

bbreviations and Definitions

Plus Minus

Anchor Bolt

Acoustical

Aluminium Angle

Attention

Blocking Beam

Bottom Bearing Brick

Architect(ural)

Above Finish Floor

THE FOLLOWING.

AFF or A.F.F

APPROX. ARCH.

AFG or A.F.G ALUMN. or ALUM.

ATTN. or ATTEN.

WHERE ADDITIONAL ABBREVIATIONS. OR WORD DEFINITIONS. ARE DEFINED BY ANOTHER

DISCIPLINE AND A CONFLICT OCCURS, THEIR DEFINITION SHALL TAKE PRECEDENCE OVER

B.U.R.

C or CH.

CCTV or C.C.T.V.

CLG. or CLNG.

CMU or C.M.U.

COMB. COMP. or COMPT.

CONC. CONST. CONT.

D. DN. DWN

DETL. or DTL.

Built Up Roofing

Cement Board

Center to Center

Clear Floor Space

Compact(ed)

Corridor Cold Water

Ceiling Concrete Masonry Unit

Closed Circut Television

J or EJ. or E.J.

ELEC. or ELECT

PROPOSED PROJECT

BUILDING HEIGHT TOTAL:

PROPOSED USE:

NO. OF STORIES:

NO.OF GUESTROOMS:

PARKING PROVIDED:

TOTAL EXCAVATION:

TOTAL BUILDING AREA:

TOTAL PARKING AREA:

BASEMENT 02:

BASEMENT 01

LEVEL 01:

LEVEL 02:

LEVEL 03:

TOTAL:

PARKING SUMMARY

OCCUPANCY / USE HOTEL (84 GUESTROOMS)

STANDARD SPACES

LEVEL 01

TOTAL

BASEMENT LEVEL 01

BASEMENT LEVEL 02

ACCESSIBLE SPACES

TOTAL AUTOMOBILE SPACES

BICYCLE PARKING PROVIDED

TOTAL PARKING REQUIRED

FLOOR AREA CALCULATIONS

Drawing Drawing Description S1.00 GENERAL NOTES S1.01 GENERAL NOTES S1.02 GENERAL NOTES S2.00 FOUNDATION PLAN (B-2) S2.01 B1 S2.02 PODIUM S2.03 SECOND S2.04 THIRD S2.05 R00F S3.00 CONCRETE & MASONRY DETAILS S3.01 CONCRETE & MASONRY DETAILS S3.02 CONCRETE & MASONRY DETAILS \$3.03 CONCRETE & MASONRY DETAILS \$3.04 CONCRETE & MASONRY DETAILS S3.05 CONCRETE & MASONRY DETAILS S3.06 CONCRETE & MASONRY DETAILS S3.07 CONCRETE & MASONRY DETAILS S4.00 WOOD DETAILS S4.01 WOOD DETAILS S4.02 WOOD DETAILS S4.03 WOOD DETAILS \$4.04 WOOD DETAILS S4.05 WOOD DETAILS S4.06 WOOD DETAILS S4.07A ATS MANUF. DETAILS S4.07B ATS MANUF. DETAILS S4.07C ATS MANUF. DETAILS

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A 0.0 ARCH. SITE PLAN A 1.01 BASEMENT FLOOR (B-2) A 1.02 BASEMENT FLOOR (B-1) A 1.1 FIRST FLOOR PLAN A 1.2 SECOND FLOOR PLAN A 1.3 THIRD FLOOR PLAN A 1.4 ROOF PLAN

A 2.0 DOOR / WINDOW SCHEDULE

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A 5.0 ENLARGED ACCESSIBLE ROOM PLANS (K,KQ,QQ) A 5.1 ENLARGED ACCESSIBLE RESTROOM PLANS

NEW HOTEL

3 STORIES (ABOVE GRADE)

2 SUBTERRANEAN LEVELS

313,460 CUBIC FEET (APPROXIMATE)

11,610 CUBIC YARD (APPROXIMATE)

38,845 SQUARE FEET

30,175 SQUARE FEET *

12,260 SQUARE FEET

16,260 SQUARE FEET

12,673 SQUARE FEET

14.512SQUARE FEET

14,512 SQUARE FEET

70,217 SQUARE FEET

67

64

PARKING PROVIDED - BREAKDOWN

64

TOTAL 20

TOTAL OF CONNECTED ROOMS

STANDARD (8'-6"x18') ACCESSIBLE (9'x18'

OPEN SPACE / LANDSCAPE CALCULATION

REQUIRED | CODE REFERENCE

SEC 30.32.050

84 GUESTROOMS

67 SPACES

8 BICYCLE

35'-0"

TOP OF ELEVATOR HOUSING: 45'-0" (PER SECTION 30.12.030)

*NOTE - PARKING AREA INCLUDES DRIVEWAY AND RAMPS

PARKING (CODE REQUIRED)

TOTAL PARKING PROVIDED

A 6.0 FIRE DETAILS

PROJECT DIRECTORY

COMMERCIAL

COMMERCIAL

PROJECT ADDRESS

GROSS PARCEL AREA:

LEGAL DESCRIPTION:

GENERAL PLAN DESIGNATION

GENERAL PLAN LAND USE :

SINGLE-FAMILY RESIDENTIAL

COMMERCIAL - COMMUNITY SERVICES

SURROUNDING LAND USES AND SETTING:

MULTI- & SINGLE - FAMILY RESIDENTIAL

OWNER / APPLICANT ANAND DESAI AV Hospitality, LLC 1628 Victory Blvd, Suite 101 Glendale, CA 91201 Tel: 818.208.4700

LANDSCAPE ARCHITECT SITE SURVEY JC Survey P.O.Box 86 Action, CA 93510

Charles Trowbridge & Associates 17901 Romelle Ave. Santa Ana, ca 92705 Tel: 714.532.3663

CONTACT:

ARBI KARAPETIAN, P.E.

6854 Foothill Blvd. Tujunga CA 91042

SITE INFORMATION

0.50 ACRES (21,647 SQ. FT.)

ARCHITECT / STRUCTURAL ENGINEER

K&M ENGINEERING AND DESIGN, CORP.

1633 VICTORY BOULEVARD, GLENDALE, CA 91201

ASSESSOR PARCEL NUMBER: 5626 - 013 - 024

OF THE COUNTY RECORDER OF SAID COUNTY.

C3 (COMMERCIAL SERVICE) ZONE, HEIGHT DISTRICT 1

LOTS 22-24 IN TRACT NO. 8589, IN THE CITY OF GLENDALE,

COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP

RECORDED IN BOOK 104, PAGES 49-50, OF MAPS, IN THE OFFICE

NORTH: R1 LOW DENSITY RESIDENTIAL, FLOOR AREA DISTRICT II/

SOUTH: C3 COMMERCIAL SERVICE ZONE, HEIGHT DISTRICT I /

EAST: C3 COMMERCIAL SERVICE ZONE, HEIGHT DISTRICT I /

WEST: C3 COMMERCIAL SERVICE ZONE, HEIGHT DISTRICT I /

VICINITY MAP



PARCEL MAP



General Note:

A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES: - 2019 BUILDING STDS. ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. - 2019 CALIFORNIA BLDG, CODE (CBC), PART 2, TITLE 24 C.C.R.

- 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.) PART 3. TITLE 24 C.C.R. - 2019 CALIFORNIA MECHANICAL CODE (C.M.C.), PT. 4, TITLE 24 C.C.R. - 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. - 2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R. - 2019 CALIFORNIA REFERENCED STDS. CODE, PT. 12, TITLE 24 C.C.R. - 2019 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGS. - CITY OF GLENDALE MUNICIPAL CODE.

B. IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL SHALL HAVE A SIGN STATING THAT "UNAUTHORIZED VEHICLES PARKING IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE.

C. WHERE PERMANENT IDENTIFICATION IS PROVIDED. IT SHALL BE ACCOMPANIED BY SIGNAGE IN CONTRACTED GRADE 2 BRAILLE IN CONFORMANCE WITH 3105A. ACCESSIBILITY SIGNAGE TO BE PROVIDED IN CONFORMANCE TO CBC 11B-703.2

D. DOOR HARDWARE AT ACCESSIBLE LOCATIONS TO BE LEVER TYPE (ADA COMPLIANT): LOWER 10" OF ALL DOORS TO BE SMOOTH AND UNINTERRUPTED TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION (SEE SPECIFICATIONS).

E.GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.

F. FIRE BLOCKING WILL BE REQUIRED PER CBC CHAPTER 7 AS FOLLOWS: A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL; B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT

SOFFITS, DROP CEILINGS AND COVE CEILINGS: C. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.

G. THE FIRE DEPARTMENT SHALL INSPECT / APPROVE THE FOLLOWING: A. FINAL OCCUPANCY SIGN OFF - PRIOR TO OCCUPANCY. B. ALL REQUIREMENTS SHALL BE COMPLETED PRIOR TO OCCUPANCY APPROVAL EXCEPT NOTED OTHERWISE.

H. SAFETY NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS, AS THEY APPLY TO THIS PROJECT, OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA (LATEST EDITION), ALL O.S.H.A. REQUIREMENTS AND CBC CHAPTER 33.

BUILDING CODE ANALYSIS:

SOUTH-WEST ELEVATION

HOTEL BUILDING w/ 84 GUEST ROOMS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER PER CBC 903.3.1.1 INCLUDING ALL OF THE GARAGE AND HOTEL FLOORS USING HORIZONTAL BUILDING SEPARATION PER CBC 510.2 AND SEPARATION OCCUPANCIES PER CBC 508.4 TYPES OF OCCUPANCIES:

V-A

ENCLOSED PARKING GARAGE (PER CBC 406.6) HOTEL GUEST ROOMS 1ST, 2ND & 3RD FLOORS LOBBY/ ADMIN AND REC.

TYPES OF CONSTRUCTION PARKING GARAGE (S-2) HOTEL (R-1)

ALLOWABLE AREA (CBC 506): PARKING GARAGE (S-2) UNLIMITED 12,000 PER FLOOR HOTEL (R-1) OFFICE ADMIN & REC. (B) 18,000 PER FLOOR

|12,000 + (12,000 x 0.671)|= 20,052 PER FLOOR TOTAL ALLOWABLE S.F. FOR BUILDING = 60,156 S.F.

ALLOWABLE AREA INCREASE BASED ON FRONTAGE (CBC 506.2.3):

ALLOWABLE HEIGHT AND NUMBER OF STORIES (CBC 504.3 & 504.4): 50 FT. / 3 STORIES

BELOW GRADE PER CBC 510.2 AND 510.4 PARKING GARAGE (S-2) MAXIMUM ALLOWABLE ZONING HEIGHT 35'-0" (EXCEPT ELEVATOR TOWER) AUTOMATIC FIRE SPRINKLERS (CBC 420.5/ 903.2.10) REQUIRED FIRE ALARM (CBC 420.6) REQUIRED

FIRE RESISTANCE RATING FOR TYPE 1-A/ S-2 (UNDER GROUND PARKING) (CBC TABLE 601 & 602):

A.PRIMARY STRUCTURAL FRAME B.EXTERIOR BEARING WALLS C.INTERIOR BEARING WALLS & COLUMNS D.EXTERIOR NON-BEARING WALLS (TABLE 602) E.INTERIOR NON-BEARING WALLS & PARTITIONS F.FLOOR CONSTRUCTION G.ROOF CONSTRUCTION 1 ½ HR

FIRE RESISTANCE RATING FOR TYPE V-A/ R-3 (HOTEL (TABLE 601 & 602): A.PRIMARY STRUCTURAL FRAME

B.EXTERIOR BEARING WALLS C INTERIOR BEARING WALLS & COLUMNS D.EXTERIOR NON-BEARING WALLS (TABLE 602) E.INTERIOR NON-BEARING WALLS & PARTITIONS F FLOOR CONSTRUCTION G.ROOF CONSTRUCTION

OCCUPANCY SEPARATION:

S-2/ R-1 HORIZONTAL SEPARATION (CBC 510.2) SHAFT ENCLOSURES (CBC 510.2/713.4) **EXIT STAIRWAY ELEVATE SHAFT** BATHROOM SHAFT ENCLOSURE (THAN 4 CORRIDOR FIRE RESISTANCE RATING (TABLE 1020.1)

ALL INTERIOR AREAS ARE CALCULATED TO FACE

OF INTERIOR FINISH

ALL EXTERIOR AREAS ARE CALCULATED TO FACE

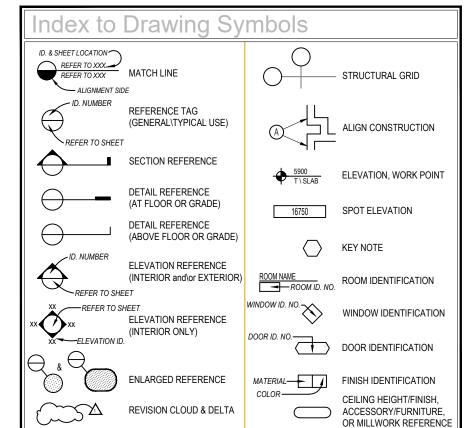
BUILDING NET SQUARE FOOTAGE:

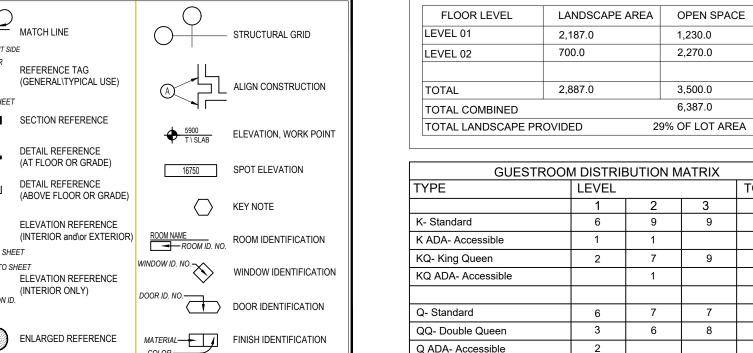
OF STUD

BUILDING GROSS SQUARE FOOTAGE:

CLASS 'B' REQUIRED MINIMUM ROOF COVERING (TABLE 1505.1) FOR V-A

NECESSARY: WORK NEEDED TO COMPLETE THE WORK. TO: "MAKE IT OPERATIONAL FURNISH: RESPONSIBLE FOR PURCHASE AND DELIVERY OF ITEM(S) REQUIRED: WORK NEEDED TO BE IN COMPLIANCE WITH BUILDING CODE, GOVERNING CODE, OR JURISDICTION HAVING INSTALL: RESPONSIBLE FOR RECEIVING, INSPECTION, STORAGE, PREPARATION AND INSTALLATION OF ITEM(S). RESPONSIBLE FOR PURCHASE, DELIVERY, RECEIVING, INSPECTION, STORAGE, PREPARATION, AND INSTALLATION OF ITEM(S). Height Hollow Metal Maximum Medium Medium Density Overlay Top and Bottom Tongue and Groove MDO or M.D.O. Particle, Partial or Fiber reinforced concrete TS or T.S. TV OR T.V. Drawing(s) Roof Scupper Fire Retardant Treated Fiber Reinforced Plastic MFR. or MANUF. Manufacturer HVAC or H.V.A.C. P. LAM or P.L. PLAS. PLBG. SCHED or SCHEDL. SECT. SHT. Schedule Unless Noted Otherwi FUT. or FUTR. MR. or M.R. Moisture Resistant Electrical EMER. or EMERG. Emergency VCT or V.C.T. Vinyl Composition Tile SCHED or SCHEDL. Schedule VB or VB. or V.B. Gypsum Board Vertical Bracing Mullion Verify in Field VIF. or V.I.F. Janitor's Close Post Tensioned Not Applicable GFRG W or W. Emergency Roof Drain Electrical Water Cooler Kitchen Knock out SS OR S.S. Water Closet Galvanized Sheet Metal RD. or R.D. Wide Flange Waterproof HADG Hilton Accessibility D Framing Light Weight Long Leg Horizontal Overflow Drain or Outside Dia Refer or Referenced WWF or W.W.F. Welded Wire Fabric HC. or H.C. Refrigerator Regular or Register Welded Wire Mesh L.L.H or LLH Overhead or Opposite L.L.V. or LLV





K&M ENGINEERING AND DESIGN, CORP. T: (818) 273-9980 6854 FOOTHILL BLVD. TUJUNGA, CA 91042

REVISIONS

11.10.20 REVISION

01.26.21 REVISION

COVER

DRAW

E: info@kmdesigncorp.com www.kmdesigncorp.com



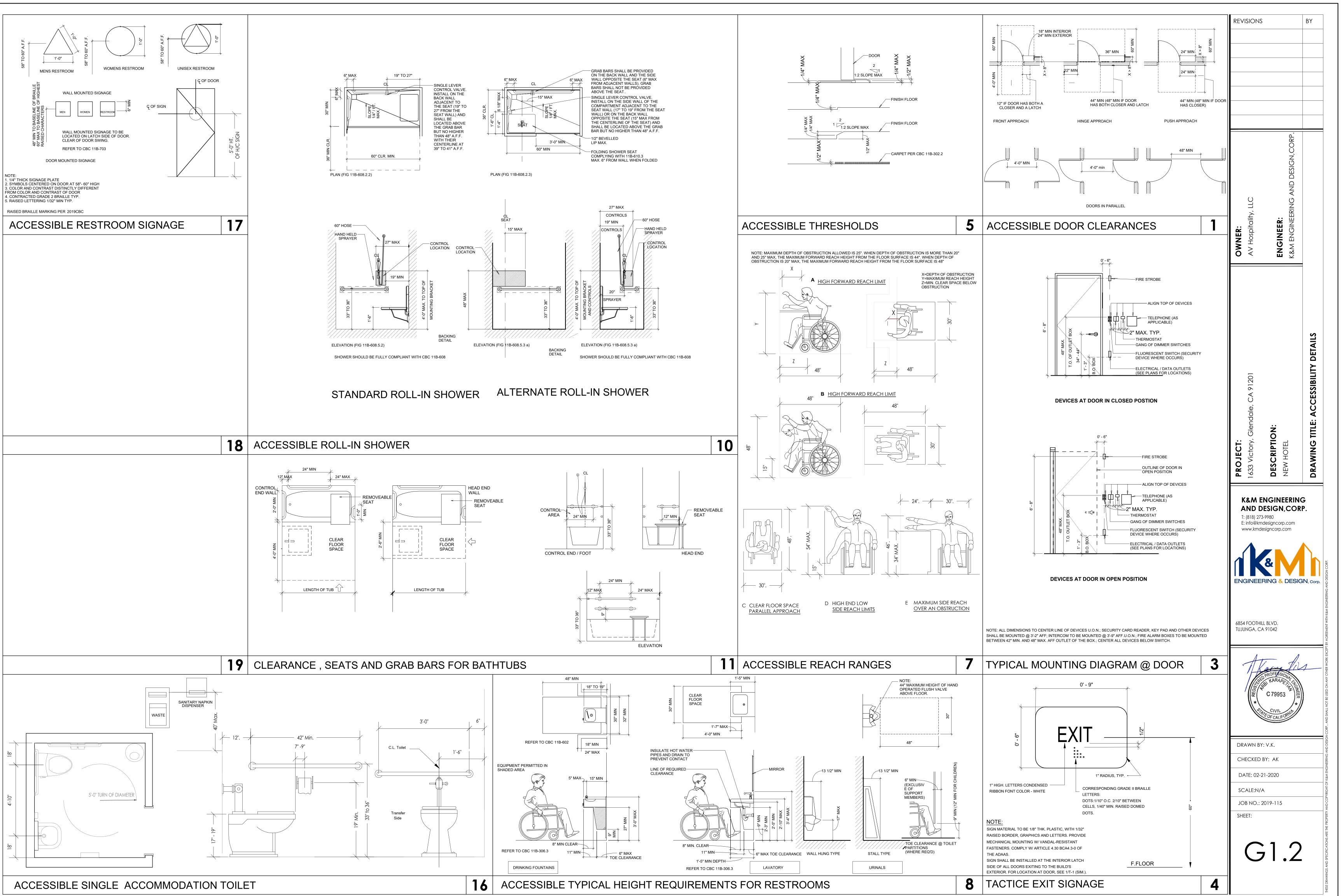


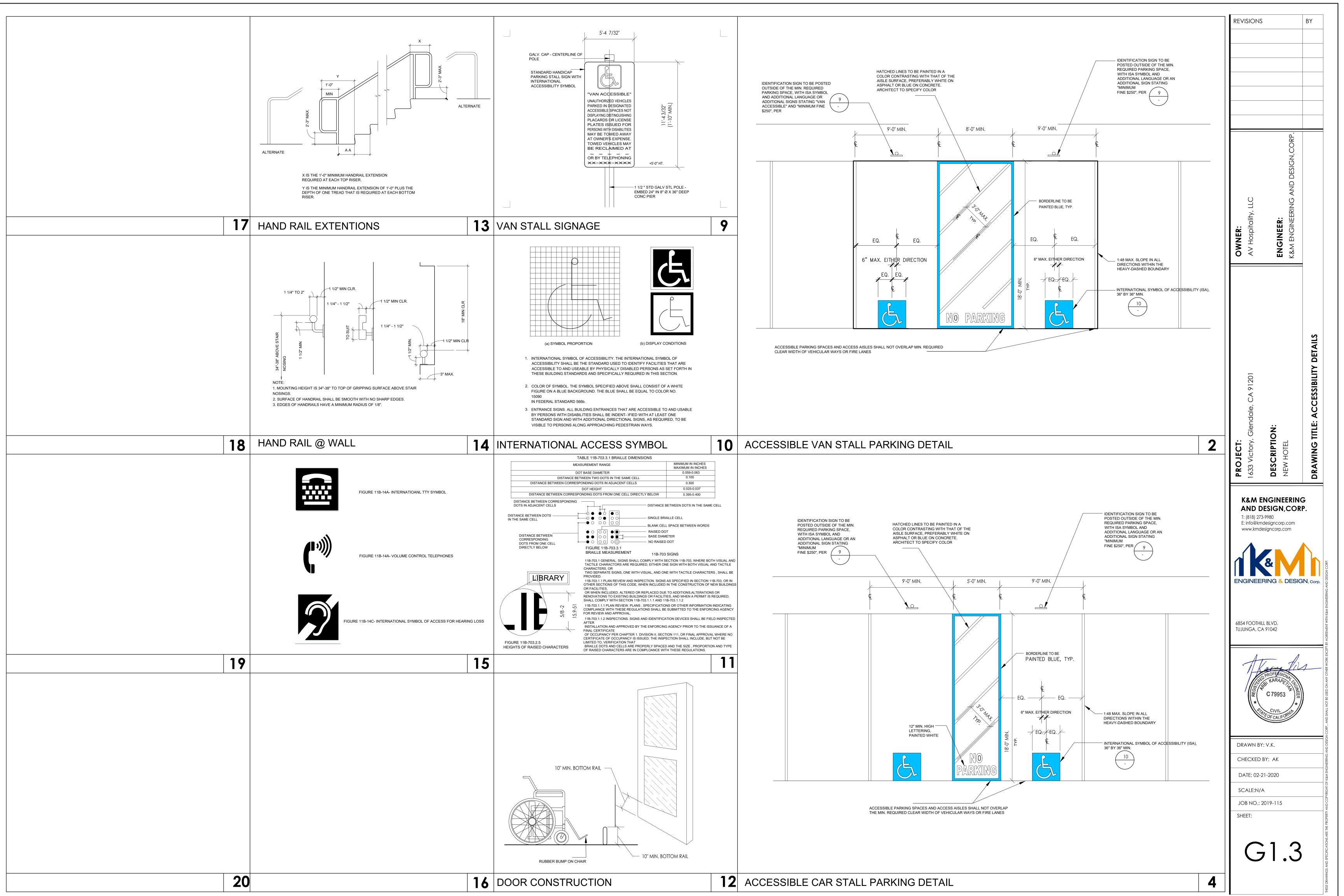
DRAWN BY: A.M CHECKED BY: AK

DATE: 02-11-2020 SCALE:AS NOTED

JOB NO.: 2019-115 SHEET:







This checklist is to be used on an individual project basis and may be modified by the applicant to meet the needs of their specific project. The applicant shall strike out those sections that are not applicable to their project and indicate

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

he location of where this information is located. The applicant and property where assume all responsibility associated with the use of this document. RESII	DENTIAL MANDATORY MEASUR	RES, SHEET 1 (January 2020, Includes Au	gust 2019 Supplement)
CHAPTER 3 GREEN BUILDING	Y N/A RESPON. PARTY	Y N/A RESPON. PARTY	Y N/A RESPON. PARTY
SECTION 301 GENERAL			DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE
301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in	4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:	DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION	EFFICIENCY MATERIAL CONSERVATION AND RESCORCE
the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.	The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.	4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.	4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in
301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the	The EV space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.	Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final	sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
specific area of the addition or alteration. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures.	Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.	completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.	4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste
Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.	Note: Electric Vehicle charging stations serving public housing are required to comply with the California Building Code, Chapter 11B. 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be	4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.	management ordinance. Exceptions:
301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of	designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm).	Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably
individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.	2. The minimum width of each EV space shall be 9 feet (2743 mm). 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).	4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads.	close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
SECTION 302 MIXED OCCUPANCY BUILDINGS	Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.	4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.	4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.
302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.	4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside	4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by	 Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or
ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission	diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit	a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.	bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste
DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise	installation of a branch circuit overcurrent protective device. 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway	4.303.1.4 Faucets.	generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
AA Additions and Alterations N New	termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs	4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.	4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.
CHAPTER 4 RESIDENTIAL MANDATORY MEASURES	at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.	4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.	Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
	□ □ 4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent	4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.	4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4
SECTION 4.102 DEFINITIONS	protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.	4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons	lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)	□ □ 4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location	per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.	4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction
 FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials 	of the EV spaces. Notes:	Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.	requirement in Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates
such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT	Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers	4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.	compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4 Notes:
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.	are installed for use. 4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with	NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.	Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. Mixed construction and demolition debris (C & D) processors can be located at the California
4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage	Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.	TABLE - MAXIMUM FIXTURE WATER USE	Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION
during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site.	TABLE 4.106.4.3.1 TOTAL NUMBER OF PARKING NUMBER OF REQUIRED EV	FIXTURE TYPE FLOW RATE SHOWER HEADS (DECURENTIAL) 1.8 GMP @ 80 PSI	 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
 Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 		(RESIDENTIAL) LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI (RESIDENTIAL) MIN. 0.8 GPM @ 20 PSI	Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. Operation and maintenance instructions for the following:
 Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. 	10-25	LAVATORY FAUCETS IN 0.5 GPM @ 60 PSI COMMON & PUBLIC USE AREAS	 a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts.
(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)	26-50 2 51-75 4	METERING FAUCETS 1.8 GPM @ 60 PSI METERING FAUCETS 0.2 GAL/CYCLE	 c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems.
4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:	76-100 5 101-150 7	WATER CLOSET 1.28 GAL/FLUSH URINALS 0.125 GAL/FLUSH	 Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area. Educational material on the positive impacts of an interior relative humidity between 30-60 percent
 Swales Water collection and disposal systems French drains Water retention gardens 	151-200 10 201 and over 6 percent of total	4.304 OUTDOOR WATER USE	 and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5
Other water measures which keep surface water away from buildings and aid in groundwater recharge.	4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:	4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections	The minimum length of each EV space shall be 18 feet (5486mm). The minimum width of each EV space shall be 9 feet (2743mm)	NOTES:	9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code.
4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions:	4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.	The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/	4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling
 On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply. 	4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.		ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section
1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit.	4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5. 4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for		42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.
 Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 	hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B.		DIVISION 4.5. ENVIDONMENTAL OLIALITY
4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main	DIVISION 4.2 ENERGY EFFICIENCY		DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL 4.501.1 Scope
service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent	4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.		The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.
protective device. 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent			SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)
protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". 4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of			AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and
parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.			medium density fiberboard. "Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.
Notes: 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.			DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.
4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.			

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DATE: 02-11-2020

SCALE:AS NOTED

SHEET

J□B N□.: 2019-115

1 ACCESIBILITY NOTES - GROUP R OCCUPANCIES

D. ACCESSIBLE FIXTURES

1. Water closets required to be accessible shall comply with the following: (1115B.4.1)

a) The centerline of the water closet fixture shall be 18" from the side wall or partition. On the other side of the water closet, provide a minimum of 28" wide clear floor space if the water closet is adjacent to a fixture or a minimum of 32" wide clear floor space if the water closet is adjacent to a wall or partition. This clear floor space shall extend from the rear wall to the front of the water closet. (1115B.4.1.1) b) Provide clear floor space and maneuvering space at accessible water closets in compliance with Section 1115B.4.1, Item 2. Refer to Section 1115B.3.1, Items 4.2 and 4.3 for additionally required maneuvering space at multiple-

accommodation toilet facilities. Refer to Section 1115B.3.2, Item 3 for additionally required maneuvering space at single-accommodation toilet facilities. (1115B.4.1.2) i. Where a water closet is not within a water closet compartment, clear floor space around the water closet shall be 60" minimum measured perpendicular from the side wall closest to the water closet and 56" minimum measured perpendicular from the rear wall. See Figure 11B-1E (a). (1115B.4.1.2.1)

ii. Where a wall mounted water closet is installed within an accessible water closet compartment, clear floor space around the water closet shall be 60" minimum measured perpendicular from the side wall closest to the water closet and 56" minimum measured perpendicular from the rear wall. Where a floor mounted water closet is installed within an accessible water closet compartment, clear floor space around the water closet shall be 60" minimum measured perpendicular from the side wall and 59" minimum measured perpendicular from the rear wall. See Figures 11B-1E (b), (c), (d) and (e), (1115B.4.1.2.2) iii. Where a water closet is installed within an accessible water closet compartment with an in-swinging door, a minimum 60" wide by 36" deep maneuvering space shall be provided in front of the clear floor space required in Item 2.2.

See Figures 11B-1E (c) and (e). (1115B.4.1.2.3) Exception: An adjacent fixture at the rear wall is permitted to encroach into the required floor apace at the wide side of the water closet where clearances are provided in compliance with Section 1115B.4.1, Item 1 Grab bars for water closets not located within a compartment shall comply with the Section 1115B.7 and shall be provided on the side wall closest to the water closet and on the rear wall. Grab bars for water closets located within an accessible compartment shall comply with Section 1115B.7 and shall be provided on the side wall closest to the water closet and on the rear wall. Grab bars for water closets located within ambulatory accessible compartments shall

comply with Section 1115B.7 and shall be provided on both sides of the compartments. Grab bars shall not project more than 3" into the required clear floor space. i. The side grab bar shall be 42" long minimum, located 12" maximum from the rear wall and extend 54" minimum from the front end positioned 24" minimum in front of the water closet. The side grab bar shall be

securely attached and centered 33" above and parallel to the floor. ii. The rear grab bar shall be 36" long minimum and extend from the centerline of the water closet 12" minimum on one side and 24" minimum on the other side. The rear grab bar shall be securely attached and centered 33" above and parallel to the floor, except that where a tank-type toilet is used which obstruct placement at 33", the grab bar may be as high as 36" and the space between the grab bar and the top of the tank shall be 1- 1/2" minimum. c) The height of accessible water closets shall be a minimum of 17" and a maximum of 19" measured to the top of a maximum 2" high toilet seat.

d) Controls shall be operable with one hand and shall not require tight grasping, pinching or twisting. Controls for the flush valves shall be mounted on the wide side of toilet areas, no more than 44" above the floor. The force required to activate controls shall be no greater than 5 pounds-force.

e) See Section 1134A.7 for additional requirements for water closets in publicly funded housing and non-residential occupancies.

f) Automatic spring to lifted position seats are not allowed.

2. Urinals required to be accessible shall comply with this subsection: (1115B.4.2)

Exception: A 3" high seat shall be permitted only in alterations where the existing fixture is less than 15" high.

a) Urinals shall be floor mounted, stall-type or wall hung. Where one or more wall-hung urinals are provided, at least one with an elongated rim projecting a minimum of 14" from the wall and a maximum of 17" from the wall and a b) Flush controls shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist and shall be mounted no more than 44" above the floor. The force required to activate controls shall be no

greater than 5lbf. Electronic automatic flushing controls are acceptable and preferable. c) Where urinals are provided, at least on shall have a clear floor space 30" by 48" in front of the urinal to allow forward approach. The clear space shall comply with Section 1118B.4.

3. Lavatory fixtures, vanities and built-in lavatories shall comply with Section 1115B.4.3.

a) Faucet controls and operating mechanisms shall be operable with one hand in accordance with this chapter and shall not require tight grasping, pinching or twisting of the wrist. The force required to activate controls shall be not greater than 5 pound-force. Lever-operated, push type and electronically controlled mechanisms (preferable) are examples of acceptable designs. Self-closing valves are allowed if the faucet remains open for at least ten seconds. b) Lavatories, when located adjacent to a side wall or partition, shall be a minimum of 18" to the centerline of the fixture. All lavatories that are designated to be accessible shall be a minimum of 17" in horizontal depth and mounted with the rim or counter edge no higher than 34" above the finished floor and with vertical clearance measured from the bottom of the apron or the outside bottom edge of the lavatory of 29" reducing to 27" at a point located 8" back from the front edge. In addition a minimum 9-inch-high toe clearance must be provided extending back toward the wall to a distance no more than 6" from the back wall. The toe clearance space must be free of equipment or obstructions.

c) A clear floor space 30" by 48" complying with Section 1118B.4 shall be provided in front of a lavatory to allow forward approach. Such clear floor space shall adjoin or overlap an accessible route and shall extend a maximum of 19" into knee and toe space underneath the lavatory. See Figure 11B-1D, Knee clearance.

d) Hot water and drain pipes accessible under lavatories shall be insulated or otherwise covered. There shall be no sharp or abrasive surfaces under lavatories.

4. Showers required to be accessible shall comply with this subsection following: (1115B.4.4) a) Accessible showers shall comply with one of the following:

i. Roll-in shower 60" minimum in width between wall surfaces and 30" minimum in depth with a full opening width on the long side. Shower compartment size and clear floor space shall comply with the Figure 11B-2A. ii. Alternate roll-in shower 60" minimum in width between wall surfaces and 36" in depth with an entrance opening width of 36" minimum. Shower compartment size and clear floor space shall comply with Figure 11B-2B. iii. Alternate roll-in shower with optional enclosure 60" minimum in width between wall surfaces and 36" in depth as long as the entrance opening width is a minimum 36". Shower compartment size and clear floor space shall comply

b) Thresholds in roll-in type showers shall be 1/2" high maximum and shall comply with Section 1124B.2. c) Where, within the same functional area, two or more accessible showers are provided, there shall be at least one shower constructed opposite hand from the other or others. (That is, one left- hand controls versus right-hand

controls) 1115B.4.3 d) Water controls shall be of a single-lever design, operable with one hand, and shall not require tight grasping, pinching or twisting of the wrist. The force required to activate controls shall be no greater than 5 lbf. The centerline of the controls shall be located 39" to 41" above the shower floor: 1115.4.4.4

i. Controls in a 60" minimum by 30" minimum roll-in shower shall be located on the back wall of the compartment adjacent to the seat and the centerline of the controls shall be within a range of no less than 19" and no more than 27" from the seat wall as shown in Figure 11B-2A. ii. Controls in a 60" minimum by 36" alternate roll-in shower shall be located on the side wall of the compartment adjacent to the seat and the centerline of the controls shall be within a range of no less than 19" and no more than 27"

from the seat wall as shown in Figure 11B-2B. iii. Controls in a 60" minimum by 36" minimum alternate roll-in shower with optional enclosure shall be located on the back wall of the compartment adjacent to the seat and the centerline of the controls shall be within a range of 19" and no more than 27" from the seat wall as shown in Figure 11B-2C.

5. A flexible hand-held sprayer unit with a hose at least 60" long that can be used both as a fixed shower head and as a hand-held shower shall be provided. This unit shall be mounted such that the top of the mounting bracket is at a maximum height of 48" above the shower floor. (1115B.4.4.5)

a) The hand-held sprayer unit in a 60" minimum by 30" minimum roll-in shower shall be located on the back wall of the compartment adjacent to the seat and the centerline of the unit shall be no more than 27" from the seat wall as shown in Figure 11B-2A.

b) The hand-held sprayer unit in a 60" minimum by 36" alternate roll-in shower shall be located on the side wall of the compartment adjacent to the seat and the centerline of the unit shall be 18" from the seat wall as shown in Figure

c) The hand-held sprayer unit in a 60" minimum by 36" minimum alternate roll-in shower with optional enclosure shall be located on the back wall of the compartment adjacent to the seat and the centerline of the unit shall be no more than 27" from the seat wall as shown in Figure 11B-2C. 6. Except within guest rooms and suites in hotels, motels and similar transient lodging establishments, where accessible shower facilities are provided in areas subject to excessive vandalism, in lieu of providing the fixed flexible

hose, two wall-mounted shower heads shall be installed. Each shower head shall be installed so that it can be operated independently of the other and shall have swivel angle adjustments, both vertically and horizontally. One shower head shall be located at a height of 48" above the floor. (1115B.4.4.6)

7. The maximum slope of the floor shall be 2% in any direction. Where drains are provided, grate openings shall be a maximum of 1/4" and located flush with the floor surface. (1115.4.4.7) 8. Shower accessories shall include: (1115B.4.4.8)

a) A folding seat mounted 18" above the floor, and with a minimum space of 1" and maximum space of 1-1/2" allowed between the edge of the seat and any wall. When folded, the seat shall not extend more than 6" from the mounting wall. The seat dimensions and mounting position shall comply with Figures 11B-2A, 11B-2B, 11B-2C and 11B-2D. The structural strength of seats and their attachments shall comply with Section 1115B.7.2. b) Grab bars located on walls adjacent to and opposite the seat shall comply with the diameter, loading and projection requirements of Section 1115B.7. Grab bars shall be mounted between a minimum of 33" and a maximum of 36" above the shower floor with an L-shaped grab bar mounted on walls opposite and adjacent to the front edge of the seat, but not extended to include that portion of wall over the seat. See Figure 11B-2A or 11B-2B c) When a soap dish is provided, it shall be located on the control wall at a maximum height of 40" above the shower floor, and within reach limits from the seat. (1115.4.4.9)

d) Enclosures, when provided for shower compartments, shall not obstruct controls or obstruct transfer from wheelchairs onto shower seats. (1115B.4.4.10) 9. Bathtubs required to be accessible shall comply with Section 1115B.4.5.

E. IDENTIFICATION SYMBOLS

with Figure 11B-2C.

1. Doorways leading to sanitary facilities shall be identified by a geometric symbol in compliance with Section 1115B.6. Geometric symbols shall be centered horizontally on the door at a height of 60 inches above the finish floor or ground surface measured to the center of the symbol. See Section 1117B.5.1 item 1 for additional signage requirements applicable to sanitary facilities. (1115B.6) 2. Men's sanitary facilities shall be identified by an equilateral triangle, ¼ inch thick with edges 12 inches long and a vertex pointing upward. The triangle symbol shall contrast with the door, either light on a dark background or dark

on a light background. (1115B.6.1) 3. Women's sanitary facilities shall be identified by a circle, ¼ inch thick and 12 inches in diameter. The circle symbol shall contrast with the door, either light on a dark background or dark on a light background. (1115B.6.2)

4. Unisex sanitary facilities shall be identified by a circle, 1/4 inch thick and 12 inches in diameter with a 1/4 inch thick triangle superimposed on the circle and within the 12-inch diameter. The triangle symbol shall be contrast with the circle symbol, either light on a dark background or dark on

F. GRAB BARS, TUB AND SHOWER SEATS

1. Grab bars, tub and shower seats shall comply with Section 1115B.7.

G. ACCESSORIES (MIRRORS, MEDICINE CABINETS, DISPENSERS, CONTROLS AND LOCKERS, ETC)

a light background. The circle shall be contrast with the door, either light on a dark background or dark on a light background. (1115B.6.3)

1. All mirrors located above accessible lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40" maximum above the finished floor or ground. (1115B.8.1.1) 2. When mirrors are provided at locations other than above lavatories or countertops, at least one shall be installed with the bottom edge of the reflecting surface 35" maximum above the finished floor or ground. (1115B.8.2)

3. Mirrors in fitting areas and dressing areas shall comply with Section 1117B.8. (1115B.8.3) 4. If medicine cabinets are provided, at least one shall be located with a usable shelf no higher than 44" above the floor. A clear floor space 30" by 48" complying with Section 1118B.4 shall be provided in front of a medicine cabinet

to allow a forward or parallel approach. (1118B.8.2)

5. Where towel, sanitary napkins, waste receptacles, dispensers, other equipment and controls are provided, at least one of each type shall be located on an accessible route, with all operable parts, including coin slots, within 40" from the finished floor and shall comply with Section 1117B.6, Controls and operating mechanisms.

6. Toilet tissue dispensers shall be located on the wall within 12" of the front edge of the toilet seat, mounted below the grab bar, at a minimum height of 19", and 36" maximum to the far edge from the rear wall. Dispensers that controls delivery or that do not permit continuous paper flow shall not be used. (Figure 11B- 1A, 1115B.8.4)

7. Where lockers are provided for the public, clients, employees, members or participants, at least one locker and not less than 1 percent of all lockers shall be made accessible to persons with disabilities. A path of travel not less than 36" in clear width shall be provided to these lockers. (1115B.8.5)

A. GROUP R OCCUPANCIES

1. Hotels, motels, inns, dormitories, resorts, homeless shelters, halfway houses, transient group homes, and similar places of transient lodging shall provide access for persons with disabilities in accordance with the provisions of the accessibility requirements of California Building Code. (1111B.4)

fully accessible guest rooms or dormitory rooms, including sanitary facilities serving such guest rooms or dormitory rooms and additional accessible rooms with roll-in showers in accordance with Table 11B-3. (1111B.4.2)

3. Accessible guest rooms or suites shall be dispersed among the various classes of sleeping accommodations to provide a range of options applicable to room sizes, costs, amenities provided, and the number of beds provided. (1111B.4.1)

4. Where provided as part of an accessible unit, sleeping room or suite, the following spaces shall be accessible and shall be on an accessible route complying with Section 1114B.1.2:

a) The living area. b) The dining area.

c) At least one sleeping area d) Patios, terraces or balconies

e) Where full bathrooms are provided, at least one full bathroom (that is, one with a water closet, a lavatory and bathtub or shower).

f) Where only half baths are provided, at least one half bath. g) Carports, garages or parking spaces.

(1111B.4.2.1)

5. Guest rooms and suites shall be on an accessible route complying with Section 1114B.1.2. An accessible route shall also connect all accessible spaces and elements, including telephones, within the unit, sleeping room or suite.

6. Doors and doorways designed to allow passage into and within all sleeping rooms, suites or other covered units shall comply with Section 1133B.2. (1111B.4.2.3.1)

7. Doors and doorways designed to allow passage into and within all other sleeping rooms and suites shall comply (vith 182) at 121)33B.2.2.

8. Accessible sleeping rooms shall have a 36" clear width maneuvering space located along both sides of a bed, except that where two beds are provided, this requirement can be met by providing a 36" wide maneuvering space located between (1111B.4.3)

9. In addition, there shall be a clear space under the bed for the use of a personal lift device. The clear space shall be on a long side of the bed adjacent to an accessible aisle. The clear space shall extend horizontally to points not more than 12 inches each end of the bed, vertically not less than 7 inches, and not less than 30 inches deep. (1111B.4.3)

10. When accommodations are provided with kitchens, kitchenettes, wet bar units or similar amenities, they shall be accessible and meet the requirements of Section 1133A. Kitchens shall be provided per the number required to be accessible in conformance with Table 11B-3. (1111B.4.4)

11. Hotel and motel bathrooms beyond those specified by Section 1111B.4 shall provide the following features: (1111B.4.6)

a) All bathroom fixtures are in a location that allows a person using a wheelchair measuring 30" by 48" to touch the wheelchair to any lavatory, urinal, water closet, tub, sauna, shower stall, and any other similar sanitary installation, if provided. b) All bathroom entrance doors have a clear opening width of 32" and shall be either sliding doors or shall be hung to swing in the direction of egress from the bathroom.

12. Fixed or built-in storage facilities located within accessible sleeping rooms or suites required by Table 11B-3 shall be accessible in the number and dimensions provided in Section 1125B.

13. Dormitory rooms beyond those specified herein shall comply with the adaptability requirements of Section 1111B.5. (1111B.4.8)

14. Toilet facilities shall comply with Section 1111B.4.6 as modified for hotel, motel, and dormitory accommodations. (1111B.4.6.7)

15. Required accessible bathrooms for places of transient lodging shall comply with the following provisions: (1111B.4.6)

a) Doors to accessible bathrooms shall comply with Section 1133B.2 and shall not swing into the floor space required for any fixture. (1111B.4.6.1)

b) All fixtures and controls shall be on an accessible route. There must be within the bathroom a clear floor space measuring 30" by 60". The clear floor spaces at fixtures and controls, the accessible route, and the turning space may overlap.

c) If a toilet compartment is provided, it shall comply with Section 1115B.3.1 or 1115B.3.2; its water closet shall comply with Section 1115B.4.1 of this Code. (1111B.4.6.3) d) If a lavatory and/or mirror is provided, they shall comply with Sections 1115B.4.3 and 1115B.8.1, as applicable. (1111B.4.6.4)

e) If controls, dispensers, receptacles, or other types of equipment are provided, then at least one of each shall be on an accessible route and shall comply with Section 1117B.6, Controls and operating mechanism. (1111B.4.6.5) f) If tubs or showers are provided, then at least one accessible tub that complies with Section 1115B.4.5 or at least one accessible shower that complies with Section 1115B.4.4 of this Code shall be provided. (1111B.4.6.6) g) Toilet facilities shall comply with section 1111B.4.6 as modified for hotel, motel and dormitory accommodations 1111B.4.6.7.

16. All accessible sleeping rooms or suites required by Table 11B-3 shall comply with the requirements of Section 1111B.4.5 for hearing impaired guests. (1111B.4.2)

17. In addition to those accessible sleeping rooms and suites required by Section 1111B4.2, additional sleeping rooms and suites shall be provided with the following features as required by Table 11B-4 as follows: (1111B.4.5) a) Visible alarms shall be provided and shall comply with NFPA 72 and Chapter 9, Section 907.5.2.3 (1111B.4.5.1)

b) Visual notification devices shall also be provided in units, sleeping rooms and suites to alert room occupants of incoming telephone calls and a door knock or bell. Notification devices shall not be connected to visual alarm signal appliances. c) Permanently installed telephones shall have volume controls complying with Section 1117B.2.8; an accessible electrical outlet within 48" of a telephone connection shall be provided to facilitate the use of a text telephone. (1111B.4.5.3)

18. Public and common use rooms and similar areas shall be made accessible to persons with disabilities. (1111B.2)

19. When recreational facilities are provided, including swimming pools, they shall comply with Sections 1104B.4.3 and 1132B.2. (1111B.3)

B. BATHING AND SHOWER FACILITIES

1. Where separate facilities are provided for persons of each sex, these facilities shall be accessible to persons with disabilities. Where unisex facilities are provided, these facilities shall be accessible to persons with disabilities. (1115B.1.1)

2. Where facilities are to be used solely by small children, the specific heights and clearances may be adjusted to meet their accessibility needs. See Table 1115B-1 for suggested mounting heights and clearances. (1115B.1.2)

3. Where facilities for bathing are provided for the public, clients, or employees, including showers or bathtubs, at least one shower or bathtub and support facilities such as lockers, and not less than 1% of all facilities, shall be accessible.

