
 Call TOLL FREE  
 1-800  
 227-2600  
 TWO WORKING DAYS BEFORE YOU DIG

NO.	REVISIONS	DATE	BENCHMARK:	BASIS OF BEARINGS:	PREPARED FOR:	PREPARED BY:	ALTA/NSPS LAND TITLE SURVEY
1			<b>CITY OF GLENDALE BENCHMARK NO. 2651</b> FOUND BRASS DISK IN NORTH CURB OF MAGNOLIA AVENUE, AT EOR OF THE NORTHWESTERLY CORNER OF BRAND BLVD., STAMPED 'CITY OF GLENDALE CA ELEVATION = 467.424' (NGVD '29)	THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM (CCS83), ZONE 5, NORTH AMERICAN DATUM 1983 (NAD83) BASED LOCALLY ON CONTINUOUSLY OPERATING REFERENCE STATIONS (CORE) "TMSH" AND "YDCY" AS SHOWN HEREON (BASIS OF BEARINGS: N 0°11'46.5022" E). ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS AND REPRESENTED HEREON BY THE CENTERLINE OF BRAND BOULEVARD BEING NORTH 0°08'56" WEST.	NEW CENTURY HONDA 138 S. GLENDALE AVENUE GLENDALE, CA 91205	<b>Thien Engineering, Inc.</b> CIVIL ENGINEERING - LAND SURVEYING 14349 FIRESTONE BOULEVARD LA MIRADA, CALIFORNIA 90638 PH:(714)821-4811 FAX:(714)821-4173	<b>1235 S. BRAND BOULEVARD</b> GLENDALE CALIFORNIA DRAWN BY: FBC CHECKED BY: DHH SCALE: 1" = 30' DATE: OCTOBER, 2017 J.N. 3596 SHEET 2 OF 2

Last Update: 10/9/17  
 G:\3500-3599\3596\3596A1A2.dwg

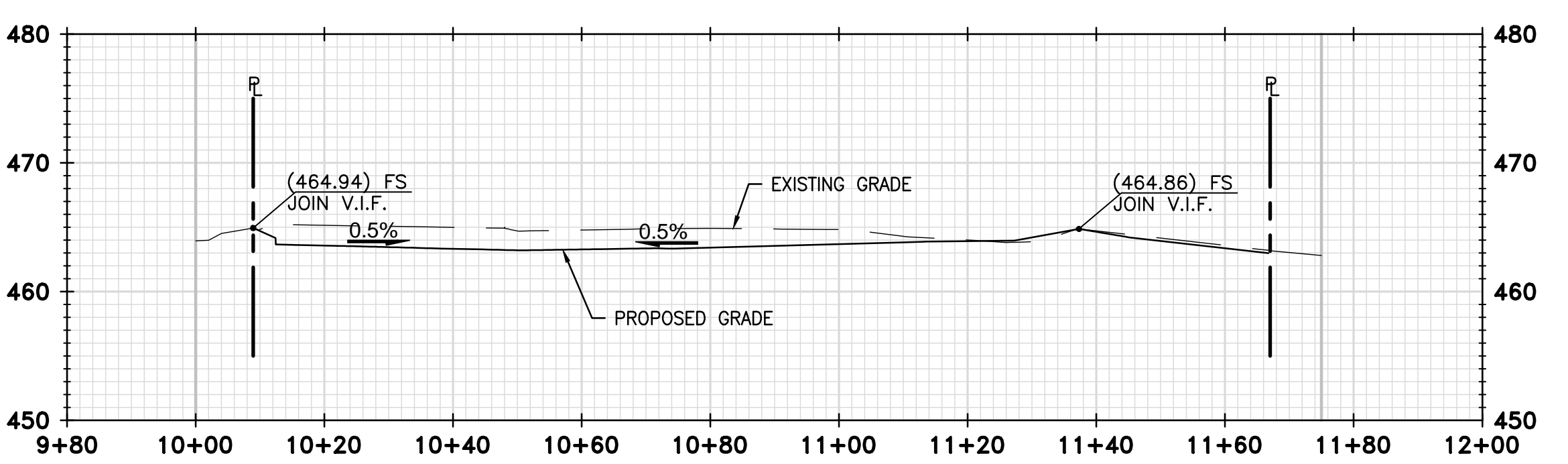
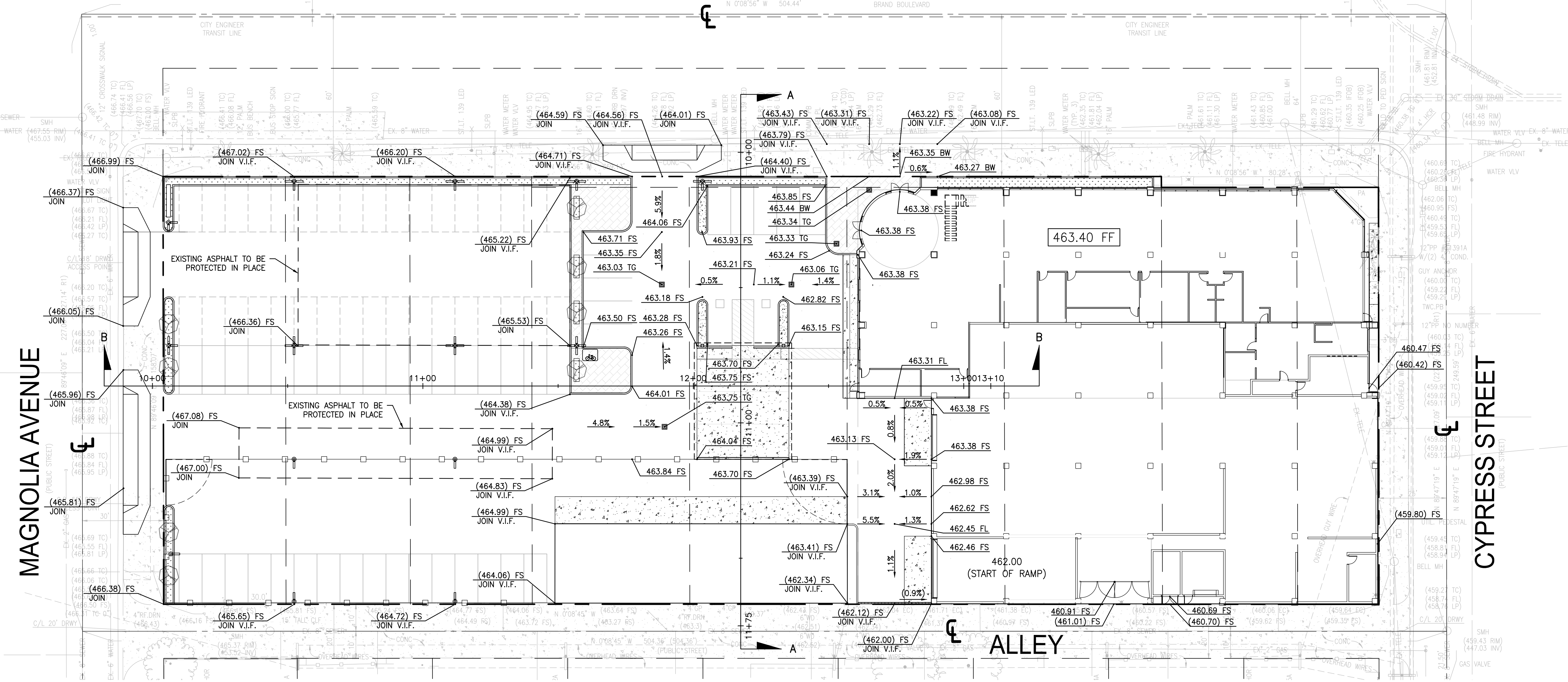


**BRAND BOULEVARD**

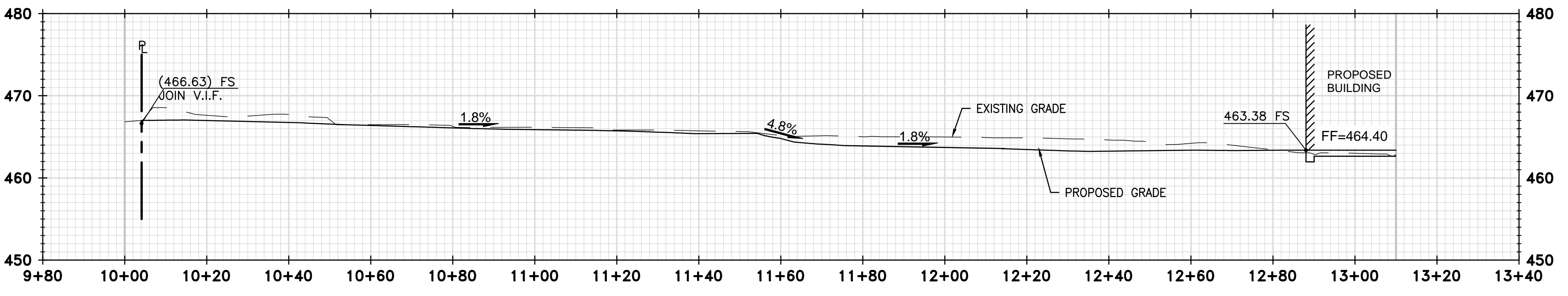
(PUBLIC STREET)  
N 97°08'56" W 504.44'  
CENTERLINE  
BRAND BOULEVARD

**LEGEND**

- LIMIT OF WORK
- - - PROPERTY LINE
- GB — GRADE BREAK
- R — RIDGE LINE



**A-A**  
HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'



**B-B**  
HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=10'

STAMP

REVISIONS	
DATE	ISSUED FOR
XXXXXX	DESCRIPTION

DATE	XX.XX.XX
PROJECT NUMBER	1800811
DESIGNED BY	KY
DRAWN BY	CP
CHECKED BY	KY
SCALE	AS SPECIFIED

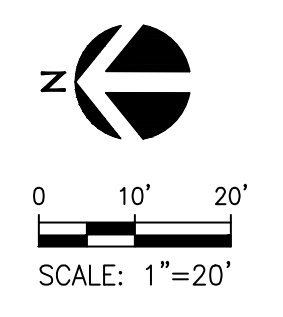
KEY MAP

PROJECT DESCRIPTION  
**1235 S. BRAND BOULEVARD**

1235 S. BRAND BOULEVARD  
GLENDALE, CA 91204

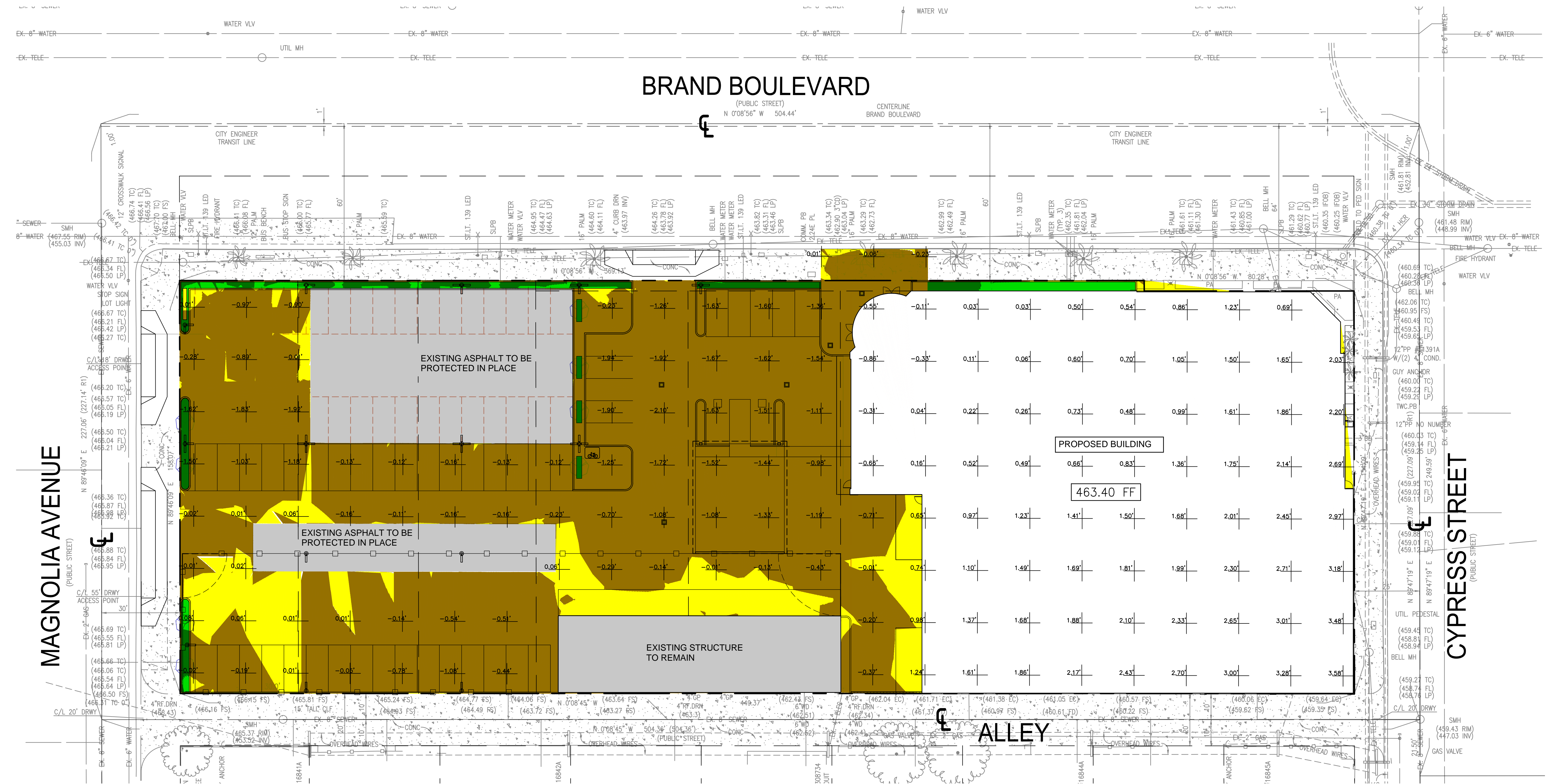
DRAWING TITLE  
**GRADING PLAN EXHIBIT**

SHEET NUMBER (EXHIBIT NUMBER)



**EXH02**



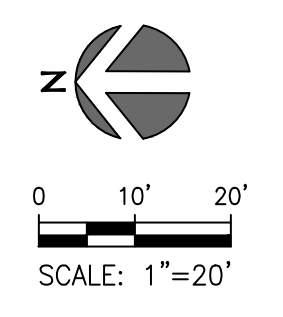


ESTIMATED EARTHWORK QUANTITIES	
CUT:	1,065 CUBIC YARDS
FILL:	1,740 CUBIC YARDS
NET (FILL):	675 CUBIC YARDS

**NOTES:**

1. THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
2. ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
3. THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
4. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
5. ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.

LEGEND	
	CUT
	FILL
	NATURAL
	BUILDING PAD
	EXISTING TO REMAIN



STAMP

REVISIONS	
DATE	ISSUED FOR
XXXXXX	DESCRIPTION

DATE	XX.XX.XX
PROJECT NUMBER	1800811
DESIGNED BY	KY
DRAWN BY	CP
CHECKED BY	KY
SCALE	AS SPECIFIED
KEY MAP	

PROJECT DESCRIPTION  
**1235 S. BRAND BOULEVARD**

1235 S. BRAND BOULEVARD  
GLENDALE, CA 91204

DRAWING TITLE  
**CUT/FILL EXHIBIT**

SHEET NUMBER (EXHIBIT NUMBER)

**EXH04**



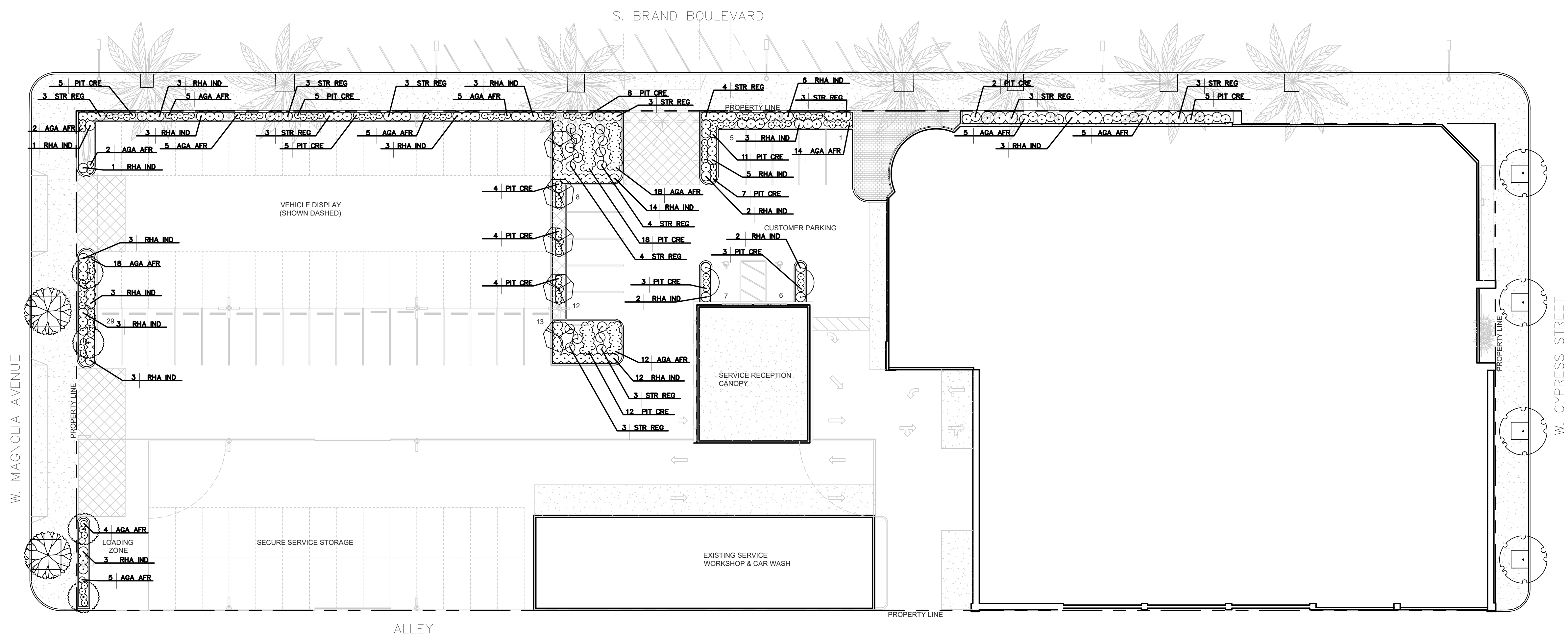


SHEET TITLE:  
**LANDSCAPE DEVELOPMENT PLAN**

PLANNING SUBMIT 12-21-2020  
 REVISION / DESCRIPTION:

PROJECT NO.:

SHEET NO.:

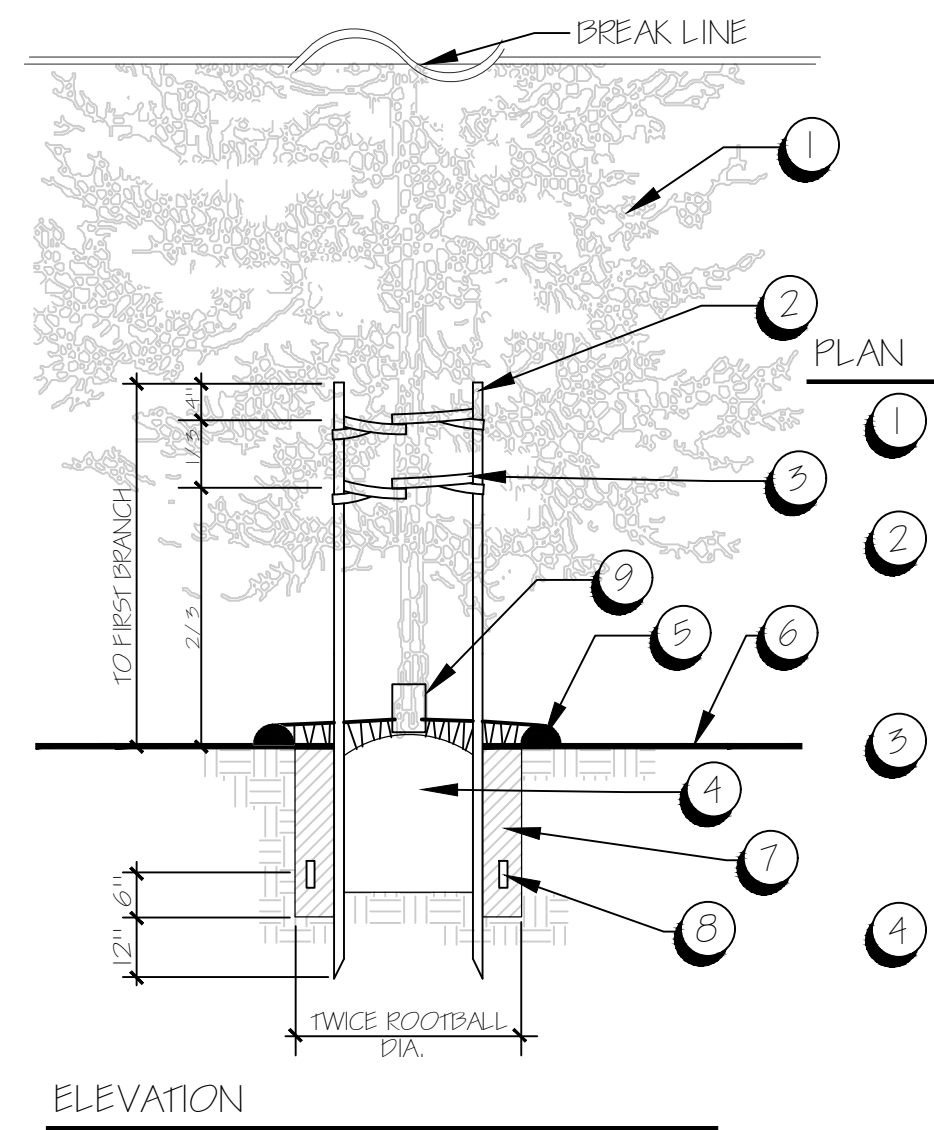


**PLANT LEGEND – PROPOSED**

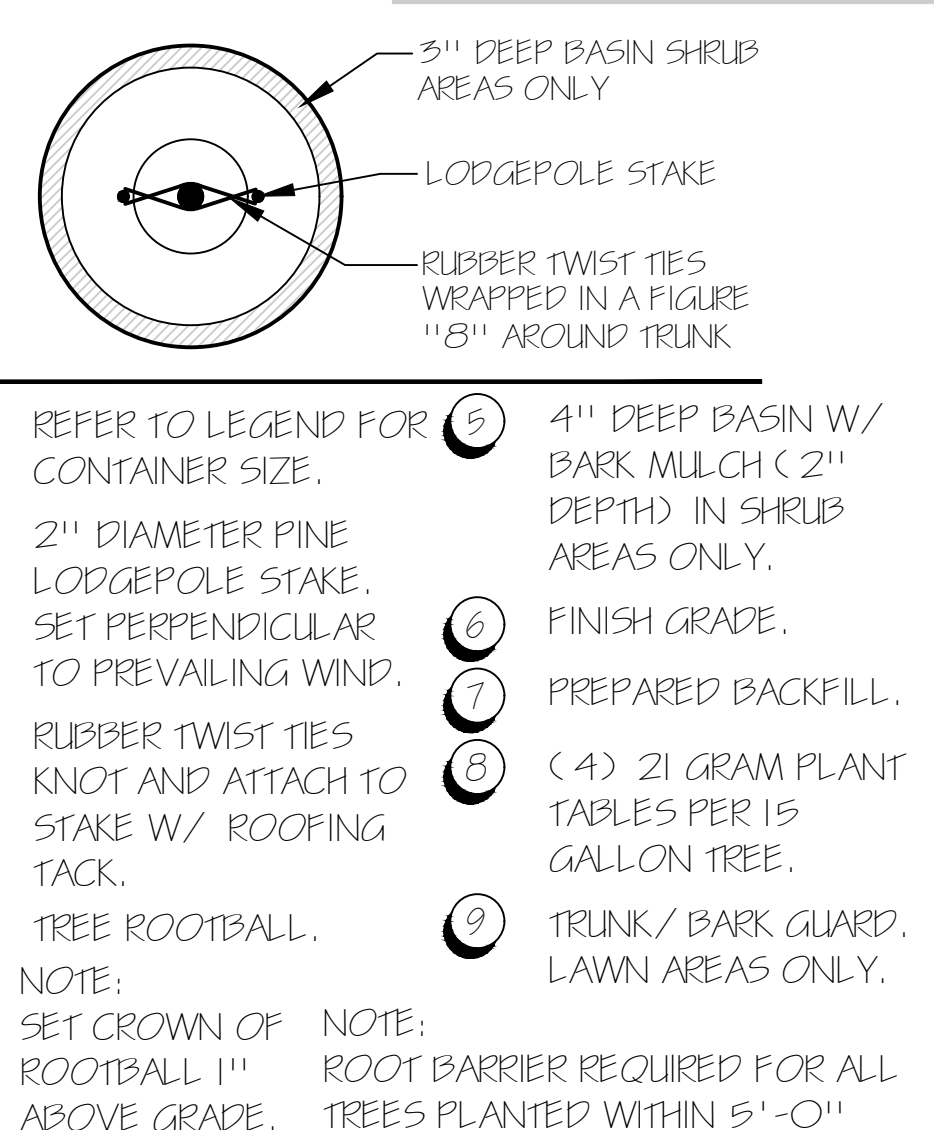
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT x SPREAD	QUANTITY
<b>EXISTING TREES TO REMAIN</b>					
	EXISTING WASHINGTONIA ROBUSTA (MEXICAN FAN PALM)	TREES TO REMAIN			7
<b>PROPOSED TREES</b>					
	Magnolia g. 'Little Gem'	Little Gem Magnolia	24" Box	25' x 15'	9
	Eucalyptus torquata	Coral Gum Eucalyptus	24" Box	35' x 25'	4
	Quercus fusiformis	Escarpment Live Oak	24" Box	40' x 30'	2
<b>PROPOSED SHRUBS</b>					
	Agapanthus africanus	Lily-of-the-Nile	5 Gal	36" x 24"	110
	Pittosporum t. 'Cream-de-mint'	Cream-de-Mint Pittosporum	5 Gal	24" x 24"	100
	Rhamnus alaternus	Indian Hawthorn 'Ballerina'	5 Gal	36" x 36"	82
	Strelitzia reginae	Dwarf Bird-of-paradise	5 Gal	36" x 36"	42

**LANDSCAPE NOTES**

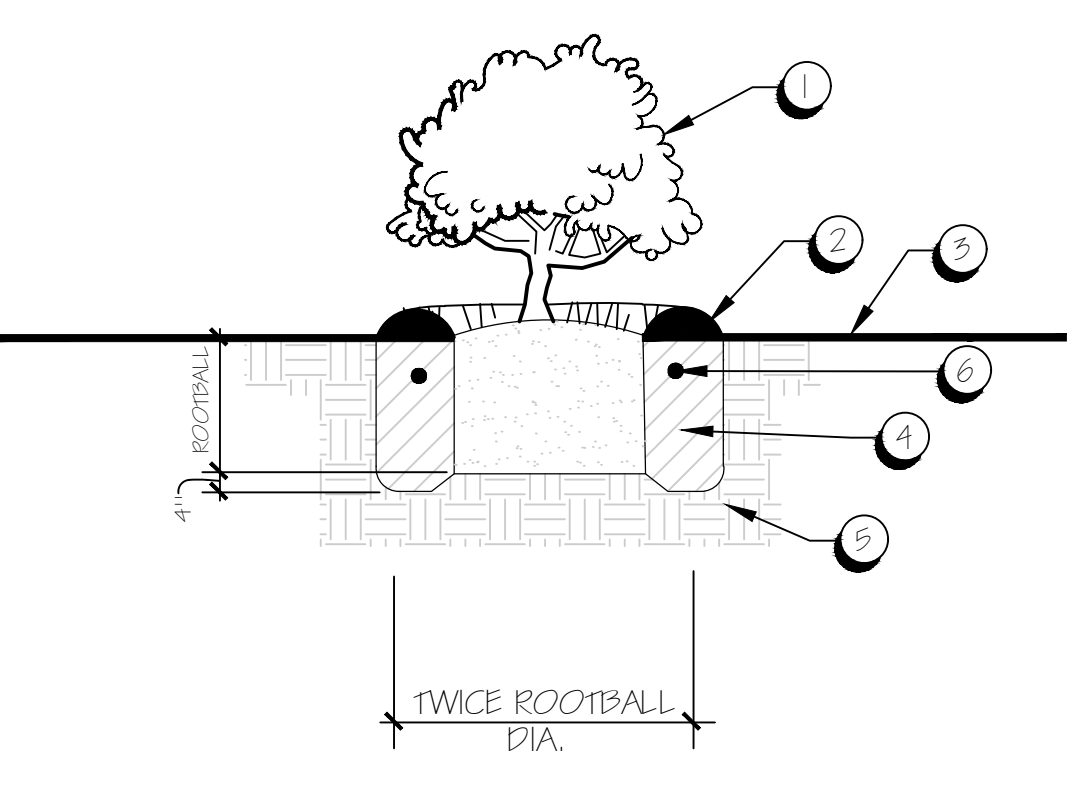
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
  - MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION
  - IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE TYPE OF IRRIGATION SYSTEM PROPOSED FOR THE PROPOSED STREET TREE ARE DEEP-ROOT TREE BUBBLERS AND OVERHEAD SHRUB SPRAYS.
  - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."
  - MINIMUM TREE SEPARATION DISTANCE:
    - TRAFFIC SIGNALS / STOP SIGNS – 20 FEET
    - UNDERGROUND UTILITY LINES – 5 FEET (10' FOR SEWER)
    - ABOVE GROUND UTILITY STRUCTURES – 10 FEET
    - DRIVEWAY (ENTRIES) – 10 FEET
    - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS – 25 FEET
1. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET.



**A TREE STAKING**  
 N.T.S.

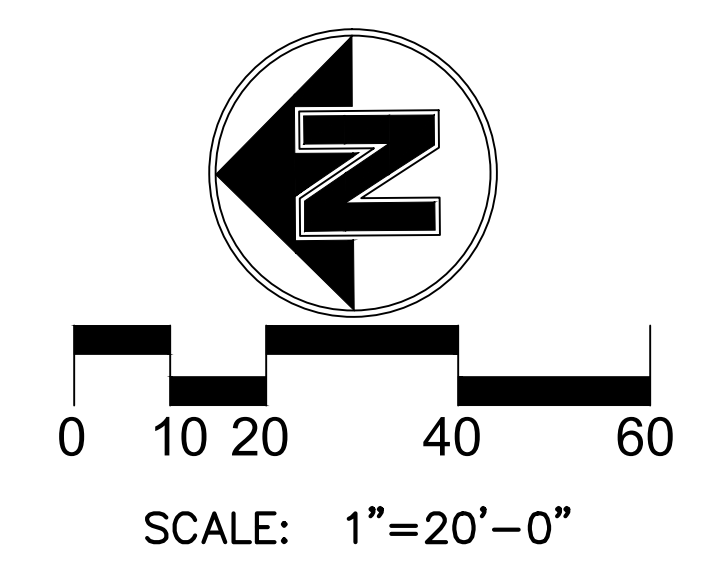


**B SHRUB PLANTING**  
 N.T.S.

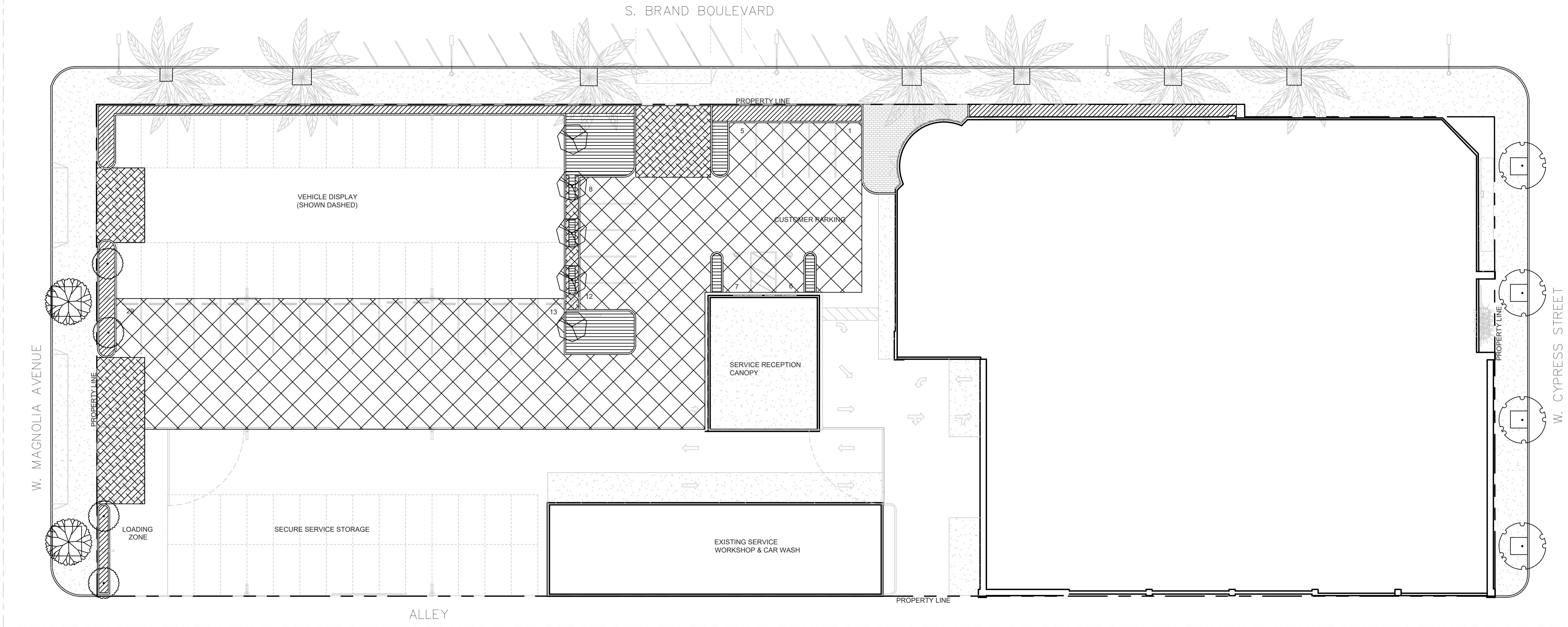


- SET CROWN 1" ABOVE FINISH GRADE.
- 2" DEEP BASIN WITH BARK MULCH (2" DEPTH) OR EQUAL.
- FINISH GRADE.
- AMENDED BACKFILL.
- SET ROOTBALL ON UNDISTURBED SOIL.
- 21 GRAM PLANT TABLETS.

NOTE:  
 1. SCARIFY SIDES OF PLANTING PIT.  
 2. ON SLOPES, PROVIDE SAUCER RIM ON DOWNHILL SIDES.