C. TOILET FACILITIES

1. Multiple-accommodation toilet facilities shall have the following: (1115B.3.1)

a) A clear space measured from the floor measured to a height of 27" above the floor, within the sanitary facility room, of sufficient size to inscribe a circle with a diameter not less than 60" in size. Other than the door to the accessible water closet compartment, a door, in any position, may encroach into this space by not more than 12" (305 mm). (1115B.3.1.1) b) Doors shall not swing into the clear floor space required for any fixture. Doors may swing into that portion of maneuvering space which does not overlap the fixture's required clear floor space. See figures 11B-1E (a) and (e). (1115B.3.1.2) c) Provide a minimum of one accessible water closet in compliance with Section 1115B.4.1. At least 5% of lavatories, but not less than one lavatory, shall be accessible in compliance with Section 1115B.4.3. (1115B.3.1.3) d) Accessible water closets shall comply with the following: (1115B.3.1.4)

i. The compartment shall be a minimum of 60" wide. (1115B.3.1.4.1)

ii. Side opening door, either in-swinging or out- swinging, a minimum of 60" wide and 60" deep maneuvering space shall be provided in front of the water closet. (1115B.3.1.4.2)

iii. End opening door (facing the water closet), either in-swinging or out-swinging, a minimum of 60" wide and 48" deep maneuvering space shall be provided in front of the water closet. The door shall be located in front of the clear floor space and

diagonal to the water closet, with a minimum stile width of 4". (1115B.3.1.4.3) iv. The water closet compartment shall be equipped with a door that has an automatic- closing device, and shall have a clear, unobstructed opening width of 32" when located at the end and 34" when located at the side with the door positioned at an angle of 90° from its closed position. (1115B.3.1.4.4) v. The inside and outside of the compartment door shall be equipped with a loop or U- shaped handle immediately below the latch. The latch shall be flip-over style, sliding or other hardware not requiring the user to grasp or twist. Except for door-

opening widths, a clear, unobstructed access of not less than 44" shall be provided to water closet compartments designed to use by persons with disabilities. Maneuvering space at the compartment door shall comply with Sections 1133B.2.4.2 and 1133B.2.4.3 and in no case shall the space immediately outside of the water closet compartment door be less than 48" as measured perpendicular to the compartment door in its closed position. (1115B.3.1.4.5) e) Where six or more compartments are provided within a multiple-accommodation toilet room, in addition to the water closet and compartment required by items 3 and 4 above, provide at least one ambulatory accessible compartment. The ambulatory accessible compartment shall be 36" wide with an outward swinging self-closing door and parallel grab bars complying with Section 1115B.4.1, Item 3. (1115B.3.1.5) f) Toilet rooms shall have a stable, firm, slip resistant surface in compliance with Section 1124B.1. (1115B.3.1.6)

2. Single accommodation toilets facilities shall have the following: (1115B.3.2)

a) There shall be sufficient space in the toilet room for a wheelchair measuring 30" wide by 48" long to enter the room and permit the door to close. There shall be in the room a clear floor space of at least 60" in diameter, or a T-shaped space complying with Figure 11B-12 (a) and (b). No door shall encroach into this space for more than 12". See Figure 11B-1A. (1115B.3.2.1) b) Doors shall not swing into the clear floor space required for any fixture. Doors may swing into that portion of maneuvering space which does not overlap the fixture's required clear floor space. See Figure 11B-1E. (1115B.3.2.2) c) Provide one accessible water closet in compliance with Section 1115B.4.1. A minimum 60" wide by 48" deep maneuvering shall be provided in front of the water closet. (1115B.3.2.3)

d) All doors, fixtures and controls shall be on an accessible route. The minimum clear width of accessible route shall be 36" except at doors (see Section 1133B.2). If a person in a wheelchair must make a turn around an obstruction, the minimum

clear width of the accessible shall be as shown in Figure 11B-5E. See also Figure 11B- 1A. (1115B.3.2.4) e) Toilet room floors shall have a stable, firm, slip resistant surface in compliance with Section 1124B.1. (1115B.3.2.5)

f) Provide one accessible lavatory in compliance with Section 1115B.4.3. (1115B.3.2.6) g) The entrance door shall contain a privacy latch which complies with Section 1117B.6, Controls and operating mechanism. (1115B.3.2.7)

NOTE: For bathrooms serving residential occupancies see Section 1111B.4.6 and Chapter 11A.

Exception: In an existing building, a single- accommodation toilet facility may have the water closet fixture in an area which provides a clear space of not less than 36" wide by 48" long in front of the water closet.

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DRAWN BY: A.M CHECKED BY: AK

DATE: 08-20-2019

JDB ND.: 2019-115

SHEET:

SCALE:AS NOTED

ACCESSIBILITY GEN. NOTES (CBC CH. 11B)

- 1. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- 2. CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL BEAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, LEVEL CUT/UNCUT PILE TEXTURE, PILE HEIGHT SHA BE 1//2 INCH MAXIMUM. EXPOSED EDGES OF CARPET SHALL BE FASTEND TO THE FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE.
- 3. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN ½ INCH DIAMETER.
- 4. CHANGES IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 INCH HIGH MINIMUM AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. 5. CHANGES IN LEVEL GREATER THAN 1/2 INCH HIGH SHALL BE RAMPED.
- 6. ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE. A WARNING CURB IS NOT REQUIRED BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY. A WARNING CURB IS NOT REQUIRED WHEN A GUARD OR HANDRAIL S PROVIDED WITH A GUIDE RAIL CENTERED 2 INCHES MINIMUM AND 4 INCHES MAXIMUM ABOVE THE SURFACE OF THE WALK OR SIDEWALK.
- 7. FLOOR OR GROUND SURFACES OF A TURNING SPACE FOR WHEEL CHAIRS SHALL NOT HAVE CHANGES IN LEVEL. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. THE TURNING SPACE SHALL BE 60 INCHES IN DIAMETER MINIMUM. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCES. DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.
- 8. CLEAR WHEELCHAIR FLOOR OR GROUND SPACE SHALL BE 30 INCHES MINIMUM BY 48 INCHES MINIMUM. CHANGES IN LEVEL ARE NOT PERMITTED IN THIS SPACE. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. SPACE CAN BE POSITIONED IN A FORWARD OR PARALLEL APPROACH. WHERE SPACE BENEATH AN ELEMENT IS INCLUDED AS PART OF CLEAR FLOOR OR GROUND SPACE OR TURNING SPACE, THE SPACE SHALL COMPLY WITH CBC 11B-306.
- 9. PROTRUDING OBJECTS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND NOT MORE THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. HANDRAILS SHALL BE PERMITTED TO PROTRUDE 4 ½ INCHES MAX.
- 10. POST MOUNTED OBJECTS: FREE-STANDING OBJECTS MOUNTED ON POLES OR PYLONS SHALL OVERHANG CIRCULATION PATHS 12 INCHES MAXIMUM WHEN LOCATED 27 INCHES MINIMUM AND 80 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A SIGN OR OTHER OBSTRUCTION IN MOUNTED BETWEEN POSTS OR PYLONS AND THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12 INCHES, THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27 INCHES MAXIMUM OR 80 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. THE SLOPING PORTIONS OF HANDRAILS SERVING STAIRS AND RAMPS SHALL NOT BE REQUIRED TO COMPLY. EDGES ON OBJECTS MOUNTED LESS THAN 80 INCHES ABOVE THE FLOOR OR GROUND SURFACE, SHALL HAVE ROUNDED OR EASED EDGES AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH
- 11. VERTICAL CLEARANCE: VERTICAL CLEARANCE SHALL BE 80 INCHES HIGH MINIMUM. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE ERTICAL CLEARANCE IS LESS THAN 80 INCHES HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND.
- 12. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES.
- 13. REACH RANGES FOR OCCUPANTS IN WHEEL CHAIRS SHALL COMPLY WITH CBC 11B-308.
- 14. OPERABLE PARTS: OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
- 15. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN
- 16. CLEAR WIDTH REQUIREMENTS FOR WALKING SURFACES SHALL COMPLY WITH CBC 11B-403.5.
- 17. ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE A RESTING AREA, 60 INCHES IN LENGTH, AT INTERVALS OF 400 FEET MXIMUM. THE RESTING AREA SHALL BE A LEAST AS WIDE AS THE WALK. THE SLOPE OF THE RESTING AREA IN ALL DIRECTIONS SHALL BE 1:48.
- 18. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR OPENINGS FOR DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WITH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL N OT
- 19. MANUEVERING CLEARANCES AT DOORS SHALL COMPLY WITH CBC TABLE 11B-404.2.4.1. CHANGES IN LEVEL ARE NOT PERMITTED WITHIN THESE CLEARANCES. SLOPES NOT STEEPER THATN 1:48 SHALL BE PERMITTED. THRESHOLDS ARE PERMITTED THAT COMPLY WITH CBC 11B-404.2.5.
- 20. THRESHOLDS, IF PROVIDED AT DOOR WAYS, SHALL BE ½ INCH HIGH MAXIMUM. CHANGES IN LEVELS AT DOORWAYS SHALL COMPLY WITH CBC SECTIONS 11B-302
- 21. DOOR AND GATE HARDWARE: HANDLES. PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH CBC SECTION 11B-309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
- 22. DOOR AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM A OPEN POSITION O 90 DEGREES. THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IN 5 SECONDS MINIMUM. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70
- 23. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE 5 POUNDS MAXIMUM FOR INTERIOR HINGED DOORS AND GATES, 5 POUNDS MAXIMUM FOR SLIDING OR FOLDING DOORS, AND 5 POUNDS MAXIMUM FOR EXTERIOR HINGED DOORS. FOR REQUIRED FIRE DOORS, THE MINIMUM OPENING FORCE ALLOWABLE THE APPROPRIATE ADMINISTRATIVE AUTHORITY, SHALL NOT EXCEED 15 POUNDS.
- 24. SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES.
- 25. TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SHOE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO MEET THE 10 INCH BOTTOM SMOOTH SURFACE REQUIREMENT.
- 26. VISION LIGHTS IN DOORS, GATES, AND SIDE LIGHTS ADJACENT TO DOORS OR GATES, CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE GLAZED PANEL LOCATED 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR. GLAZING PANELS
- WITH THE LOWEST PART MORE THAN 66 INCHES FROM THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY WITH THIS REQUIREMENT. 27. RAMPS RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. CROSS SLOPE ON RAMP RUNS SHALL NOT BE STEEPER THAN 1:48. THE CLEAR WIDTH OF A RAMP RUN SHALL BE 48" MINIMUM. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH OF THE RAMP AT EACH SIDE 3 ½ INCHES MAXIMUM AT THE HANDRAIL HEIGHT. THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM. RAMPS SHALL HAVE HANDRAILS COMPLYING WITH CBC SECTION 11B-505. EDGE
- PROTECTION COMPLYING WITH CBC SECTION 11B-405.9.2 SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDING. 28 STAIRS: ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4 INCHES HIGH MINIMUL AND 7 INCHES HIGH MAXIMUM. TREADS SHALL BE 11 INCHES DEEP MINIMUM. OPEN RISERS ARE NOT PERMITTED. TREADS SHALL BE PERMITTED TO HAVE A SLOPE NOT STEEPER THAN 1:48. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR CONTRAS THE STRIPE SHALL BE A MINIMUM OF 2 INCHES TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS A LEAST AS

SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS

- 29. HANDRAILS SHALL COMPLY WITH CBC SECTION11B-505. TOP OF GRIPPING SURFACES FOR HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES,
- STAIR NOSINGS, AND RAMP SURFACES. THE CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/2" MINIMUM. 30. FIRE ALARM SYSTEMS SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 AND CBC CHAPTER 9, SECTIONS 907.5.2.1
- 31. DETECTABLE WARNINGS SHALL COMPLY WITH CBC SECTION 11B-705.1.1 AND SHALL BE USED IN THE FOLLOWING LOCATIONS AS NOTED IN CBC SECTION 11B-
- 705.1.2: PLATFORM EDGES; CURB RAMPS; ISLANDS OR CUT-THROUGH MEDIANS; BUS STOPS; HAZARDOUS VEHICULAR AREAS; REFLECTING POOLS; & TRACK 32. THE HEIGHT OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
- 33. SALES AND SERVICE COUNTERS: FOR PARALLEL APPROACH, A PORTION OF THE COUNTER THAT IS 36 INCHES LONG MINIMUM AND 34 INCHES HIGH MAXIMUM ABOVE THE FINISH FLOOR SHALL BE PROVIDED. FOR FORWARD APPROACH, A PORTION OF THE COUNTER SURFACE THAT IS 36 INCHES LONG MINIMUM AND 34 INCHES HIGH MAXIMUM SHALL BE PROVIDED. KNEE AND TOE SPACE COMPLYING WITH CBC SECTION 11B-306 SHALL BE PROVIDED UNDER THE COUNTER. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH CBC SECTION 11B-305 SHALL BE POSITIONED FOR A FORWARD APPROACH TO THE COUNTER.

ACCESSIBILITY SIGNAGE NOTES (CBC CH. 11B)

1. General. Signs shall comply with Section 11B-703. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided

2. Raised characters, Raised characters shall comply with Section 11B-703.2 and shall be duplicated in Braille complying with Section 11B-703.3. Raised characters shall be installed in accordance with Section 11B-703.4. Raised characters shall be 1/32 inch (0.8 mm) minimum above their background. Characters shall be uppercase. Characters shall be sans serif. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms. Characters shall be selected from fonts where the width of the uppercase letter "O" is 60 percent minimum and 110 percent maximum of the height of the uppercase letter "I". Character height measured vertically from the baseline of the character shall be 5/8 inch (15.9 mm) minimum and 2 inches (51 mm) maximum based on the height of the uppercase letter "I". Stroke thickness of the uppercase letter "I" shall be 15 percent naximum of the height of the character. Character spacing shall be measured between the two closestpoints of adjacent raised characters within a message, excluding word spaces. Where characters have rectangular cross sections, spacing between individual raised characters shall be 1/8 inch (3.2 mm) minimum and 4 times the raised character stroke width maximum. Where characters have other cross sections, spacing between individual raised characters shall be 1/16 inch (1.6 mm) minimum and 4 times the raised character stroke width maximum at the base of the cross sections, and 1/8 inch (3.2 mm) minimum and 4 times the raised character stroke width maximum at the top of the cross sections. Characters shall be separated from raised borders and decorative elements 3/8 inch (9.5 mm) minimum. Spacing between the baselines of separate lines of raised characters within a message shall be 135 percent minimum and 170 percent maximum of the raised character height. Text shall be in a horizontal format.

3. Braille. Braille shall be contracted (Grade 2) and shall comply with Sections 11B-703.3 and 11B-703.4. Braille dots shall have a domed or rounded shape and shall comply with Table 11B-703.3.1. The indication of an uppercase letter or letters shall only be used before the first word of sentences, proper nouns and names, individual letters of the alphabet initials, and acronyms. Braille shall be positioned below the corresponding text in a horizontal format, flush left or centered. If text is multi-lined, Braille shall be placed below the entire text. Braille shall be separated 3/8 inch (9.5 mm) minimum and 1/2 inch (12.7 mm) maximum from any other tactile characters and 3/8 inch (9.5 mm) minimum from raised borders and decorative elements. (Exception: Braille provided on elevator car controls shall be separated 3/16 inch (4.8 mm) minimum and shall be located directly below the corresponding raised characters or symbols.)

4. Installation height and location. Signs with tactile characters shall comply with Section 11B703.4. Tactile characters on signs shall be located 48 inches (1219 mm) minimum above the finish floor or ground surface, measured from the baseline of the lowest Braille cells and 60 inches (1524 mm) maximum above the finish floor or ground surface, measured from the baseline of the highest line of raised characters. (Exception: Tactile characters for elevator car controls shall not be required to comply with Section 11B-703.4.1.) Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at double doors with one active leaf, the sign shall be located on the inactive leaf. Where a tactile sign is provided at double doors with two active leafs, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, signs shall be located on the nearest adjacent wall. Signs containing tactile characters shall be located so that a clear floor space of 18 inches (457 mm) minimum by 18 inches (457 mm) minimum, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position. Where permanent identification signage is provided for rooms and spaces they shall be located on the approach side of the door as one enters the room or space. Signs that identify exits shall be located on the approach side of the door as one exits the room

5. Visual characters. Visual characters shall comply with Section 11B-703.5. (Exception: Where visual characters comply with Section 11B-703.2 and are accompanied by Braille complying with Section 11B-703.5, they shall not be required to comply with Sections 11B-703.5.2 through 11B-703.5.6, 11B-703.5.8 and 11B-703.5.9) Characters and their oackground shall have a non-glare finish. Characters shall contrast with their background with either light characters on a dark background or dark characters on a light background. Minimum character height shall comply with Table 11B-703.5.5.

6. Pictograms. Pictograms shall comply with Section 11B-703.6. Pictograms shall have a field height of 6 inches (152 mm) minimum. Characters and Braille shall not be located in the pictogram field. Pictograms and their field shall have a non-glare finish. Pictograms shall contrast with their field with either a light pictogram on a dark field or a dark bictogram on a light field. Pictograms shall have text descriptors located directly below the pictogram field. Text descriptors shall comply with Sections 11B-703.2, 11B-703.3 and

7. Symbols of accessibility. Symbols of accessibility shall comply with Section 11B-703.7. The International Symbol of Accessibility shall comply with Figure 11B-703.7.2.1. The symbol shall consist of a white figure on a blue background. The blue shall be Color No. 15090 in Federal Standard 595B. The International Symbol of TTY shall comply with Figure 11B-703.7.2.2. Telephones with a volume control shall be identified by a pictogram of a telephone handset with radiating sound waves on a square field such as shown in Figure 11B-703.7.2.3. Assistive listening systems shall be identified by the International Symbol of Access for Hearing Loss complying with Figure 11B-703.7.2.4. Doorways leading to toilet rooms and bathing rooms shall be identified by a geometric symbol complying with Section 11B-703.7.2.6. The symbol shall be mounted at 58 inches (1473 mm) minimum and 60 inches (1524 mm) maximum above the finish floor or ground surface measured from the centerline of the symbol. Where a door is provided the symbol shall be mounted within 1 inch (25 mm) of the vertical centerline of the door.

ELEVATOR NOTES / DETAILS

f. ELEVATOR CAR CONTROLS, WHERE PROVIDED, ELEVATOR CAR

CONTROLS SHALL COMPLY WITH SECTIONS 11B-407.4.6 AND 11B-309.4.IN

RANGES SPECIFIED IN SECTION 11B-308.

COMPLY WITH SECTION 11B407.4.6.2.

XISTING ELEVATORS, WHERE A NEW CAR OPERATING PANEL COMPLYING WITH

SECTION 11B407.4.6IS PROVIDED. EXISTING CAR OPERATING PANELS MAY REMAIN

h. WHERE THE ELEVATOR PANEL SERVES MORE THAN 16 OPENINGS AND A

PARALLEL APPROACH IS PROVIDED, BUTTONS WITH FLOOR DESIGNATIONS SHALL

j. BUTTONS. CAR CONTROL BUTTONS WITH FLOOR DESIGNATIONS SHALL

i. SIZE AND SHAPE. BUTTONS SHALL HAVE SQUARE SHOULDERS, BE 3/4

ii. ARRANGEMENT. BUTTONS SHALL BE ARRANGED WITH NUMBERS IN

ASCENDING ORDER. WHEN TWO OR MORE COLUMNS OF BUTTONS ARE

iii. ILLUMINATION. CAR CONTROL BUTTONS SHALL BE ILLUMINATED

KEYPAD ARRANGEMENT AND SHALL COMPLY WITH SECTION 11B-407.4.7.2.

i. HEIGHT. EMERGENCY CONTROL BUTTONS SHALL HAVE THEIR

7. DESIGNATIONS AND INDICATORS OF CAR CONTROLS, DESIGNATIONS AND

INDICATORS OF CAR CONTROLS SHALL COMPLY WITH SECTION 11B-407.4.7.IN

SECTION 11B407.4.7 IS PROVIDED, EXISTING CAR OPERATING PANELS MAY

EXISTING ELEVATORS, WHERE A NEW CAR OPERATING PANEL COMPLYING WITH

REMAIN OPERATIONAL AND SHALL NOT BE REQUIRED TO COMPLY WITH SECTION

a. BUTTONS. CAR CONTROL BUTTONS SHALL COMPLY WITH SECTION 11B-

i. TYPE. CONTROL BUTTONS SHALL BE IDENTIFIED BY RAISED CHARACTERS

OR SYMBOLS, WHITE ON A BLACK BACKGROUND, COMPLYING WITH SECTION 11B-

DESIGNATIONS SHALL BE PLACED IMMEDIATELY TO THE LEFT OF THE CONTROL

BUTTON TO WHICH THE DESIGNATIONS APPLY.
iii. SYMBOLS. THE CONTROL BUTTON FOR THE EMERGENCY STOP, ALARM,

DENTIFIED WITH RAISED SYMBOLS AND BRAILLE AS SHOWN IN TABLE 11B-

iv. VISIBLE INDICATORS. BUTTONS WITH FLOOR DESIGNATIONS SHALL BE

DOOR OPEN, DOOR CLOSE, MAIN ENTRY FLOOR, AND PHONE, SHALL BE

PROVIDED WITH VISIBLE INDICATORS TO SHOW THAT A CALL HAS BEEN

REGISTERED. THE VISIBLE INDICATION SHALL EXTINGUISH WHEN THE CAR

v. BUTTON SPACING. A MINIMUM CLEAR SPACE OF 3/8 INCH (9.5 MM) OR

ITH SECTION 11B703.5AND SHALL BE CENTERED ON THE CORRESPONDING

c. CAR POSITION INDICATORS. AUDIBLE AND VISIBLE CAR POSITION INDICATORS SHALL BE PROVIDED IN ELEVATOR CARS.

ii. SIZE. CHARACTERS SHALL BE ½ INCH (12.7 MM) HIGH MINIMUM.

OTHER SUITABLE MEANS OF SEPARATION SHALL BE PROVIDED BETWEEN ROWS

KEYPAD BUTTON. THE NUMBER FIVE KEY SHALL HAVE A SINGLE RAISED DOT. THE

DOT SHALL BE 0.118 INCH (3 MM) TO 0.120 INCH (3.05 MM) BASE DIAMETER AND IN

. VISIBLE INDICATORS. VISIBLE INDICATORS SHALL COMPLY WITH SECTION

iii. LOCATION. INDICATORS SHALL BE LOCATED ABOVE THE CAR CONTROL

AT A FLOOR SERVED BY THE ELEVATOR. THE CORRESPONDING CHARACTER

REQUIRED TO COMPLY WITH SECTION 11B-407.4.8.1.3 PROVIDED THAT THE

v. DESTINATION INDICATOR. IN DESTINATION-ORIENTED ELEVATORS, A

DISPLAY SHALL BE PROVIDED IN THE CAR WITH VISIBLE INDICATORS TO SHOW

d. AUDIBLE INDICATORS. AUDIBLE INDICATORS SHALL COMPLY WITH

STOP. FOR ELEVATORS OTHER THAN DESTINATION-ORIENTED ELEVATORS THAT

HAVE A RATED SPEED OF 200 FEET PER MINUTE (1 M/S) OR LESS, A NON-VERBAI

THE CAR PASSES OR IS ABOUT TO STOP AT A FLOOR SERVED BY THE ELEVATOR

iii. FREQUENCY. THE VERBAL ANNUNCIATOR SHALL HAVE A FREQUENCY OF

AUDIBLE SIGNAL WITH A FREQUENCY OF 1500 HZ MAXIMUM WHICH SOUNDS AS

ii. SIGNAL LEVEL. THE VERBAL ANNUNCIATOR SHALL BE 10 DB MINIMUM

8. EMERGENCY COMMUNICATION. EMERGENCY TWO-WAY COMMUNICATION

PROVIDED ADJACENT TO THE DEVICE AND SHALL COMPLY WITH SECTIONS 11B-

BETWEEN THE ELEVATOR AND A POINT OUTSIDE THE HOISTWAY SHALL COMPLY

9. SUPPORT RAIL. SUPPORT RAILS SHALL BE PROVIDED ON AT LEAST ONE WALL

SURFACES SHALL BE 1½ INCHES (38 MM) MINIMUM. TOP OF SUPPORT RAILS SHALL

XCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF

ESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL

CHARACTERS, WHITE ON A BLACK BACKGROUND, AND BRAILLE SHALL BE

703.2 AND 11B-703.3. EMERGENCY TWO-WAY COMMUNICATION SYSTEMS

a LOCATION OF FARANCE BETWEEN SUPPORT RAILS AND ADJACENT

BE 31 INCHES (787 MM) MINIMUM TO 33 INCHES (838 MM) MAXIMUM ABOVE THE

FLOOR OF THE CAR. THE ENDS OF THE SUPPORT RAIL SHALL BE 6 INCHES (152

b. SURFACES. SUPPORT RAILS SHALL BE SMOOTH AND ANY SURFACE

ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.

50 POUNDS (1112 N) IS APPLIED AT ANY POINT ON THE SUPPORT RAIL,

0. EMERGENCY SIGNS: AN APPROVED PICTORIAL SIGN OF A STANDARDIZED

FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATORS IN CASE OF FIRE. THE SIGN SHALL READ: "IN CASE OF

FIRE, ELEVATORS ARE OUT OF SERVICE, USE EXIT STAIRS". THE EMERGENCY

EMERGENCY SIGN SHALL NOT BE REQUIRED FOR ELEVATORS THAT ARE USED FOR OCCUPANT SELF-EVACUATION IN ACCORDANCE WITH CBC SECTION 3006

11 FIRE FIGHTER'S EMERGENCY OPERATION FLEVATORS SHALL BE PROVIDED

WITH PHASE I EMERGENCY RECALL OPERATION AND PHASE II EMERCENCY IN-CAR OPERATION IN ACCORDANCE WITH CALIFORNIA COED OF REGULATIONS,

TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS.

THE HOISTWAY AT INTERVALS SUCH THAT A PERSON IN A STALLED ELEVATOR,

b. FIRE SIGNS. ALL AUTOMATIC ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN

UPON OPENING THE CAR DOOR. CAN DETERMINE THE FLOOR POSITION.

a. FLOOR NUMBERS. ELEVATOR HOISTWAYS SHALL HAVE A FLOOR NUMBER OT LESS THAN 4 INCHES IN EHIGHT, PLACED ON THE WALLS AND/OR DOORS OF

SIGN SHALL NOT BE REQUIRED FOR ELEVATORS THAT ARE PART OF AN ACCESSIBLE MEANS OF EGRESS COMPLYING WITH CRC SECTION 1007.4. THE

FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

c STRUCTURAL STRENGTH ALLOWARIESTRESSES SHALL NOT BE

VISIBLE INDICATORS EXTINGUISH WHEN THE CALL HAS BEEN ANSWERED.

. SIGNAL TYPE. THE SIGNAL SHALL BE AN AUTOMATIC VERBAI ANNUNCIATOR WHICH ANNOUNCES THE FLOOR AT WHICH THE CAR IS ABOUT TO

ABOVE AMBIENT, BUT SHALL NOT EXCEED 80 DB, MEASURED AT THE

SHALL ILLUMINATE. DESTINATION-ORIENTED ELEVATORS SHALL NOT BE

iv. FLOOR ARRIVAL. AS THE CAR PASSES A FLOOR AND WHEN A CAR STOPS

b. KEYPADS. KEYPADS SHALL BE IDENTIFIED BY CHARACTERS COMPLYING

CENTERLINES 35 INCHES (889 MM) MINIMUM ABOVE THE FINISH FLOOR ii. LOCATION. EMERGENCY CONTROLS, INCLUDING THE EMERGENCY

ALARM, SHALL BE GROUPED AT THE BOTTOM OF THE PANEL.

703.2 AND BRAILLE COMPLYING WITH SECTION 11B-703.3.
ii. LOCATION. RAISED CHARACTERS OR SYMBOLS AND BRAILL!

iv. OPERATION. CAR CONTROL BUTTONS SHALL BE ACTIVATED BY A

PROVIDED THEY SHALL READ FROM LEFT TO RIGHT.

MECHANICAL MOTION THAT IS DETECTABLE.

ARRIVES AT THE DESIGNATED FLOOR.

OTHER ASPECTS COMPLY WITH TABLE 11B-703.3.1.

OF CONTROL BUTTONS

PANEL OR ABOVE THE DOOR.

CAR DESTINATIONS.

SECTION 11B-407.4.8.2.

SHALL BE PERMITTED.

300 HZ MINIMUM TO 3000 HZ MAXIMUM.

MM) MAXIMUM FROM ADJACENT WALLS.

ANNUNCIATOR.

WITH ASME A17.1

SECTION 11B407.4.6.4.

407 4 7 1

INCH (19.1 MM) MINIMUM IN THEIR SMALLEST DIMENSION AND BE RAISED 1/8 INCH

(3.2 MM) PLUS OR MINUS 1/32 INCH (0.8 MM) ABOVE THE SURROUNDING SURFACE.

k. KEYPADS. CAR CONTROL KEYPADS SHALL BE IN A STANDARD TELEPHONE

I. EMERGENCY CONTROLS. EMERGENCY CONTROLS SHALL COMPLY WITH

BE PERMITTED TO BE 54 INCHES (1372 MM) MAXIMUM ABOVE THE FINISH FLOOR i. IN EXISTING ELEVATORS, CAR CONTROL BUTTONS WITH FLOOR

DESIGNATIONS SHALL BE PERMITTED TO BE LOCATED 54 INCHES (1372 MM)

MAXIMUM ABOVE THE FINISH FLOOR WHERE A PARALLEL APPROACH IS

LOCATION. CONTROLS SHALL BE LOCATED WITHIN ONE OF THE REACH

OPERATIONAL AND SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-

1. EXCEPT AS OTHERWISE PROVIDED FOR IN THIS CODE, THE DESIGN, CONSTRUCTION, INSTALLATION, ALTERATION, REPAIR AND MAINTENANCE OF ELEVATORS AND CONVEYING SYSTEMS AND THEIR COMPONENTS SHALL CONFOR TO CALIFORNIA CODE OF REGULATIONS TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS, ASME A90.1, ASME B20.1. AL I AL CTV. AND ASCE 24 FOR CONSTRUCTION IN FLOOD HAZARD AREAS ESTABLISHED 2. ELEVATORS SHALL COMPLY WITH CBC SECTION 11B-407 AND WITH ASME A17.1. THEY SHALL BE PASSENGER ELEVATORS AS CLASSIFIED BY ASME A17.1. ELEVATOR OPERATION SHALL BE

AUTOMATIC 3. WHEN THE ONLY ELEVATORS PROVIDED FOR USE BY THE PUBLIC AND EMPLOYEES ARE COMBINATION PASSENGER AND FREIGHT ELEVATORS, THEY SHALL COMPLY WITH CBC SECTION 11B-407 AND WITH ASME A17.1 4. ELEVATOR LANDING REQUIREMENTS. ELEVATOR LANDINGS SHALL COMPLY WITH CBC SECTION 11B-407.2. a. HEIGHT: CALL BUTTONS AND KEYPADS SHALL BE LOCATED WITHIN ONE OF THE REACH

RANGES SPECIFIED IN SECTION 11B-308, MEASURED TO THE CENTERLINE OF THE HIGHEST b. SIZE AND SHAPE. CALL BUTTONS SHALL HAVE SQUARE SHOULDERS, BE ¾ INCH (19.1 MM) MINIMUM IN THE SMALLEST DIMENSION AND SHALL BE RAISED 1/6 INCH (3.2 MM) PLUS OR MINUS 1/32 INCH (0.8 MM) ABOVE THE SURROUNDING SURFACE. THE BUTTONS SHALL BE ACTIVATED BY A MECHANICAL MOTION THAT IS DETECTABLE. c. CLEAR FLOOR OR GROUND SPACE, A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 11B-305 SHALL BE PROVIDED AT CALL CONTROLS.

d. LOCATION. THE CALL BUTTON THAT DESIGNATES THE UP DIRECTION SHALL BE LOCATED ABOVE THE CALL BUTTON THAT DESIGNATES THE DOWN DIRECTION. DESTINATION-ORIENTED ELEVATORS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B407.2.1.4. e. SIGNALS. CALL BUTTONS SHALL HAVE VISIBLE SIGNALS THAT WILL ACTIVATE WHEN EACH CALL IS REGISTERED AND WILL EXTINGUISH WHEN EACH CALL IS ANSWERED. CALL BUTTONS SHALL BE INTERNALLY ILLUMINATED WITH A WHITE LIGHT OVER THE ENTIRE SURFACE OF THE BUTTON. DESTINATION-ORIENTED ELEVATORS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B407.2.1.5 PROVIDED THAT VISIBLE AND AUDIBLE SIGNALS COMPLYING WITH SECTION 11B407.2.2, INDICATING WHICH ELEVATOR CAR TO ENTER, ARE

TELEPHONE KEYPAD ARRANGEMENT AND SHALL COMPLY WITH SECTION 11B-407.4.7.2.
g. HALL SIGNALS, INCLUDING IN-CAR SIGNALS, SHALL COMPLY WITH SECTION 11B407.2.2 n. VISIBLE AND AUDIBLE SIGNALS. A VISIBLE AND AUDIBLE SIGNAL SHALL BE PROVIDED A EACH HOISTWAY ENTRANCE TO INDICATE WHICH CAR IS ANSWERING A CALL AND THE CAR'S DIRECTION OF TRAVEL, WHERE IN-CAR SIGNALS ARE PROVIDED. THEY SHALL BE VISIBLE FROM THE FLOOR AREA ADJACENT TO THE HALL CALL BUTTONS. VISIBLE AND AUDIBLE SIGNALS SHALL NOT BE REQUIRED AT EACH DESTINATION-ORIENTED ELEVATOR. i. WHERE A VISIBLE AND AUDIBLE SIGNAL COMPLYING WITH SECTION 11B-407.2.2 IS PROVIDED INDICATING THE ELEVATOR CAR DESIGNATION INFORMATION. j. VISIBLE SIGNALS. VISIBLE SIGNAL FIXTURES SHALL BE CENTERED AT 72 INCHES (1829 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND. THE VISIBLE SIGNAL ELEMENTS SHALL BE A MINIMUM 2½ INCHES (64 MM) HIGH BY 2½ INCHES (64 MM) WIDE. SIGNALS SHALL BE VISIBLE FROM THE FLOOR AREA ADJACENT TO THE HALL CALL BUTTON. DESTINATION ORIENTED ELEVATORS SHALL BE PERMITTED TO HAVE SIGNALS VISIBLE FROM THE FLOOR

f. KEYPADS. WHERE KEYPADS ARE PROVIDED, KEYPADS SHALL BE IN A STANDARD

k. AUDIBLE SIGNALS. AUDIBLE SIGNALS SHALL SOUND ONCE FOR THE UP DIRECTION AND TWICE FOR THE DOWN DIRECTION, OR SHALL HAVE VERBAL ANNUNCIATORS THAT INDICATE THE DIRECTION OF ELEVATOR CAR TRAVEL. AUDIBLE SIGNALS SHALL HAVE A FREQUENCY OF 1500 HZ MAXIMUM, VERBAL ANNUNCIATORS SHALL HAVE A FREQUENCY OF 300 HZ MINIMUM AND 3000 HZ MAXIMUM. THE AUDIBLE SIGNAL AND VERBAL ANNUNCIATOR SHALL BE 10 DB MINIMUM ABOVE AMBIENT, BUT SHALL NOT EXCEED 80 DB, MEASURED AT THE HALL CALL

AREA ADJACENT TO THE HOISTWAY ENTRANCE

I. HOISTWAY SIGNS. SIGNS AT ELEVATOR HOISTWAYS SHALL COMPLY WITH SECTION 11B-407.2.3. FLOOR DESIGNATION. FLOOR DESIGNATIONS COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703 4 1 SHALL BE PROVIDED ON BOTH JAMBS OF FLEVATOR HOISTWAY ENTRANCES FLOOR DESIGNATIONS SHALL BE PROVIDED IN BOTH RAISED CHARACTERS AND BRAILLE. ARACTERS SHALL BE 2 INCHES (51 MM) HIGH. A RAISED STAR, PLACED TO THE LEFT OF THE FLOOR DESIGNATION. SHALL BE PROVIDED ON BOTH JAMBS AT THE MAIN ENTRY LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE 2 INCHES (51 MM) AND ALL POINTS SHALL BE OF EQUAL LENGTH. RAISED CHARACTERS, INCLUDING THE STÁR, SHALL BE WHITE ON A BLACK BACKGROUND. BRAILLE COMPLYING WITH SECTION 11B-703.3 SHALL BE PLACED BELOW THE CORRESPONDING RAISED CHARACTERS AND THE STAR. THE BRAILLE TRANSLATION FOR THE STAR SHALL BE "MAIN". APPLIED PLATES ARE ACCEPTABLE IF THEY ARE m. CAR DESIGNATIONS. DESTINATION-ORIENTED ELEVATORS SHALL PROVIDE TACTILE

CAR IDENTIFICATION COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703.4.1 ON BOTH JAMBS OF THE HOISTWAY IMMEDIATELY BELOW THE FLOOR DESIGNATION. CAR DESIGNATIONS SHALL BE PROVIDED IN BOTH RAISED CHARACTERS AND BRAILLE. RAISED CHARACTERS SHALL BE 2 INCHES (51 MM) HIGH. RAISED CHARACTERS SHALL BE WHITE ON A BLACK BACKGROUND. BRAILLE COMPLYING WITH SECTION 11B-703.3 SHALL BE PLACED BELOW THE CORRESPONDING RAISED CHARACTERS. APPLIED PLATES ARE ACCEPTABLE IF THEY ARE PERMANENTLY FIXED 5. ELEVATOR DOOR REQUIREMENTS. HOISTWAY AND CAR DOORS SHALL COMPLY WITH

a. TYPE. ELEVATOR DOORS SHALL BE THE HORIZONTAL SLIDING TYPE. CAR GATES SHALL BE PROHIBITED. b. OPERATION. ELEVATOR HOISTWAY AND CAR DOORS SHALL OPEN AND CLOSE AUTOMATICALLY, EXISTING MANUALLY OPERATED HOISTWAY SWING DOORS SHALL BE PERMITTED PROVIDED THAT THEY COMPLY WITH SECTIONS 11B-404.2.3 AND 11B-404.2.9. CAR DOOR CLOSING SHALL NOT BE INITIATED UNTIL THE HOISTWAY DOOR IS CLOSED. c. REOPENING DEVICE. ELEVATOR DOORS SHALL BE PROVIDED WITH A REOPENING DEVICE COMPLYING WITH SECTION 11B-407 3 3 THAT SHALL STOP AND REOPEN A CAR DOOR AND HOISTWAY DOOR AUTOMATICALLY IF THE DOOR BECOMES OBSTRUCTED BY AN OBJECT OR PERSON. EXISTING ELEVATORS WITH MANUALLY OPERATED DOORS SHALL NOT BE

REQUIRED TO COMPLY WITH SECTION 11B-407.3.3. d. HEIGHT. THE DEVICE SHALL BE ACTIVATED BY SENSING AN OBSTRUCTION PASSING THROUGH THE OPENING AT 5 INCHES (127 MM) NOMINAL AND 29 INCHES (737 MM) NOMINAL e. CONTACT. THE DEVICE SHALL NOT REQUIRE PHYSICAL CONTACT TO BE ACTIVATED, ALTHOUGH CONTACT IS PERMITTED TO OCCUR BEFORE THE DOOR REVERSES.

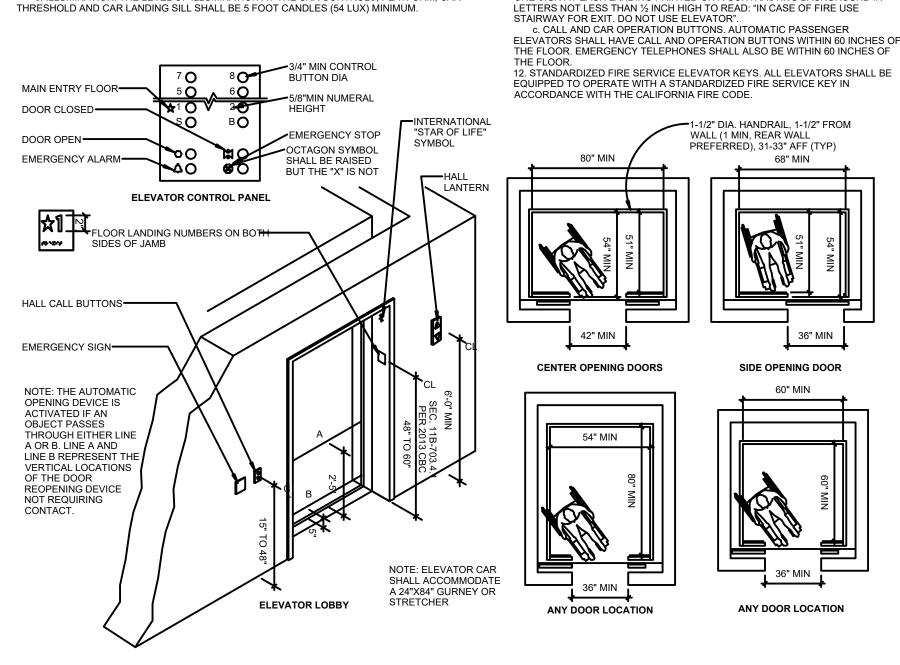
g. DOOR AND SIGNAL TIMING. THE MINIMUM ACCEPTABLE TIME FROM NOTIFICATION THAT A CAR IS ANSWERING A CALL OR NOTIFICATION OF THE CAR ASSIGNED AT THE MEANS FOR THE ENTRY OF DESTINATION INFORMATION UNTIL THE DOORS OF THAT CAR START TO CLOSE SHALL BE CALCULATED FROM THE FOLLOWING EQUATION: Γ = D/(1.5 FT/S) OR T = D/(455 MM/S) = 5 SECONDS MINIMUM WHERE T EQUALS THE TOTAL TIME IN SECONDS AND D EQUALS THE DISTANCE (IN FEET OR MILLIMETERS) FROM THE POINT IN THE LOBBY OR CORRIDOR 60 INCHES (1524 MM) DIRECTLY IN FRONT OF THE FARTHEST CALI BUTTON CONTROLLING THAT CAR TO THE CENTERLINE OF ITS HOISTWAY DOOR. FOR CARS WITH IN-CAR LANTERNS, T SHALL BE PERMITTED TO BEGIN WHEN THE SIGNAL IS VISIBLE FROM THE POINT 60 INCHES (1524 MM) DIRECTLY IN FRONT OF THE FARTHEST HALL CALL BUTTON AND THE AUDIBLE SIGNAL IS SOUNDED.

DESTINATION-ORIENTED ELEVATORS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION h. DOOR DELAY. ELEVATOR DOORS SHALL REMAIN FULLY OPEN IN RESPONSE TO A CAR CALL FOR 5 SECONDS MINIMUI i. WIDTH. THE WIDTH OF ELEVATOR DOORS SHALL COMPLY WITH TABLE 11B-407.4.1. IN EXISTING ELEVATORS, A POWER-OPERATED CAR DOOR COMPLYING WITH SECTION 11B-404.2.3

6. ELEVATOR CAR REQUIREMENTS. ELEVATOR CARS SHALL COMPLY WITH SECTION 11B-407.4. a. CAR DIMENSIONS. INSIDE DIMENSIONS OF ELEVATOR CARS AND CLEAR WIDTH OF ELEVATOR DOORS SHALL COMPLY WITH TABLE 11B-407.4.1.IN EXISTING BUILDINGS, WHERE EXISTING SHAFT CONFIGURATION OR TECHNICAL INFEASIBILITY PROHIBITS STRICT COMPLIANCE WITH SECTION 11B-407.4.1, EXISTING ELEVATOR CAR CONFIGURATIONS THAT PROVIDE A CLEAR FLOOR AREA OF 18 SQUARE FEET (1.67 M2) MINIMUM AND ALSO PROVIDE AN INSIDE CLEAR DEPTH 54 INCHES (1372 MM) MINIMUM AND A CLEAR WIDTH 48 INCHES (1219 MM) MINIMUM SHALL BE PERMITTED.

(INSERT TABLE 11B-407 4 1 FLEVATOR CAR DIMENSIONS) b. FLOOR SURFACES. FLOOR SURFACES IN ELEVATOR CARS SHALL COMPLY WITH c. PLATFORM TO HOISTWAY CLEARANCE. THE CLEARANCE BETWEEN THE CAR PLATFORM SILL AND THE EDGE OF ANY HOISTWAY LANDING SHALL BE 11/4 INCH (32 MM) d. LEVELING, EACH CAR SHALL BE EQUIPPED WITH A SELF-LEVELING FEATURE THAT WILL

AUTOMATICALLY BRING AND MAINTAIN THE CAR AT FLOOR LANDINGS WITHIN A TOLERANCE OF ½ INCH (12.7 MM) UNDER RATED LOADING TO ZERO LOADING CONDITIONS. THRESHOLD AND CAR LANDING SILL SHALL BE 5 FOOT CANDLES (54 LUX) MINIMUM.



STAIR/EXIT/EGRESS SIGNAGE

REQUIRED EXIT SIGNS Tactile exit signs shall be required at the following locations:

1. Each grade-level exterior exit door that is required to comply with Section 1011.1, shall be identified by a tactile exit sign with the 2. Each exit door that is required to comply with Section 1011.1, and that leads directly to a grade-level exterior exit by means of a stairway or ramp shall be identified by a tactile exit sign with the following words as appropriate:
2.1. "EXIT STAIR DOWN" 2.2. "EXIT RAMP DOWN" 2.3. "EXIT STAIR UP" 2.4. "EXIT RAMP UP"

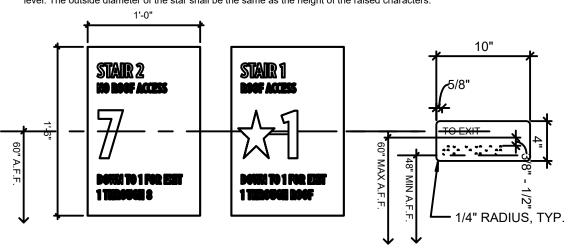
3. Each exit door that is required to comply with Section 1011.1, and that leads directly to a grade-level exterior exit by means of an exit enclosure or an exit passageway shall be identified by a tactile exit sign with the words, "EXIT ROUTE." 4. Each exit access door from an interior room or area to a corridor or hallway that is required to comply with Section 1011.1, shall be identified by a tactile exit sign with the words "EXIT ROUTE." 5. Each exit dóor through a horizontal exit that is required to comply with Section 1011.1, shall be identified by a sign with the words, 6. Each door providing access to an area of refuge from an adjacent floor area shall be identified by a sign stating: "AREA OF 7. Each door providing access to an exterior area for assisted rescue shall be identified by a sign stating: "EXTERIOR AREA FOR

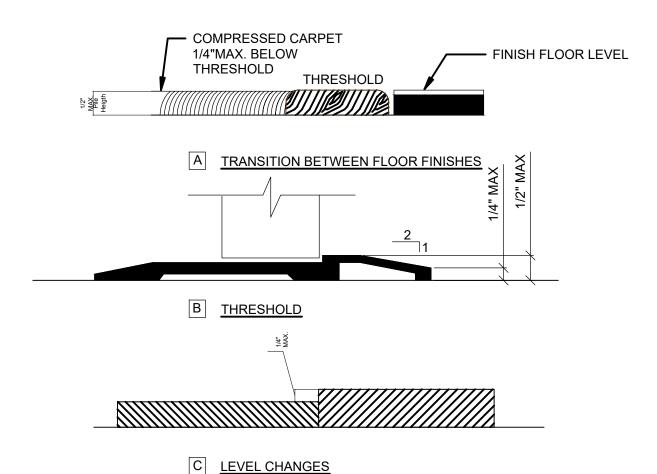
Raised character and Braille exit signs shall comply with Chapter 11B, Sections 11B-703.1, 11B-703.2, 11B-703.3 and 11B-703.5. REQUIRED DIRECTIONAL SIGNAGE. Direction signage complying with Chapter 11B, Section 11B-703.5 indicating the location of the other means of egress and which are accessible means of egress shall be provided at the following:

1. At exits serving a required accessible space but not providing an approved accessible means of egress. 2. At elevator landings.