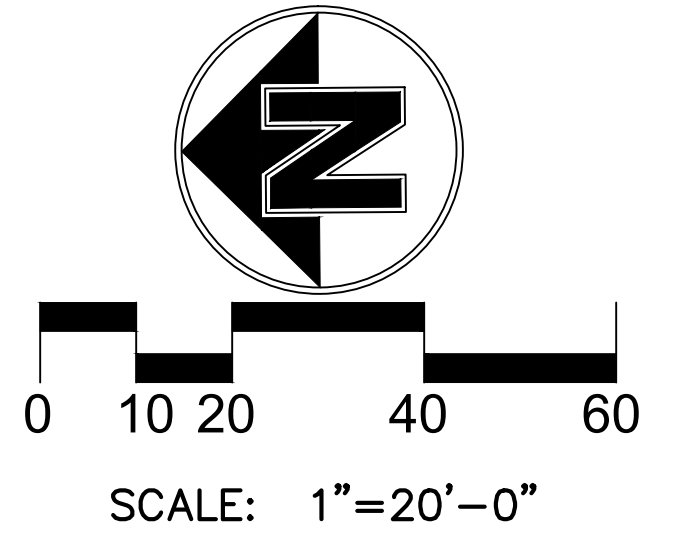






**MATERIAL LEGEND – PROPOSED**

SYMBOL	MATERIAL ITEM	TOTAL AREA
	TOTAL NON-DISPLAY/NON-STORAGE PARKING	11,475s.f.
	TOTAL DECORATIVE PAVING	1,765s.f.
	TOTAL PERIMETER LANDSCAPING	1,360s.f.
	TOTAL INTERIOR LANDSCAPING REQUIRED: 5% of interior parking 11,475 x .05=574sf 40% of interior landscaping to come from decorative paving: 574 x .40=230s.f.	940s.f.
	INTERIOR LANDSCAPING TREES	5
	PERIMETER LANDSCAPING TREES	4
	LANDSCAPING TREES, MAGNOLIA AVENUE (9.5'x9.5' tree wells)	2
	LANDSCAPING TREES, CYPRESS STREET (5.5'x5.5' tree wells)	4



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 6965 El Camino Real, Suite 105-482  
 San Diego, California 92009  
 t. (760) 272-5742 f. (760) 454-3097  
 gchapman@csdesigngroup.com

**New Century Honda**  
 1235 S. BRAND BLVD, GLENDALE, CA 91204



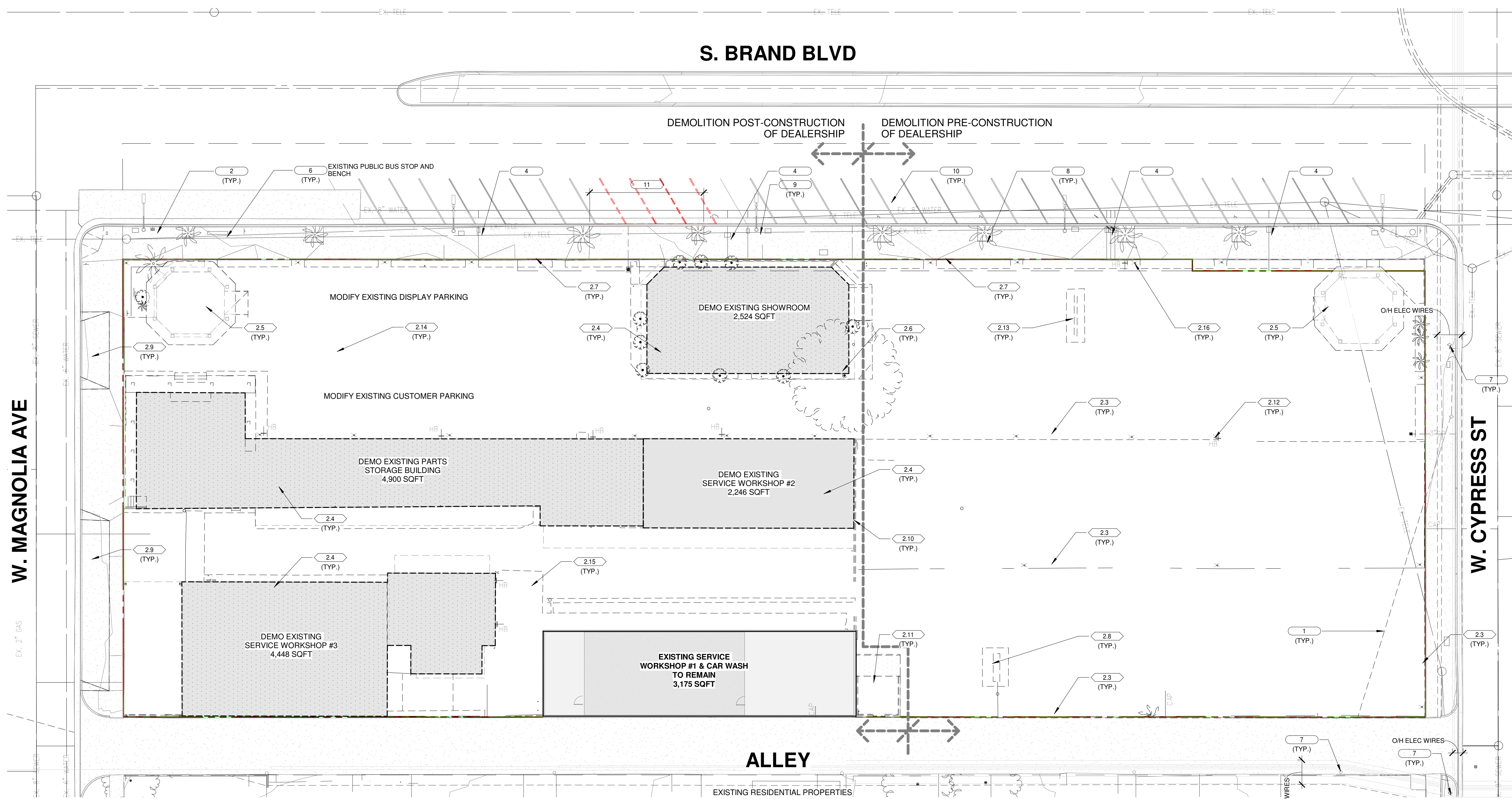
SHEET TITLE:  
**LANDSCAPE DEVELOPMENT PLAN**

PLANNING SUBMIT 12-21-2020  
 REVISION / DESCRIPTION:

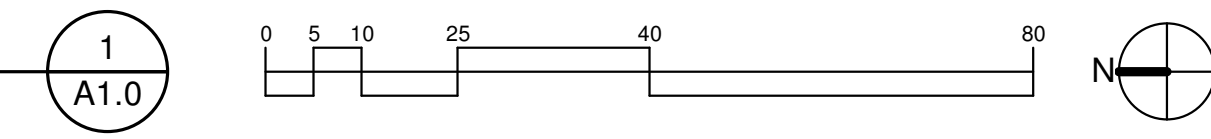
PROJECT NO:  
 SHEET NO:

L-2





**SITE EXISTING/DEMOLITION PLAN**  
SCALE: 1" = 20'-0"



**GENERAL SITE DEMO PLAN NOTES**

- A. DEMO NOTES ARE GENERAL - CONTRACTOR TO REVIEW WITH OWNER FOR FINAL DEMOLITION EVALUATION. ADDITIONAL DEMOLITION MAY BE REQUIRED TO FINALIZE WORK. CONTACT ARCHITECT TO REVIEW PRIOR TO START. RE: MPE, CIVIL AND STRUCTURAL FOR COORDINATION.
- B. NEITHER OWNER OR DESIGN TEAM HAVE HAD TESTING FOR HAZARDOUS MATERIALS ON SITE OR WITHIN STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM SUCH TESTING AND TO PERFORM ALL DEMOLITION ACTIVITIES IN ACCORDANCE WITH LOCAL REQUIREMENTS, ESPECIALLY WHEN HAZARDOUS MATERIALS ARE KNOWN TO EXIST.
- C. REMOVE ADDITIONAL AREAS AS REQUIRED BY ARCHITECTURAL, STRUCTURAL AND MPE CONSTRUCTION DRAWINGS TO COORDINATE EXISTING AND NEW COMPLETE, CLEAN AND COORDINATED FINISH MATERIAL.
- D. PATCH AND REPAIR DAMAGED SURFACES TO NEW CONDITION WHERE AREAS OUTSIDE SCOPE HAVE BEEN DISTURBED.
- E. LOCATE AND CAP ALL EXISTING UTILITIES ON SITE AND MARK LOCATIONS. NOTIFY ARCHITECT AND CIVIL ENGINEER REGARDING ANY UTILITIES NOT SHOWN - REMOVE AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- F. DEMO AND REMOVE EXISTING CONCRETE PAVING EXISTING AC PAVING RE: CIVIL DRAWINGS

**KEY SITE DEMO PLAN NOTES**

- NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET
- 1 RELOCATE EXISTING OVERHEAD UTILITY POLE GUY WIRE CROSSING PROPERTY. COORDINATE WITH OWNER ON NEW LOCATION
  - 2 EXISTING FIRE HYDRANT
  - 3 EXISTING PIV AND FIRE LINE BACKFLOW PREVENTOR
  - 4 EXISTING WATER METER
  - 5 EXISTING GAS METER
  - 6 EXISTING PUBLIC BUS STOP AND BENCH
  - 7 EXISTING UTILITY POLE AND OVERHEAD WIRES
  - 8 EXISTING TREE AND TREE WELL IN THE PUBLIC SIDEWALK
  - 9 EXISTING STREET LIGHT IN THE PUBLIC SIDEWALK
  - 10 EXISTING PUBLIC STREET PARKING
  - 11 MODIFY EXISTING STREET PARKING (REMOVE STALLS) AND REMOVE EXISTING STREET PALM TREE TO PREPARE AREA FOR NEW VEHICLE DRIVEWAY RE: CIVIL

**KEY CONSTRUCTION NOTES**

- NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET  
CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION
- | #                             | DATE     | DESCRIPTION   |
|-------------------------------|----------|---|
| 02.00.00 - EXISTING CONDITION |          |   |
| 2.3                           | 02.41.19 | DEMOLITION AND REMOVAL OF DECORATIVE FENCE AND GATES  |
| 2.4                           | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING BUILDINGS  |
| 2.5                           | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING CANOPY STRUCTURE/DISPLAY PAD   |
| 2.6                           | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING TREES  |
| 2.7                           | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING LANDSCAPING AND PLANTERS, TYPICAL ALONG PROPERTY LINE AND BUILDINGS TO BE DEMOLISHED |
| 2.8                           | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING SAND OIL SEP.  |
| 2.9                           | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING DRIVEWAYS, REPLACE PER CIVIL DWGS  |
| 2.10                          | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING SITE RETAINING WALL  |
| 2.11                          | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING HIGH VOLTAGE EQUIPMENT AND ELECTRICAL ROOM. REPLACE PER ELEC DWGS                    |
| 2.12                          | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING HOSE BIB. REPLACE PER PLUMBING DWGS  |
| 2.13                          | 02.41.19 | DEMOLITION AND REMOVAL OF EXISTING FREESTANDING SITE SIGNAGE  |
| 2.14                          | 32.12.16 | MODIFY EXISTING AC PAVING RE: CIVIL DRAWINGS  |
| 2.15                          | 32.12.16 | MODIFY EXISTING CONCRETE PAVING RE: CIVIL DRAWINGS  |
| 2.16                          | 32.12.16 | DEMOLITION AND REMOVAL OF EXISTING LIGHT POLES AND SITE LIGHTING  |

**VICINITY MAP**



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**New Century Honda**  
1235 S. BRAND BLVD, GLENDALE, CA 91204



SHEET TITLE:  
**SITE DEMO PLAN**

PROGRESS: 10-05-2021  
REVISION / DESCRIPTION:

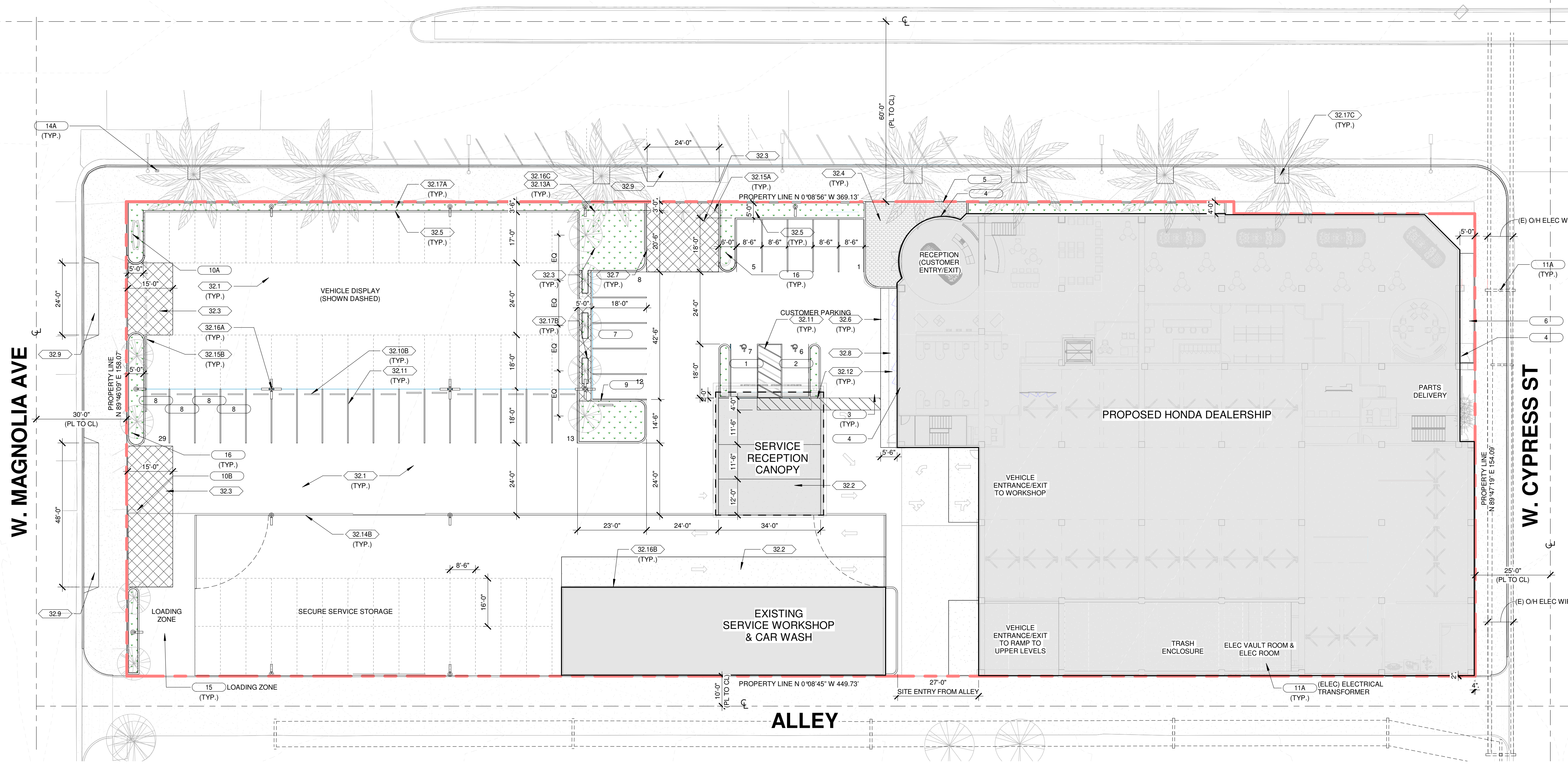
PROJECT NO:

SHEET NO:

**A1.0**



S. BRAND BLVD



**SITE PLAN**  
SCALE: 1" = 20'-0"

**PROJECT DATA**

<b>PROJECT DESCRIPTION</b>	
DEMOLISH AND REMOVE EXISTING VEHICLE SALES SHOWROOM, VEHICLE REPAIR GARAGE, VEHICLE PARTS STORAGE BUILDINGS, CONSTRUCT NEW TWO STORY, 54,000 SQFT, AUTODEALERSHIP WITH "B", "S-1" AND "S-2" OCCUPANCY FOR VEHICLE SALES, VEHICLE REPAIRS, VEHICLE PARTS AND TIRE STORAGE, VEHICLE CIRCULATION RAMP, INTERIOR VEHICLE PARKING AND OFFICE USE. PROJECT SCOPE INCLUDES ROOFTOP PARKING WITH ROOFTOP CANOPY MOUNTED ROOF SOLAR PANELS. PROJECT SCOPE INCLUDES A SEPARATE ONE STORY 1,500 SQFT SERVICE RECEPTION CANOPY (OPEN ON THREE SIDES) AND EXTERIOR FINISHES ONLY TO AN EXISTING ONE STORY, 3,175 SQFT, S-1 OCCUPANCY, VEHICLE REPAIR WORKSHOP AND CAR WASH. PROJECT SCOPE INCLUDES MODIFIED OUTDOOR VEHICLE DISPLAY, MODIFIED CUSTOMER PARKING LAYOUT, NEW SITE LIGHTING, NEW DRIVEWAYS AND SITE GRADING AND NEW...	
<b>APN</b> 5640-012-001, 002, 5640-012-005, 5460-012-033, 5640-012-035, 036.	
<b>PROJECT INFORMATION</b>	
OWNER:	NEW CENTURY GLENDALE AUTOMOBILES, LLC 1235 SOUTH BRAND BLVD., GLENDALE, CA 91204 CONTACT: DANIEL LIN GLENDALE, CA 91204
PROPERTY ADDRESS:	1235 SOUTH BRAND BLVD GLENDALE, CA 91204
<b>ZONING</b>	
ZONE:	CA - COMMERCIAL
EXISTING USE:	AUTO SALES AND SERVICE
USE:	AUTO SALES AND SERVICE
LOT AREA:	70,718 SQFT (1.623 ACRES)
<b>DEVELOPMENT</b>	
SETBACKS (30.12.030 TABLE 30-12-B)	RECD STREET FRONT - NONE, PROPOSED = 0'-0" RECD STREET SIDE - NONE, PROPOSED = 0'-0" RECD INT NOT ADJACENT TO RES ZONES SETBACK = 10'-0", N/A RECD INT ADJACENT TO RES ZONES SETBACK = 10'-0", N/A
HEIGHT RESTRICTIONS (30.12.030 TABLE 30-12-B)	RECD MAX HEIGHT: 90'-0" BUT LIMITED TO 35'-0" WITHIN 40'-0" OF A RESIDENTIAL ZONE BOUNDARY (INCLUDING CENTER LINE OF ALLEY WHERE APPLICABLE) PROPOSED = 40'-0" BUT LIMITED TO 35'-0" WITHIN 40'-0" OF A RESIDENTIAL ZONE BOUNDARY (INCLUDING CENTER LINE OF ALLEY) EXCEPTIONS: ENCLOSED OR SCREEN ROOFTOP EQUIPMENT NOT EXCEEDING 5'-0" IN HEIGHT ABOVE THE ROOF OF A BUILDING SHALL NOT BE COMPUTED AS PART OF THE HEIGHT OF THE BUILDING. ELEVATOR SHAFTS AND ROOF OF A BUILDING SHALL NOT BE COMPUTED AS PART OF THE HEIGHT OF THE BUILDING. CANOPY MOUNTED SOLAR PANELS SHALL NOT BE COMPUTED AS PART OF THE HEIGHT OF THE BUILDING
LOT AREA:	13,000 SQFT MIN.
FAR:	3.5 MAX. (247,513 SQFT MAX.)
BUILDING FOOTPRINT:	31,675 SQFT
FLOOR AREA:	SEE CALCULATIONS BELOW
PARKING:	SEE CALCULATIONS BELOW
LANDSCAPING:	1300 SQFT
FIRE SPRINKLERS:	YES