REQUIRED STAIR IDENTIFICATION SIGNS. A sign shall be provided at each floor landing in an interior exit stairway and ramp connecting more than three stories designating the floor level, the terminus of the top and bottom of the interior exit stairway and ramp and the identification of the stair or ramp. The signage shall also state the story of, and the direction to, the exit discharge and the availability of roof access from the interior exit stairway and ramp for the fire department. The sign shall be located 5 feet (1524 above the floor landing in a position that is readily visible when the doors are in the open and closed positions.

In addition to the stairway identification sign, raised characters and braille floor identification signs that comply with Chapter 11B. Sections 11B-703.1, 11B-703.2, 11B-703.3 and 11B-703.5 shall be located at the landing of each floor level, placed adjacent to the door on the latch side, in all enclosed stairways in buildings two or more stories in height to identify the floor level. At the exit discharge level, the sign shall include a raised five pointed star located to the left of the identifying floor level. The outside diameter of the star shall be the same as the height of the raised characters.



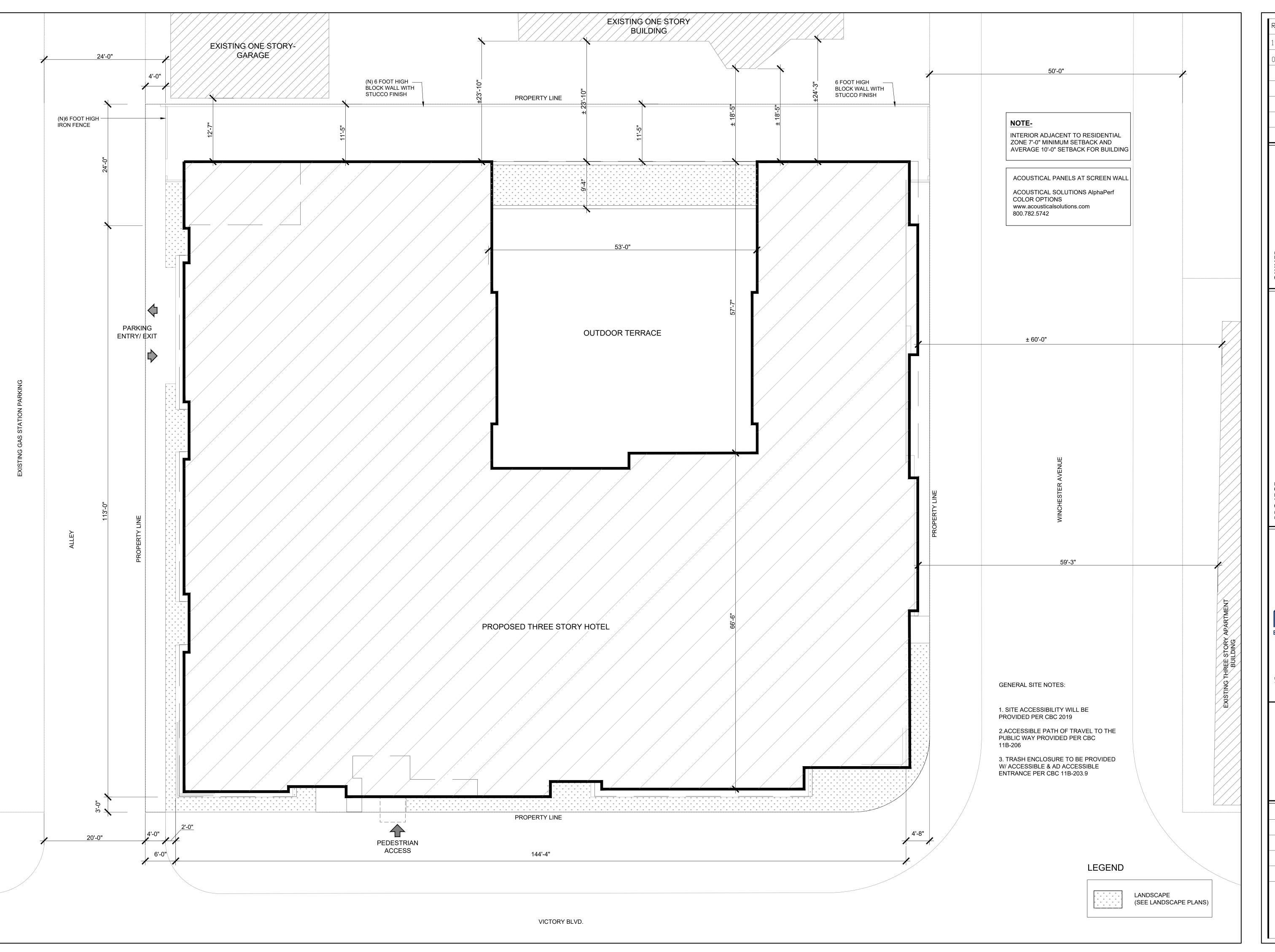


I. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE EDGE. 2. 1:2 SLOPED LEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL CHANGE. 3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

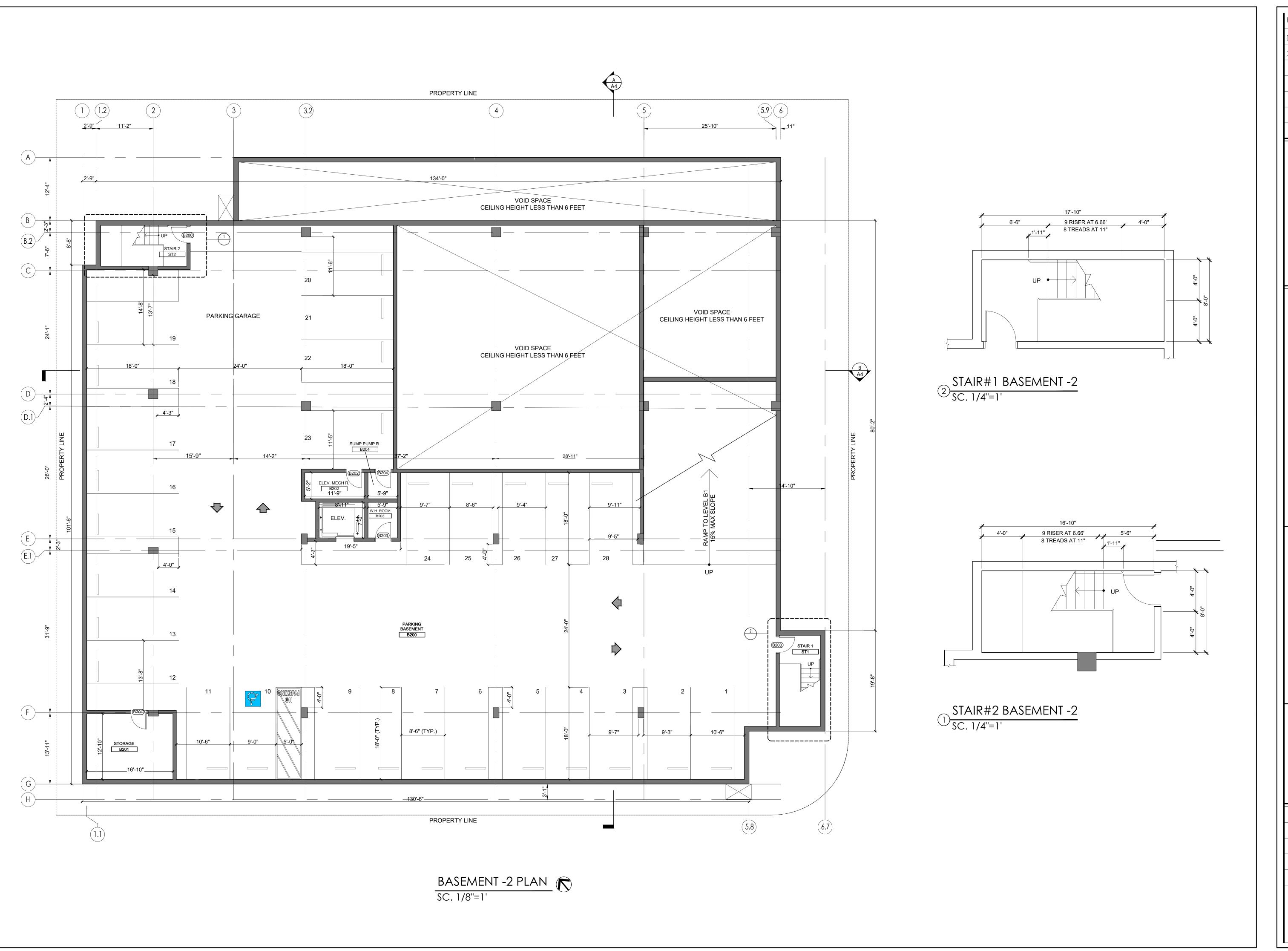
NOI **CESSIBILITY/ELEVATOR/STAIR K&M ENGINEERING** AND DESIGN, CORP. T: (818) 273-9980 E: info@kmdesigncorp.com www.kmdesigncorp.com 6854 FOOTHILL BLVD. TUJUNGA, CA 91042 DRAWN BY: A.M CHECKED BY: AK DATE: 08-20-2019 SCALE:AS NOTED

JDB ND.: 2019-115

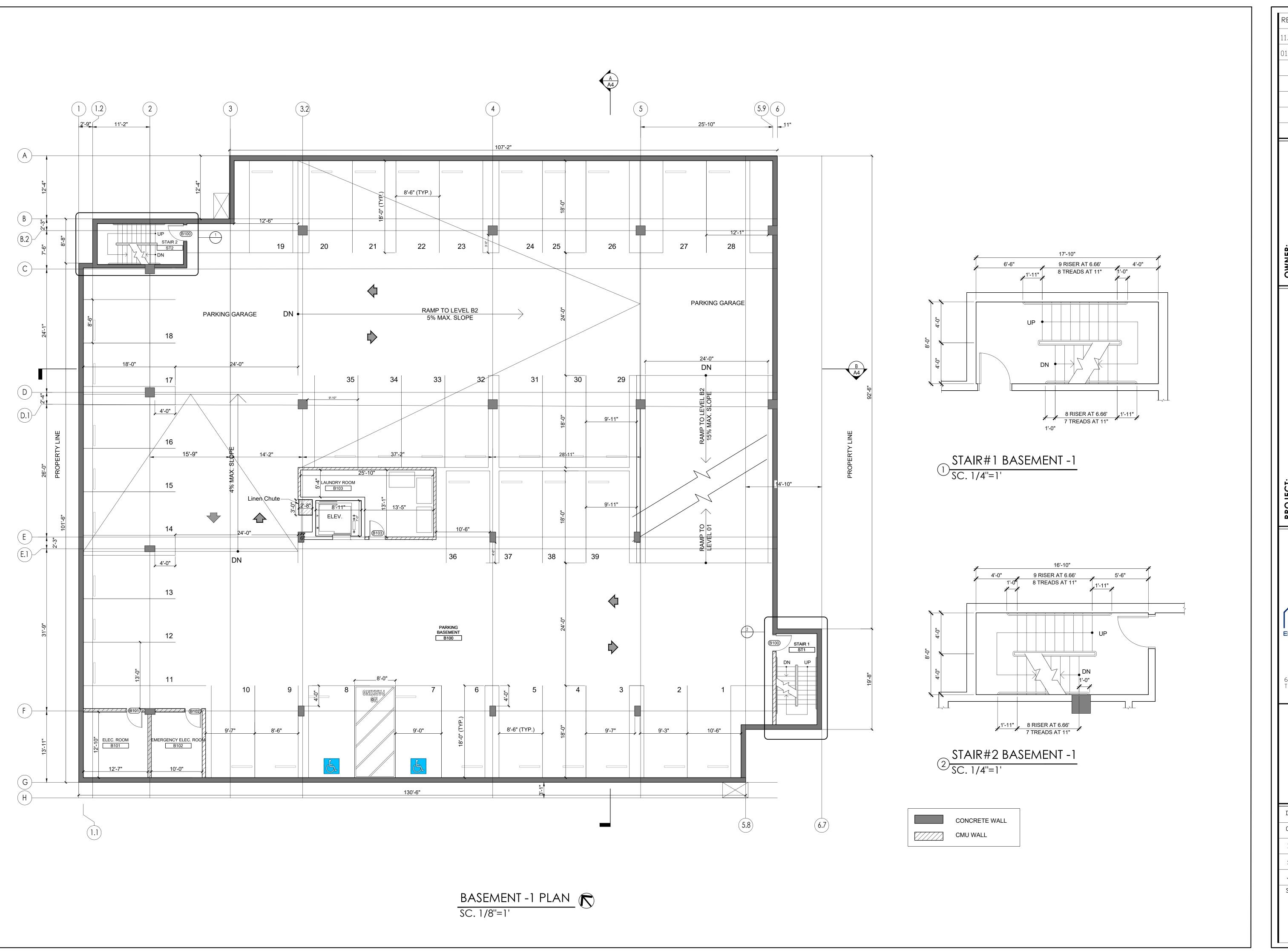
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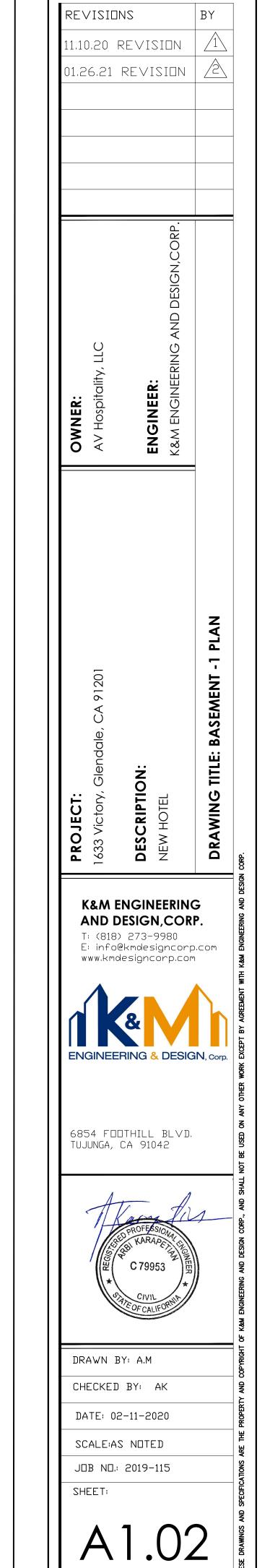


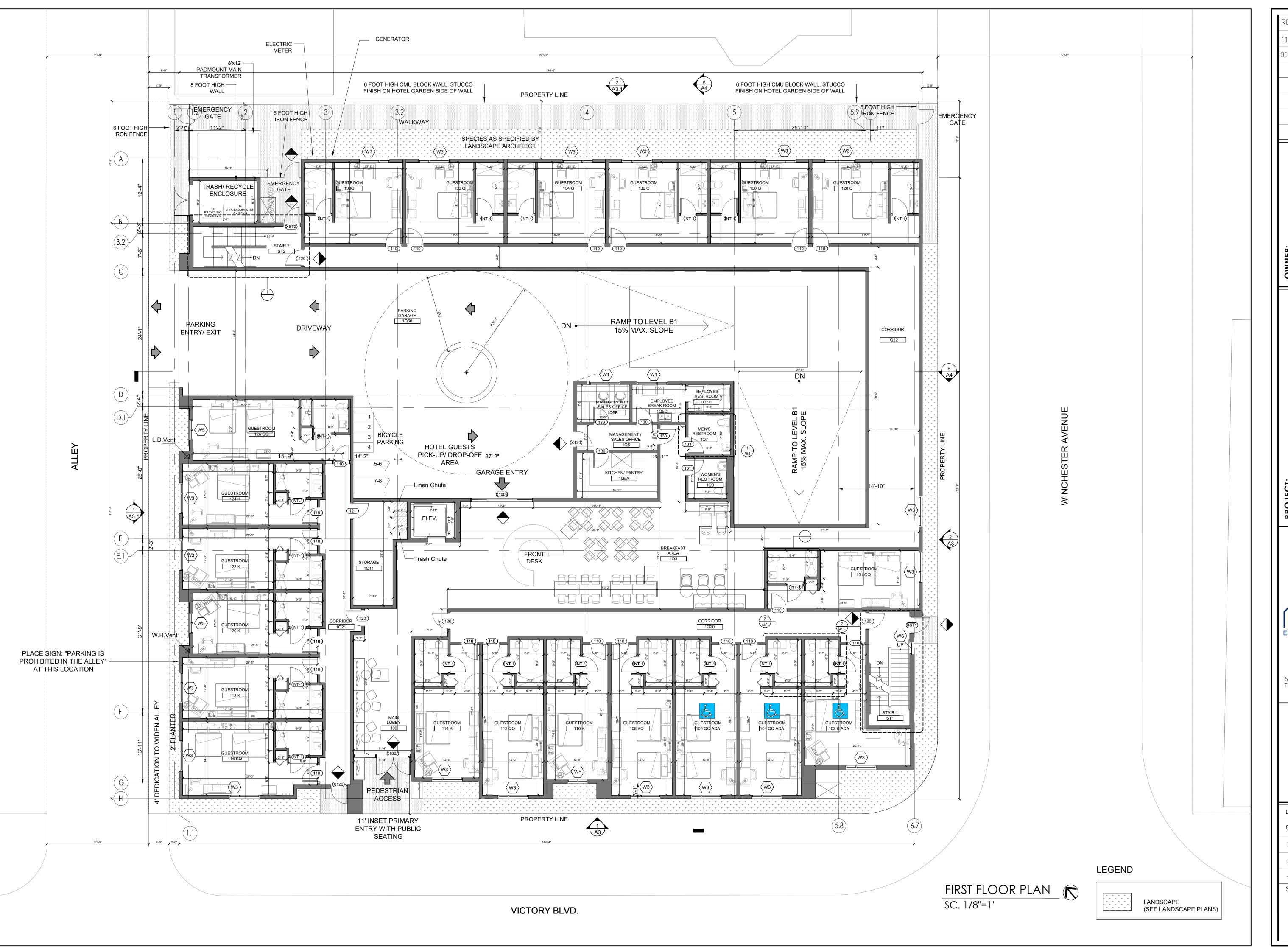
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OWNER: AV Hospitality, LLC ENGINEER: K&M ENGINEERING AND DESIGN,CORP.	
PROJECT: 1633 Victory, Glendale, CA 91201 DESCRIPTION: NEW HOTEL	DRAWING TITLE: SITE PLAN
K&M ENGINEERIN AND DESIGN,COI T: (818) 273-9980 E: info@kmdesigncorp.co	MTH K&M ENGINEERING AND DESIGN
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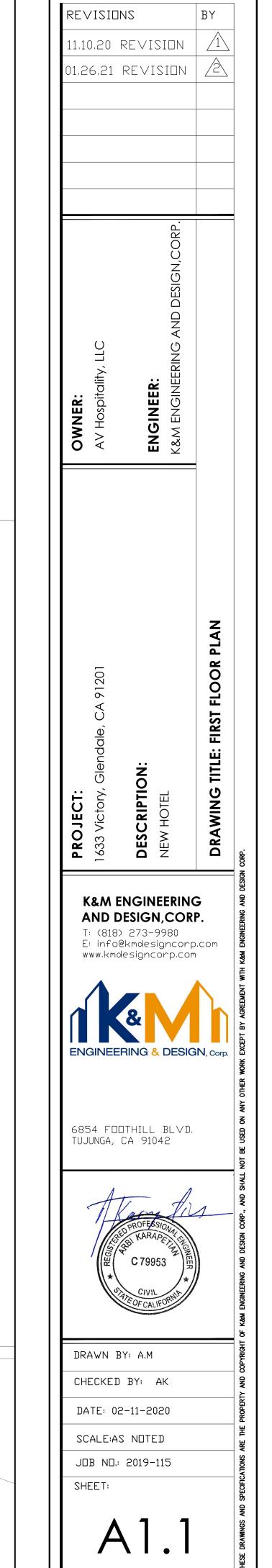


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OWNER: AV Hospitality, LLC	ENGINEER: K&M ENGINEERING AND DESIGN,CORP.	
PROJECT: 1633 Victory, Glendale, CA 91201	DESCRIPTION: NEW HOTEL	DRAWING TITLE: BASEMENT -2 PLAN
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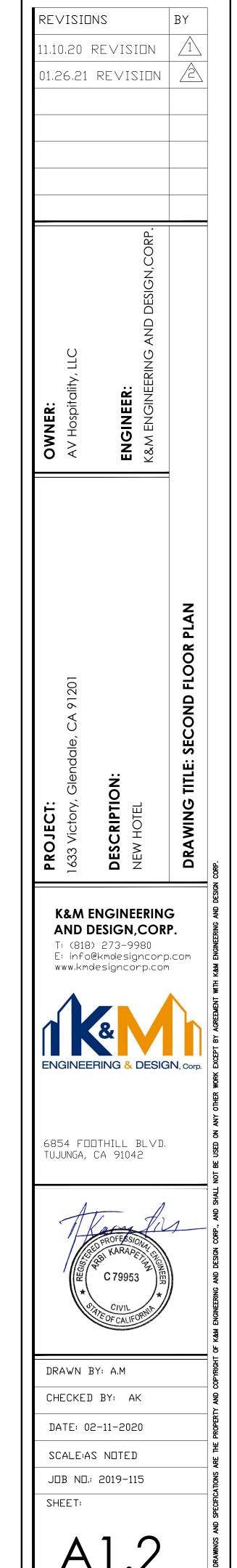




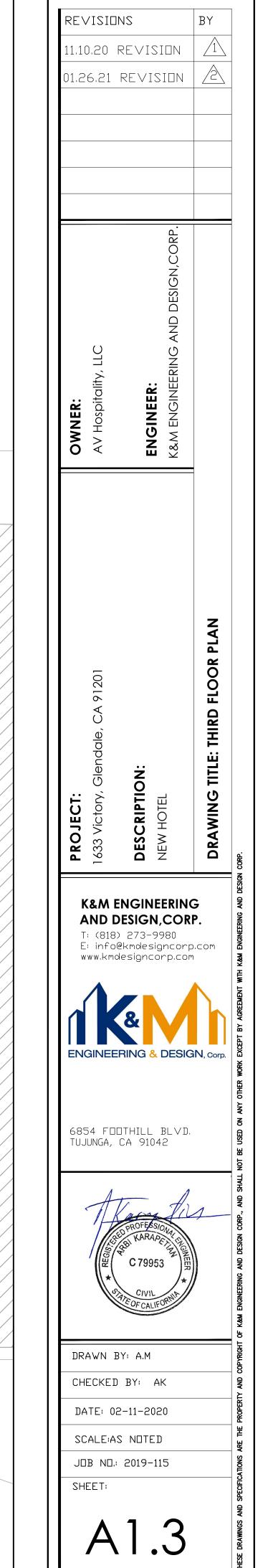


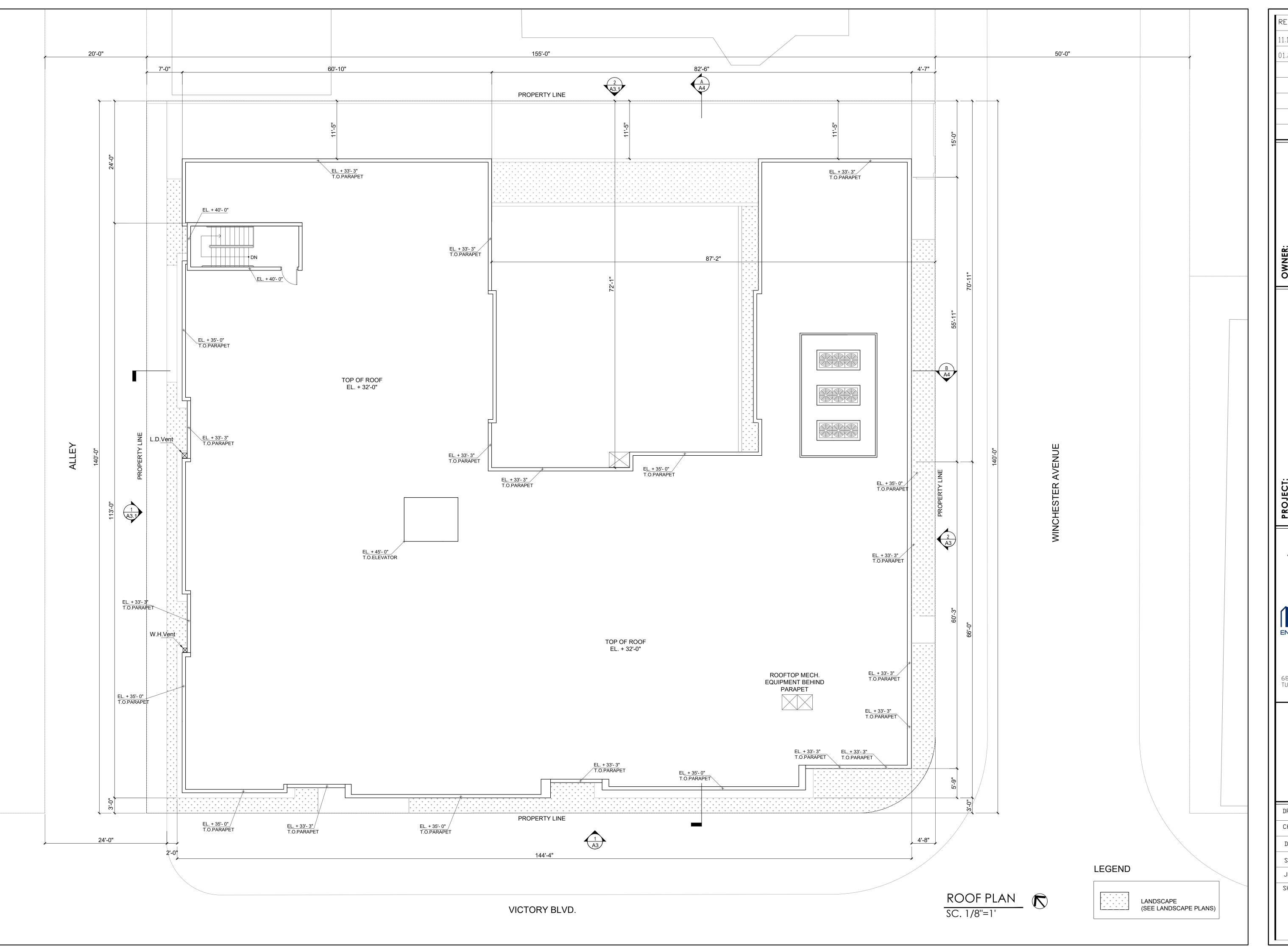


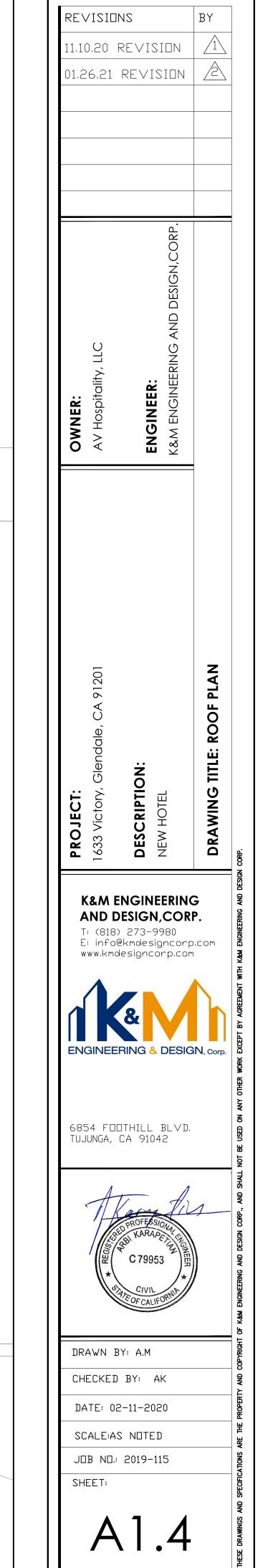


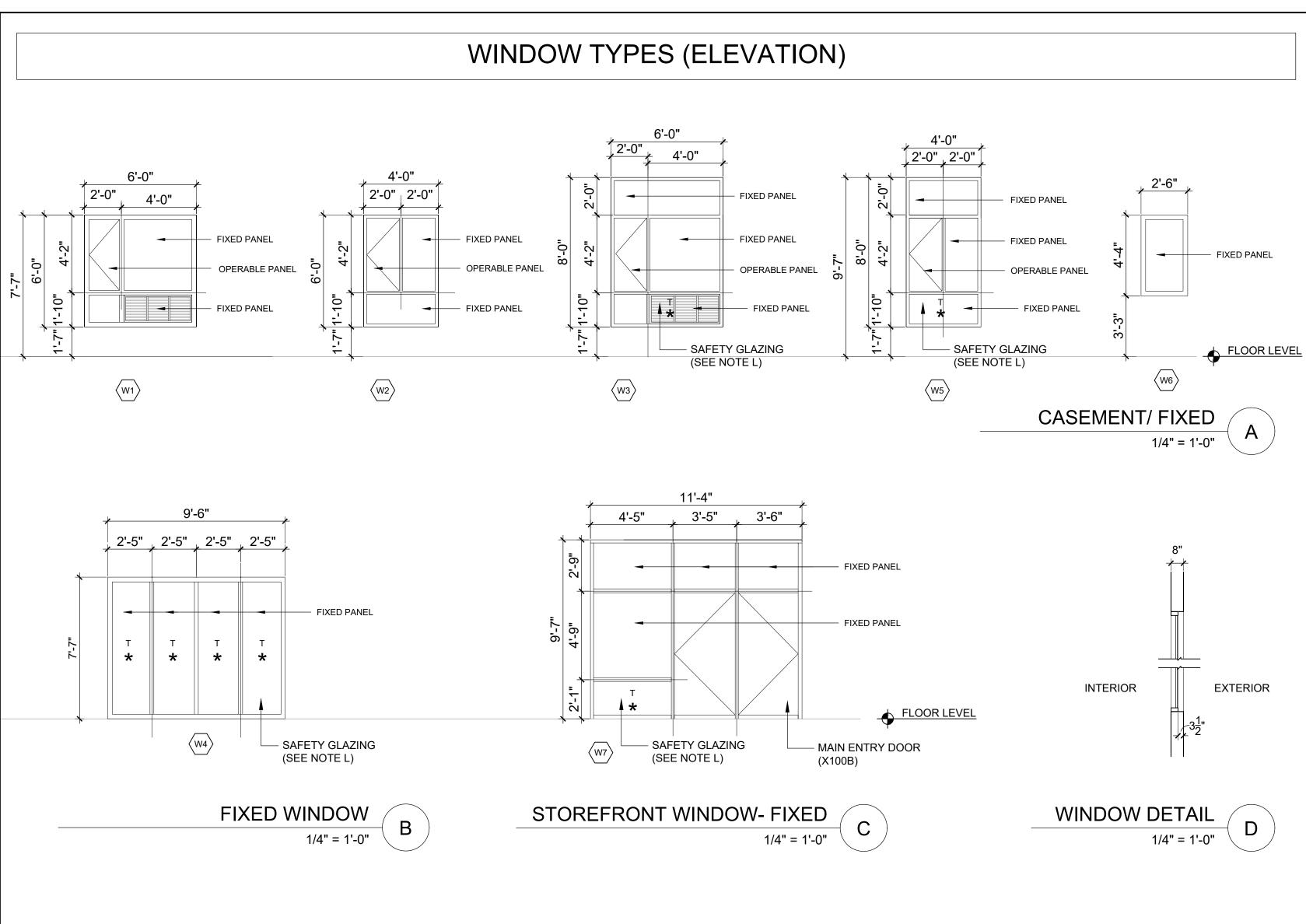












GENERAL NOTES

- PROVIDE COMPLETE WEATHER STRIPPING TO ALL EXTERIOR WINDOWS.
- ALL THE EXTERIOR WINDOWS SHALL BE DOUBLE GLAZED.
- THE THICKNESS OF ALL GLAZING IN THE STOREFRONT, WINDOW WALL, OR CURTAIN WALL SYSTEMS SHALL BE 1/4"MINIMUM.
- FIRE RATED WINDOWS SHALL BEAR A LABEL TO IDENTIFY THE REQUIRED RATING.
- TEMPERED GLASS AFFIXED WITH PERMANENT LABEL, THAT SPECIFIES THE LABELER AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS.
- WINDOW OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4- HOUR) OR (1-1/2 HOUR) FIRE ASSEMBLIES AS REQUIRED PER CODE.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSED OF SAFETY GLAZING. GLAZING IN: SECTION 2406
- SWING DOORS.
- FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
- STORM DOORS.
- UNFRAMED SWINGING DOORS.
- DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
- FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610mm) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525mm) ABOVE THE WALKING SURFACE. READ CODE FOR EXCEPTIONS.
- FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITION (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
- EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.84M2)
- EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (457mm) ABOVE THE FLOOR.
- EXPOSED TOP EDGE GREATER THAN 36 INCHES (914 mm) ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 mm) HORIZONTALLY OF THE PLANE OF THE GLAZING.
- GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
- WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 mm) ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.
- THE GLAZING IS WITHIN 60 INCHES (1525 mm) OF A SWIMMING POOL OR SPA WATER'S EDGE.
- ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE (READ CODE FOR EXCEPTION WITH SPECIAL WITH SPECIAL INSTALLATION).
- ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
- USE TEMPERED (T) GLASS FOR GLASS PANELS PER CODE REQUIREMENT PER CALIFORNIA BUILDING CODE

				D(OC	R SC	HED	ULE	_							
DOOR	ROOM NAME	WIDTH	HEIGHT	THK.	TYPE	FIRE	DO	OR	FRA	AME		DETAIL		HARDWARE	REMARKS	QTY.
NO.	NOOW NAME	WIDTH	TILIGITI	TTIIX.	1117	RATING	MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD			
						BAS	SEMEN	T LE	VEL B	2						
B200	STAIRS	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
B201	NON-USABLE ROOMS	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						2
						BAS	SEMEN	T LE	VEL B	1						
B100	STAIRS	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
B101	NON-USABLE ROOMS	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						4
							LEV	EL 0	1							
X100A	MAIN LOBBY	11'-0"	9'-6"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
X100B	MAIN LOBBY	7'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
X120	CORRIDOR	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
X130	OFFICE EXIT	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
XST1	STAIR 1	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						1
XST2	STAIR 2	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						1
110	GUESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						20
120	CORRIDOR	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						4
121	STORAGE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
130	MANAGEMENT	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						4
131	WOMEN'S RESTROOM MEN'S RESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						2
INT-1	GUESTROOM BATH RM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						20
							LEV	EL 0	2							
X220	EXIT TO TERRACE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
210	GUESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						31
220	STAIR / CORRIDOR	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
230	STORAGE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
231	FITNESS ROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
INT-1	GUESTROOM BATH RM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						31
							LEV	EL 0	3							
310	GUESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						33
320	STAIR / CORRIDOR	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
330	STORAGE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
INT-1	GUESTROOM BATH RM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD	MTL	PTD.						33

ABBREVIATIONS:

GL - GLASS HM - HOLLOW METAL WD - WOOD STEEL STL -

MTL -METAL M/G -METAL AND GLASS WOOD AND GLASS SC - SOLID CORE WOOD TM - TEMPERED GLASS PTD - PAINTED FF - FACTORY PRE-FINISH

				WIN	NDOW S	CHED	ULE	
WINDOW	SI	ZE	FRA	AME	GLAZING	HARDWARE	DEMARKS	OTV
TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	GLAZING	GROUP	REMARKS	QTY.
10/4	CI OII	01.01	NAT!	DTD			OA OEMENIT/ EIVED	F0
W1	6'-0"	6'-0"	MTL	PTD			CASEMENT/ FIXED	50
W2	4'-0"	6'-0"	MTL	PTD			CASEMENT/ FIXED	16
W3	6'-0"	8'-0"	MTL	PTD	TEMPERED		CASEMENT/ FIXED	19
W4	9'-6"	7'-7"	MTL	PTD	TEMPERED		FIXED	4
W5	4'-0"	8'-0"	MTL	PTD	TEMPERED		CASEMENT/ FIXED	3
W6	2'-6"	4'-4"	MTL	PTD			FIXED	7
W7	12'-0"	6'-0"	MTL	PTD	TEMPERED		CASEMENT/ FIXED	1

ABBREVIATIONS:

- ALUMINUM - METAL FACTORY PRE-FINISHED

REVISIONS

11.10.20 REVISION

DOOR AND WINDOW SCHEDULE

K&M ENGINEERING

AND DESIGN, CORP.

www.kmdesigncorp.com

E: info@kmdesigncorp.com

T: (818) 273-9980

6854 FOOTHILL BLVD. TUJUNGA, CA 91042

DRAWN BY: A.M

CHECKED BY: AK

DATE: 02-11-2020

SCALE:AS NOTED

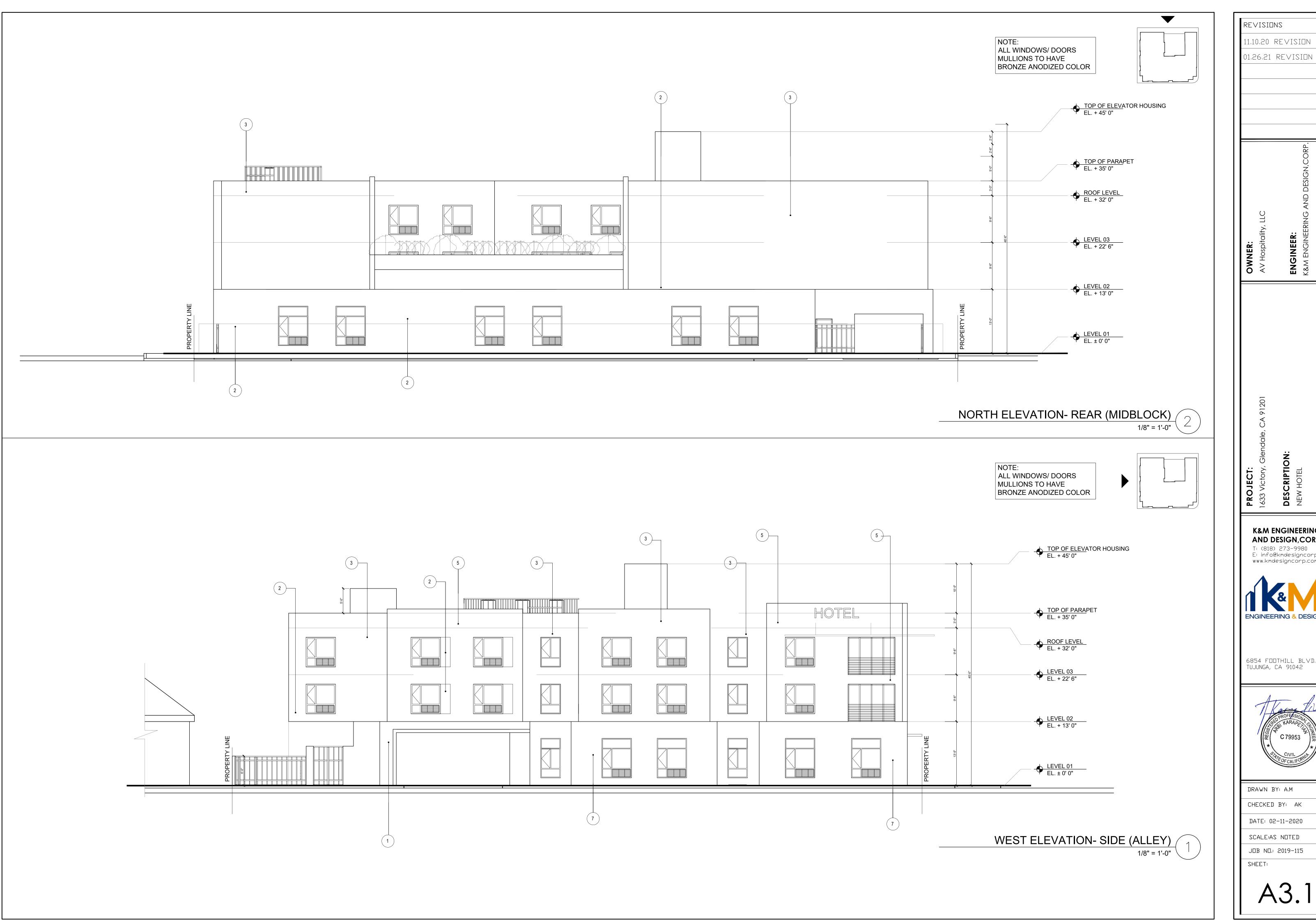
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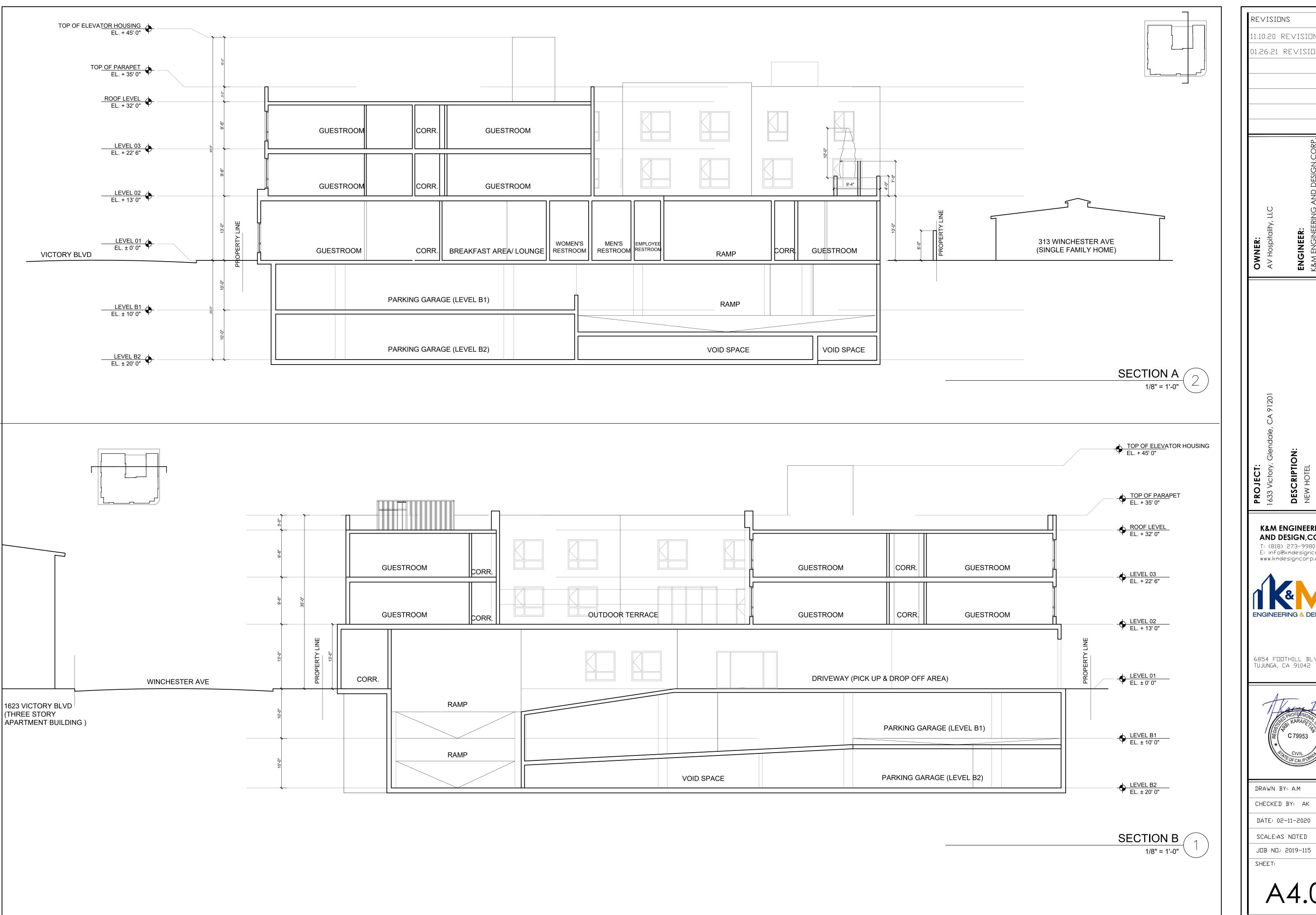
CONC	-	CONCRETE
CMU	-	CONCRETE MASONF
UNIT		
CG	-	CLEAR GLASS
SG	-	SOLAR GLASS
TM	-	SAFETY GLASS
PTD	-	PAINTED
GB	-	GYPSUM BOARD
TBD	-	TO BE DETERMINED

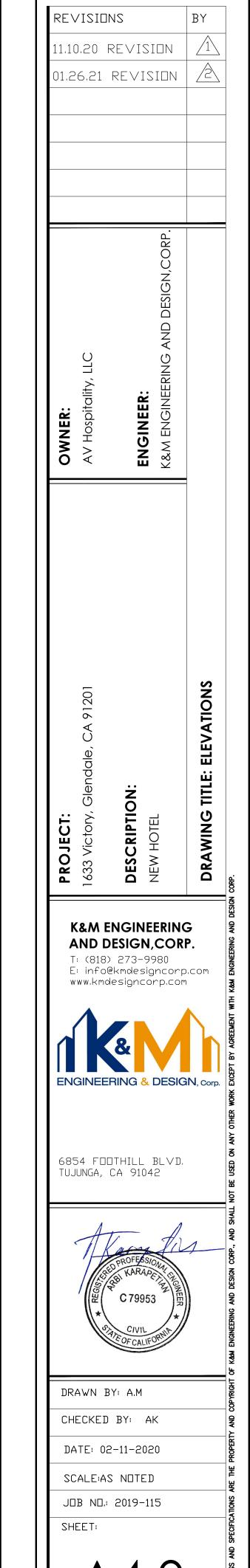


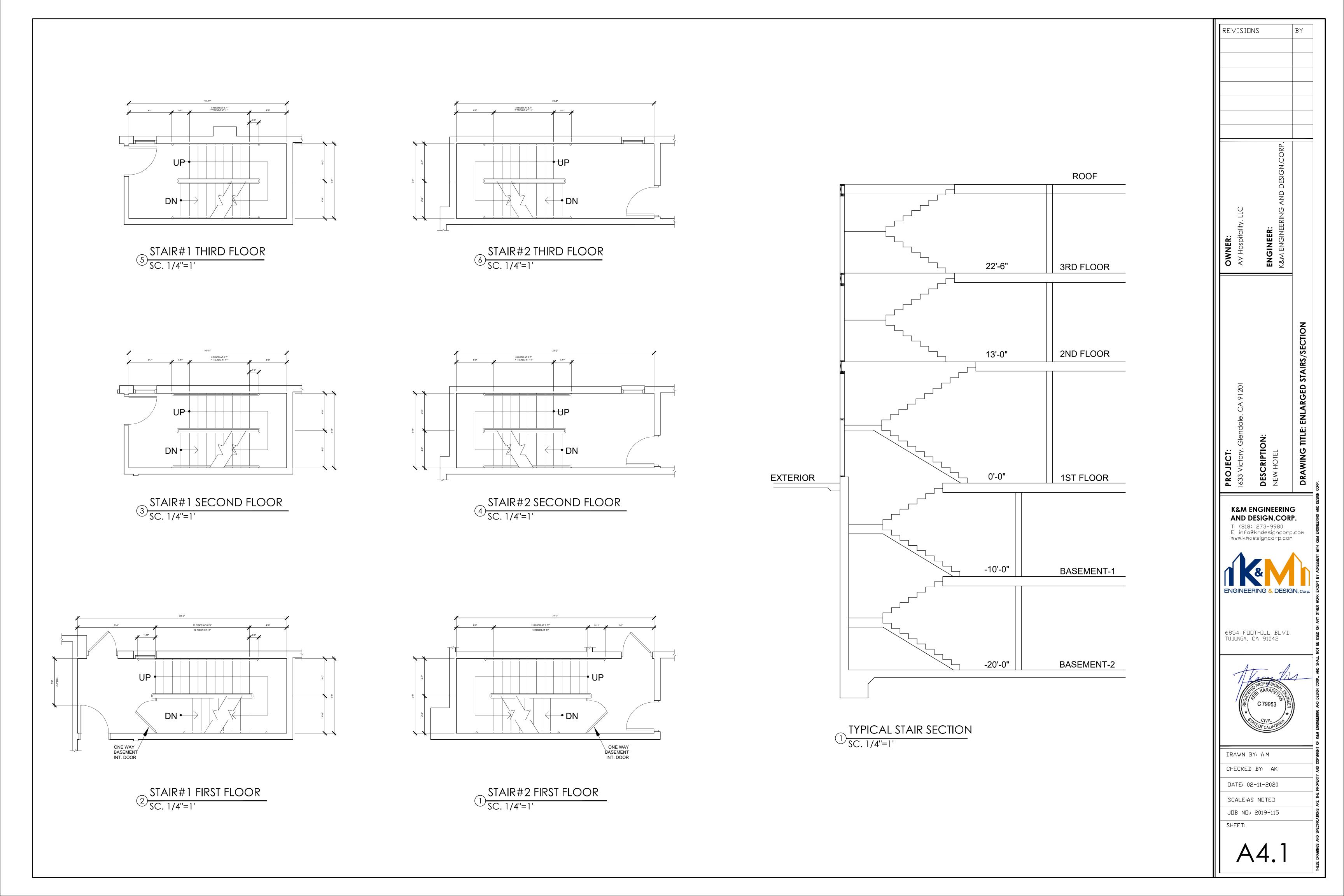
		GN,CORP.	
- AND	AV Hospitality, LLC	ENGINEER: K&M ENGINEERING AND DESIGN,CORP.	
	1633 Victory, Glendale, CA 91201	DESCRIPTION: NEW HOTEL	DRAWING TITLE: ELEVATIONS
	AND D T: (818) E: info@	NGINEERIN ESIGN,COI 273-9980 kmdesigncor esigncorp.co	
	NGINEER	& DESI	NEERING AND DESIGN CORP., AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH K&M ENGINEERING AND DESIGN
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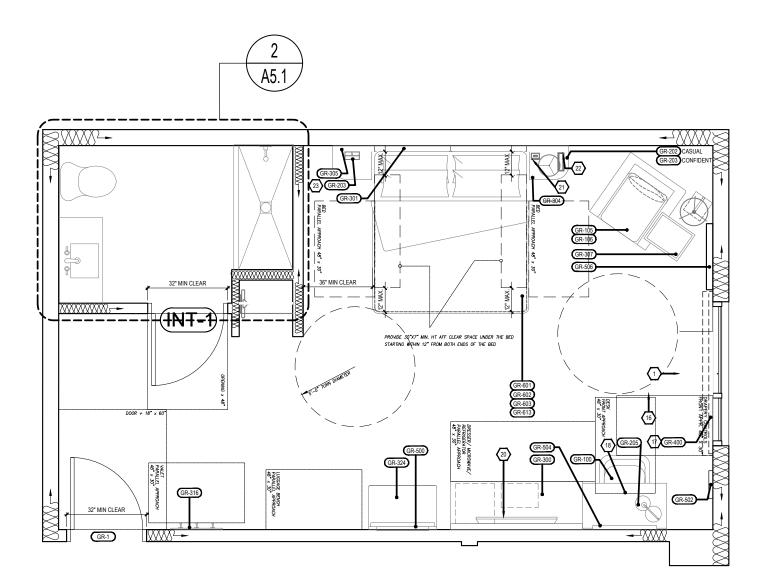