BUILDING FLOOR AREA CALCULATIONS		
	SQFT	SQFT
TOTAL EXISTING BUILDINGS:		17,293
DEMO EXISTING BUILDINGS:		
VEHICLE SALES SHOWROOM	2,524	
VEHICLE REPAIR WORKSHOP #2	2,246	
VEHICLE REPAIR WORKSHOP #3	4,448	
VEHICLE PARTS STORAGE	4,900	(14,118)
TOTAL DEMO:		
EXISTING BUILDINGS TO REMAIN:		
VEHICLE REPAIR WORKSHOP #1	3,175	
TOTAL EXISTING BUILDINGS TO REMAIN:		3,175
PROPOSED:		
1ST FLOOR DEALERSHIP	27,000	
2ND FLOOR DEALERSHIP	27,000	
ROOF DEALERSHIP (NOT COUNTED TOWARDS FLOOR...)		
TOTAL NEW DEALERSHIP FLOOR AREA		54,000
PROPOSED NEW SERVICE RECEPTION CANOPY	1,500	
TOTAL PROPOSED BUILDING FLOOR AREA		58,675
TOTAL PROPOSED NET BUILDING AREA		

AREA BREAKDOWN FOR PARKING CALCULATIONS			
FLOOR:	FIRST	SECOND	ROOF
VEHICLE SALES/REPAIR/PARTS	25,700	8,511	0
VEHICLE REPAIRS (WORKSHOP #1)	3,175	0	0
OFFICE	0	2,981	0
INTERIOR PARKING	1,300	15,508	0
ROOFTOP PARKING	0	0	27,000
SERVICE CANOPY	1,500	0	0
TOTAL PARKING FLOOR AREA (GROSS)	31,675	27,000	27,000

REQUIRED PARKING			
VEHICLE SALES & REPAIR: PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	FIRST	SECOND	ROOF
	37,386	1,500	0
OFFICE AREAS: CONSIDERED PART OF DEALERSHIP. PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	2,981	12	0
INTERIOR PARKING: CONSIDERED PART OF DEALERSHIP. PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	16,808	67	0
ROOFTOP PARKING: PER GMC 30.70.070, ROOFTOP PARKING SPACES NOT INCLUDED IN FLOOR AREA	27,000	0	0
SERVICE RECEPTION CANOPY: PER GMC 30.32.040 TABLE 30-32-B, RETAIL & SERVICE ACTIVITIES (KEYNOTE 2 - VEHICLE SALES AND VEHICLE REPAIR GARAGES), 4 SPACES PER 1000 SQFT OF GROSS FLOOR AREA	1,500	6	0
REQUIRED OFF-STREET PARKING STALLS	235		
LESS PARKING VARIANCE PERMIT	145		
TOTAL REQUIRED OFF-STREET PARKING STALLS	90		

PROVIDED PARKING			
ACCESSIBLE SPACES: PER 2019 CBC TABLE 11B-208.2, (4 SPACES REQUIRED) PER 11B-208.2.4, 1 IS SPACE TO VAN ACCESSIBLE: (1) VAN ACCESSIBLE, (3) STANDARD	FIRST	SECOND	ROOF
	86	0	0
STANDARD STALLS: SIZE PER GMC 30.32.18C CHART III: 8'-6" X 18'-0" MIN. @ 90 DEG. WITH 24'-0" BACKUP AISLE.	0	0	0
TANDAM STALLS:	0	0	0
TOTAL PROVIDED OFF-STREET PARKING STALLS	90		
29 STALLS LOCATED ON SITE			
0 STALLS LOCATED ON 2ND FLOOR			
61 STALLS LOCATED ON ROOFTOP			

**GENERAL SITE PLAN NOTES**

- A. ARCHITECTURAL SITE PLAN FOR SCHEMATIC REFERENCE ONLY. REFER TO CIVIL PLANS FOR ACCURATE SITE IMPROVEMENTS, PROPERTY LINES, EASEMENTS, EXACT DIMENSION, PAVING, HORIZONTAL & VERTICAL CONTROL, SETBACKS OF RECORD AND ADDITIONAL INFORMATION NOT NOTED ON THIS PLAN. WHERE CONFLICTS EXIST, CIVIL PLANS SHALL GOVERN.
- B. LOCATE AND CAP ALL UTILITIES AND MARK LOCATIONS
- C. SURFACE SLOPE OF EXTERIOR PAVING SHALL NOT EXCEED 1/4" PER FOOT (2%) UP TO DOOR'S THRESHOLD FOR A MIN DISTANCE OF 5 FEET OUT FROM ALL EXTERIOR DOOR OPENINGS. (CBC SEC. 1003.3.1.6)

**KEY CONSTRUCTION NOTES**

- NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION
- 32.00.00 - EXTERIOR IMPROVEMENTS
  - 32.1 AC PAVING
  - 32.2 32.13.13 CONCRETE PAVING
  - 32.3 32.13.16 DECORATIVE PAVING
  - 32.4 32.14.13 PRECAST CONCRETE UNIT PAVING
  - 32.5 32.16.13 6" HIGH CONCRETE CURB
  - 32.6 32.16.13 0" CONCRETE CURB
  - 32.7 32.16.13 ROLLED CONCRETE CURB
  - 32.8 32.16.23 CONCRETE SIDEWALK / WALKWAY
  - 32.9 32.16.23 DECORATIVE CONCRETE DRIVEWAY. PROVIDE DECORATIVE MATERIALS PER SECTION 30.32.130H
  - 32.10A 32.17.13 RUBBER PARKING BUMPER
  - 32.10B 32.17.13 RUBBER PARKING BLOCKS
  - 32.11 32.17.16 PAVEMENT MARKINGS
  - 32.12 32.17.16 TACTILE WARNING SURFACING
  - 32.13A 32.29.13 18" HIGH METAL BOLLARDS @ 5'-0" O.C., PAINT FINISH
  - 32.13B 32.29.13 CONCRETE FILLED 36" HIGH METAL BOLLARDS, PAINT FINISH
  - 32.14A 32.31.19 WROUGHT IRON FENCE, 6'-0" HIGH WITH MATCHING SWING GATES
  - 32.14B 32.31.13 CHAIN LINK FENCE, 6'-0" HIGH, BLACK VINYL COATED WITH BLACK SLATES FOR PRIVACY WITH MATCHING SWING GATES
  - 32.15A 32.31.13 DECORATIVE METAL SWING GATE, 3'-0" HIGH, BLACK FINISH.

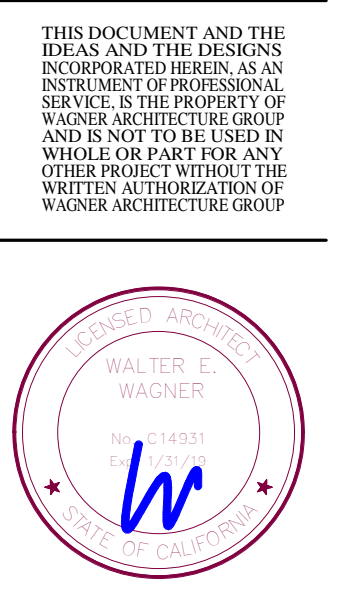
**KEY CONSTRUCTION NOTES**

- NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION
- 32.15B 32.31.13 DECORATIVE METAL SLIDING GATE, 3'-0" HIGH, BLACK FINISH.
  - 32.16A 26.56.00 SITE LIGHTING, 16'-0" HIGH LIGHT POLE, LED LIGHT FIXTURE. COORDINATE FINAL LOCATIONS WITH PARKING LAYOUT TO AVOID REDUCING REQUIRED STALL DIMENSION. CONFIRM LOCATIONS WITH OWNER.
  - 32.16B 26.56.00 SITE LIGHTING, BUILDING MOUNTED, LED LIGHT FIXTURE. SEE PHOTOMETRIC PLAN FOR LOCATIONS
  - 32.16C 26.56.00 SITE LIGHTING, DECORATIVE ACCENT LIGHTING, LED LIGHT FIXTURE.
  - 32.17A 32.92.00 LANDSCAPING, LOW-SCREEN PLANTING RE: LANDSCAPE DWGS
  - 32.17B 32.92.00 LANDSCAPING, BOX TREE RE: LANDSCAPE DWGS
  - 32.17C 32.92.00 EXISTING PALM TREES IN PUBLIC RIGHT-OF-WAY TO REMAIN

**KEY SITE PLAN NOTES**

- NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET
- 1 STANDARD ACCESSIBLE PARKING STALL
  - 2 VAN ACCESSIBLE PARKING STALL
  - 3 ACCESSIBLE SITE PATH OF TRAVEL, 48" MIN. WIDTH WALKWAY, 5% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE PER CBC 11B-403.3 & 11B403.5
  - 4 ACCESSIBLE BUILDING ENTRY
  - 5 ACCESSIBLE SITE ENTRY
  - 6 ACCESSIBLE SITE RAMP
  - 7 FUTURE EV CHARGING PARKING STALL
  - 8 CLEAN AIR VEHICLE PARKING STALL
  - 9 PERMANENT SHORT-TERM BIKE RACK
  - 10A BRAND SIGNAGE, FREE STANDING MONUMENT SIGN. PROVIDE POWER RE: ELEC DWGS.
  - 10B BRAND SIGNAGE, FREE STANDING DIRECTIONAL SIGN. PROVIDE POWER RE: ELEC DWGS.
  - 11A (ELEC) ELECTRICAL TRANSFORMER
  - 11A (ELEC) EXISTING POWER POLE WITH OVERHEAD ELECTRICAL WIRES.
  - 12A (WATER) WATER METER
  - 12B (WATER) SAND OIL INTERCEPTOR
  - 12C (WATER) STORMWATER RETENTION TANKS RE: CIVIL
  - 13A (GAS) GAS METER
  - 14A (FIRE) EXISTING FIRE HYDRANT
  - 14B (FIRE) FIRE KNOX BOX FOR BUILDING
  - 15 LOADING ZONE
  - 16 STOP SIGNS AT EXIT FROM PARKING AREAS

**VICINITY MAP**



**New Century Honda**  
 1235 S. BRAND BLVD, GLENDALE, CA 91204



**SHEET TITLE:**

**SITE PLAN**

PROGRESS: 10-05-2021

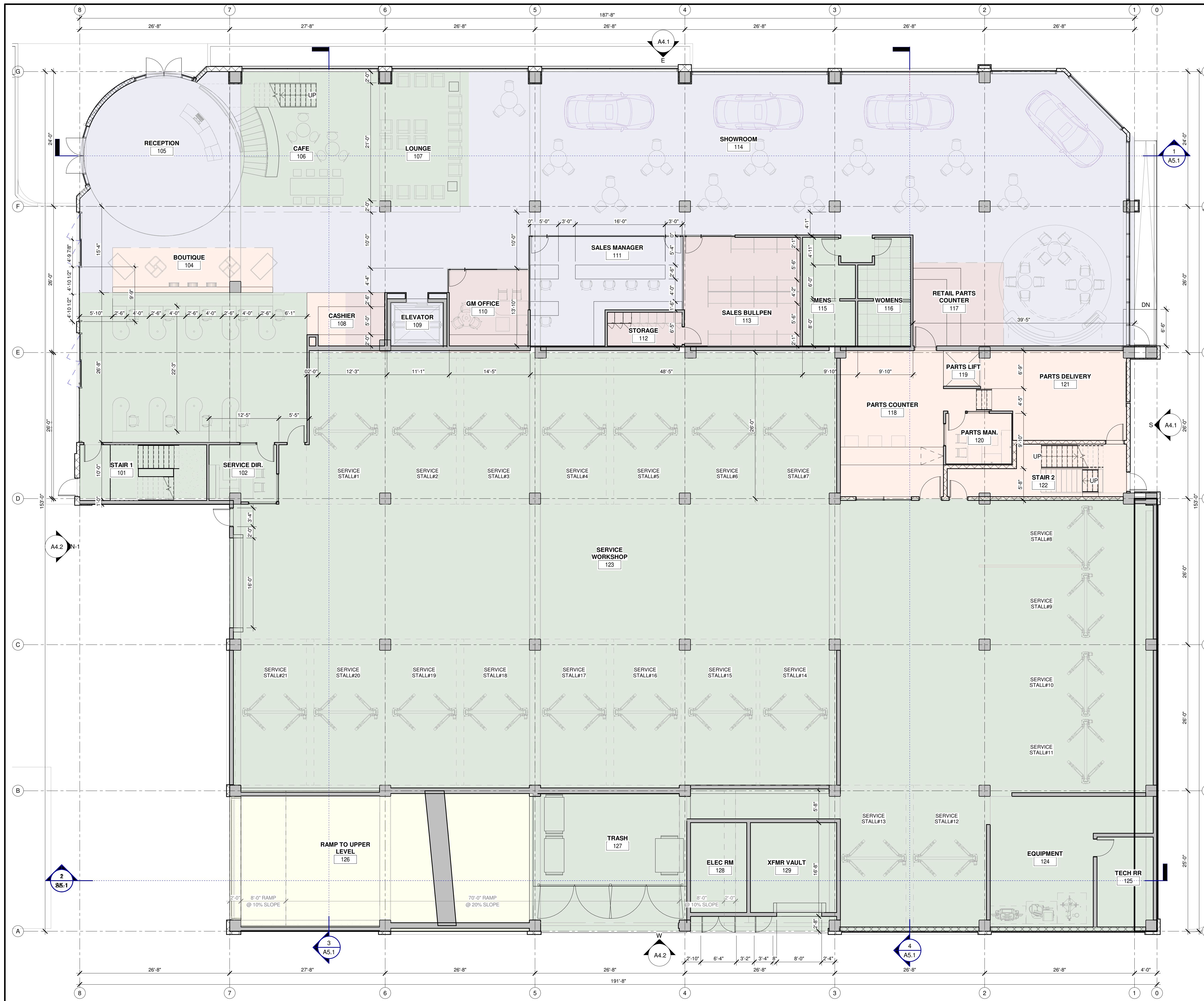
REVISION / DESCRIPTION:

PROJECT NO:

SHEET NO:

**A1.1**





**1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL FLOOR PLAN NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET

# BLANK

1 BLANK

**KEY FLOOR PLAN NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET

CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION

**KEY CONSTRUCTION NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET

CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION

**SYMBOL LEGEND**

Room Name	ROOM NAME & NUMBER
101	ROOM NAME & NUMBER
⬠	WALL TYPE TAG, RE: WALL DETAILS ON SHEETS A6.0.1 THRU A6.0.3
⬠	DOOR TYPE TAG, RE: DOOR SCHEDULE ON SHEET A8.1
⬠	WINDOW TYPE TAG, RE: WINDOW TYPES ON SHEETS A8.3 & A8.4
⬠	BUILDING SECTION REFERENCE (SECTION JOG)
⬠	ENLARGED FLOOR PLAN OR DETAIL REFERENCE (DETAIL REFERENCE)



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1235 S. BRAND BLVD, GLENDALE, CA 91204



SHEET TITLE:  
**1ST FLOOR PLAN**

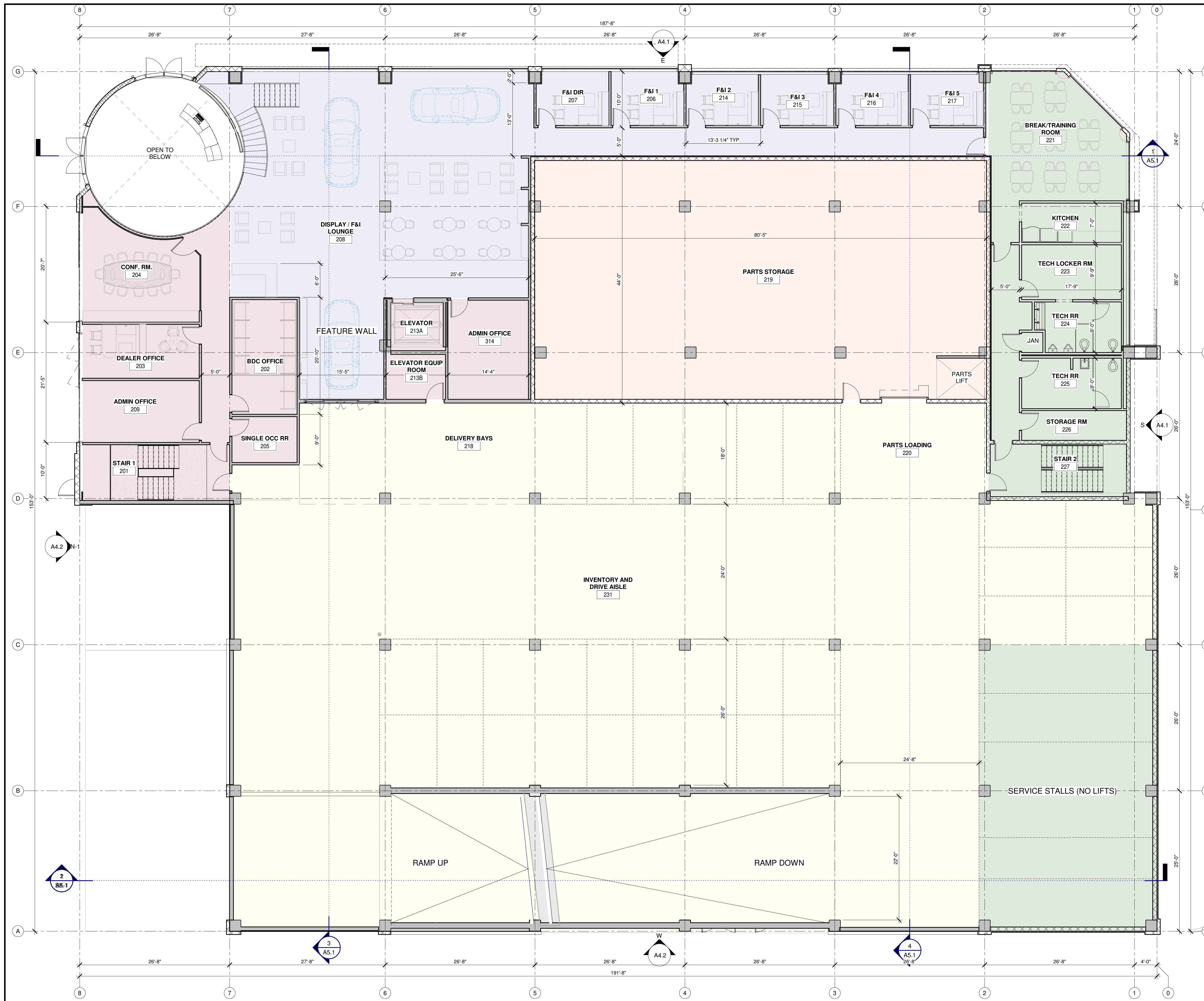
PROGRESS: 10-05-2021

REVISION / DESCRIPTION:

PROJECT NO:

SHEET NO:  
**A2.1**



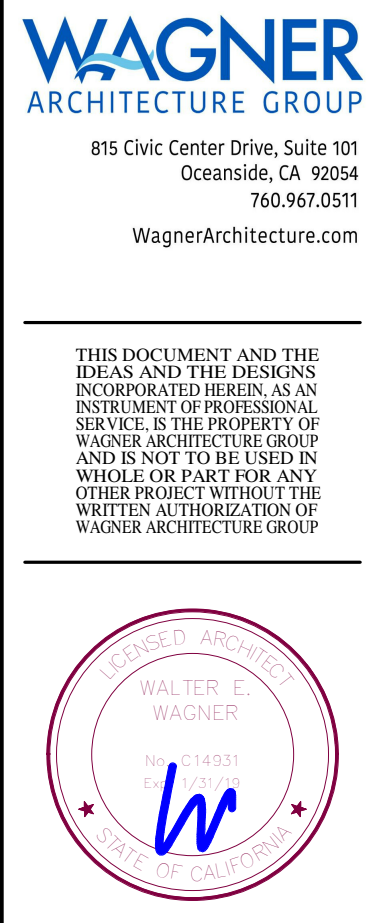


**2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL FLOOR PLAN NOTES**

**WAGNER ARCHITECTURE GROUP**  
815 Civic Center Drive, Suite 101  
Oceanside, CA 92054  
760.949.7511  
WagnerArchitecture.com

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**KEY FLOOR PLAN NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET  
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1 BLANK

**KEY CONSTRUCTION NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET  
CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION

**SYMBOL LEGEND**

- |  |  |
|--|--|
|  | ROOM NAME & NUMBER   |
|  | WALL TYPE TAG, RE: WALL DETAILS ON SHEETS A6.0.1 THRU A6.0.3 |
|  | DOOR TYPE TAG, RE: DOOR SCHEDULE ON SHEET A8.1               |
|  | WINDOW TYPE TAG, RE: WINDOW TYPES ON SHEETS A8.3 & A8.4      |
|  | BUILDING SECTION REFERENCE (SECTION JOG)                     |
|  | ENLARGED FLOOR PLAN OR DETAIL REFERENCE (DETAIL REFERENCE)   |

**New Century Honda**  
1235 S. BRAND BLVD, GLENDALE, CA 91204

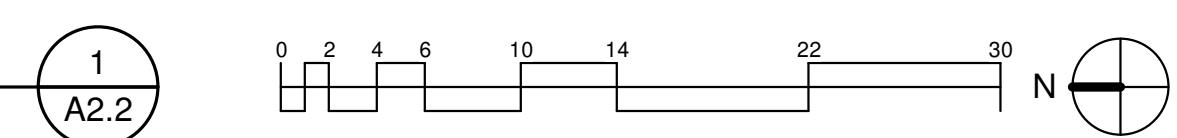


SHEET TITLE:  
**2ND FLOOR PLAN**

PROGRESS: 10-05-2021  
REVISION / DESCRIPTION:

PROJECT NO:  
SHEET NO:

**A2.2**







SHEET TITLE:

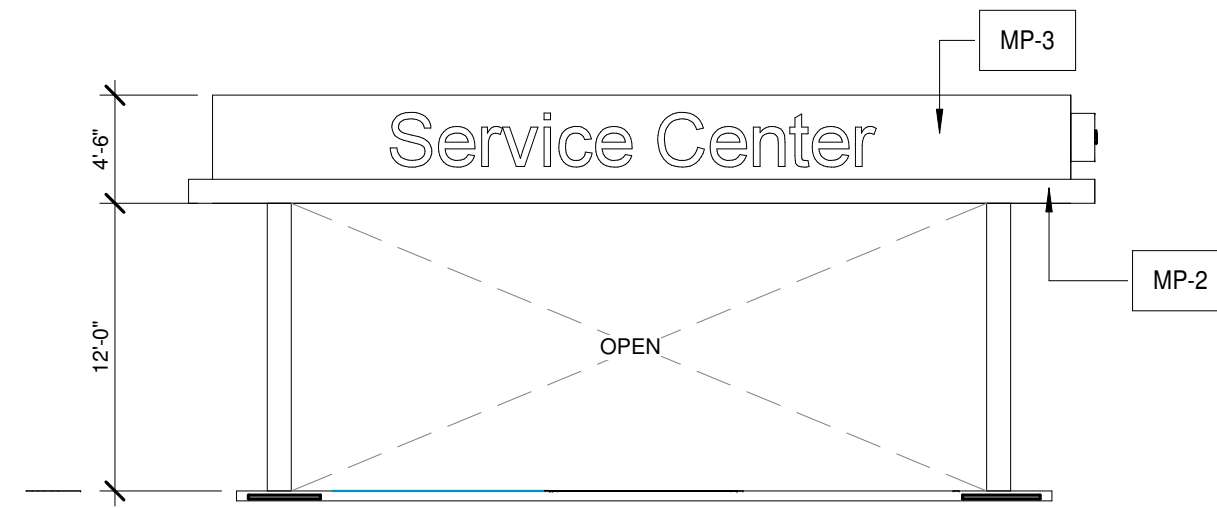
**SERVICE RECEPTION CANOPY**

PROGRESS 10-05-2021

REVISION / DESCRIPTION:

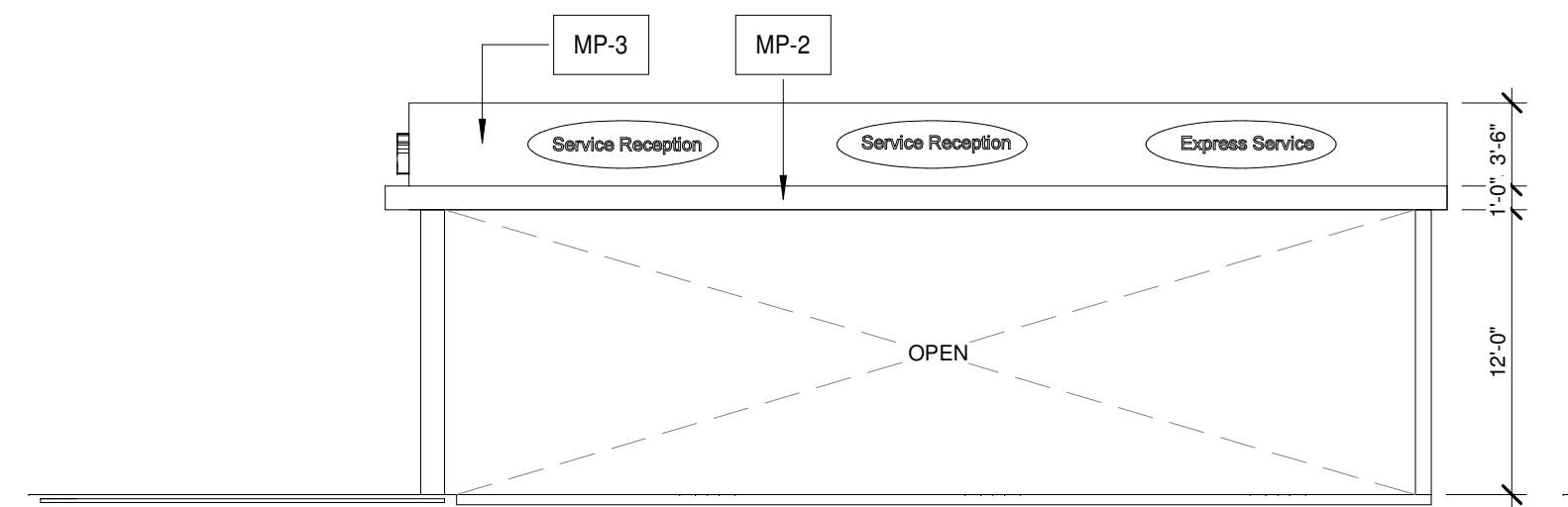
PROJECT NO:

SHEET NO:



**Elevation 2 - a**  
SCALE: 1/8" = 1'-0"

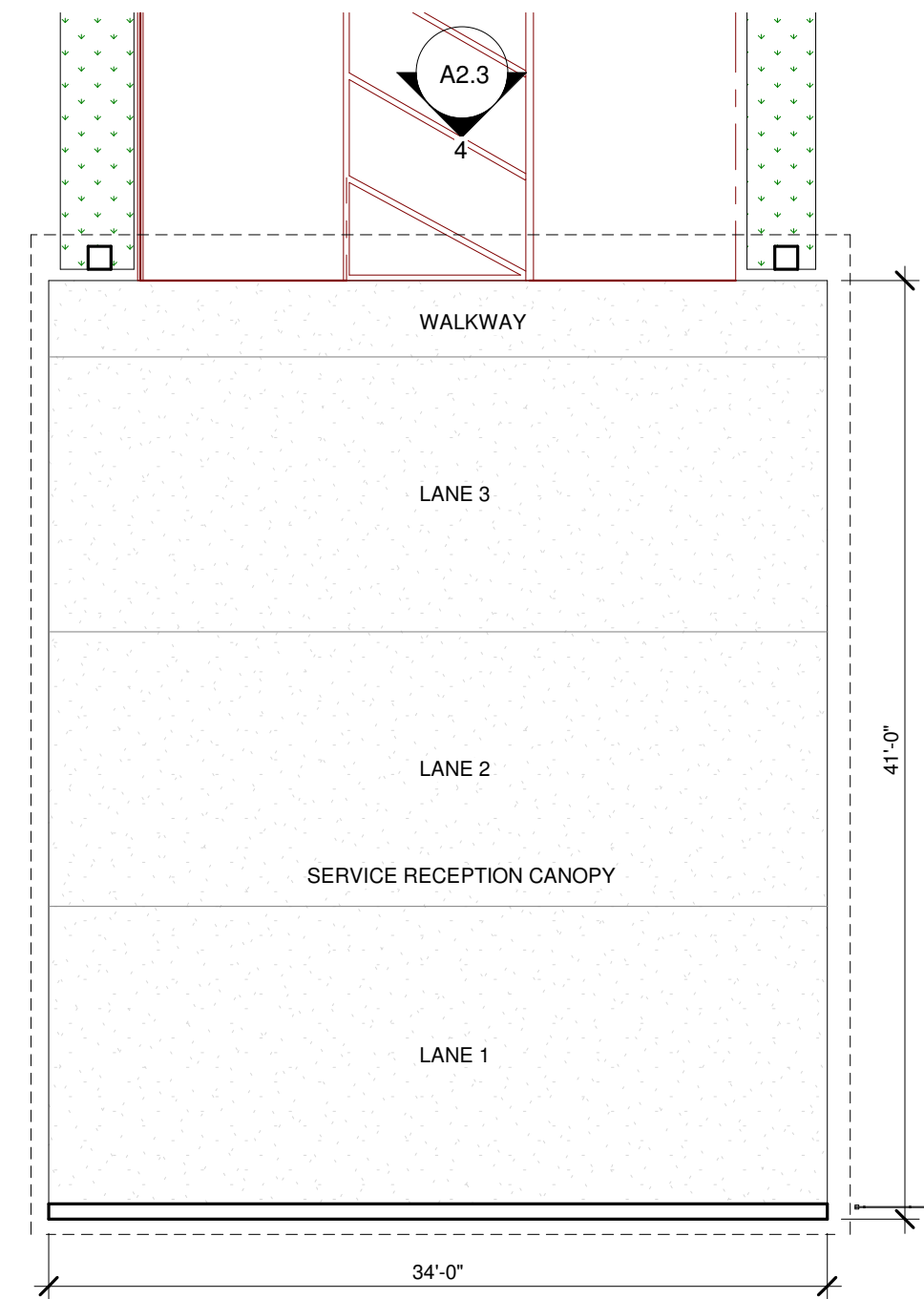
4



**Elevation 1 - a**  
SCALE: 1/8" = 1'-0"

3

CONCRETE SLAB



**PLAN - SERVICE RECEPTION CANOPY**

SCALE: 1/8" = 1'-0"

1

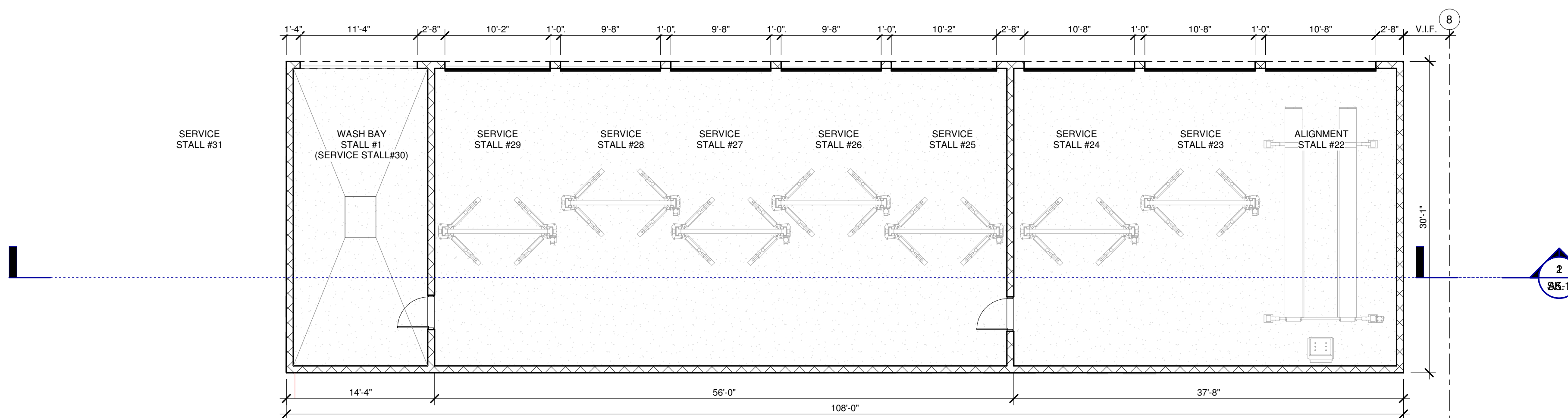
**KEY FLOOR PLAN NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET

- # BLANK
- 1 BLANK

**KEY CONSTRUCTION NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET  
CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION



**PLAN - EXISTING SERVICE WORKSHOP**

SCALE: 1/8" = 1'-0"

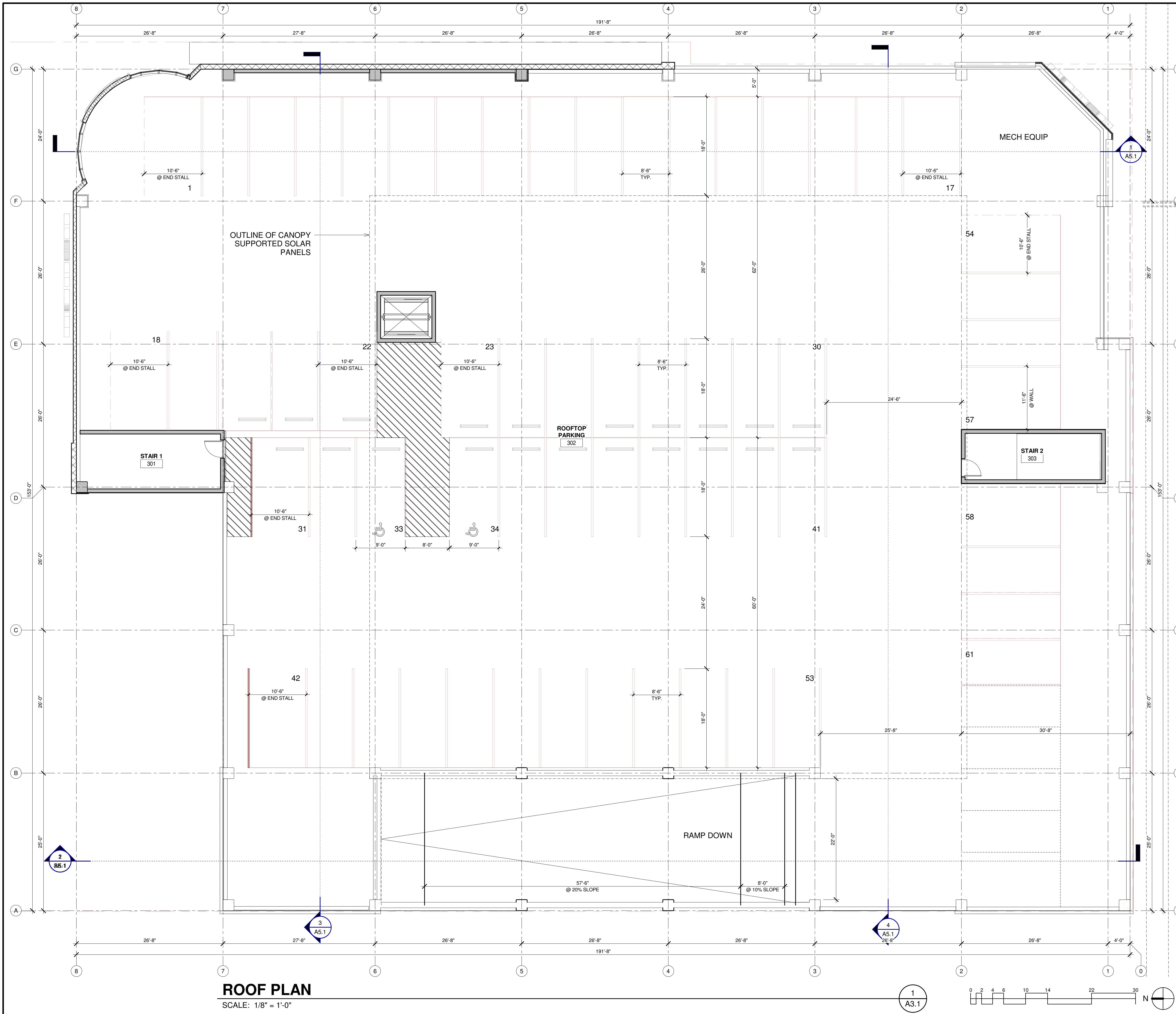
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**SYMBOL LEGEND**

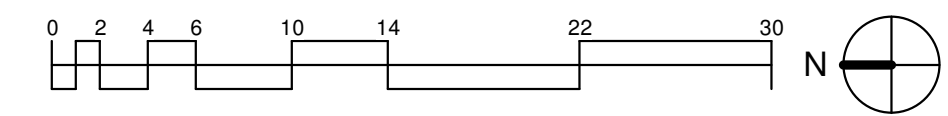
- |                  |  |
|------------------|--|
| <b>Room Name</b> | ROOM NAME & NUMBER   |
| 101              | ROOM NAME & NUMBER   |
| (1)              | WALL TYPE TAG, RE: WALL DETAILS ON SHEETS A6.0.1 THRU A6.0.3 |
| (101)            | DOOR TYPE TAG, RE: DOOR SCHEDULE ON SHEET A8.1               |
| (11)             | WINDOW TYPE TAG, RE: WINDOW TYPES ON SHEETS A8.3 & A8.4      |
| (# X)            | BUILDING SECTION REFERENCE (SECTION JOG)                     |
| (# X)            | ENLARGED FLOOR PLAN OR DETAIL REFERENCE (DETAIL REFERENCE)   |







**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**GENERAL ROOF NOTES**

WAGNER ARCHITECTURE GROUP  
815 Civic Center Drive, Suite 101  
Oceanside, CA 92054  
760.947.0511  
WagnerArchitecture.com

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**KEY CONSTRUCTION NOTES**

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CONTRACTOR & SUBS RESPONSIBLE TO REVIEW ALL SHEETS PRIOR TO INSTALLATION

00.00.00 - Division  
## 00.00.00.00.0 Key Construction Note

**KEY ROOF PLAN NOTES**

NOTES ARE GENERAL FOR VIEW TYPE - NOT ALL ITEMS MAY BE REFERENCED ON THIS SHEET

# Key Note

**SYMBOL AND LEGEND**

T.O.P. = TOP OF PARAPET  
T.O.S. = FINISHED SURFACE  
ALL T.O.P. AND T.O.S. ARE NOTED FROM THE SHOWROOM FINISHED FLOOR

PROGRESS 10-05-2021  
REVISION / DESCRIPTION:

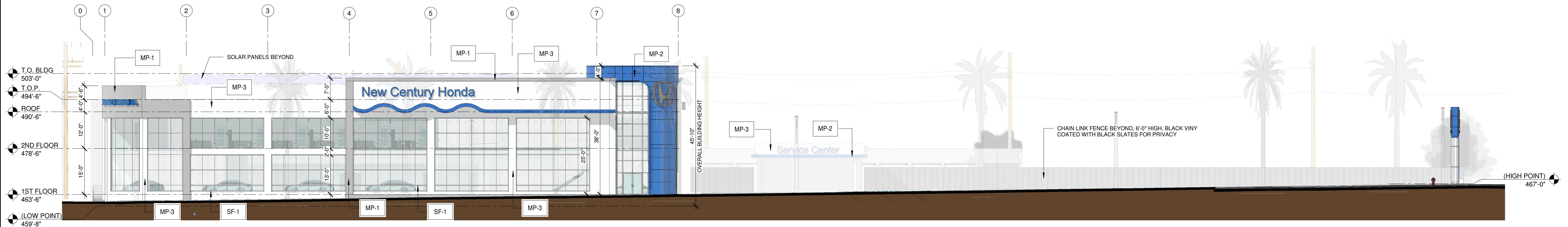

PROJECT NO:  
SHEET NO:

**1**  
A3.1

**New Century Honda**  
1235 S. BRAND BLVD, GLENDALE, CA 91204

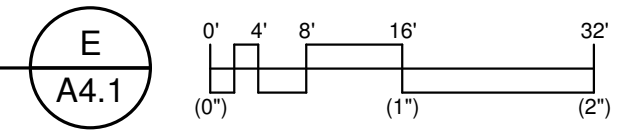


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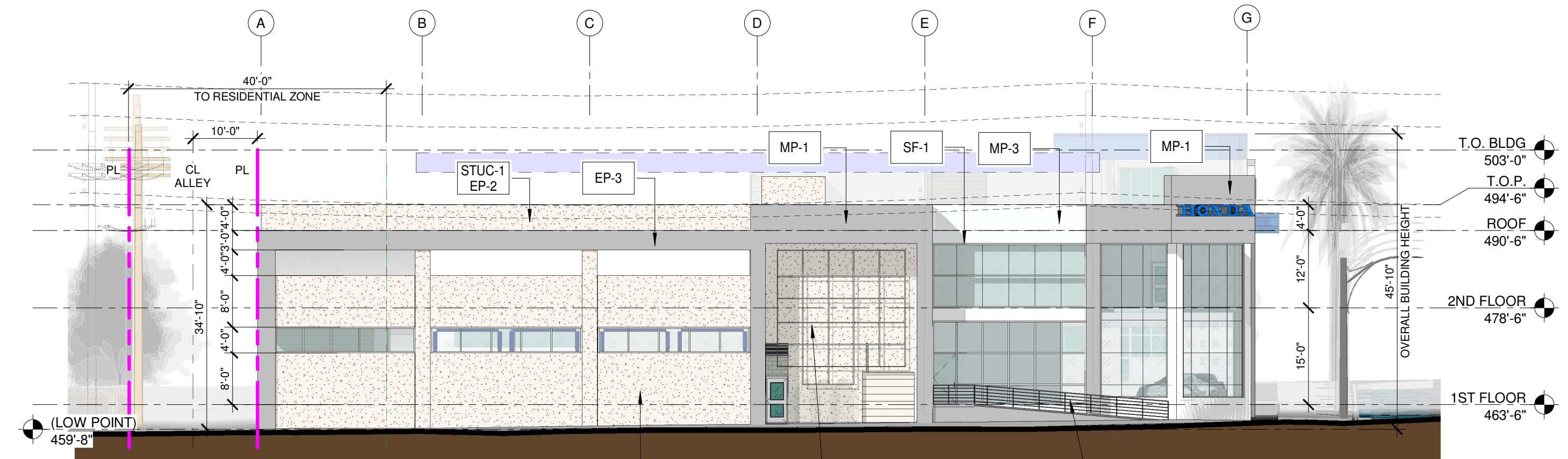
**EAST ELEVATION**

SCALE: 1/16" = 1'-0"



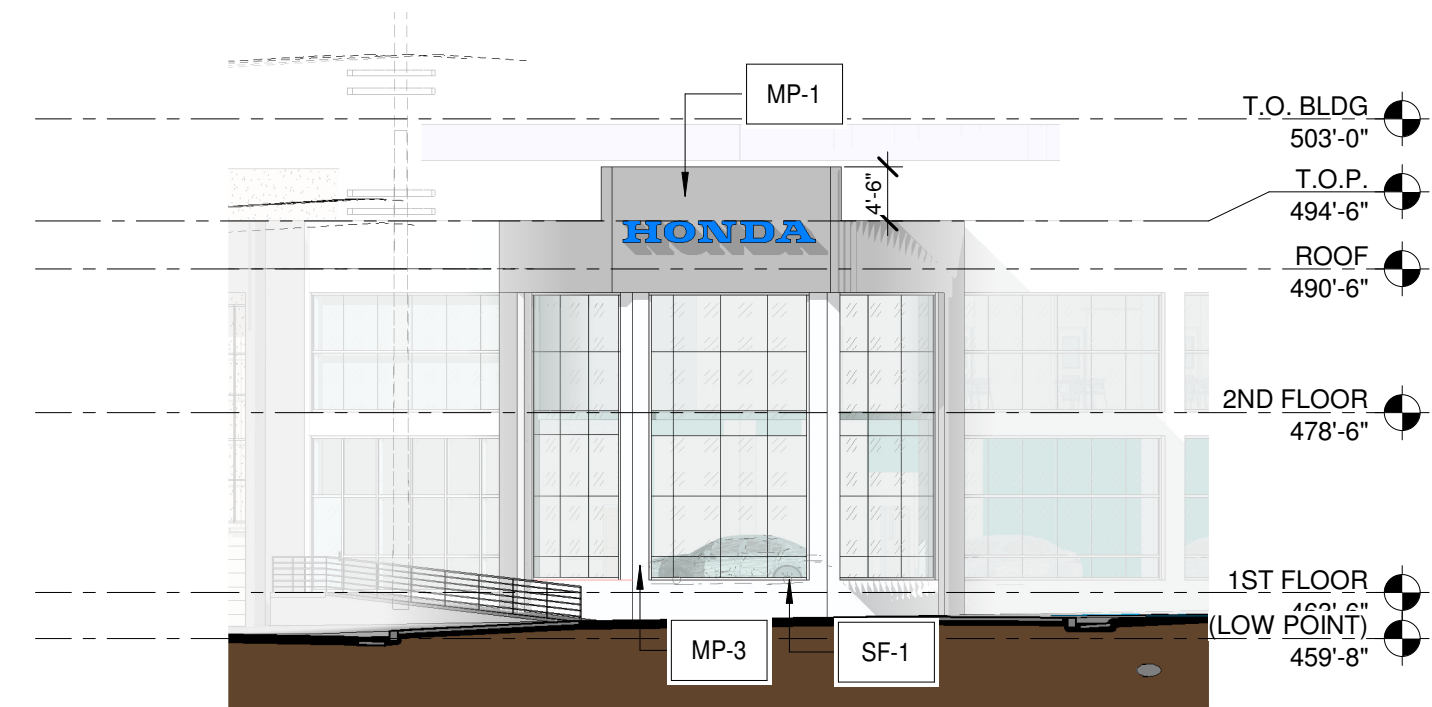
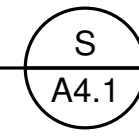
**EXTERIOR SURFACE MATERIAL & FINISH SCHEDULE**

CODE	MATERIAL	MANUFACTURER	PRODUCT	- DESCRIPTION -	DIMENSIONS	LOCATION / NOTES
CC-1	CONCRETE	T.B.D.		NON-COLORED PLAIN GREY EXPOSED CONCRETE FINISH		
CF-1	CAP FLASH	T.B.D.		TO MATCH MP-1	4" HEIGHT	
CMU-0	CONCRETE MASONRY UNIT	EXISTING MASONRY	EXISTING MASONRY	EXISTING MASONRY		EXTERIOR FACADE
CMU-1	CONCRETE MASONRY UNIT	ANCHOR CONCRETE PRODUCTS (OLDCASTLE ARCHITECTURAL BRAND)	ANCHOR SPLIT FACE BLOCK	SD-36 NOTE: USE WITH LEHIGH MASONRY CEMENT, COLOR SD-33	8" x 8" x 16"	EXTERIOR FACADE
D-1	GLASS & ALUMINUM MAN DOOR	KAWNEER OR EQUAL	3070 OR 5070 STANDARD NARROW STYLE CENTER HUNG	MEDIUM STYLE CLEAR ANODIZED FINISH		SHOWROOM EXTERIOR DOORS GENERAL
D-2	SOLID MAN DOOR	T.B.D.	3070 INTEGRAL VISION PANEL	PAINT: GLIDDEN PROFESSIONAL #501YY 83/029 NATURAL WHITE		EXTERIOR BOH
D-3	ALUMINUM OVERHEAD DOOR (GLASS)	T.B.D.		METAL COLOR TO MATCH SF-1, CLEAR ANODIZED		SERVICE RECEPTION, EXPRESS SERVICE & WASH
D-4	ALUMINUM OVERHEAD DOOR	T.B.D.	PROVIDE SINGLE BAND OF GLASS	WHITE FACTORY FINISH	SEE DRAWING FOR SIZE	SERVICE BAYS
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT	DRYVIT SYSTEMS, INC. OUTSULATION PLUS MD EIFS	COLOR: HONDA CHINA WHITE # HOND061021 FINISH: SANDBLAST		EXTERIOR FACADE MAIN FIELD
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #P07 PAINT: AURA WATERBORNE EXTERIOR PAINT: SEMI GLOSS FINISH #632	CLASSIC COLORS 1B ALABASTER #676		EXTERIOR METAL DOORS
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SURE SEAL LATEX PRIMER SEALER #207 PAINT: AURA WATERBORNE EXTERIOR PAINT: SATIN FINISH #631	CLASSIC COLORS 1B ALABASTER		PAINT STUCCO
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SURE SEAL LATEX PRIMER SEALER #207 PAINT: AURA WATERBORNE EXTERIOR PAINT: SATIN FINISH #631	WHALE GRAY #2134-40		PAINT STUCCO
MP-1(1)	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA SILVER METALLIC 4MM P/N BSX		EXTERIOR FACADE ACCENT
MP-1(2)	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOBOND	DRY JOINT SYSTEM	RB160PE - BRIGHT SILVER METALLIC OR "ECOCLEAN" VERSION		EXTERIOR FACADE ACCENT
MP-2(1)	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA BLUE 4MM P/N HNB		FACE OF CANOPIES, ENTRY CYLINDER
MP-2(2)	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOBOND	DRY JOINT SYSTEM	RB160PE - HONDA BLUE OR "ECOCLEAN" VERSION		FACE OF CANOPIES, ENTRY CYLINDER
MP-3(1)	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA WHITE 4MM P/N BNT		EXTERIOR FACADE, UNDERSIDE OF CANOPIES
MP-3(2)	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOBOND	DRY JOINT SYSTEM	RB160PE - BONE WHITE OR "ECOCLEAN" VERSION		EXTERIOR FACADE, UNDERSIDE OF CANOPIES
SF-1	STORE FRONT	KAWNEER OR EQUAL	T.B.D.	CLEAR ANODIZED FINISH		EXTERIOR FACADE
STUC-1	STUCCO			EXTERIOR FINISH		



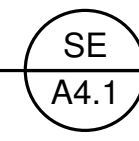
**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



**SOUTHEAST CORNER**

SCALE: 1/16" = 1'-0"



**New Century Honda**  
1235 S. BRAND BLVD., GLENDALE, CA 91204



SHEET TITLE:

**EXTERIOR ELEVATIONS**

PROGRESS: 10-05-2021

REVISION / DESCRIPTION:

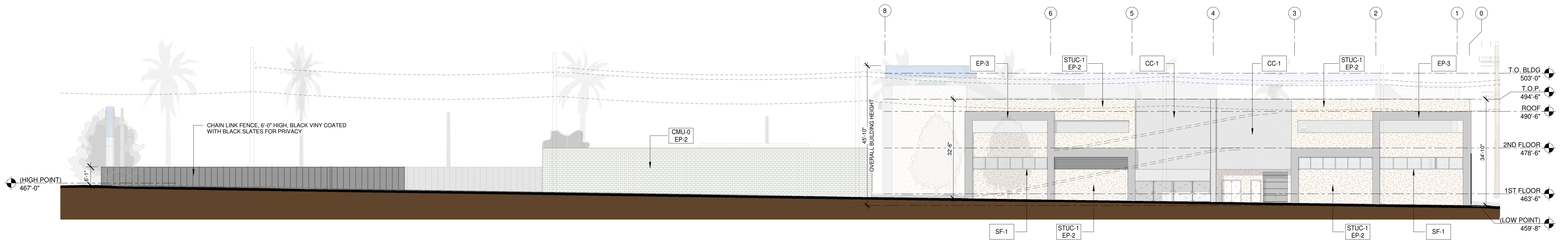
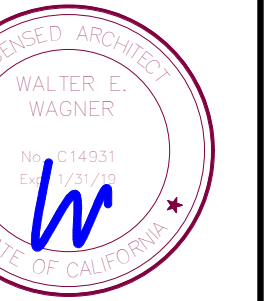
PROJECT NO.:

SHEET NO.:

**A4.1**

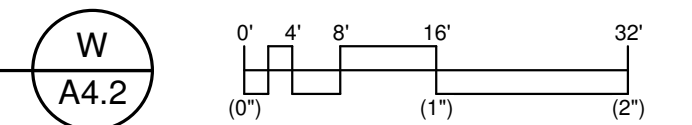


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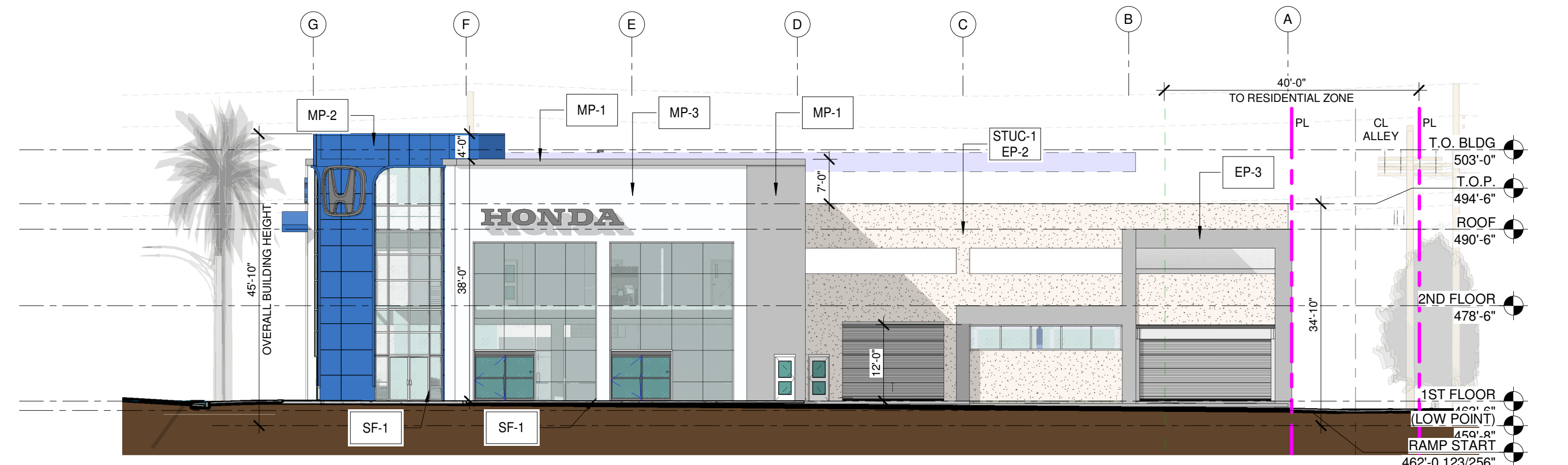
**WEST ELEVATION**

SCALE: 1/16" = 1'-0"



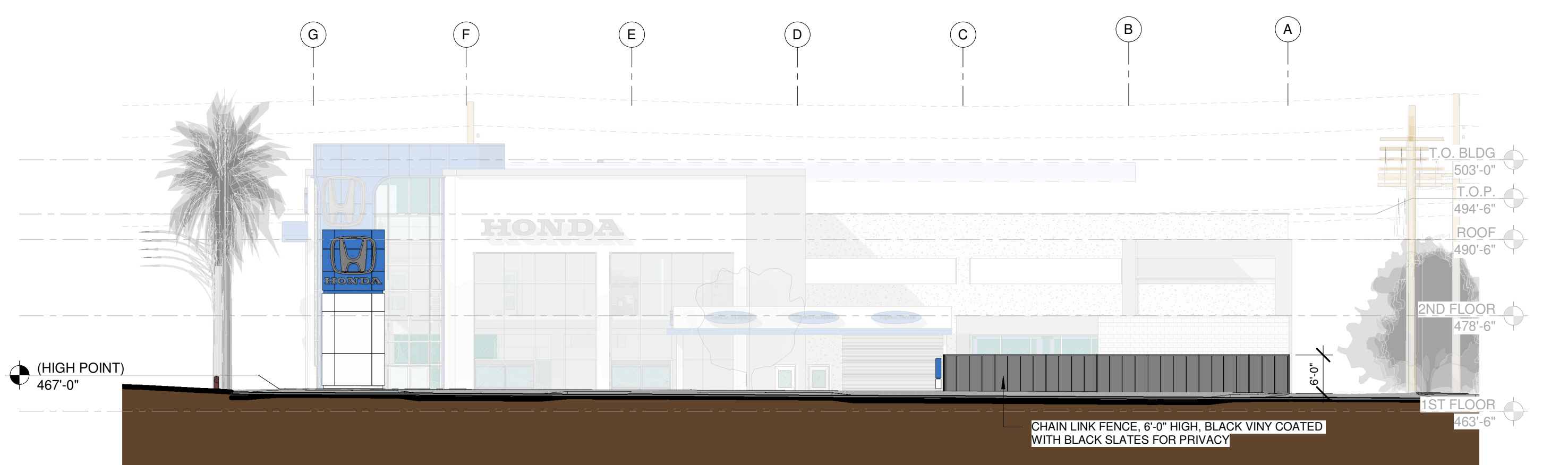
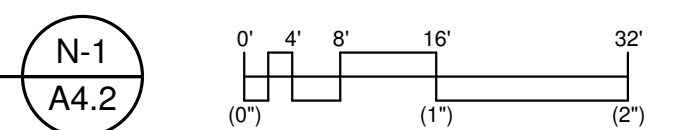
**EXTERIOR SURFACE MATERIAL & FINISH SCHEDULE**

CODE	MATERIAL	MANUFACTURER	PRODUCT	- DESCRIPTION - COLOR	DIMENSIONS	LOCATION / NOTES
CC-1	CONCRETE	T.B.D.		NON-COLORED PLAIN GREY EXPOSED CONCRETE FINISH		
CF-1	CAP FLASH	T.B.D.		TO MATCH MP-1	4" HEIGHT	
CMU-0	CONCRETE MASONRY UNIT	EXISTING MASONRY	EXISTING MASONRY	EXISTING MASONRY		EXTERIOR FACADE
CMU-1	CONCRETE MASONRY UNIT	ANCHOR CONCRETE PRODUCTS (OLDCASTLE ARCHITECTURAL BRAND)	ANCHOR SPLIT FACE BLOCK	SD-36 NOTE: USE WITH LEHIGH MASONRY CEMENT, COLOR SD-33	8" x 8" x 16"	EXTERIOR FACADE
D-1	GLASS & ALUMINUM MAN DOOR	KAWNEER OR EQUAL	3070 OR 5070 STANDARD NARROW STYLE CENTER HUNG	MEDIUM STYLE CLEAR ANODIZED FINISH		SHOWROOM EXTERIOR DOORS GENERAL
D-2	SOLID MAN DOOR	T.B.D.	3070 INTEGRAL VISION PANEL	PAINT: GLIDDEN PROFESSIONAL #50YY 83/029 NATURAL WHITE		EXTERIOR BOH
D-3	ALUMINUM OVERHEAD DOOR (GLASS)	T.B.D.		METAL COLOR TO MATCH SF-1, CLEAR ANODIZED		SERVICE RECEPTION, EXPRESS SERVICE & WASH
D-4	ALUMINUM OVERHEAD DOOR	T.B.D.	PROVIDE SINGLE BAND OF GLASS	WHITE FACTORY FINISH	SEE DRAWING FOR SIZE	SERVICE BAYS
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT	DRYVIT SYSTEMS, INC. OUTSULATION PLUS MD EIFS	COLOR: HONDA CHINA WHITE # HOND0061021 FINISH: SANDBLAST		EXTERIOR FACADE MAIN FIELD
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #P07 PAINT: AURA WATERBORNE EXTERIOR PAINT: SEMI GLOSS FINISH #632	CLASSIC COLORS 1B ALABASTER #876		EXTERIOR METAL DOORS
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SURE SEAL LATEX PRIMER SEALER #207 PAINT: AURA WATERBORNE EXTERIOR PAINT: SATIN FINISH #631	CLASSIC COLORS 1B ALABASTER		PAINT STUCCO
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SURE SEAL LATEX PRIMER SEALER #207 PAINT: AURA WATERBORNE EXTERIOR PAINT: SATIN FINISH #631	WHALE GRAY #2134-40		PAINT STUCCO
MP-1(1)	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA SILVER METALLIC 4MM P/N BSX		EXTERIOR FACADE ACCENT
MP-1(2)	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOBOND	DRY JOINT SYSTEM	RB160PE - BRIGHT SILVER METALLIC OR "ECOCLEAN" VERSION		EXTERIOR FACADE ACCENT
MP-2(1)	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA BLUE 4MM P/N HNB		FACE OF CANOPIES, ENTRY CYLINDER
MP-2(2)	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOBOND	DRY JOINT SYSTEM	RB160PE - HONDA BLUE OR "ECOCLEAN" VERSION		FACE OF CANOPIES, ENTRY CYLINDER
MP-3(1)	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA WHITE 4MM P/N BNT		EXTERIOR FACADE, UNDERSIDE OF CANOPIES
MP-3(2)	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOBOND	DRY JOINT SYSTEM	RB160PE - BONE WHITE OR "ECOCLEAN" VERSION		EXTERIOR FACADE, UNDERSIDE OF CANOPIES
SF-1	STORE FRONT	KAWNEER OR EQUAL	T.B.D.	CLEAR ANODIZED FINISH		EXTERIOR FACADE
STUC-1	STUCCO			EXTERIOR FINISH		



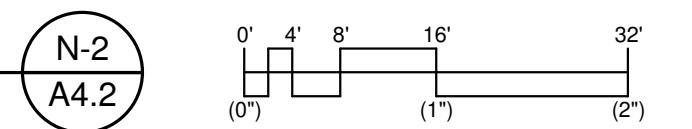
**NORTH ELEVATION - BUILDING**

SCALE: 1/16" = 1'-0"



**NORTH ELEVATION - SITE**

SCALE: 1/16" = 1'-0"



**New Century Honda**  
1235 S. BRAND BLVD, GLENDALE, CA 91204



SHEET TITLE:

**EXTERIOR ELEVATIONS**

PROGRESS 10-05-2021

REVISION / DESCRIPTION:

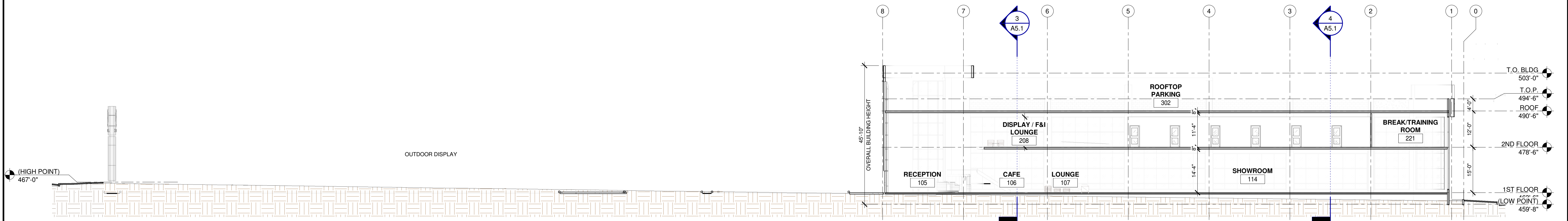
PROJECT NO:

SHEET NO:

**A4.2**



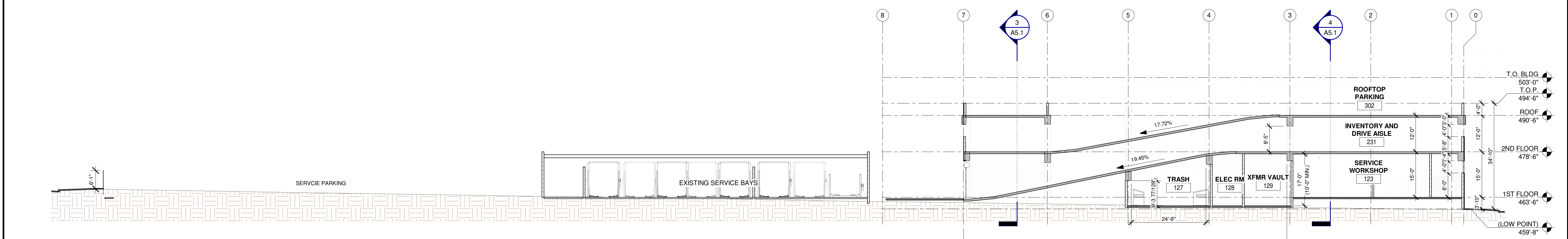
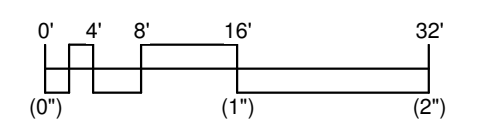
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**NORTH-SOUTH BETWEEN GRIDS F & G**

SCALE: 1/16" = 1'-0"

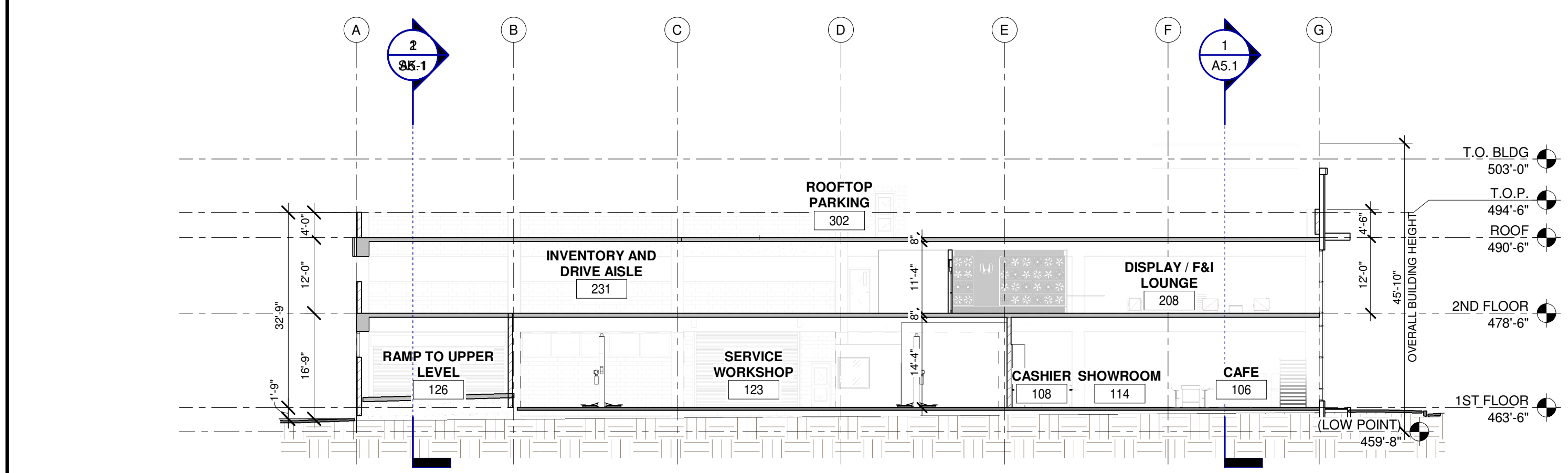
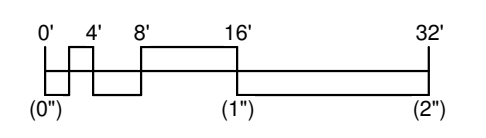
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A5.1



**NORTH-SOUTH BETWEEN GRIDS A & B**

SCALE: 1/16" = 1'-0"

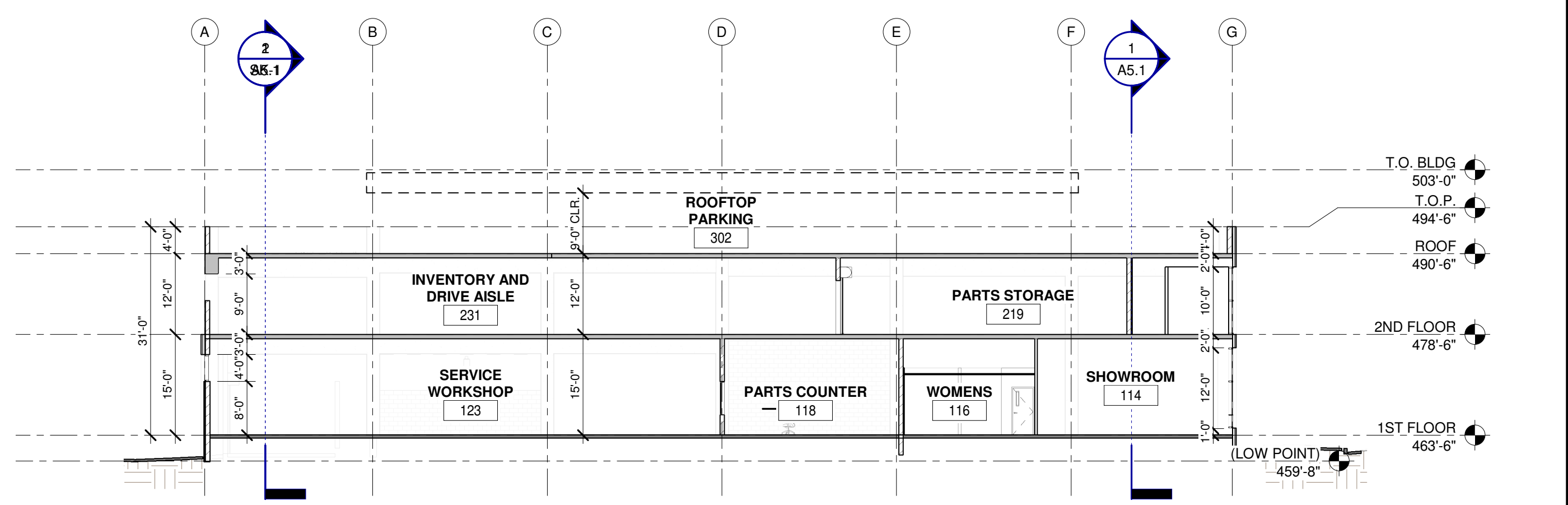
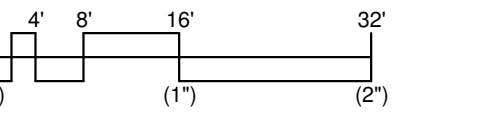
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A5.1



**EAST-WEST BETWEEN GRIDS 6 & 7**

SCALE: 1/16" = 1'-0"

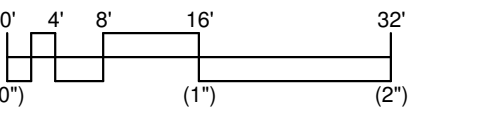
3  
A5.1



**EAST-WEST BETWEEN GRIDS 2 & 3**

SCALE: 1/16" = 1'-0"

4  
A5.1



**New Century Honda**  
1235 S. BRAND BLVD, GLENDALE, CA 91204



SHEET TITLE:

**BUILDING SECTIONS**

PROGRESS 10-05-2021

REVISION / DESCRIPTION:

PROJECT NO:

SHEET NO:

**A5.1**



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**New Century Honda**  
1235 S. BRAND BLVD., GLENDALE, CA 91204



SHEET TITLE:

**AXONOMETRIC EXHIBITS**

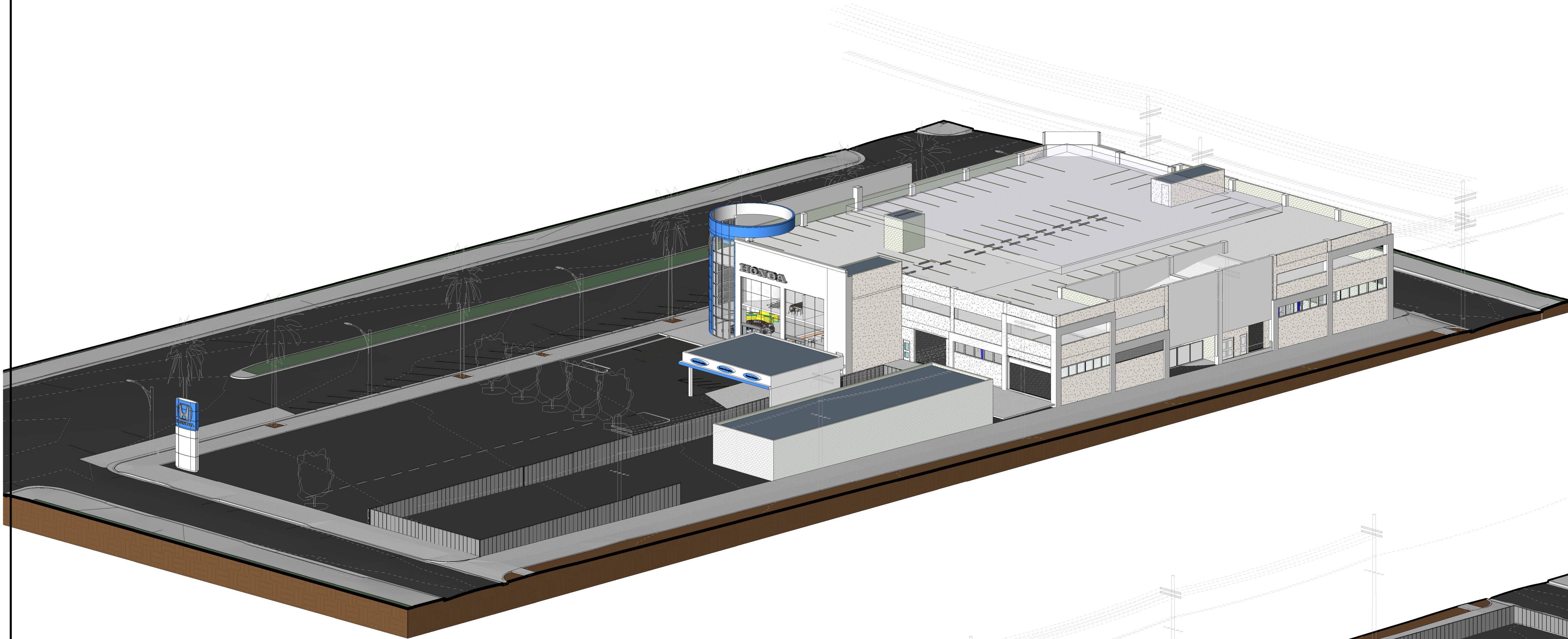
PROGRESS 10-05-2021

REVISION / DESCRIPTION:

PROJECT NO:

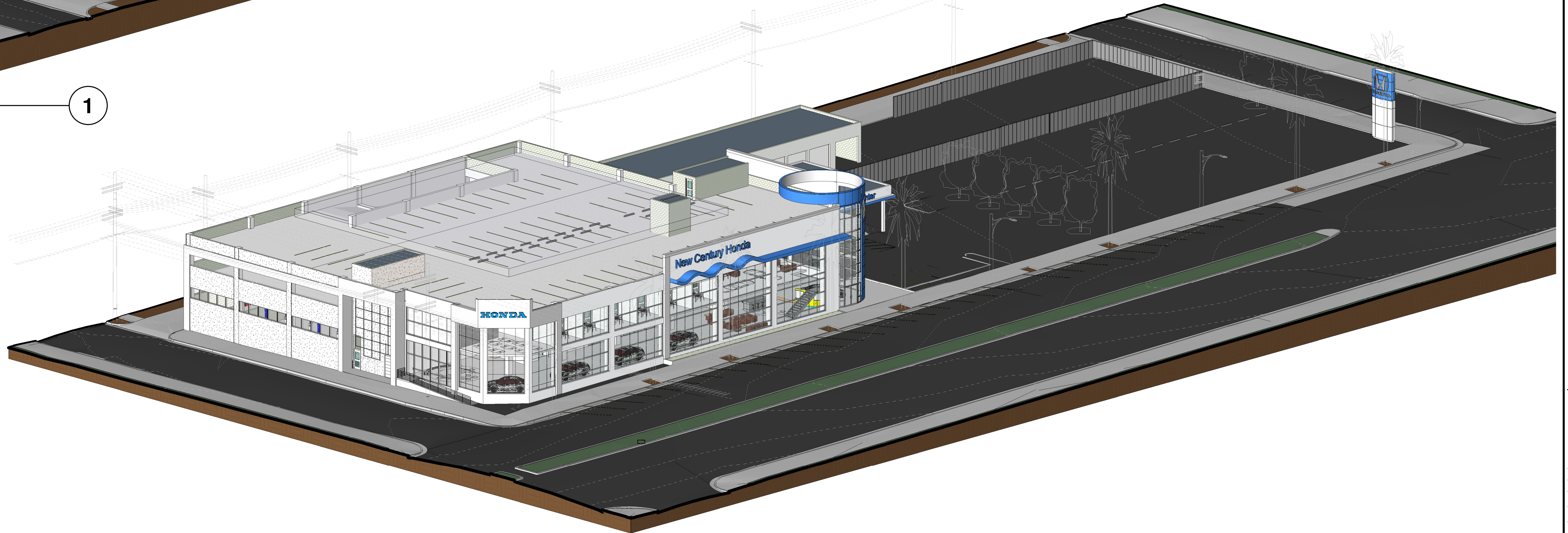
SHEET NO:

**A6.0**



**NORTHWEST**  
SCALE:

1



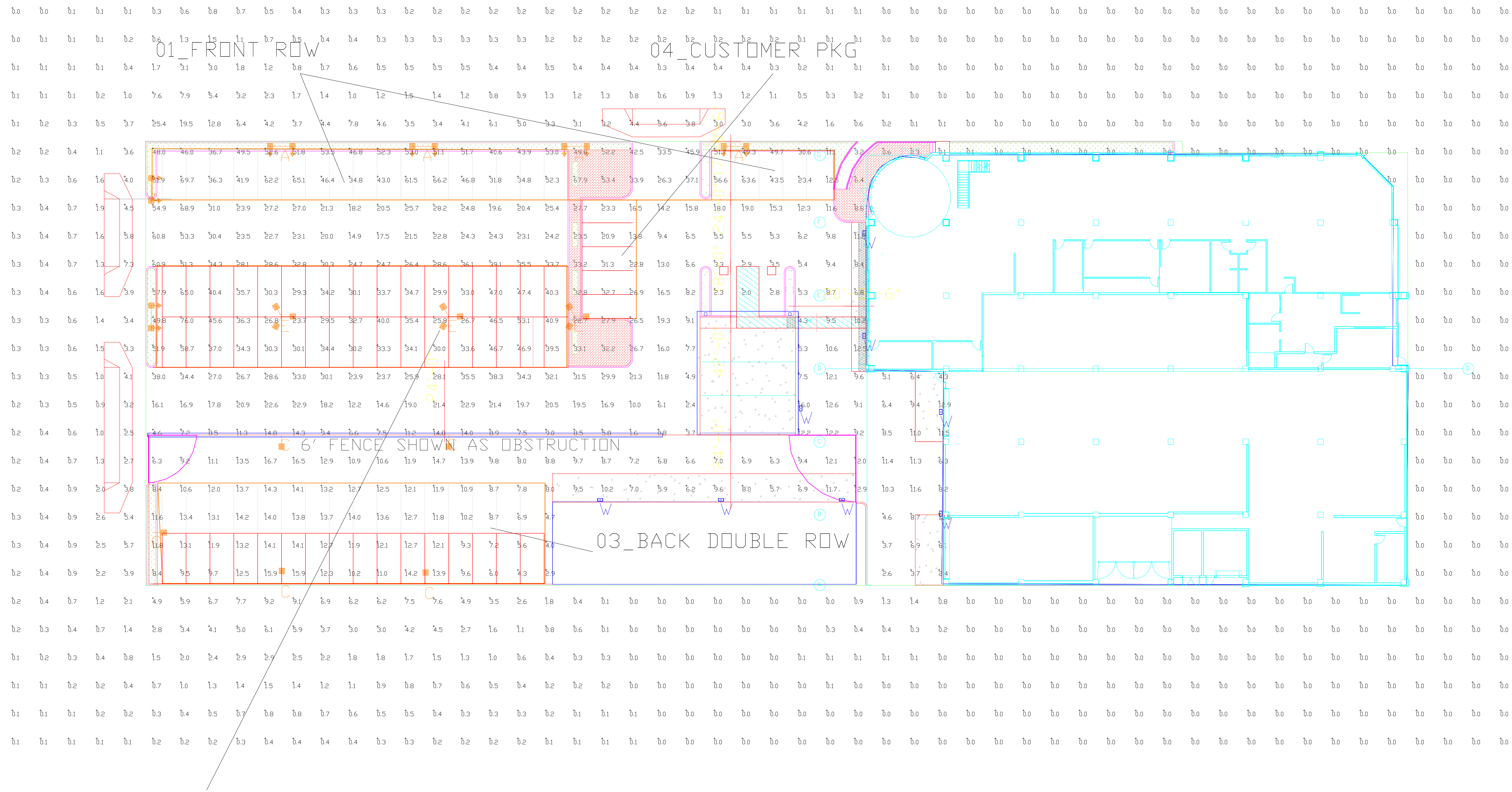
**SOUTHEAST**  
SCALE:

2

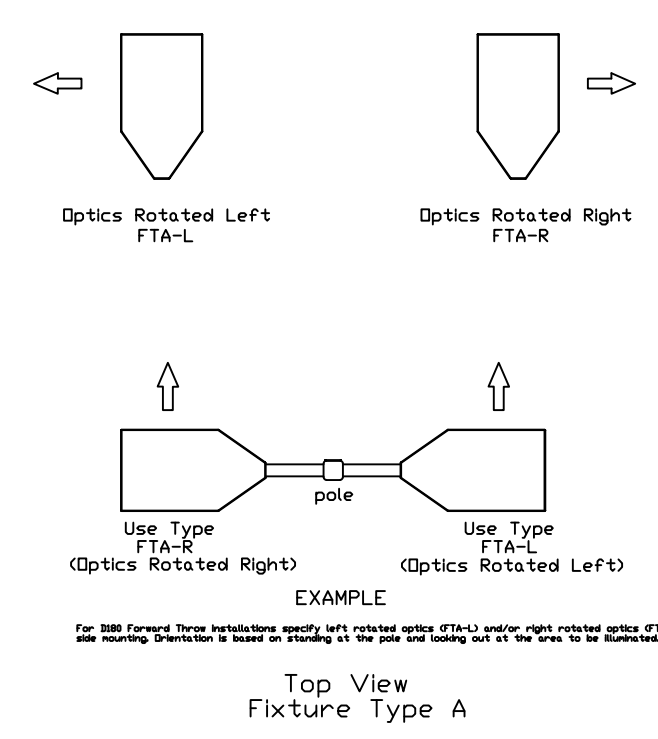
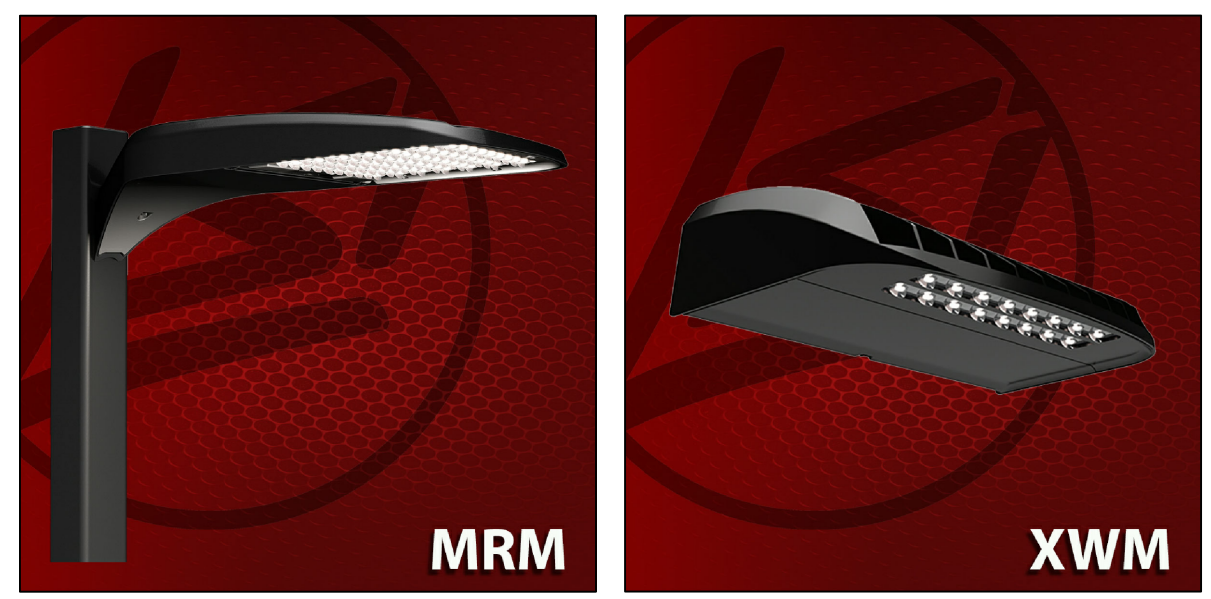








02\_INTERIOR DISPLAY



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS 4' ABOVE GRADE	Illuminance	Fc	8.04	76.0	0.0	N.A.	N.A.
01_FRONT ROW	Illuminance	Fc	47.20	69.7	12.5	3.78	5.58
02_INTERIOR DISPLAY	Illuminance	Fc	37.84	76.0	23.7	1.60	3.21
03_BACK DOUBLE ROW	Illuminance	Fc	11.72	15.9	4.3	2.73	3.70
04_CUSTOMER PKG	Illuminance	Fc	24.26	32.7	13.8	1.76	2.37

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
⬢	6	A	D180° 2RTD	MRM-LED-42L-SIL-FTA-50-70CRI-IH-(C)FTA-LJ(C)FTA-R-50-70CRI-D180RT-24' MH	1.000	1.000	1.000	69442	782.4	B3-U0-G3
⬢	5	C	SINGLE	MRM-LED-24L-SIL-FT-50-70CRI-SINGLE-24' MH	1.000	1.000	1.000	25652	187	B3-U0-G4
⬢	3	E	3 @ 120 DEGREES	MRM-LED-42L-SIL-AM-50-70CRI-IH-T120-24' MH	1.000	1.000	1.000	111432	1173.9	B3-U0-G3
⬢	8	W	SINGLE	XWM-FT-LED-12L-50-16' MH	1.000	1.000	1.000	11838	102.2	B2-U0-G3

Total Project Watts  
Total Watts = 9968.7

NEW CENTURY HONDA  
1235 S BRAND BLVD  
GLENDALE, CA

DATE: 12-14-20  
REV: 12/16/20  
SHEET 1 OF 1

SCALE: 1"=20'