7	REVISIO	NS	ВҮ
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	VER: Iospitality, LLC	ENGINEER: K&M ENGINEERING AND DESIGN,CORP.	
	OWNER: AV Hospi	ENGIN K&M EN	
	PROJECT: 1633 Victory, Glendale, CA 91201	DESCRIPTION: NEW HOTEL	DRAWING TITLE: ELEVATIONS
	AND D T: (818) E: info	ENGINEERING DESIGN,CORI D 273-9980 Ekmdesigncorp designcorp.com	MODELLE PROMISEDING
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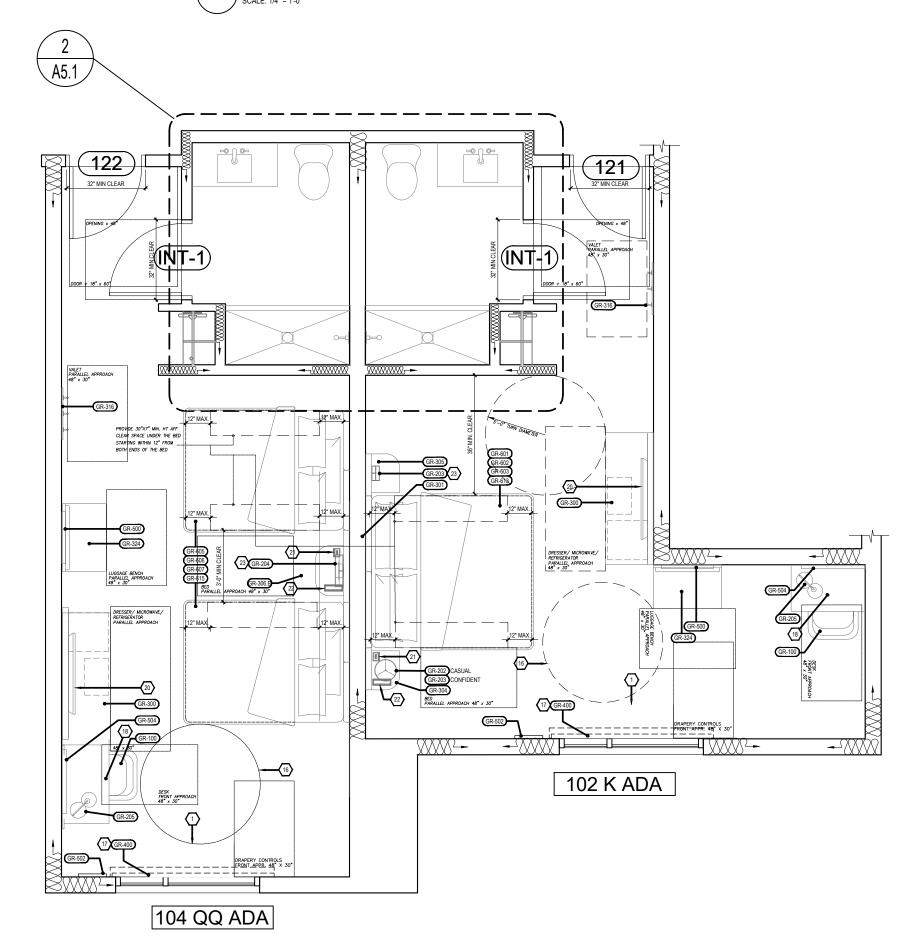




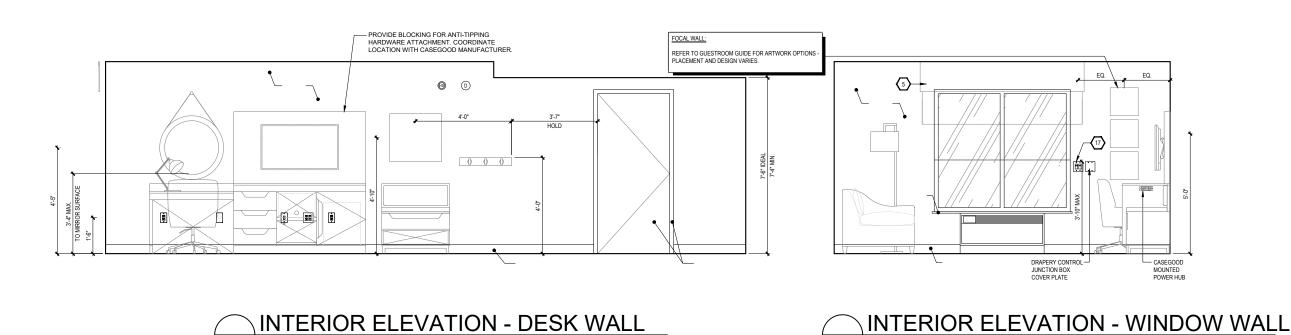


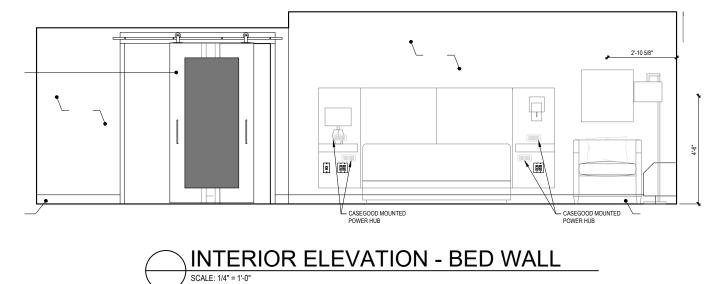


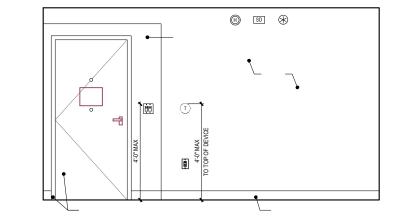
ENLARGED PLAN - ADA KING GESTROOM (101)



ENLARGED PLAN - ADA K,QQ GESTROOM (102,104)

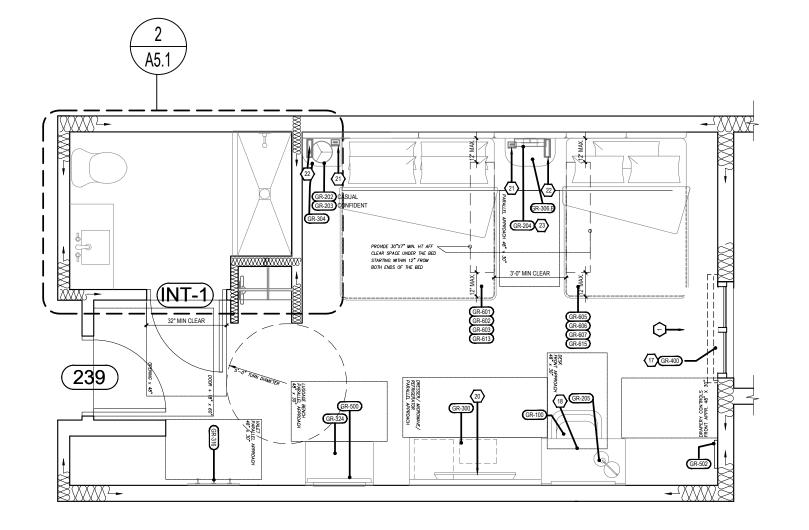






INTERIOR ELEVATION - BATH WALL

SCALE: 1/4" = 1'-0"



ENLARGED PLAN - ADA KQ GESTROOM (217)

NEAN OTE (
KEYNOTES ()

- FULL HEIGHT CORNER GUARD, NO EXPOSED FASTENERS, COLOR TO COORDINATE WITH WALL
- 2. CASED OPENING PAINTED
- MOISTURE RESISTANT GYP. BD. (TYP.) 4. CLOSET ROD TUBING # 770-1 CHR, FLANGE #735 CHR, MFG BY KNAPE AND VOGT (616-459-3311 / KNAPEANDVOGT.COM), MOUNT AT 66" A.F.F. IN TYP. GUESTROOM, AT ACCESSIBLE GUESTROOMS PROVIDE HALF THE CLOSET ROD LENGTH AT 44"
- -PROVIDE ACCESSIBLE TUBING ON MOST ACCESSIBLE SIDE OF TYP. GUESTROOM CLOSET WOOD SHELF W/ HARDWOOD EDGE @ 68" A.F.F., IN ACCESSIBLE GUESTROOMS WITH MOBILITY FEATURES, PROVIDE HALF THE CLOSET SHELF @ 48" A.F.F -PROVIDE ACCESSIBLE HANG ROD ON MOST ACCESSIBLE SIDE
- OF CLOSET REFER TO CLOSET DETAIL IRONING BOARD NOT USED
- 8. ARTWORK 9. FLOATING TOWEL SHELVES (GR-312) 10. WALL MOUNTED LIGHT FIXTURE
- 11. FRAMED MIRROR 12. TYPICAL GUEST VANITY - REFER TO GUEST ROOM DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
- 13. APPROVED SHOWER PAN REFER TO HAMPTON STANDARD 14. APPROVED SHOWER SURROUND - REFER TO HAMPTON STANDARDS
- 15. CONTROL VALVE 16. SHOWER HEAD, ROUGH IN HEIGHT BETWEEN 6'-10" AND 7'-0"
- ABOVE FINISH
- 17. SLIDING GLASS SHOWER DOOR CUSTOM HEIGHT
- 18. SHOWER BAR / DRAWER PULL TO BE USED AS SECONDARY TOWEL HOLDER 19. TILE BASE-REFER TO HAMPTON STANDARDS
- 20. BATHTUB REFER TO HAMPTON STANDARDS 21. FLUSH LEVER MUST BE POSITIONED ON OPEN SIDE OF WATER **CLOSET AS SHOWN**
- 22. MIRROR COMPLIANT WITH ACCESSIBILITY REQS. MOUNT BOTTOM. OF GLASS AT 40" MAX. AFF
- 23. TYPICAL ACCESSIBLE GUEST VANITY REFER TO GUEST ROOM DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
- 24. PROTECT PIPES PER ACCESSIBILITY REQUIREMENTS25. ACCESSIBLE SHOWER FLOOR NOT TO EXCEED 1:48 IN ANY DIRECTION 26. PROVIDE INSULATED FLOOR DRAIN IN THIS LOCATION FOR
- GUEST BATHS EQUIPPED WITH A ROLL-IN SHOWER DRAIN WITH 12" DIA. DISH. FLOOR SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION. PROVIDE TRAP PRIMER - COMPLY ALSO WITH LOCAL CODE WHERE APPLICABLE
- MOBILITY FEATURES 28. ACCESSIBLE ADJUSTABLE SHOWER HEAD FOR ACCESSIBLE ROOMS WITH MOBILITY FEATURES - REFER TO HAMPTON STANDARDS
- 29. PADDED REMOVABLE ACCESSIBLE TUB SEAT TO BE 15"-16" DEEP AND AT 17"-19" ABOVE FINISHED FLOOR WHEN IN USE 30. ACCESSIBILE BATH TUB
 31. REFER TO TYPICAL BATH TUB DRAWING - 2 / A5.53
- 32. PROVIDE ADDITIONAL TOWEL HOOK WITH TUB OPTION 33. TOWEL CADDY

FINISH LEGEND:

B BASE C CARPET M METAL

PT PAINT RF RESILIENT FLOORING SF SPECIAL FINISH SI SPECIAL ITEM ST STONE T TILE

REFER TO FF&E SPECIFICATIONS
MANUAL FOR FINISH ITEMS NOT SPECIFICALLY IDENTIFIED WITHIN THES RECOMMENDED PLACEMENT OF WALL FINISHES WITH REFERENCE TO EACH DESIGN ATTITUDE ARE IDENTIFIED IN TH VWC VINYL WALL COVERING GUESTROOM DESIGN GUIDE.

ELECTRICAL LEGEND

W WOOD FINISH

PLAN: ELEV:

DUPLEX OUTLET QUADPLEX OUTLET GFI OUTLET • TELEPHONE OUTLET TV TV TV OUTLET \$ ⊟ SWITCH

SD | SMOKE DETECTOR STROBE (IN C.F. ROOMS ONLY)

FIRE HORN/STROBE (IN C.F. ROOMS ONLY, OMIT FIRE HORNS WHEN THESE ARE USED) 📆 | 🖽 | FIRE HORN, STANDARD ROOMS * | SIDE WALL SPRINKLER HEAD

DD DOORBELL LIGHT (C.F. ROOMS ONLY) HSIA (WIRED WHERE APPLICABLE) JUNCTION BOX EXHAUST FAN LIGHT AT CEILING

> DOORBELL-MOUNT AT 46" AFF TO CENTER OF BUTTON (C.F. ROOMS ONLY)

ALERT!

VISUAL ALARMS TO BE FULLY VISIBLE FROM ALL AREAS OF ROOM

GENERALNOTES

AT ADJACENT ROOMS, ELECTRICAL OUTLET LOCATIONS, INCLUDING TV AND TELEPHONE OUTLETS, SHALL BE OFFSET 6" FOR INSTALLATION. BACK TO BACK OUTLETS ARE NOT ALLOWED. ELECTRICAL CORDS SHOULD BE HIDDEN FROM VIEW. REFER TO OUTLET DETAIL.

LIGHT SWITCH AND G.F.I. OUTLETS CAN BE MOUNTED IN A COMMON 4x4 BOX WITH COVER PLATE. COORDINATE CLEARANCES AS REQUIRED. THE HEIGHT OF ALL SWITCHES, OUTLETS, ETC., TO MEET ACCESSIBILITY STANDARDS AT A MINIMUM AND/OR LOCAL

- CODE REQUIREMENTS, WHICHEVER IS STRICTER. SWITCHES ON LAMPS MUST BE TOGGLE TYPE. ELECTRICAL OUTLETS AT DESKS ARE TO BE COORDINATED WITH HAMPTON STANDARDS. DEPENDING ON FF&E PROVIDED, CERTAIN OUTLETS MAY NOT BE REQUIRED.
- CEILING MOUNTED LIGHT FIXTURE AND FAN AT ALL GUEST ROOM BATHS TO BE SWITCHED SEPARATELY FROM LIGHT. SLOPE FLOORS TO DRAIN, SLOPE NOT TO EXCEED 1:48 IN ANY
- DIRECTION ANY LIGHT FIXTURES OVER WET AREAS TO BE DAMP LOCATION RATED W/ SHATTERPROOF LENS. COORDINATE BATH DOOR SWING WITH MOUNTING LOCATION OF CURVED SHOWER ROD AND STYLE OF DOOR STOP.
 ROLL IN SHOWER COMPARTMENTS ARE REQUIRED IN A MINIMUM
- NUMBER OF ACCESSIBLE ROOMS PER ACCESSIBILITY REQUIREMENTS. 10. ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. CEILING AT BATH SHALL BE MOISTURE RESISTANT RATED
- CEILING BOARD. WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE,
- 12. REFER TO GUEST BATH ACCESSORY LEGEND--REFER TO HAMPTONSTANDARDS FOR SPECIFIC REQUIREMENTS 13. ACCESSIBLE CLEARANCES INDICATED IN THESE DRAWINGS ARE

PER ACCESSIBILITY STANDARDS.

FOR DESIGN INTENT ONLY. DESIGNER OF RECORD SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS PER LOCAL AND NATIONAL CODES. 14. WALL MOUNTED EQUIPMENT, FIXTURES, ETC. BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL

REVISIONS 27. CONTROL VALVE LOCATION FOR ACCESSIBLE ROOMS WITH

ENLARGE ROOM PLANS

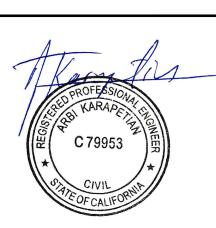
BY

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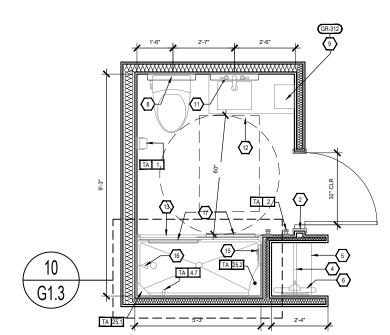


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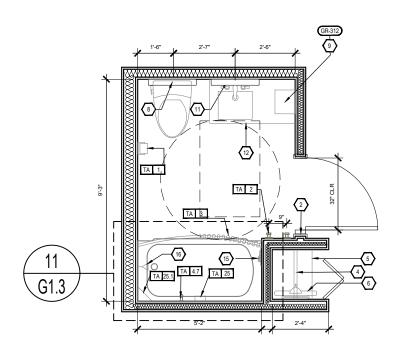
DATE: 02-11-2020 SCALE:AS NOTED

JOB NO.: 2019-115 SHEET



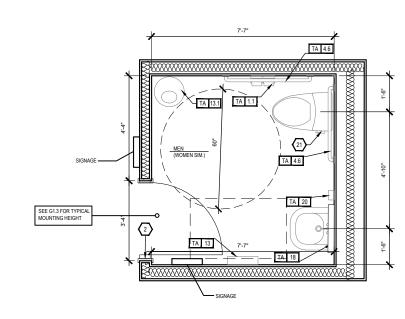
2 ENLARGED PLAN- TYPICAL ACCESSIBLE SHOWER GUESTROOM

SCALE: 3/4" = 1'-0"



3 ENLARGED PLAN- TYPICAL ACCESSIBLE TUB GUESTROOM

SCALE: 3/4" = 1'-0"



ENLARGED PLAN - PUBLIC RESTROOM

SCALE: 3/4" = 1'-0"

1.	FULL HEIGHT CORNER GUARD, NO EXPOSED FASTENERS, COLOR
2	TO COORDINATE WITH WALL
2.	CASED OPENING - PAINTED MOISTURE RESISTANT GYP. BD. (TYP.)
3. 4.	CLOSET ROD TUBING # 770-1 CHR, FLANGE #735 CHR, MFG BY
	KNAPE AND VOGT (616-459-3311 / KNAPEANDVOGT.COM),
	MOUNT AT 66" A.F.F. IN TYP. GUESTROOM, AT ACCESSIBLE
	GUESTROOMS PROVIDE HALF THE CLOSET ROD LENGTH AT 44"
	A.F.F.
	-PROVIDE ACCESSIBLE TUBING ON MOST ACCESSIBLE SIDE OF CLOSET
5.	TYP. GUESTROOM CLOSET WOOD SHELF W/ HARDWOOD EDGE
٥.	@ 68" A.F.F., IN ACCESSIBLE GUESTROOMS WITH MOBILITY
	FEATURES, PROVIDE HALF THE CLOSET SHELF @ 48" A.F.F
	-PROVIDE ACCESSIBLE HANG ROD ON MOST ACCESSIBLE SIDE
,	OF CLOSET - REFER TO CLOSET DETAIL
6. 7.	IRONING BOARD NOT USED
7. 8.	ARTWORK
9.	FLOATING TOWEL SHELVES (GR-312)
	WALL MOUNTED LIGHT FIXTURE
	FRAMED MIRROR
12.	TYPICAL GUEST VANITY - REFER TO GUEST ROOM DRAWINGS FOR
13.	GUEST ROOM FURNITURE SPECIFICATIONS APPROVED SHOWER PAN - REFER TO HAMPTON STANDARD
	APPROVED SHOWER SURROUND - REFER TO HAMPTON
•	STANDARDS
15.	CONTROL VALVE
16.	
17	ABOVE FINISH
17. 18.	
10.	TOWEL HOLDER
19.	TILE BASE-REFER TO HAMPTON STANDARDS
	BATHTUB - REFER TO HAMPTON STANDARDS
21.	FLUSH LEVER MUST BE POSITIONED ON OPEN SIDE OF WATER
22.	CLOSET AS SHOWN MIRROR COMPLIANT WITH ACCESSIBILITY REQS. MOUNT
ZZ.	BOTTOM. OF GLASS AT 40" MAX. AFF
23.	TYPICAL ACCESSIBLE GUEST VANITY - REFER TO GUEST ROOM
	DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
	PROTECT PIPES PER ACCESSIBILITY REQUIREMENTS
25.	ACCESSIBLE SHOWER FLOOR NOT TO EXCEED 1:48 IN ANY DIRECTION
26.	PROVIDE INSULATED FLOOR DRAIN IN THIS LOCATION FOR
	GUEST BATHS EQUIPPED WITH A ROLL-IN SHOWER DRAIN WITH
	12" DIA. DISH. FLOOR SLOPE NOT TO EXCEED 1:48 IN ANY
	DIRECTION. PROVIDE TRAP PRIMER - COMPLY ALSO WITH LOCAL
27	CODE WHERE APPLICABLE CONTROL VALVE LOCATION FOR ACCESSIBLE ROOMS WITH
۷1.	MOBILITY FEATURES
28.	ACCESSIBLE ADJUSTABLE SHOWER HEAD FOR ACCESSIBLE
	ROOMS WITH MOBILITY FEATURES - REFER TO HAMPTON
	STANDARDS
29.	PADDED REMOVABLE ACCESSIBLE TUB SEAT - TO BE 15"-16" DEEP
30	AND AT 17"-19" ABOVE FINISHED FLOOR WHEN IN USE ACCESSIBILE BATH TUB
	REFER TO TYPICAL BATH TUB DRAWING - 2 / A5.53
	PROVIDE ADDITIONAL TOWEL HOOK WITH TUB OPTION
33.	TOWEL CADDY
F۱۱	NISH LEGEND:
В	BASE
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N	l
Ρ.	T PAINT MANUAL FOR FINISH ITEMS NOT
R	
SI SI	
S.	
T	
V	WC VINYL WALL COVERING GUESTROOM DESIGN GUIDE.

GFI OUTLET TELEPHONE OUTLET TV TV TV OUTLET \$ B switch T REMOTE THERMOSTAT SDH SMOKE DETECTOR STROBE (IN C.F. ROOMS ONLY) FIRE HORN/STROBE (IN C.F. ROOMS ONLY, OMIT FIRE HORNS WHEN THESE ARE USED) FIRE HORN, STANDARD ROOMS * SIDE WALL SPRINKLER HEAD DB DOORBELL LIGHT (C.F. ROOMS ONLY) HSIA (WIRED WHERE APPLICABLE) JUNCTION BOX EXHAUST FAN EXHAUST FAN

ALERT!

VISUAL ALARMS TO BE FULLY VISIBLE FROM ALL AREAS OF ROOM

LIGHT AT CEILING

DOORBELL-MOUNT AT 46" AFF TO CENTER OF BUTTON (C.F. ROOMS ONLY)

GENERAL NOTES

AT ADJACENT ROOMS, ELECTRICAL OUTLET LOCATIONS, INCLUDING TV AND TELEPHONE OUTLETS, SHALL BE OFFSET 6" FOR INSTALLATION. BACK TO BACK OUTLETS ARE <u>NOT</u> ALLOWED. ELECTRICAL CORDS SHOULD BE HIDDEN FROM VIEW. REFER TO OUTLET DETAIL. LIGHT SWITCH AND G.F.I. OUTLETS CAN BE MOUNTED IN A

COMMON 4x4 BOX WITH COVER PLATE. COORDINATE CLEARANCES AS REQUIRED. THE HEIGHT OF ALL SWITCHES, OUTLETS, ETC., TO MEET ACCESSIBILITY STANDARDS AT A MINIMUM AND/OR LOCAL CODE REQUIREMENTS, WHICHEVER IS STRICTER. SWITCHES ON LAMPS MUST BE TOGGLE TYPE.

ELECTRICAL OUTLETS AT DESKS ARE TO BE COORDINATED WITH HAMPTON STANDARDS. DEPENDING ON FF&E PROVIDED, CERTAIN OUTLETS MAY NOT BE REQUIRED. CEILING MOUNTED LIGHT FIXTURE AND FAN AT ALL GUEST ROOM BATHS TO BE SWITCHED SEPARATELY FROM LIGHT.

SLOPE FLOORS TO DRAIN, SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION ANY LIGHT FIXTURES OVER WET AREAS TO BE DAMP LOCATION

RATED W/ SHATTERPROOF LENS.

COORDINATE BATH DOOR SWING WITH MOUNTING LOCATION
OF CURVED SHOWER ROD AND STYLE OF DOOR STOP.
ROLL IN SHOWER COMPARTMENTS ARE REQUIRED IN A MINIMUM NUMBER OF ACCESSIBLE ROOMS PER ACCESSIBILITY

REQUIREMENTS. 10. ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. CEILING AT BATH SHALL BE MOISTURE RESISTANT RATED CEILING BOARD. WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY.

DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE, 12. REFER TO GUEST BATH ACCESSORY LEGEND--REFER TO HAMPTONSTANDARDS FOR SPECIFIC REQUIREMENTS 13. ACCESSIBLE CLEARANCES INDICATED IN THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. DESIGNER OF RECORD SHALL BE

REQUIREMENTS PER LOCAL AND NATIONAL CODES. 14. WALL MOUNTED EQUIPMENT, FIXTURES, ETC. BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL PER ACCESSIBILITY STANDARDS.

RESPONSIBLE FOR COMPLIANCE WITH ACCESSIBILITY

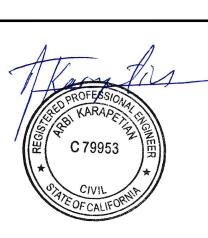
K&M ENGINEERING

DRA

AND DESIGN, CORP. T: (818) 273-9980 E: info@kmdesigncorp.com



6854 F□□THILL BL∨D. TUJUNGA, CA 91042



DRAWN BY: A.M

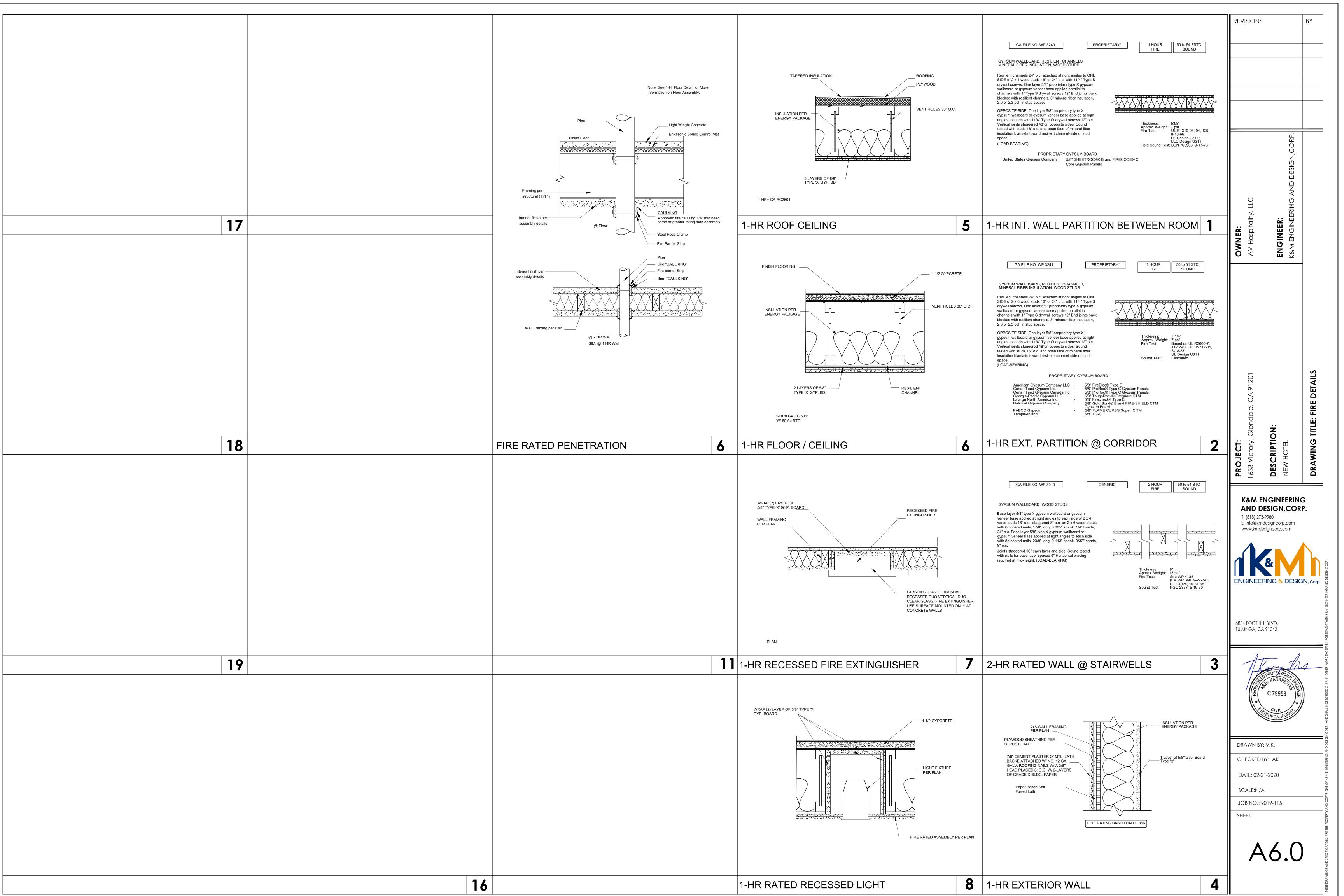
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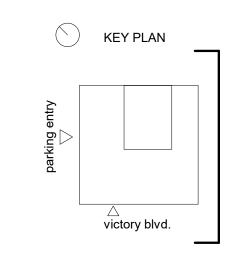
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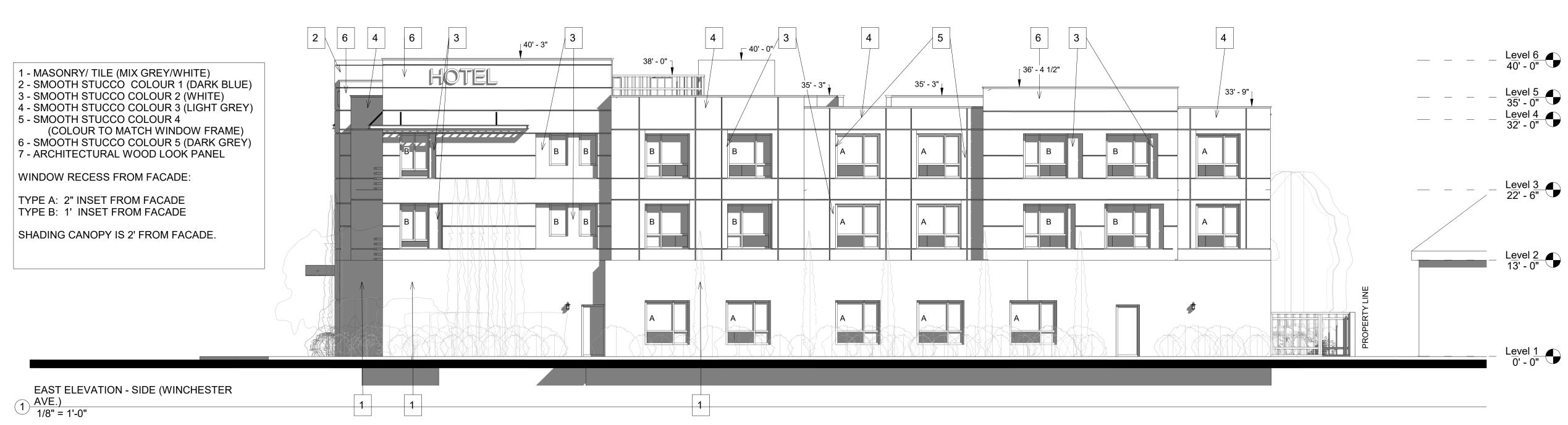
SCALE:AS NOTED

J□B N□.: 2019-115

SHEET









CLIENT NAME:

Anand Desi

DESIGNER NAME:

Alex Karpov

KEY PLAN:

Project Number 000
Drawn By Alex Karpov
Checked By Alex Karpov

No. Date Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:

elevation

SCALE: 1/8" = 1'-0"

SHEET NO:



CLIENT NAME:

Anand Desi

DESIGNER NAME:

Designer

KEY PLAN:

SHEET INFORMATION:

Project Number 000
Drawn By Author
Checked By Checker

No. Date Description

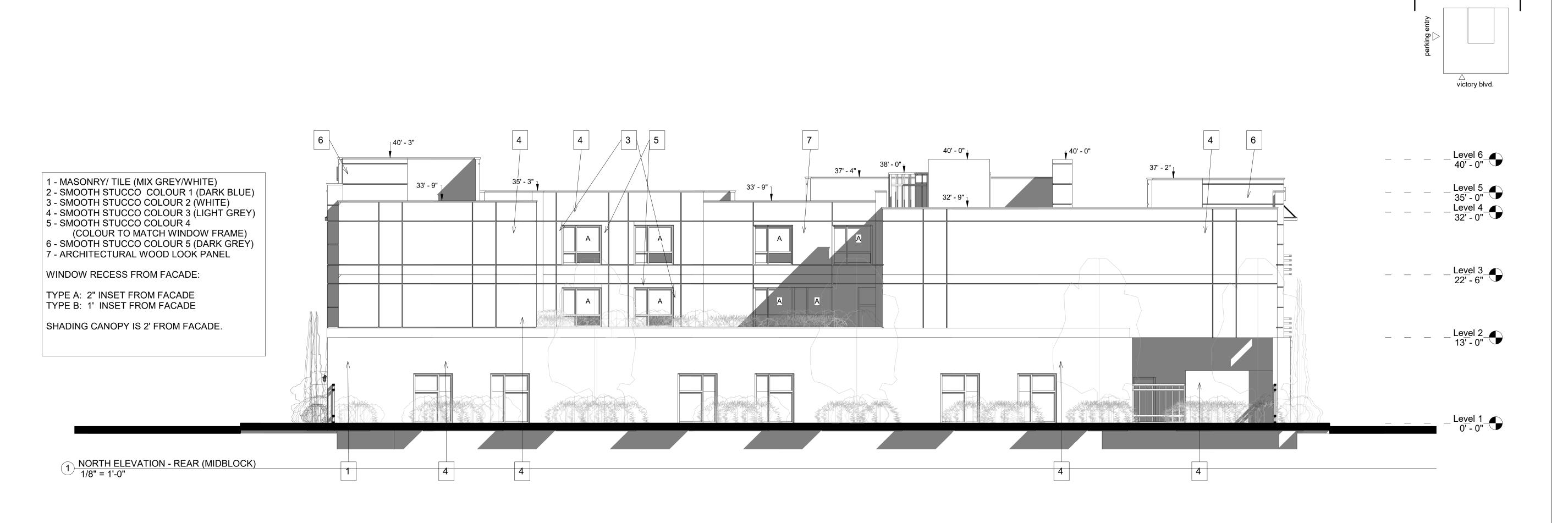
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elevation

SCALE: 1/8" = 1'-0"

SHEET NO:





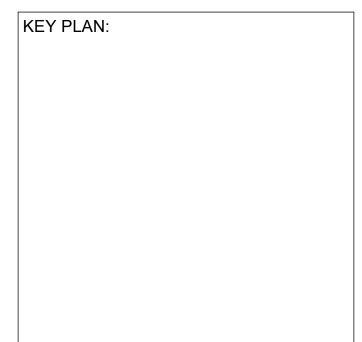
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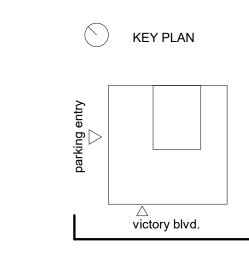
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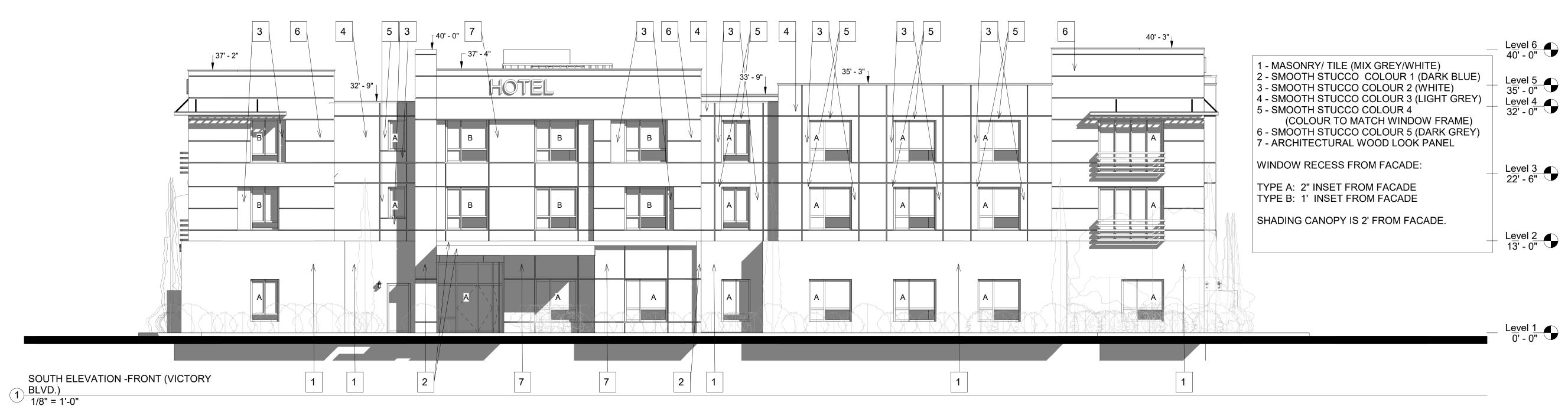
SHEET NAME:

elevation

SCALE: 1/8" = 1'-0"

SHEET NO:







SOUTH ELEVATION -FRONT (VICTORY BLVD.).

1/8" = 1'-0"

1633 Victory Glendale CA

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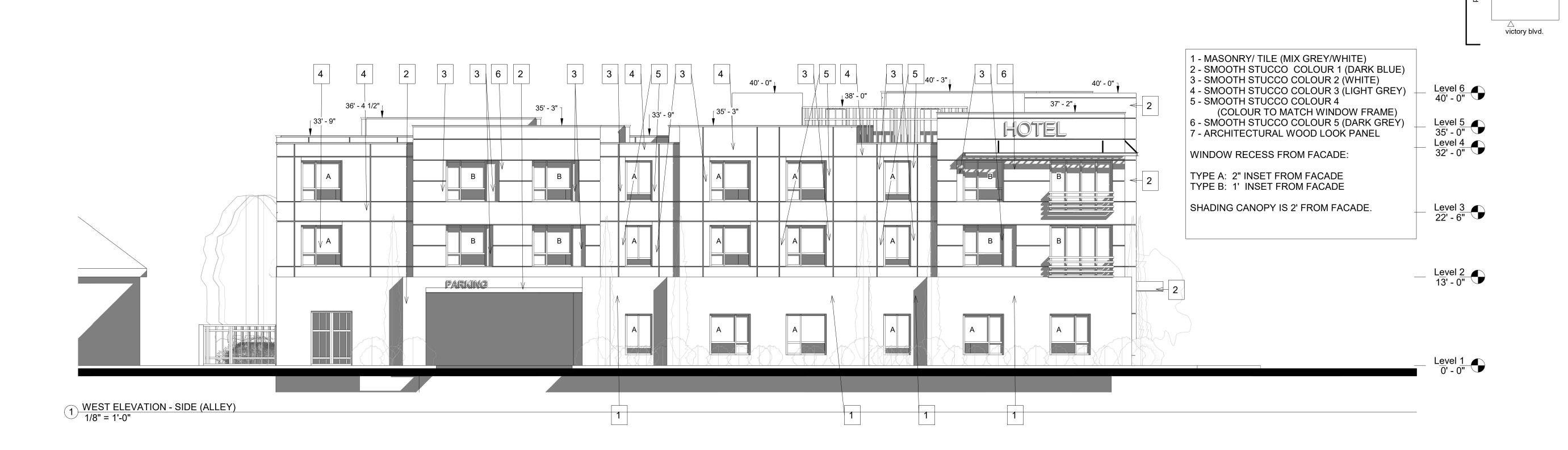
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SHEET NAME:

elevation

SCALE: 1/8" = 1'-0"

SHEET NO:





WEST ELEVATION - SIDE (ALLEY).
1/8" = 1'-0"

1633 Victory Glendale CA

CLIENT NAME:

KEY PLAN

Anand Desi

DESIGNER NAME:

Alex Karpov

KEY PLAN:

SHEET INFORMATION:

Project Number 000
Drawn By Alex Karpov
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No. Date Description

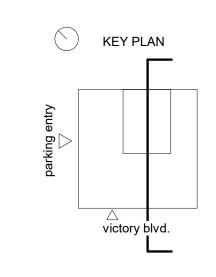
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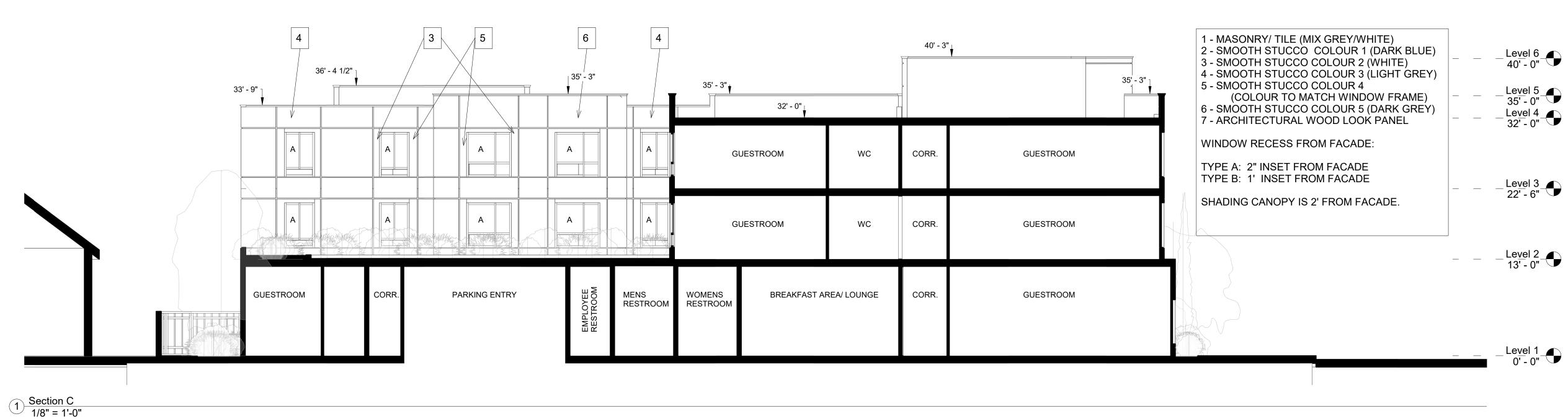
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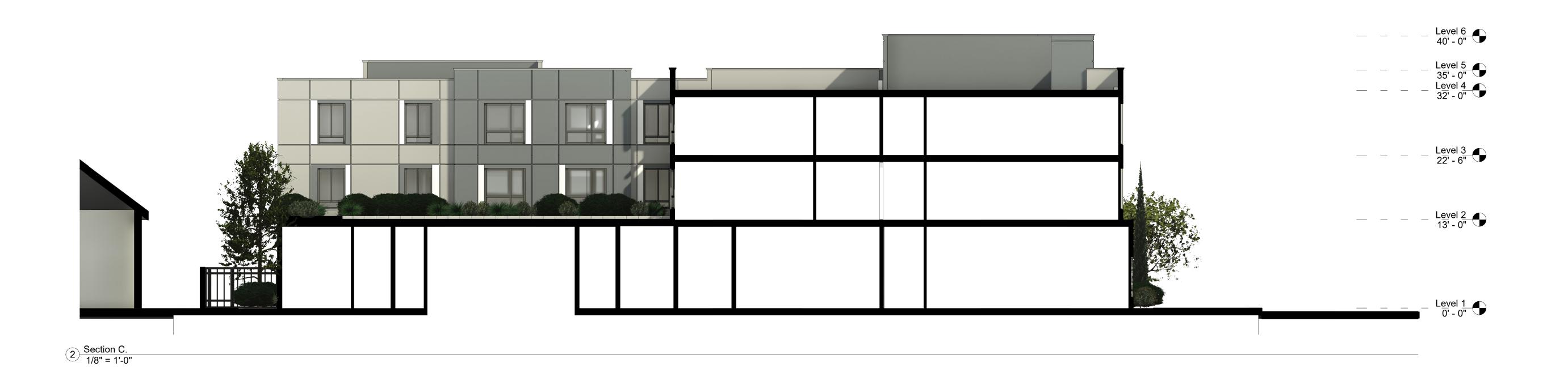
elevation

SCALE: 1/8" = 1'-0"

SHEET NO:







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Anand Desi

DESIGNER NAME:

Designer

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Checked By Checker

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SHEET NAME:

elevation

SCALE: 1/8" = 1'-0"

SHEET NO: