



SOUTH-WEST ELEVATION

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BUILDING GROSS SQUARE FOOTAGE:

HOTEL BUILDING w/ 84 GUEST ROOMS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER PER CBC 903.3.1.1 INCLUDING ALL OF THE GARAGE AND HOTEL FLOORS USING HORIZONTAL BUILDING SEPARATION PER CBC 510.2 AND SEPARATION OCCUPANCIES PER CBC 508.4

TYPES OF OCCUPANCIES:

ENCLOSED PARKING GARAGE (PER CBC 406.6) S-2
HOTEL GUEST ROOMS 1ST, 2ND & 3RD FLOORS R-1
LOBBY/ ADMIN AND REC. B-1

TYPES OF CONSTRUCTION:

PARKING GARAGE (S-2) 1-A
HOTEL (R-1) 1-A

ALLOWABLE AREA (CBC 506.2):

PARKING GARAGE (S-2) UNLIMITED
HOTEL (R-1) 12,000 PER FLOOR
OFFICE/ ADMIN & REC. (B) 18,000 PER FLOOR

ALLOWABLE AREA INCREASE BASED ON FRONTAGE (CBC 506.2.3):

12,000 * (12,000 x 0.871) = 20,552 PER FLOOR
TOTAL ALLOWABLE S.F. FOR BUILDING = 60,156 S.F.

ALLOWABLE HEIGHT AND NUMBER OF STORIES (CBC 504.3 & 504.4):

HOTEL (R-1) 50 FT. / 3 STORIES
PARKING GARAGE (S-2) BELOW GRADE PER CBC 510.2 AND 510.4
C-INTERIOR BEARING WALLS & COLUMNS 30'-0" (EXCEPT ELEVATOR TOWER)

AUTOMATIC FIRE SPRINKLERS (CBC 420.5/ 903.2.10) REQUIRED
FIRE ALARM (CBC 420.6) REQUIRED

FIRE RESISTANCE RATING FOR TYPE 1-A/ S-2 (UNDER GROUND PARKING) (CBC TABLE 601 & 602):

A PRIMARY STRUCTURAL FRAME 3HR
B EXTERIOR BEARING WALLS 3HR
C INTERIOR BEARING WALLS & COLUMNS 1HR
D EXTERIOR NON-BEARING WALLS (TABLE 602) 1HR
E INTERIOR NON-BEARING WALLS & PARTITIONS 0HR
F FLOOR CONSTRUCTION 2HR
G ROOF CONSTRUCTION 1 1/2 HR

FIRE RESISTANCE RATING FOR TYPE V-A/ R-3 (HOTEL) (TABLE 601 & 602):

A PRIMARY STRUCTURAL FRAME 1HR
B EXTERIOR BEARING WALLS 1HR
C INTERIOR BEARING WALLS & COLUMNS 1HR
D EXTERIOR NON-BEARING WALLS (TABLE 602) 1HR
E INTERIOR NON-BEARING WALLS & PARTITIONS 0HR
F FLOOR CONSTRUCTION 1HR
G ROOF CONSTRUCTION 1HR

OCCUPANCY SEPARATION:

S-2/ R-1 HORIZONTAL SEPARATION (CBC 510.2) 3HR
SHAFT ENCLOSURES (CBC 510.2/ 713.4) 2HR
EXIT STAIRWAY 2HR
ELEVATOR SHAFT 2HR
BATHROOM ENCLOSURE (THAN 4) 1HR
CORRIDOR FIRE RESISTANCE RATING (TABLE 1020.1) 1HR
MINIMUM ROOF COVERING (TABLE 1505.1) FOR V-A CLASS 'B' REQUIRED

BUILDING NET SQUARE FOOTAGE:

NOTE:
ALL EXTERIOR AREAS ARE CALCULATED TO FACE OF STUD

NOTE:
ALL INTERIOR AREAS ARE CALCULATED TO FACE OF INTERIOR FINISH

BUILDING CODE ANALYSIS:

PROPOSED PROJECT

PROPOSED USE: NEW HOTEL
BUILDING HEIGHT TOTAL: 35'-0"
TOP OF ELEVATOR HOUSING: 45'-0" (PER SECTION 30.12.030)
NO. OF STORIES: 3 STORIES (ABOVE GRADE)
2 SUBTERRANEAN LEVELS
NO. OF GUESTROOMS: 84 GUESTROOMS
PARKING PROVIDED: 67 SPACES
8 BICYCLE

TOTAL EXCAVATION: 313,460 CUBIC FEET (APPROXIMATE)
TOTAL BUILDING AREA: 38,845 SQUARE FEET
TOTAL PARKING AREA: 30,175 SQUARE FEET *
*NOTE - PARKING AREA INCLUDES DRIVEWAY AND RAMPS

FLOOR AREA CALCULATIONS

BASEMENT 02:	12,260 SQUARE FEET
BASEMENT 01:	16,260 SQUARE FEET
LEVEL 01:	12,673 SQUARE FEET
LEVEL 02:	14,512 SQUARE FEET
LEVEL 03:	14,512 SQUARE FEET
TOTAL:	70,217 SQUARE FEET

PARKING SUMMARY

OCCUPANCY / USE	REQUIRED	CODE REFERENCE
HOTEL (84 GUESTROOMS)	67	SEC 30.32.050
TOTAL PARKING REQUIRED	67	
TOTAL PARKING PROVIDED	67	
STANDARD SPACES	64	
ACCESSIBLE SPACES	3	
TOTAL AUTOMOBILE SPACES	67	
BICYCLE PARKING PROVIDED	8	

PARKING PROVIDED - BREAKDOWN

LEVEL	STANDARD (P-4/18)	ACCESSIBLE (P-18)
LEVEL 01	0	0
BASEMENT LEVEL 01	36	3
BASEMENT LEVEL 02	28	0
TOTAL	64	3

OPEN SPACE / LANDSCAPE CALCULATION

FLOOR LEVEL	LANDSCAPE AREA	OPEN SPACE
LEVEL 01	2,107.0	1,230.0
LEVEL 02	700.0	2,270.0
TOTAL	2,807.0	3,500.0
TOTAL COMBINED		6,387.0
TOTAL LANDSCAPE PROVIDED		29% OF LOT AREA

GUESTROOM DISTRIBUTION MATRIX

TYPE	LEVEL	1	2	3	TOTAL
K-Standard		6	9	9	
K A-Accessible		1	1		
KQ-King Queen		2	7	9	
KG ADA-Accessible			1		
Q-Standard		6	7	7	
QQ-Double Queen		3	6	8	
QA-Accessible		2			
TOTAL		20	31	33	84
TOTAL OF CONNECTED ROOMS					32

SITE INFORMATION

PROJECT ADDRESS :
1633 VICTORY BOULEVARD, GLENDALE, CA 91201
ASSESSOR PARCEL NUMBER: 5626 - 013 - 024
GROSS PARCEL AREA: 0.50 ACRES (21,647 SQ. FT.)

LEGAL DESCRIPTION:
LOTS 22-24 IN TRACT NO. 8889, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGES 49-50, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

GENERAL PLAN DESIGNATION :
COMMERCIAL - COMMUNITY SERVICES
GENERAL PLAN LAND USE :
C3 (COMMERCIAL SERVICE) ZONE, HEIGHT DISTRICT 1

SURROUNDING LAND USES AND SETTING :
NORTH: R1 LOW DENSITY RESIDENTIAL, FLOOR AREA DISTRICT II / SINGLE-FAMILY RESIDENTIAL
SOUTH: C3 COMMERCIAL SERVICE ZONE, HEIGHT DISTRICT I / COMMERCIAL
EAST: C3 COMMERCIAL SERVICE ZONE, HEIGHT DISTRICT I / MULTI- & SINGLE - FAMILY RESIDENTIAL
WEST: C3 COMMERCIAL SERVICE ZONE, HEIGHT DISTRICT I / COMMERCIAL

PROJECT DIRECTORY

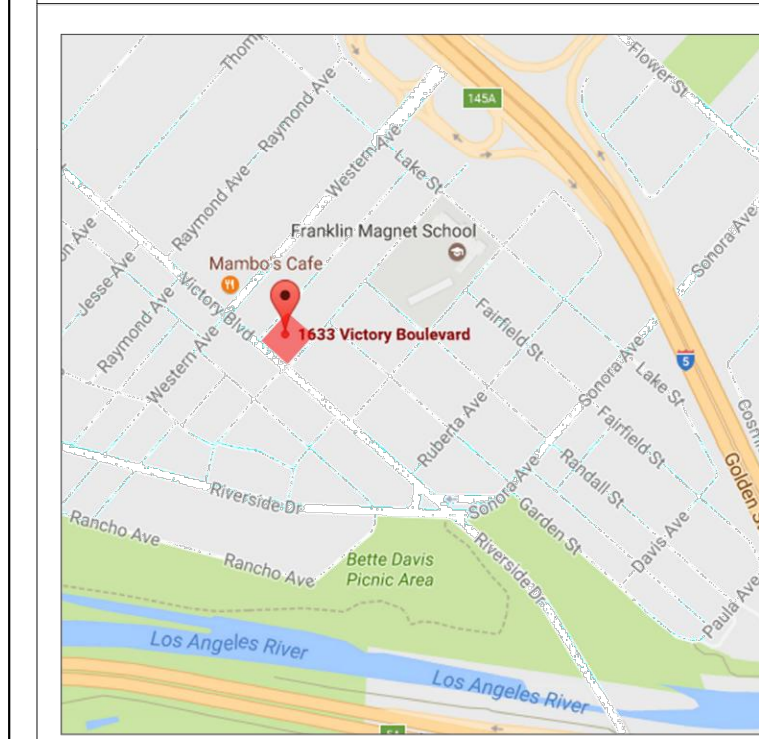
OWNER / APPLICANT
ANAND DESAI
AV Hospitality, LLC
1628 Victory Blvd, Suite 101
Glendale, CA 91201
Tel: 818.208.4700

ARCHITECT / STRUCTURAL ENGINEER
K&M ENGINEERING AND DESIGN, CORP.
CONTACT:
ARBI KARAPETIAN, P.E.
6854 Foothill Blvd.
Tujunga, CA 91042

SITE SURVEY
JC Survey
P.O. Box 98
Action, CA 93510
Tel: 661.269.2711

LANDSCAPE ARCHITECT
Charles Trowbridge & Associates
17901 Romelle Ave.
Santa Ana, ca 92705
Tel: 714.532.3663

VICINITY MAP



PARCEL MAP

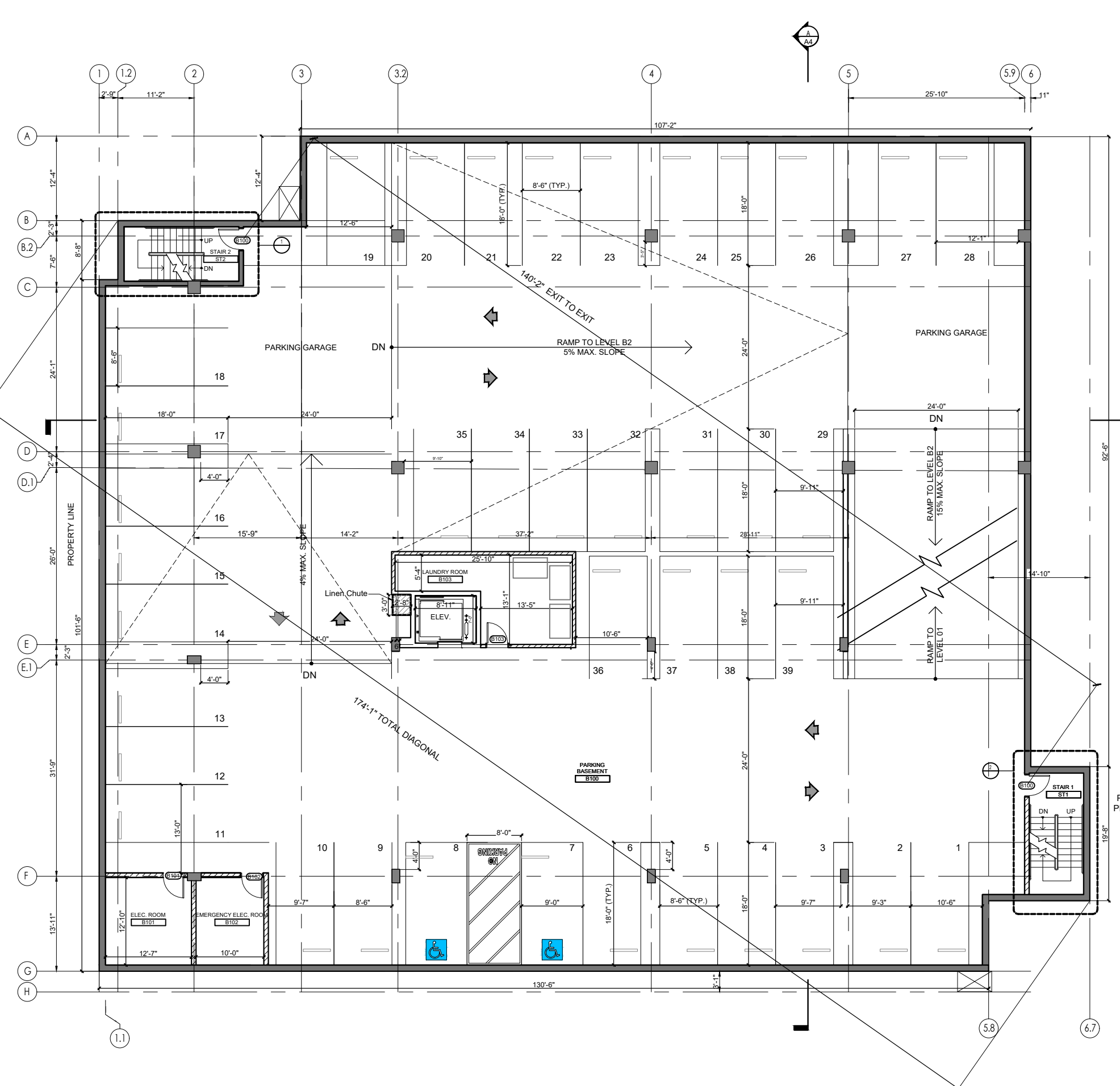


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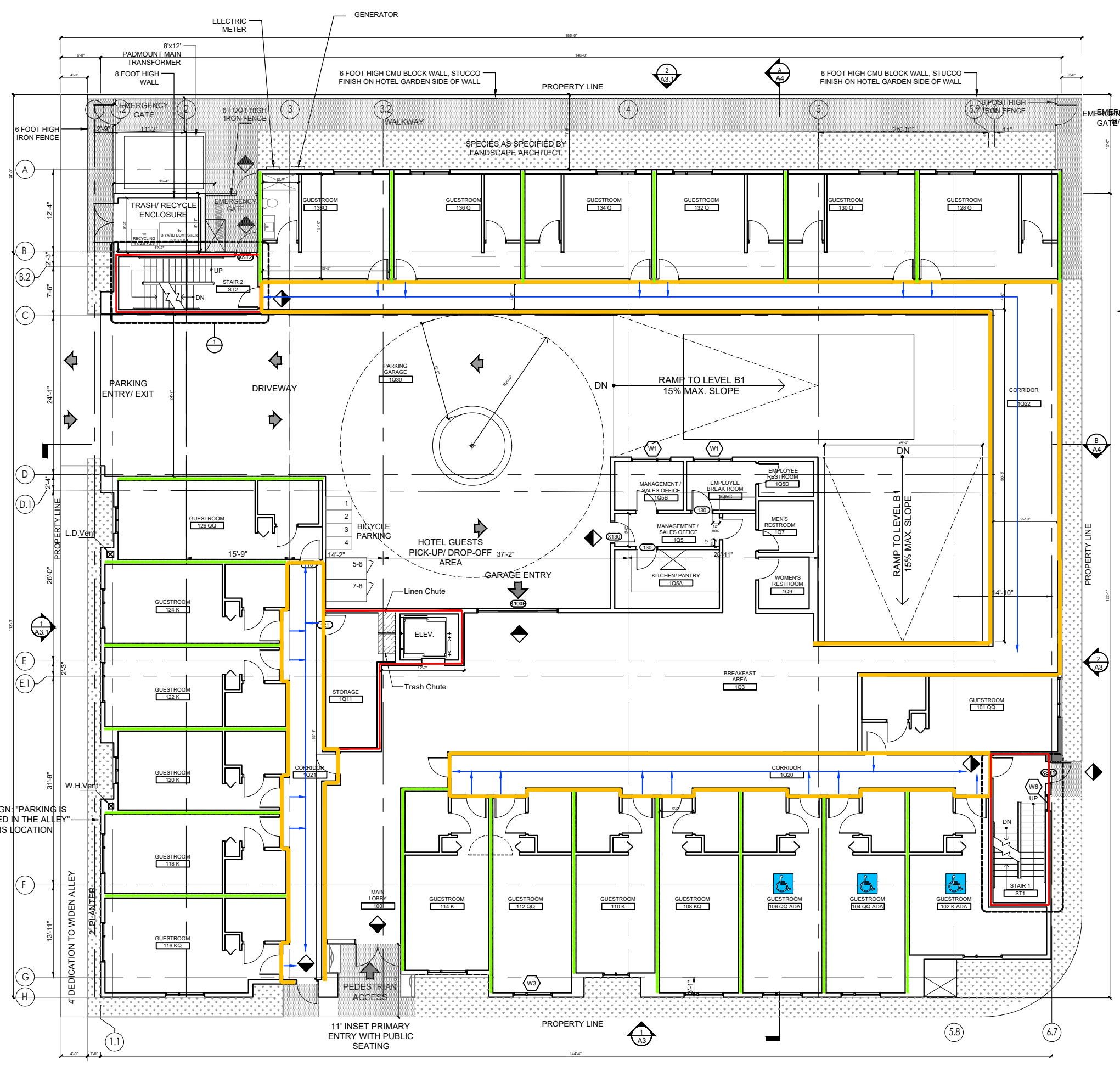
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES:
 - 2019 BUILDING STDS. ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 - 2019 CALIFORNIA BLDG. CODE (CBC), PART 2, TITLE 24 C.C.R.
 - 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.), PART 3, TITLE 24 C.C.R.
 - 2019 CALIFORNIA MECHANICAL CODE (C.M.C.), PT. 4, TITLE 24 C.C.R.
 - 2019 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24 C.C.R.
 - 2019 CALIFORNIA FIRE CODE (C.F.C.), PART 6, TITLE 24 C.C.R.
 - 2019 CALIFORNIA REFERENCED STDS. CODE, PT. 12, TITLE 24 C.C.R.
 - 2019 TITLE 19 C.C.R. - PUBLIC SAFETY, STATE FIRE MARSHAL REGS. - CITY OF GLENDALE MUNICIPAL CODE.
- IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL SHALL HAVE A SIGN STATING THAT "UNAUTHORIZED VEHICLES PARKING IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNERS EXPENSE."
- WHERE PERMANENT IDENTIFICATION IS PROVIDED, IT SHALL BE ACCOMPANIED BY SIGNAGE IN CONTRACT GRADE 2 BRASSES IN CONFORMANCE WITH 3185A. ACCESSIBILITY SIGNAGE TO BE PROVIDED IN CONFORMANCE TO CBC 110-302
- DOOR HARDWARE AT ACCESSIBLE LOCATIONS TO BE LEVER TYPE (ADA COMPLIANT), LOWER 10" OF ALL DOORS TO BE SMOOTH AND UNINTERRUPTED TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION (SEE SPECIFICATIONS).
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- FIRE BLOCKING WILL BE REQUIRED PER CBC PART 7 AS FOLLOWS:
 - A. IN CONCRETE SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURSED SPACES, AT THE CEILING AND
 - FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT:
 - SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - C. IN OPENINGS AROUND TRAYS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.
 - G. THE FIRE DEPARTMENT SHALL INSPECT / APPROVE THE FOLLOWING:
 - A. FINAL OCCUPANCY SIGN OFF - PRIOR TO OCCUPANCY.
 - B. ALL REQUIREMENTS SHALL BE COMPLETED PRIOR TO OCCUPANCY APPROVAL EXCEPT NOTED OTHERWISE.
- SAFETY NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS AS THEY APPLY TO THIS PROJECT OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA (LATEST EDITION), ALL O.S.H.A. REQUIREMENTS AND CBC CHAPTER 33.

Abbreviations and Definitions

WHERE ADDITIONAL ABBREVIATIONS, OR WORD DEFINITIONS, ARE DEFINED BY ANOTHER DISCIPLINE AND A CONFLICT OCCURS, THEIR DEFINITION SHALL TAKE PRECEDENCE OVER THE FOLLOWING.	NECESSARY: WORK NEEDED TO COMPLETE THE WORK TO "MAKE IT OPERATIONAL."	FURNISH:	RESPONSIBLE FOR PURCHASE AND DELIVERY OF ITEM(S)
	REQUIRED: PROVIDE: WORK NEEDED TO BE IN COMPLIANCE WITH BUILDING CODE, GOVERNING CODE, OR JURISDICTION HAVING AUTHORITY.	INSTALL:	RESPONSIBLE FOR RECEIVING, INSPECTION, STORAGE, PREPARATION AND INSTALLATION OF ITEM(S).
	PROVIDE: RESPONSIBLE FOR PURCHASE, DELIVERY, RECEIVING, INSPECTION, STORAGE, PREPARATION, AND INSTALLATION OF ITEM(S).		
& or /	And	BRKMTL	Break Metal
∠	Angle	B.U.R.	Built Up Roofing
#	Square Feet	C	Channel
#	Plus Minus	C.F.	Communication Features
±	Approximate	CAB	Cabinet
A.B.	Anchor Bolt	CB or CB	Closed Circuit Television
A.C.	Air Conditioning	CCTV or C.C.T.V.	CCTV or C.C.T.V.
ACC.	Accessibility	Car	Center to Center
ADJ.	Adjacent	C.C.	Clear Floor Space
AFF or A.F.F.	Above Finish Floor	CL or CL or E	Centerline
ALUM. or ALUM.	Aluminum	CL or CL or E	Centerline
ANG.	Angle	CMU or C.M.U.	Concrete Masonry Unit
APPROX.	Approximate	C.O.	Closed Opening
ARCH.	Architectural	COB	Combination or Combine
ASPH.	Asphalt	COMP.	Compacted
ATTN or ATTEN.	Attention	CONC.	Concrete
Bxxxx	Bottom of	CONT.	Continuous
BD.	Board	CORR.	Corrosion
BLK.	Block	C.W.	Cold Water
BLDG.	Building	CL or C.L.	Control Joint
BLK.	Block	CLR.	Clear
BLKG.	Blocking	D, DN, DWN.	Down
BM.	Beam	F.D. or F.D.	Floor Drain
BOT.	Bottom	FDN.	Foundation
BRG.	Bearing	F.E.	Fire
BRK.	Break	DEPT.	Department
		DETL or DTL.	Detail
		DIAM.	Diameter
		DIA. or	Diameter
		D.F.	Drinking Fountain
		DN.	Down
		DR or DRN.	Drain
		DS. or D.S.	Downspout
		DWG(S).	Drawings
		E	East
		E.A.	Expansion Joint
		EJ or EJ. or E.J.	Elevation
		EL. or E.L.E.	Elevation
		ELEC. or ELECT.	Electrical
		ELEV.	Elevator
		EMER. or EMERG.	Emergency
		ENCL.	Enclosure
		ENG.	Engineer
		EP or E.P.	Electrical Panel
		EQ.	Equipment
		EQIP.	Equipment
		EROF.	Emergency Roof Drain
		EW or E.W.C.	Electrical Water Cooler
		EX.	Exterior
		EXIST.	Existing
		EXT.	Exterior
		F.A.	Fire Alarm
		F.D. or F.D.	Floor Drain
		FDN.	Foundation
		F.E.	Fire
		F.E.C.	Fire Extinguisher Cab.
		FIN.	Finish
		FL. or FLR.	Floor
		FLUR.	Fluorescent
		FRM.	Frame
		FR.	Fire Resistant
		F.R.C.	Floor Reinforced Concrete
		F.R.T.	Floor Reinforced Treated
		F.R.T.	Floor Reinforced Treated
		F.T.	Foot
		FTG.	Foot
		FV. or F.V.	Field Verify
		G.	Galv.
		GALV.	Galvanized
		G.B.	General
		GEN.	General
		GFRC	Glass Fiber Reinforced Concrete
		GFRG	Glass Fiber Reinforced Concrete
		GL. or GLAZ.	Glass
		GRAN.	Granular
		G.S.M.	Gypsum Sheet Metal
		G.V.	Gate Valve
		GYP.	Gypsum
		GYP. BD.	Gypsum Board
		H.	Height
		HOT. OR HT.	Hot or High
		HM. OR H.M.	Hollow Metal
		HORIZ.	Horizontal
		H.P.	High Point
		HYD.	Hydrant
		HR. or Hr.	Hour
		HWAC or H.V.A.C.	Heating, Ventilation and Air Conditioning
		H.W.	Hot Water
		ID.	Inside Diameter
		INCL.	Included
		INSL.	Insulation
		INT.	Interior
		INV.	Invent
		J.C. or J.C.	Janitor's Closet
		JAN.	Janitor(s)
		J.T. or JNT.	Joint
		K.	Kitchen
		K.O.	Knock out
		LAV.	Lavatory
		LAM.	Laminated
		L.B. or LBS.	Light Bulb
		L.I. MT.	Light Glass Metal
		L.T. WT.	Light Weight
		LLH or LLH	Long Leg
		LLV. or LLV	Long Leg Vertical
		MAS.	Maximum
		MAX.	Maximum
		MED.	Medium
		MDO or M.D.O.	Medium Density Overlay
		M.E.C.H.	Mechanical
		MFR. or MANUF.	Manufacturer
		M.H.	Main Hole
		M.N.	Minimum
		MISC.	Miscellaneous
		M.O.	Masonry Opening
		M.R. or M.R.	Moisture Resistant
		MTC.	Mounted
		MTG.	Mounting
		MUL.	Mullion
		N.	North
		N or N.	North
		N.A. or N.A.	Not Applicable
		N.E.C.Y.	Necessary
		NIC.	Not in Contact
		NOM.	Nominal
		NON COMB.	Non Combustible
		N.T.S.	Not to Scale
		O.A.	Overall
		O.C.	On Center
		O.D.	Outside Dia
		O.H.	Overhead or Opposite
		O.F.F.	Offset
		OFF.	Offset
		ON.	On
		OPNG.	Opening
		OPP.	Opposite
		PART.	Particle, Partial or
		PL.	Plate
		P.L. or P.L.	Plastic Laminate
		PLBG.	Plumbing
		PLND. or PLYWD.	Plaster
		PLN.	Panel
		PNL.	Panel
		PR.	Pair
		P.S.F.	Pounds per Square Foot
		PT.	Pressure Treated
		POST TEN.	Post Tensioned
		PTR. or PARTN.	Partition
		PWR.	Power
		R.	Riser
		R.A.	Riser Return Air
		RAD.	Radiant
		R.D. or R.D.	Roof Drain
		R.D.	Reference Dimension
		REC.	Recessed
		REC'DV or REC'DV	Recessed or Recessed
		REF. or RE.	Refer or Referenced
		REG.	Regular or Register
		REIN.	Reinforced



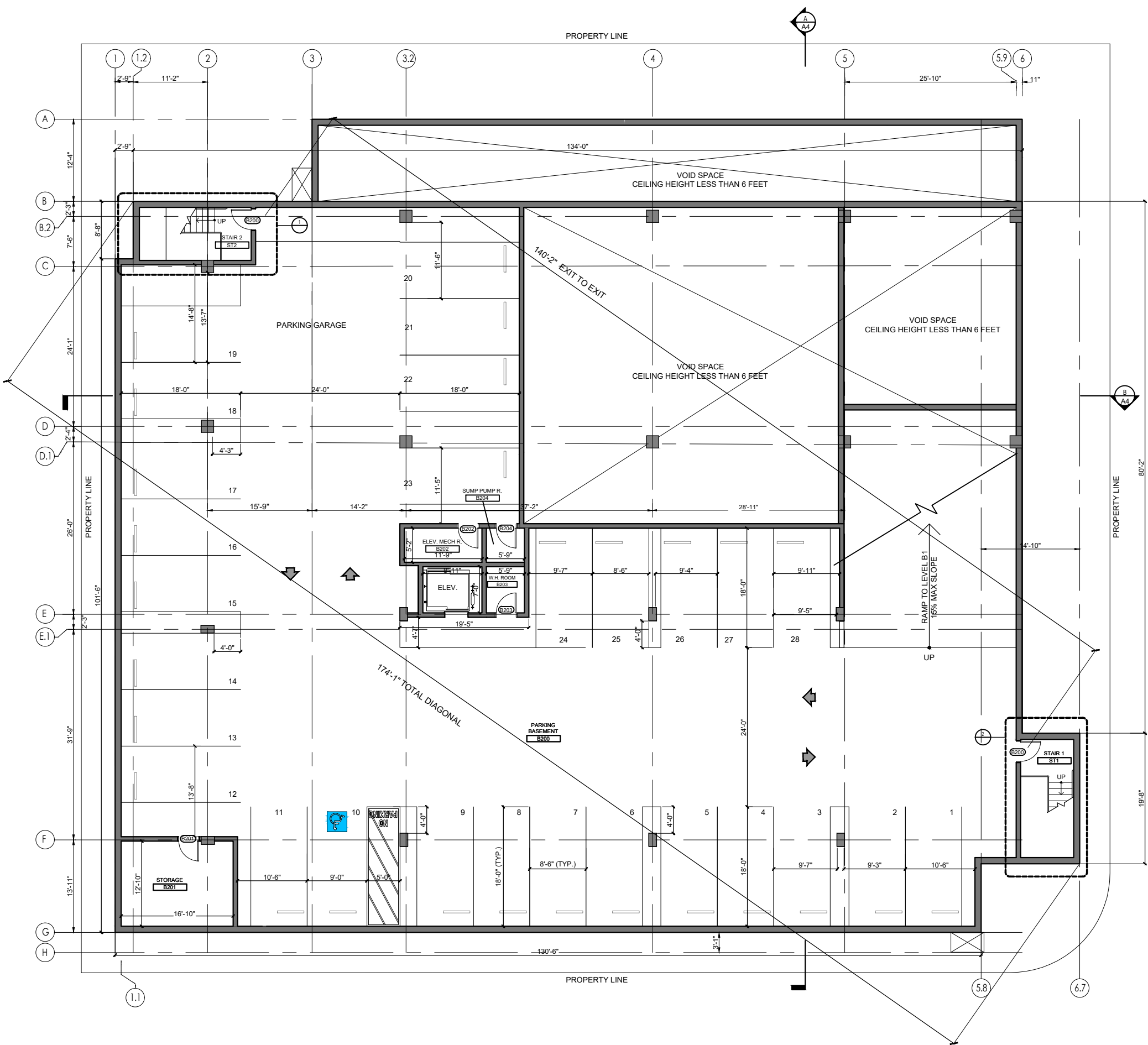
BASEMENT -1
FIRE & EGRESS DIAGRAM (NTS)



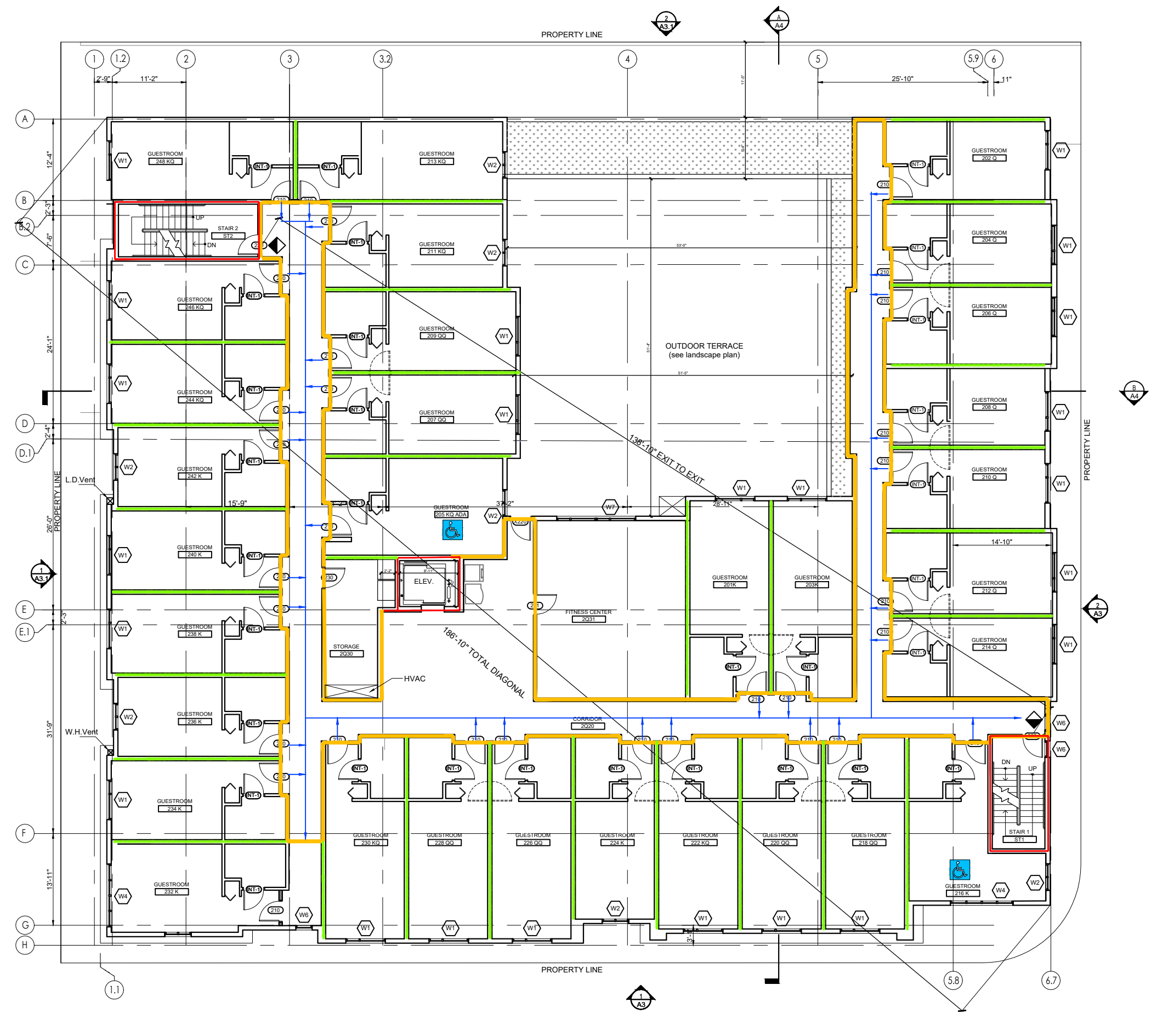
FIRST FLOOR PLAN
FIRE & EGRESS DIAGRAM (NTS)



THIRD FLOOR
FIRE & EGRESS DIAGRAM (NTS)



BASEMENT -2
FIRE & EGRESS DIAGRAM (NTS)



SECOND FLOOR
FIRE & EGRESS DIAGRAM (NTS)

LEGEND

- 2HR FIRE PARTITION
- 1HR FIRE PARTITION
- 1HR FIRE RATED CORRIDOR
- EGRESS ROUTE
- ↙ EXIT DISCHARGE
- ↙ EGRESS LOAD

EGRESS LOAD CALCULATIONS

OCCUPANCY	S.F.	FACTOR	TOTAL
3RD FLOOR (R-1)	10,773	200	54
2ND FLOOR (R-1)	10,773	200	54
2ND FLOOR (POOL)	2,450	50	49
1ST FLOOR (R-1)	5,820	200	30
1ST FLOOR (B)	1,600	100	16
1ST FLOOR (KITCHEN)	420	200	3
1ST FLOOR (GYM)	450	50	9
BASEMENT-1 (S-2)	15,780	200	79
BASEMENT-2 (S-2)	15,780	200	79

REVISIONS	BY
11.10.20 REVISION	▲
01.26.21 REVISION	▲

OWNER:
AV Hospitality, LLC

ENGINEER:
K&M ENGINEERING AND DESIGN CORP.

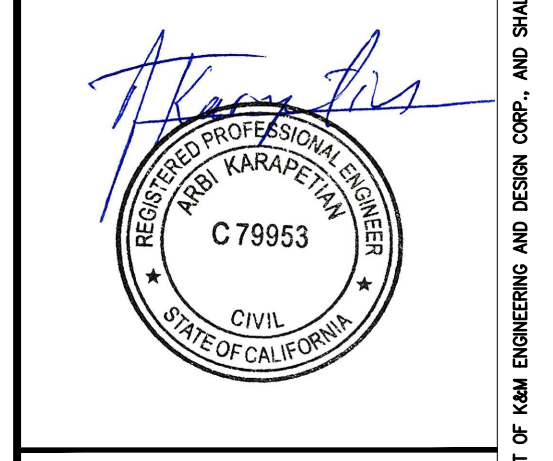
PROJECT:
1633 Victory, Glendale, CA 91201

DESCRIPTION:
NEW HOTEL

DRAWING TITLE: FIRE AND EGRESS PLANS

K&M ENGINEERING AND DESIGN CORP.
T: (818) 273-9980
E: info@kmdesigncorp.com
www.kmdesigncorp.com

6854 FOOTHILL BLVD.
TUJUNGA, CA 91042



DRAWN BY: A.M

CHECKED BY: AK

DATE: 02-11-2020

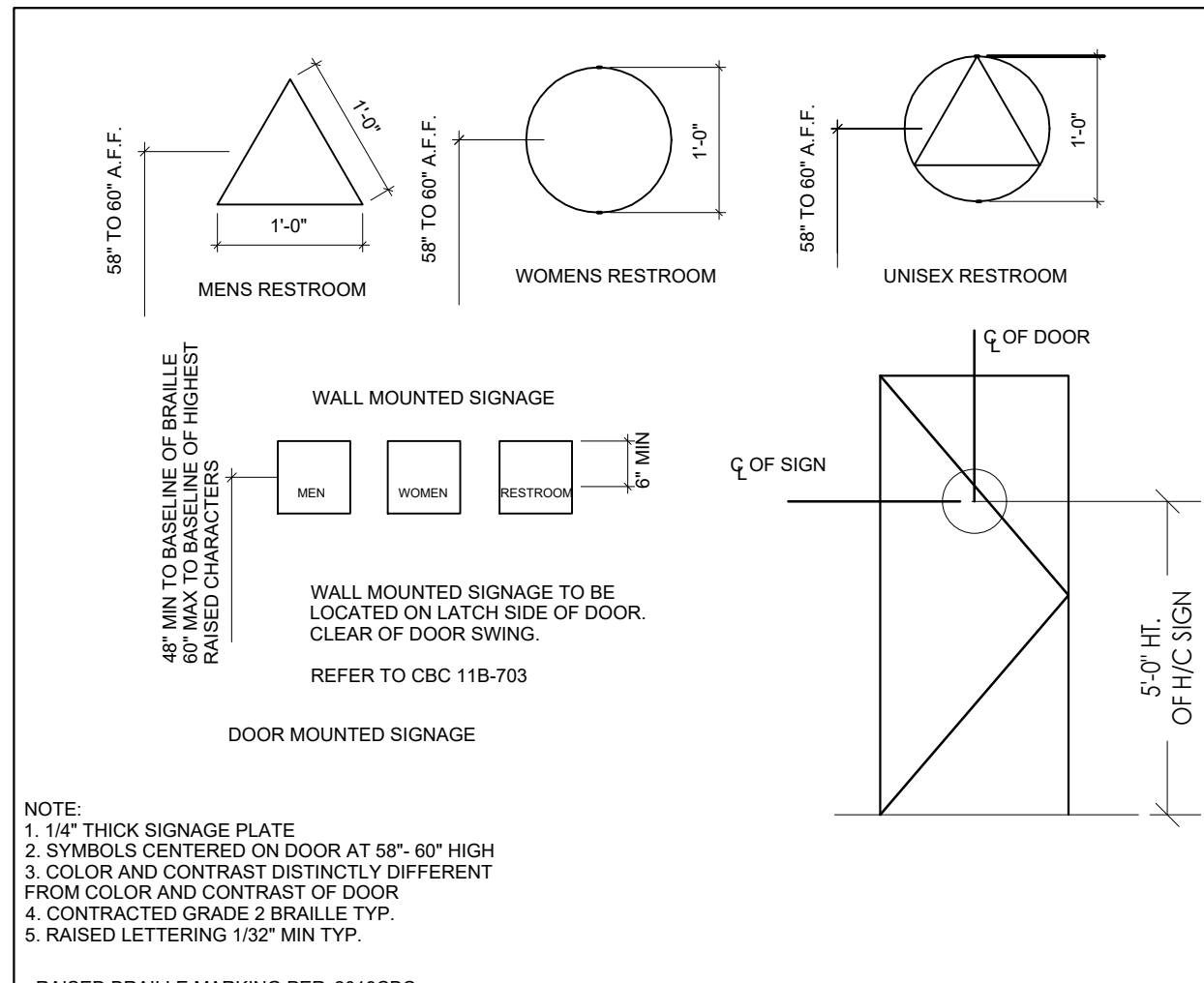
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JOB NO.: 2019-115

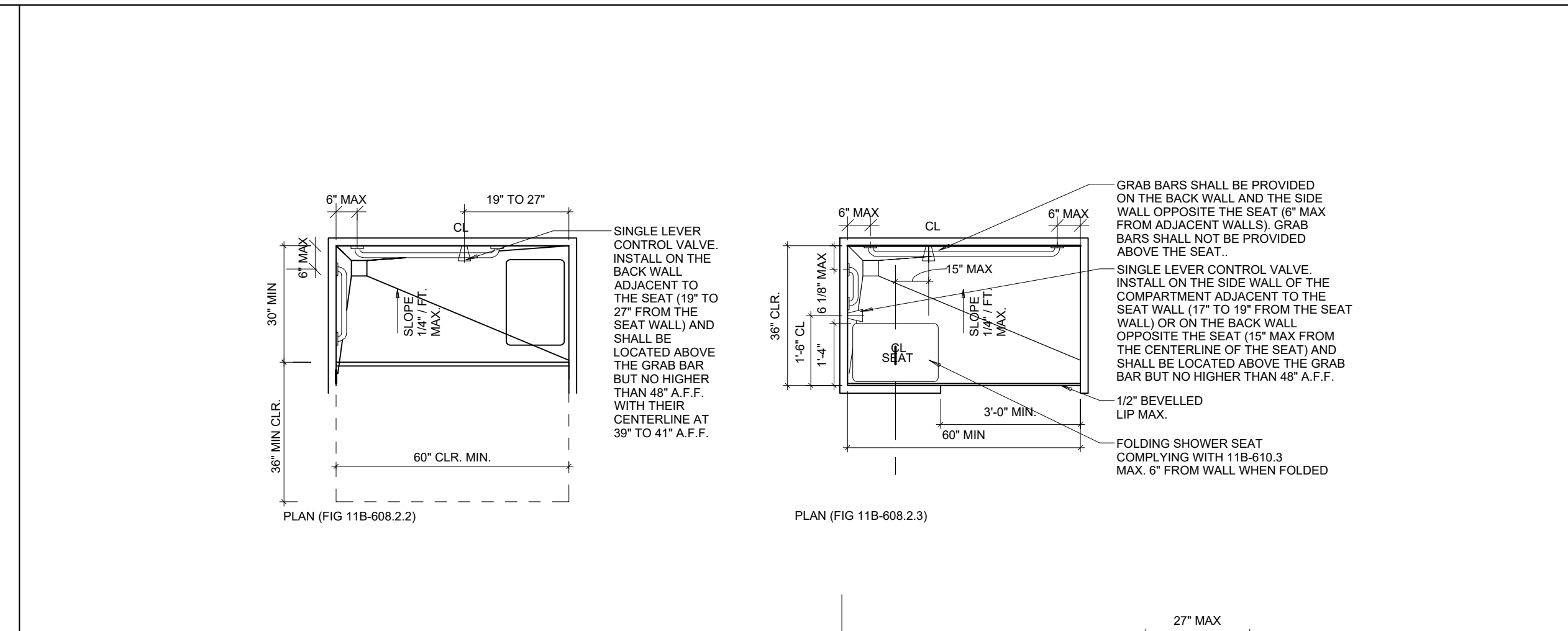
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G1.1

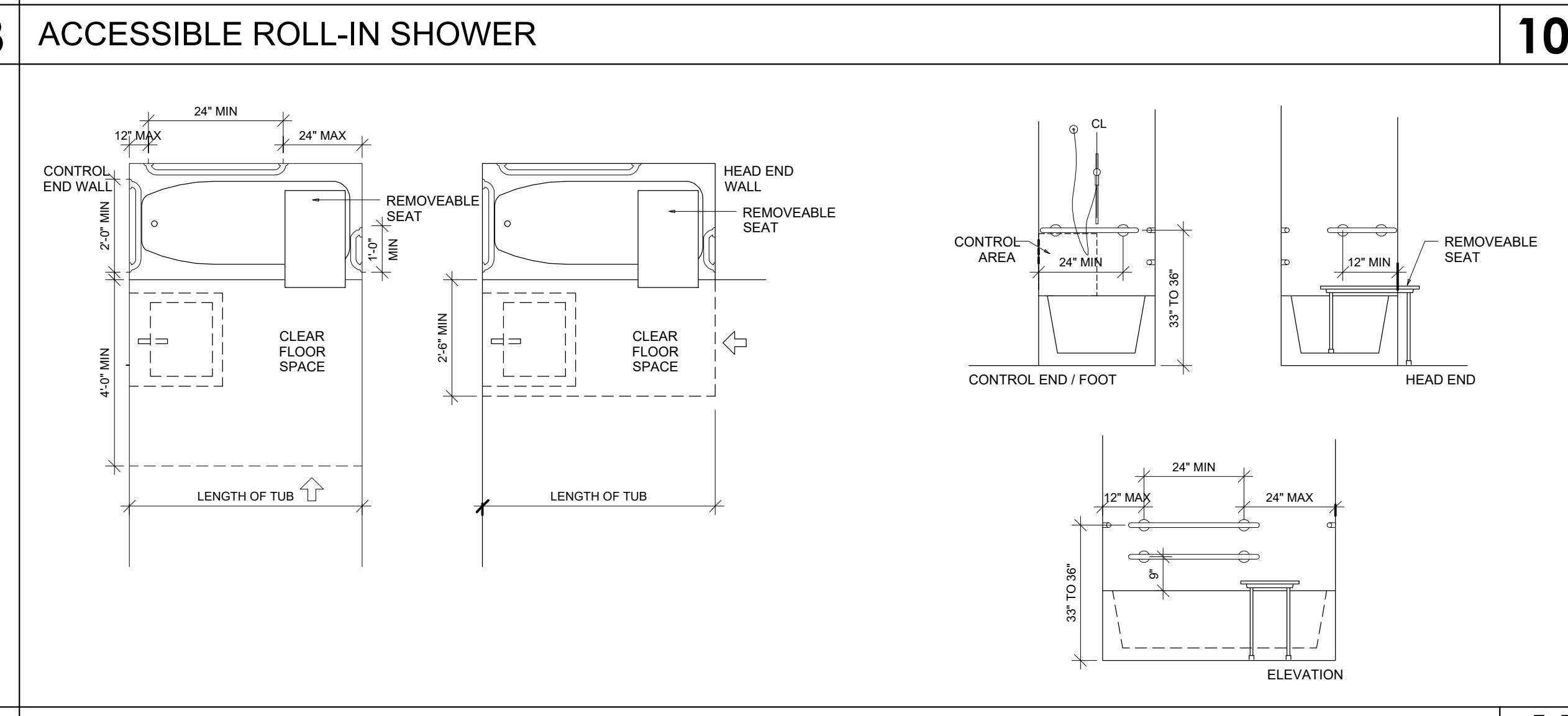
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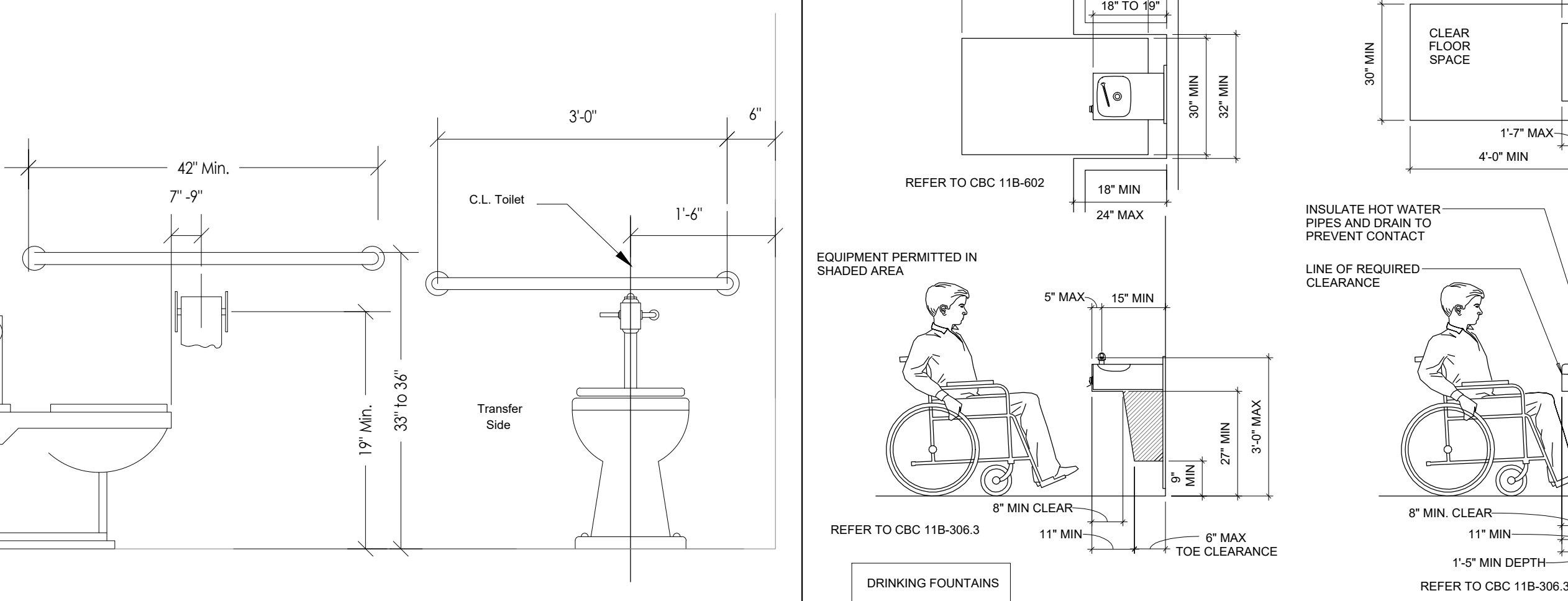
ACCESSIBLE RESTROOM SIGNAGE **17**



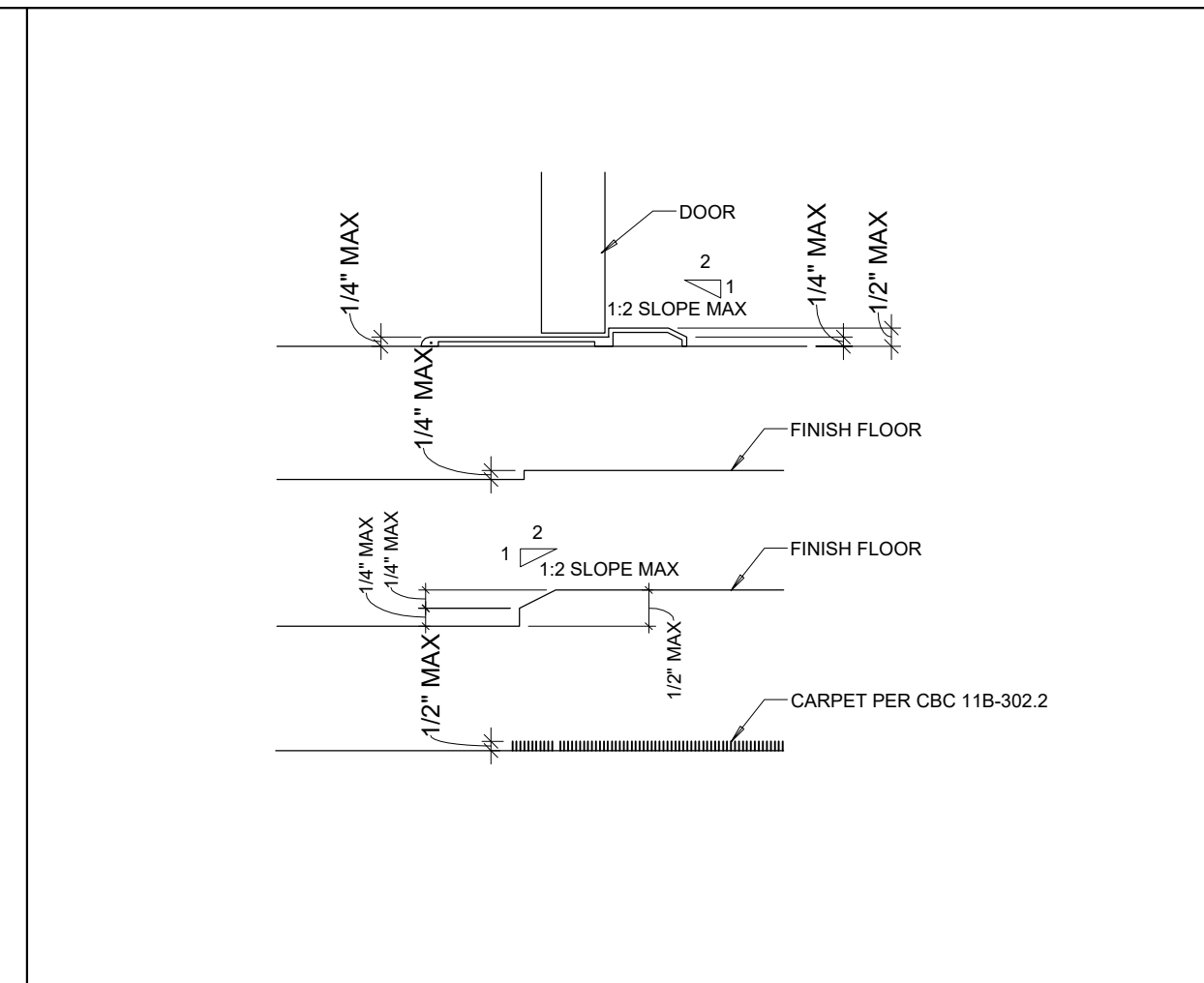
STANDARD ROLL-IN SHOWER **18** **ACCESSIBLE ROLL-IN SHOWER** **18** **ALTERNATE ROLL-IN SHOWER** **19**



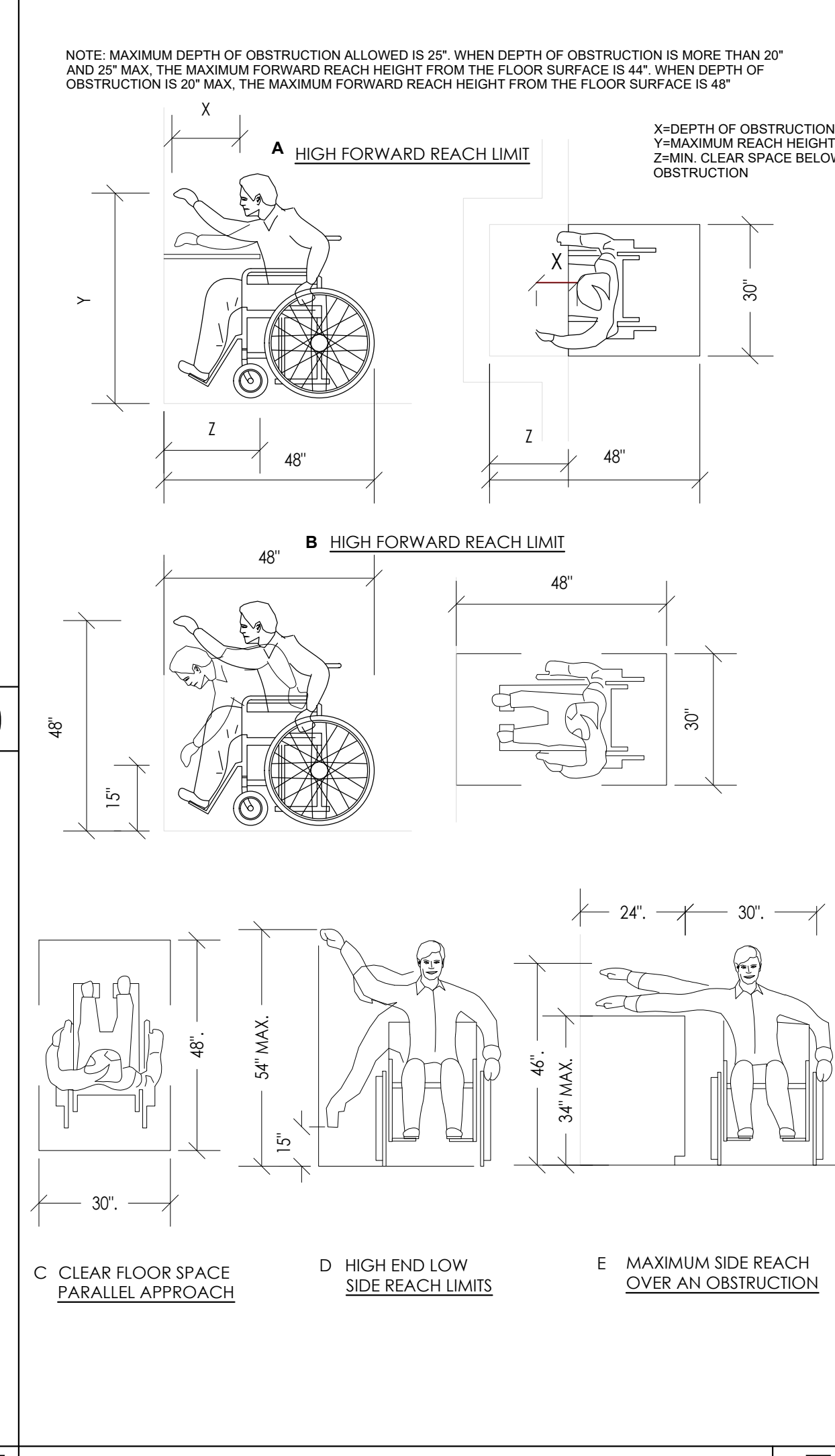
19 **CLEARANCE, SEATS AND GRAB BARS FOR BATHTUBS** **11** **ACCESSIBLE REACH RANGES** **7**



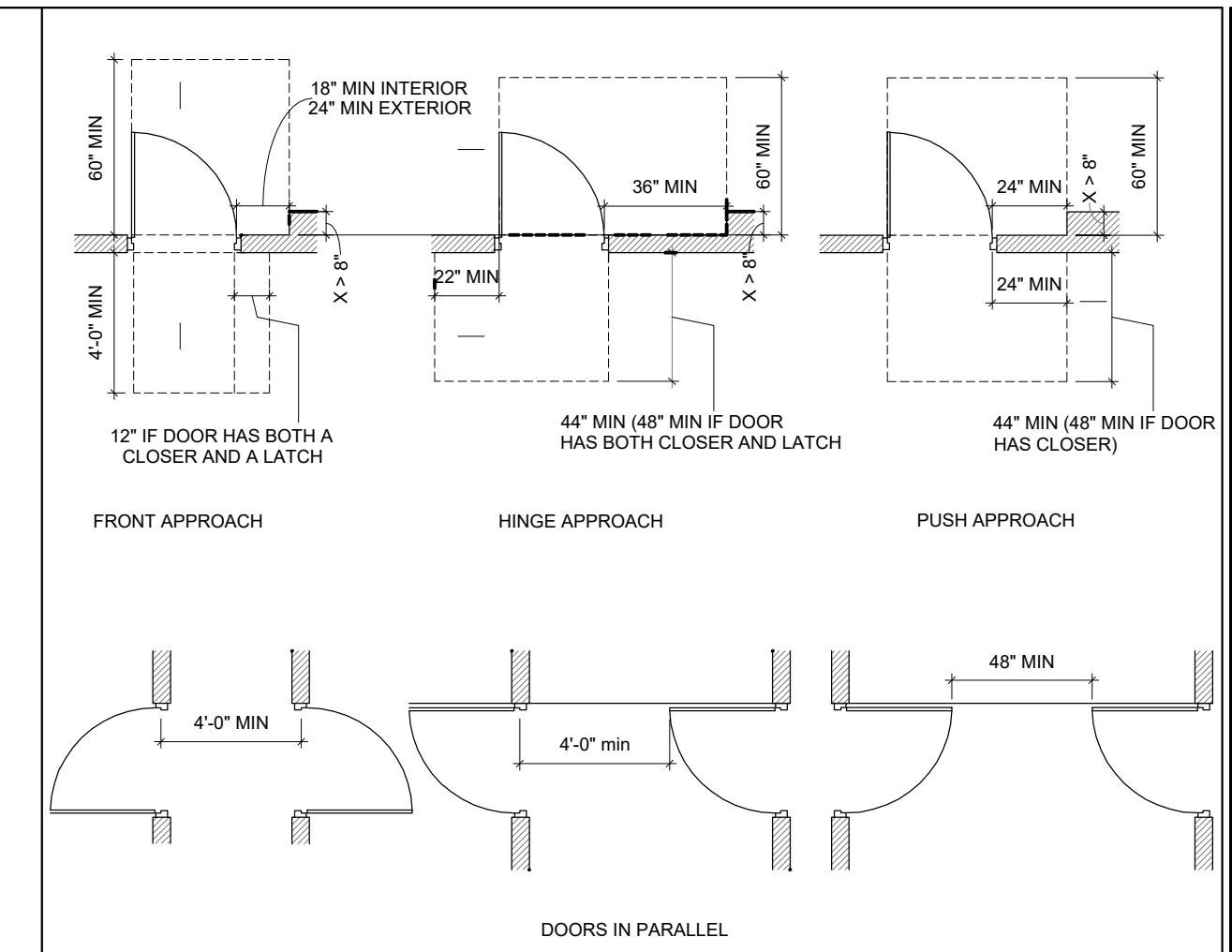
16 **ACCESSIBLE TYPICAL HEIGHT REQUIREMENTS FOR RESTROOMS** **11** **ACCESSIBLE REACH RANGES** **7**



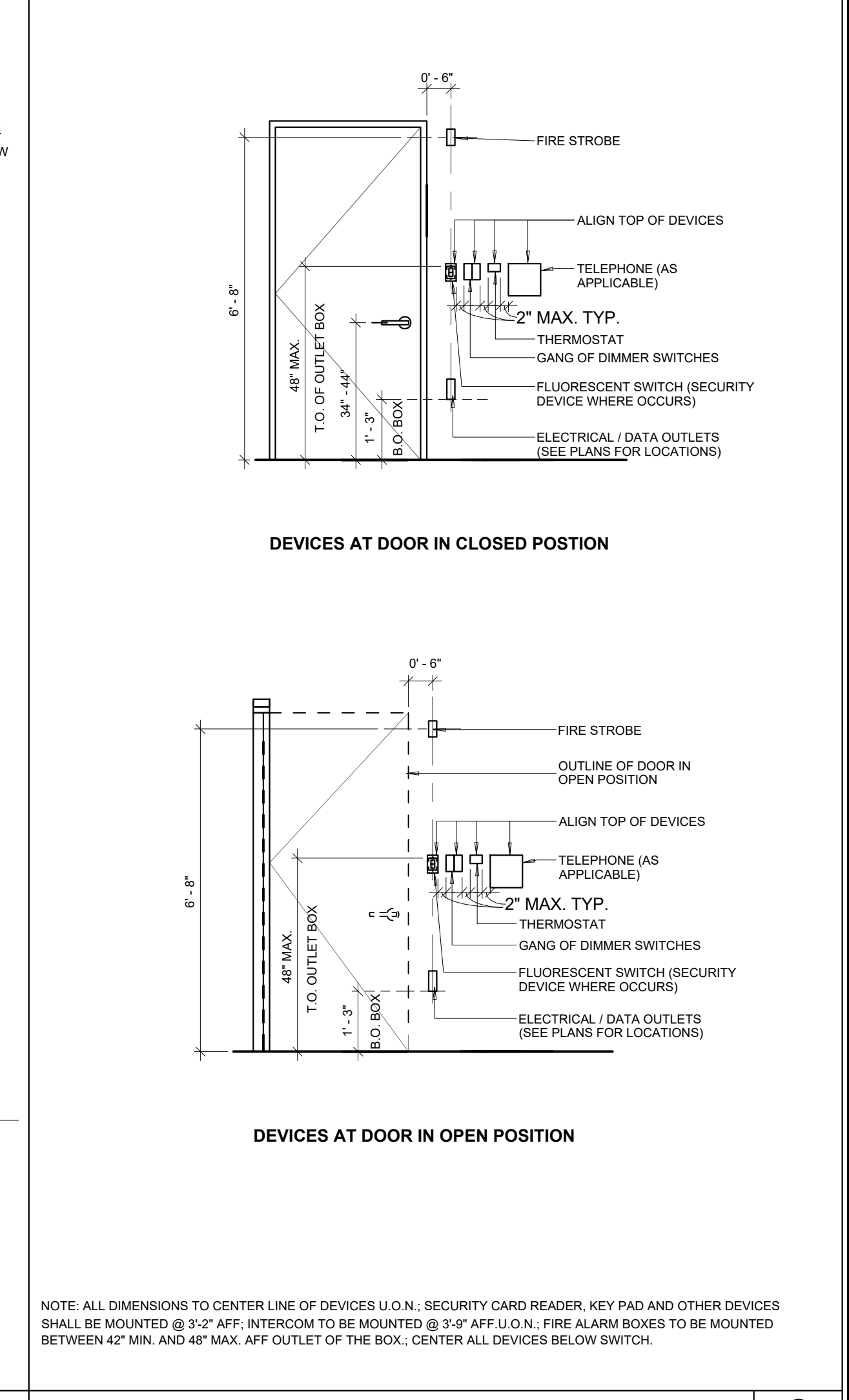
ACCESSIBLE THRESHOLDS **5**



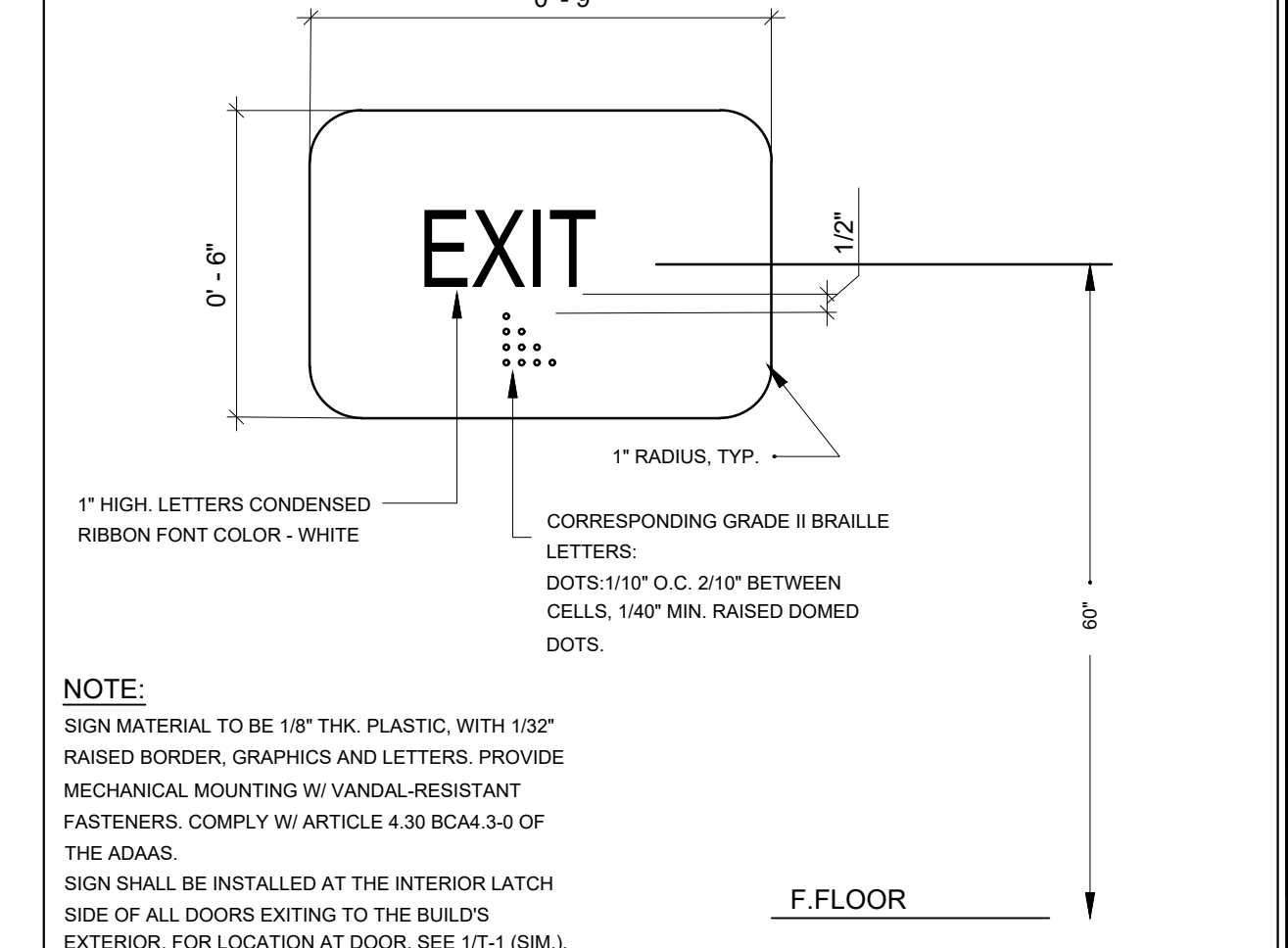
11 **ACCESSIBLE REACH RANGES** **7**



ACCESSIBLE DOOR CLEARANCES **1**



19 **CLEARANCE, SEATS AND GRAB BARS FOR BATHTUBS** **11** **ACCESSIBLE REACH RANGES** **7** **TYPICAL MOUNTING DIAGRAM @ DOOR** **3**



TACTICE EXIT SIGNAGE **4**

REVISIONS	BY

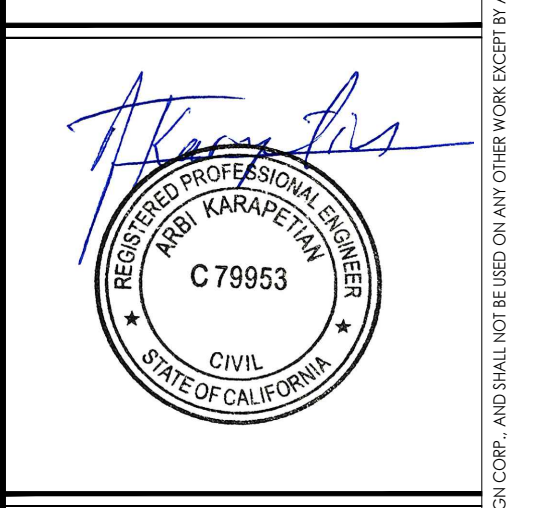
OWNER: AV Hospitality, LLC
ENGINEER: K&M ENGINEERING AND DESIGN CORP.

PROJECT: 1633 Victory, Glendale, CA 91201
DESCRIPTION: NEW HOTEL
DRAWING TITLE: ACCESSIBILITY DETAILS

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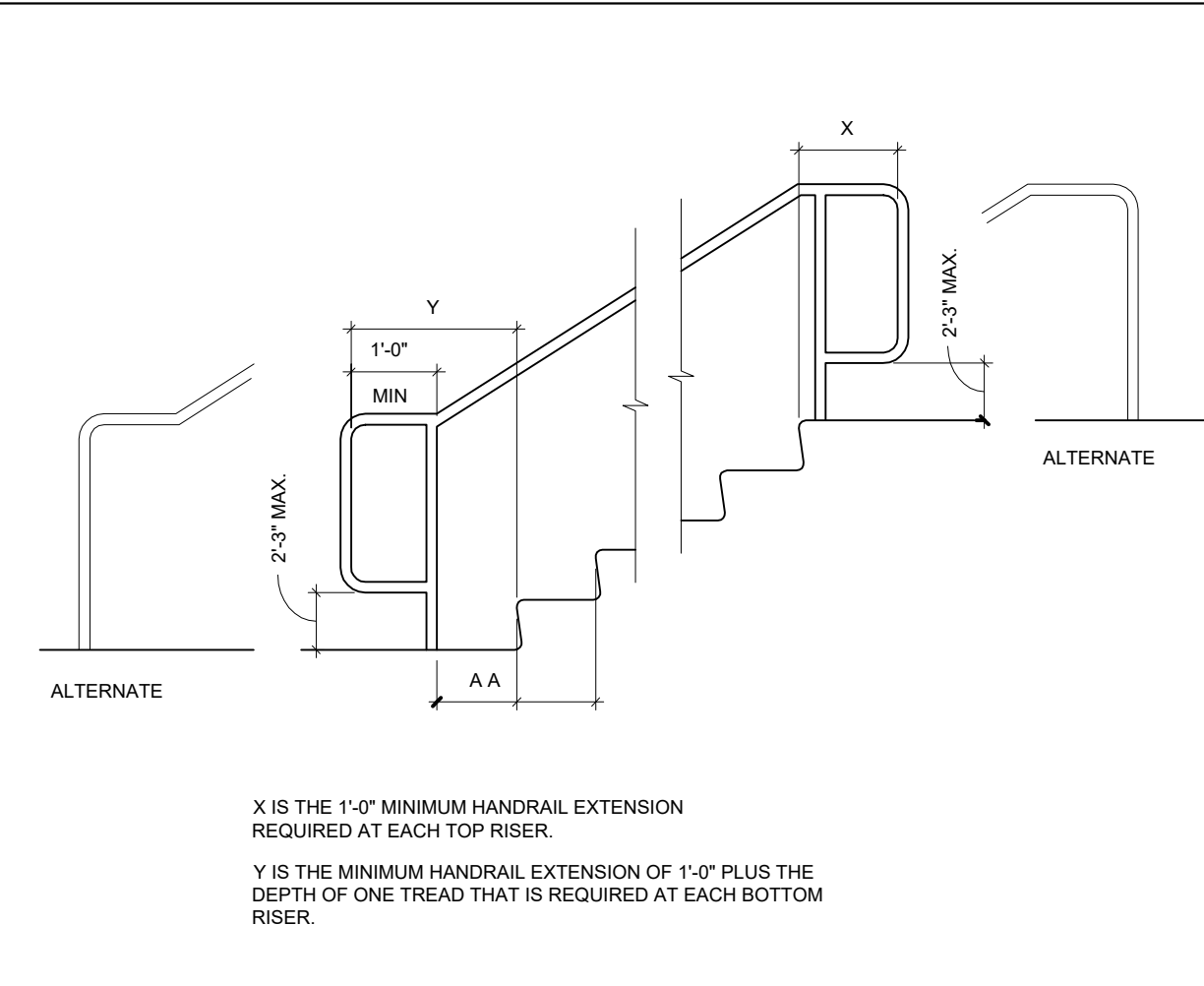
6854 FOOTHILL BLVD.
TUJUNGA, CA 91042



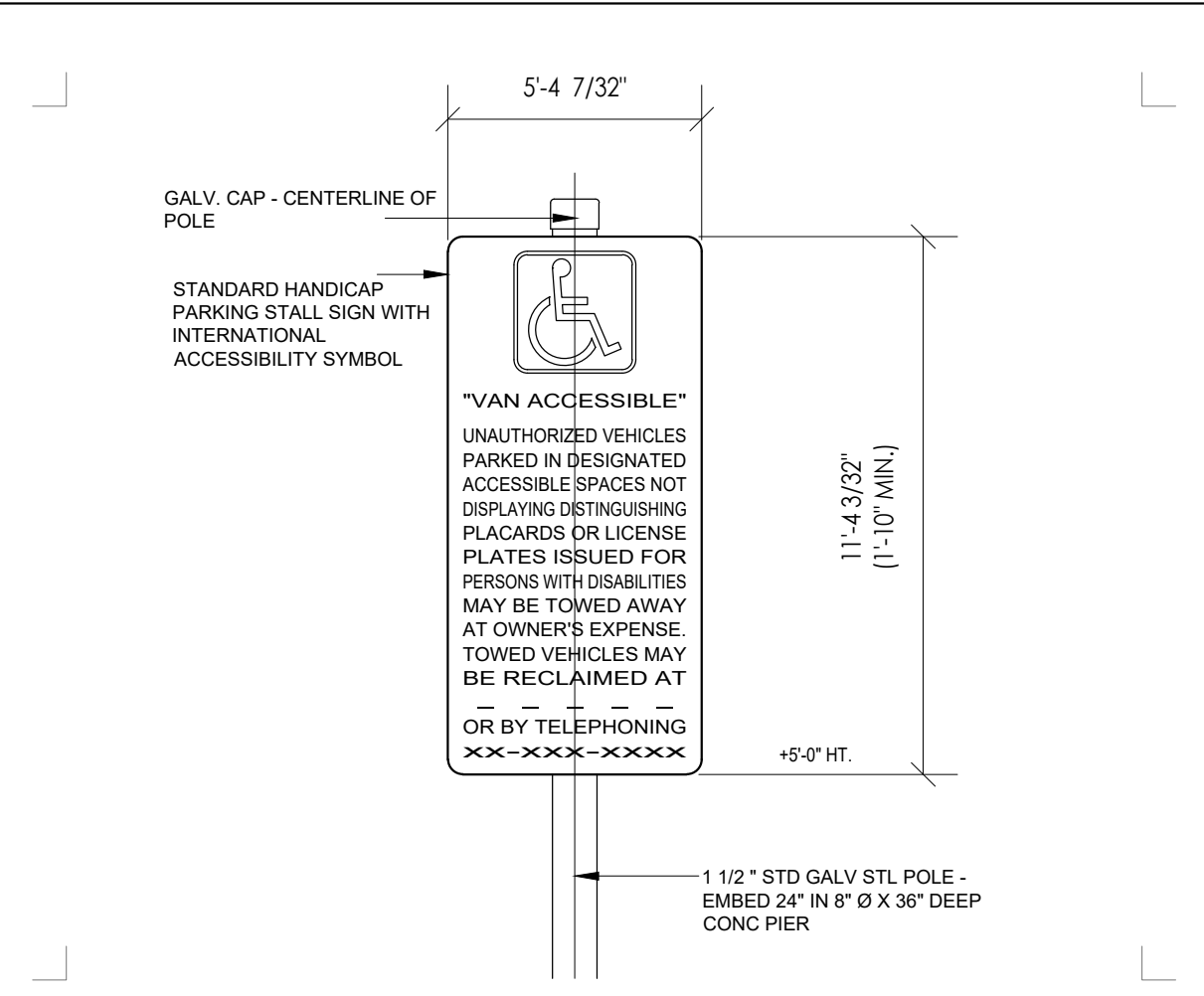
DRAWN BY: V.K.
CHECKED BY: AK
DATE: 02-21-2020
SCALE: N/A
JOB NO.: 2019-115
SHEET:

G1.2

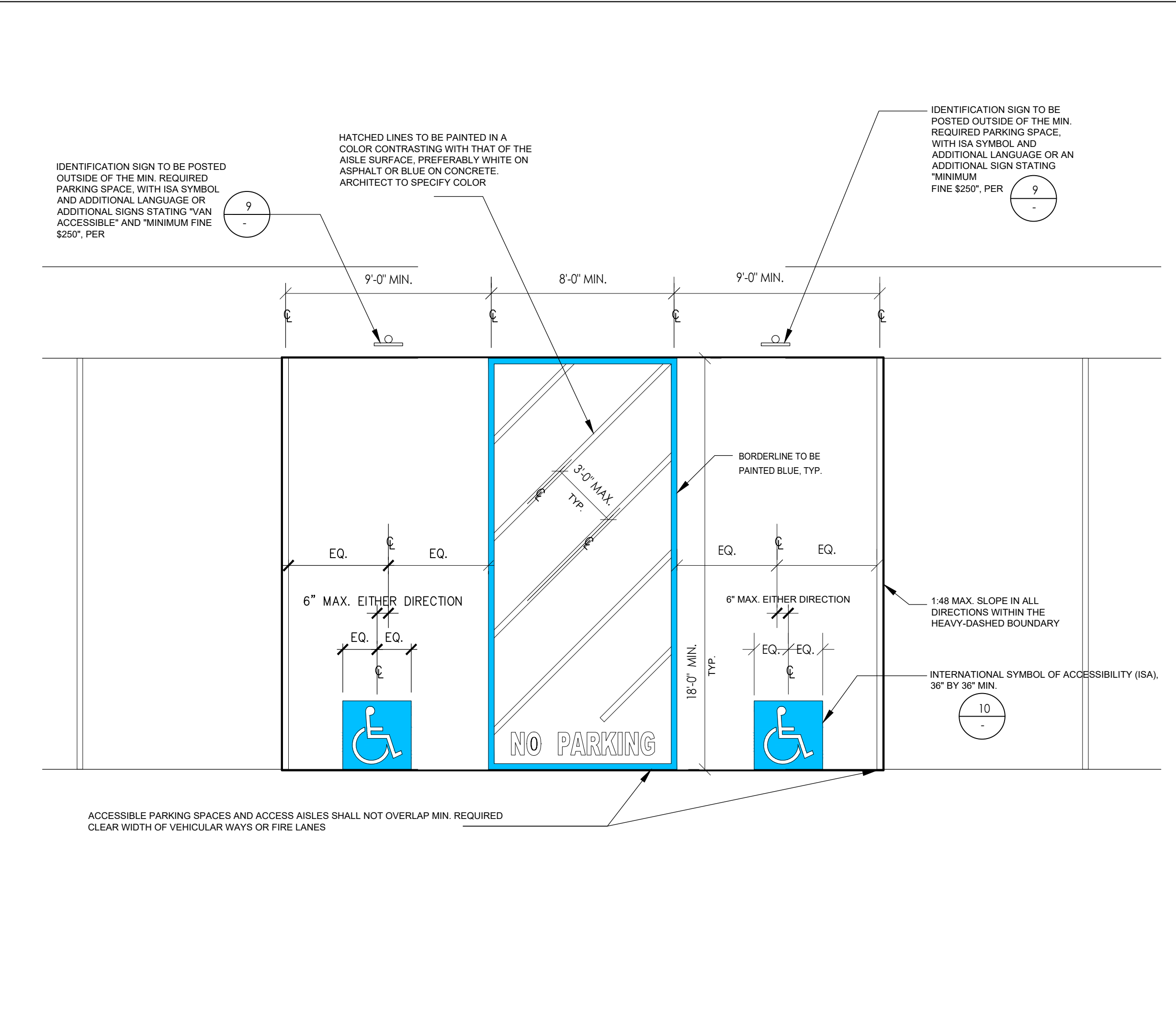
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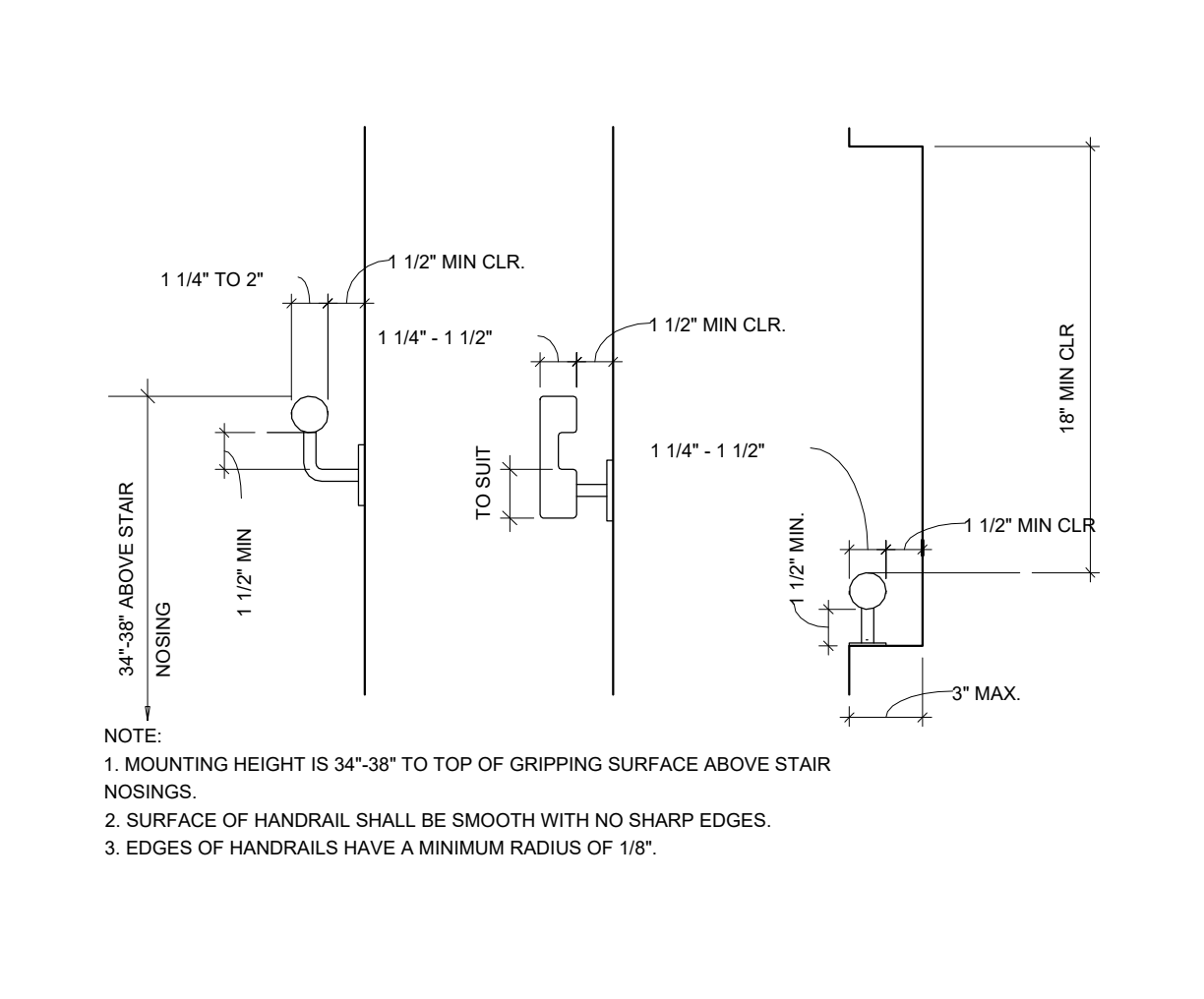
17 HAND RAIL EXTENTIONS



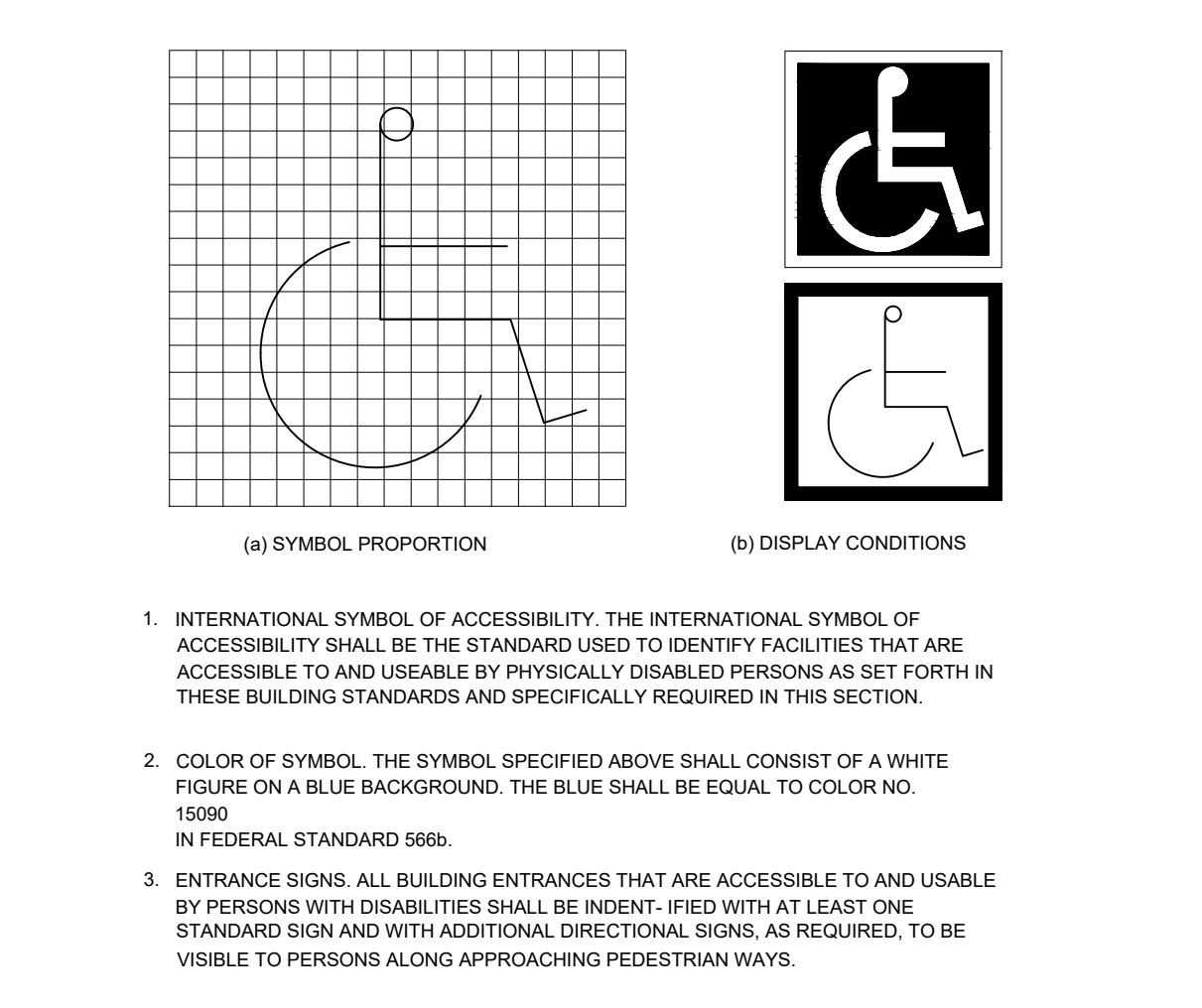
13 VAN STALL SIGNAGE



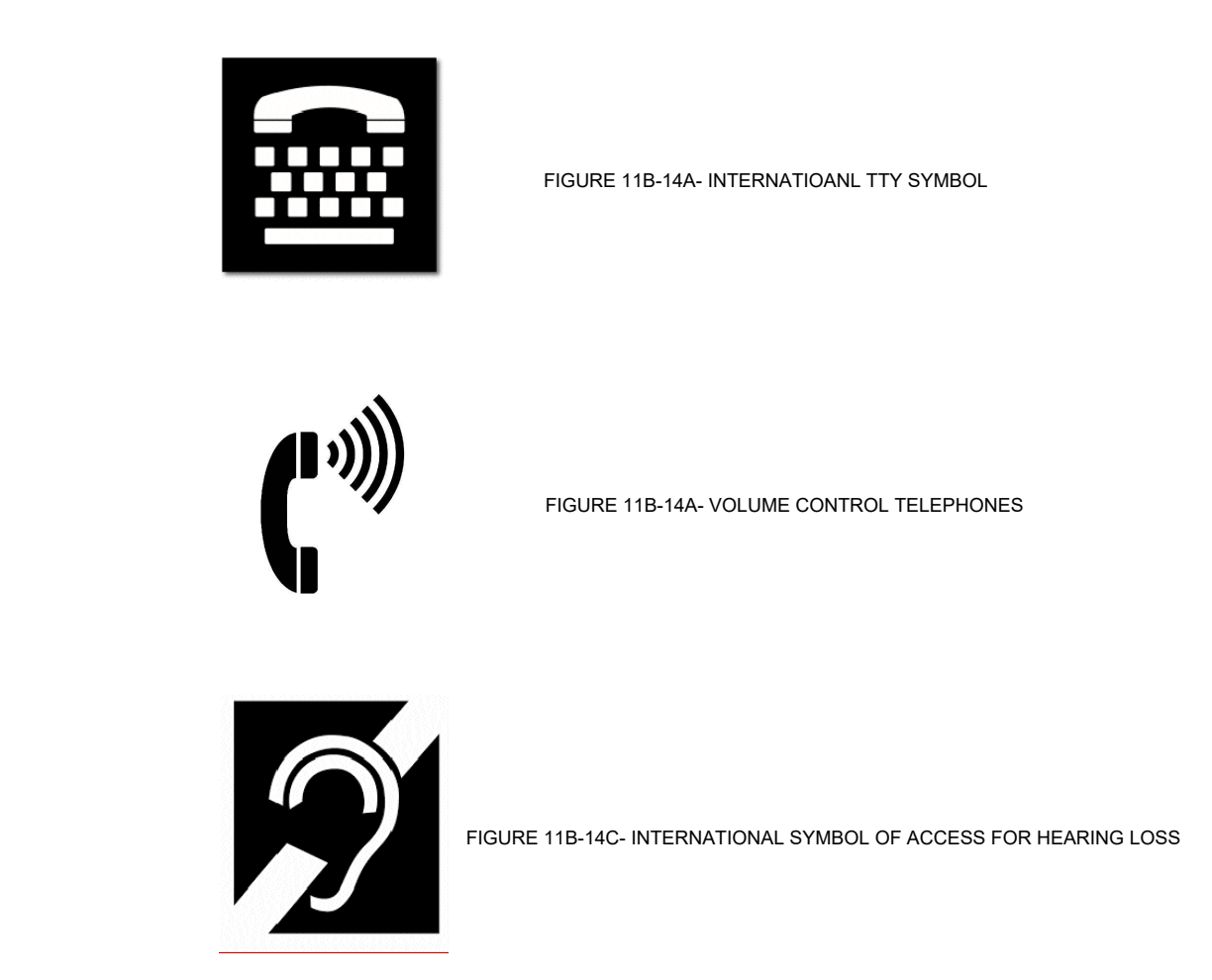
9 ACCESSIBLE VAN STALL PARKING DETAIL



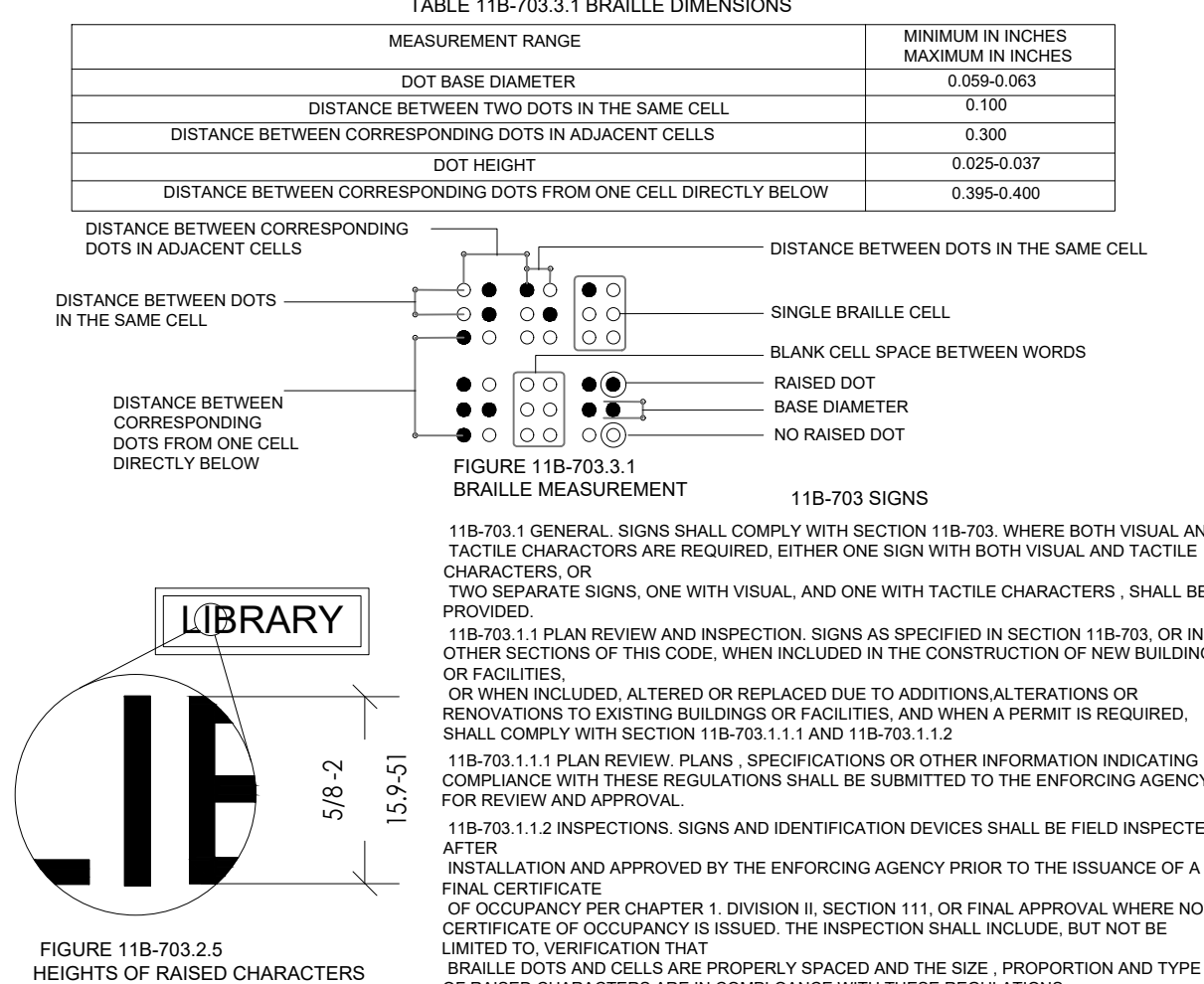
18 HAND RAIL @ WALL



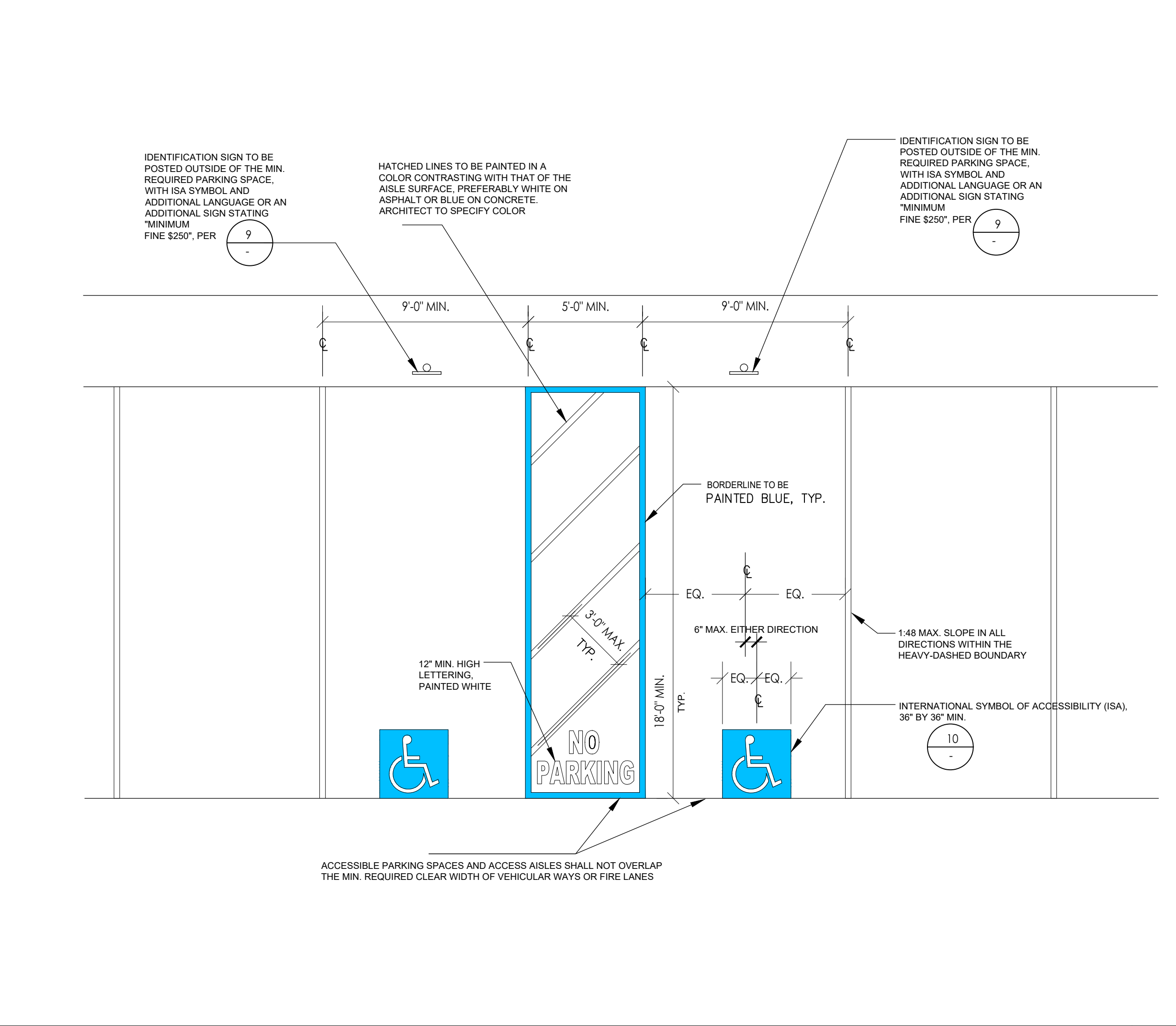
14 INTERNATIONAL ACCESS SYMBOL



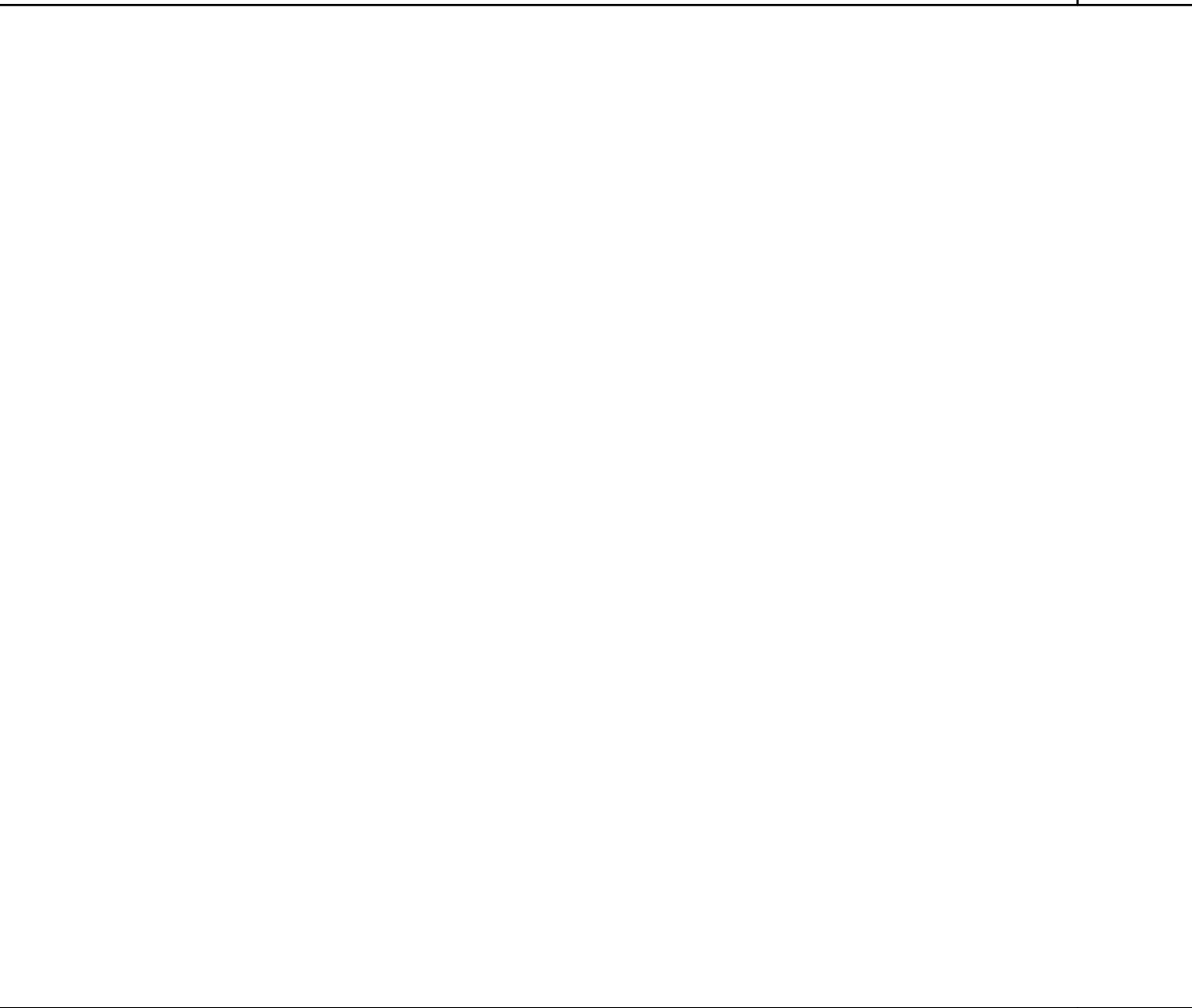
19



14



12 ACCESSIBLE CAR STALL PARKING DETAIL



16 DOOR CONSTRUCTION

REVISIONS	BY

OWNER: AV Hospitality, LLC

ENGINEER: K&M ENGINEERING AND DESIGN CORP.

PROJECT: 1633 Victory, Glendale, CA 91201

DESCRIPTION: NEW HOTEL

DRAWING TITLE: ACCESSIBILITY DETAILS

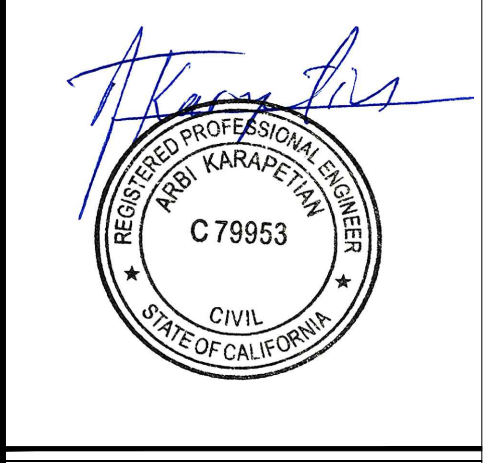
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6854 FOOTHILL BLVD. TULLINGA, CA 91042



DRAWN BY: V.K.

CHECKED BY: AK

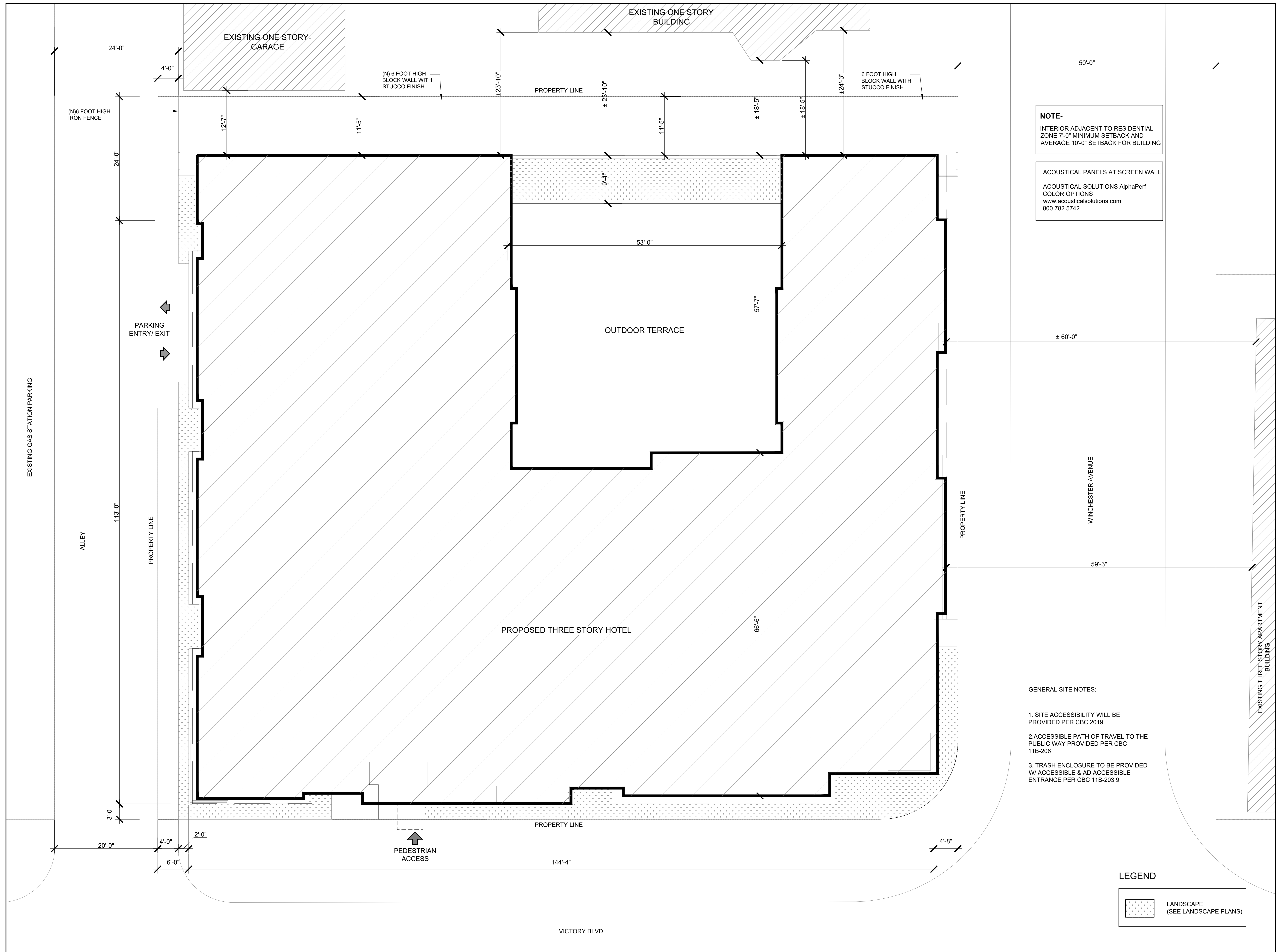
DATE: 02-21-2020

SCALE: N/A

JOB NO.: 2019-115

SHEET:

G1.3



NOTE-
 INTERIOR ADJACENT TO RESIDENTIAL ZONE 7'-0" MINIMUM SETBACK AND AVERAGE 10'-0" SETBACK FOR BUILDING

ACOUSTICAL PANELS AT SCREEN WALL
 ACOUSTICAL SOLUTIONS AlphaPerf
 COLOR OPTIONS
 www.acousticalsolutions.com
 800.782.5742

- GENERAL SITE NOTES:**
1. SITE ACCESSIBILITY WILL BE PROVIDED PER CBC 2019
 2. ACCESSIBLE PATH OF TRAVEL TO THE PUBLIC WAY PROVIDED PER CBC 11B-206
 3. TRASH ENCLOSURE TO BE PROVIDED W/ ACCESSIBLE & AD ACCESSIBLE ENTRANCE PER CBC 11B-203.9

REVISIONS	BY
11.10.20 REVISION	⚠
01.26.21 REVISION	⚠

OWNER:
 AV Hospitality, LLC

ENGINEER:
 K&M ENGINEERING AND DESIGN, CORP.

PROJECT:
 1633 Victory, Glendale, CA 91201

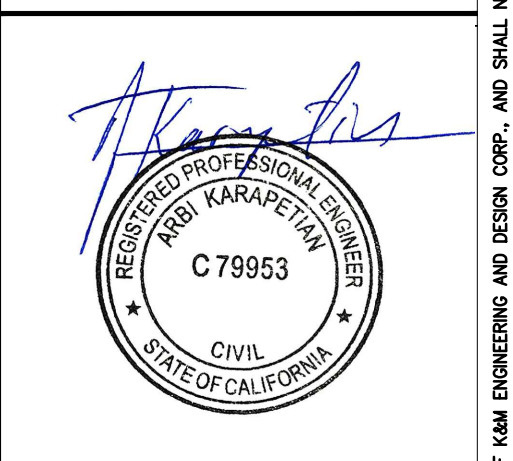
DESCRIPTION:
 NEW HOTEL

DRAWING TITLE: SITE PLAN

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DRAWN BY: A.M

CHECKED BY: AK

DATE: 02-11-2020

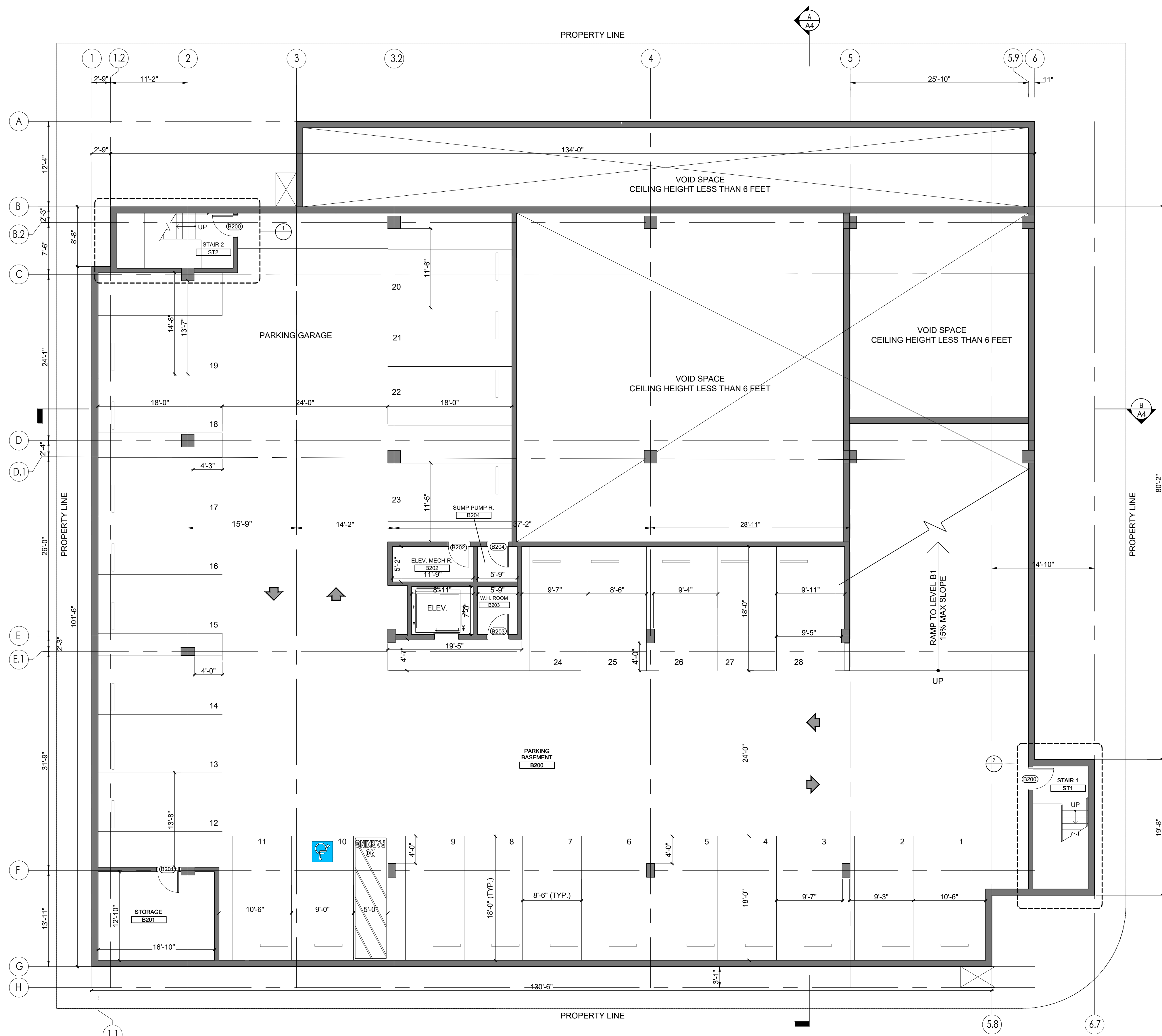
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JOB NO.: 2019-115

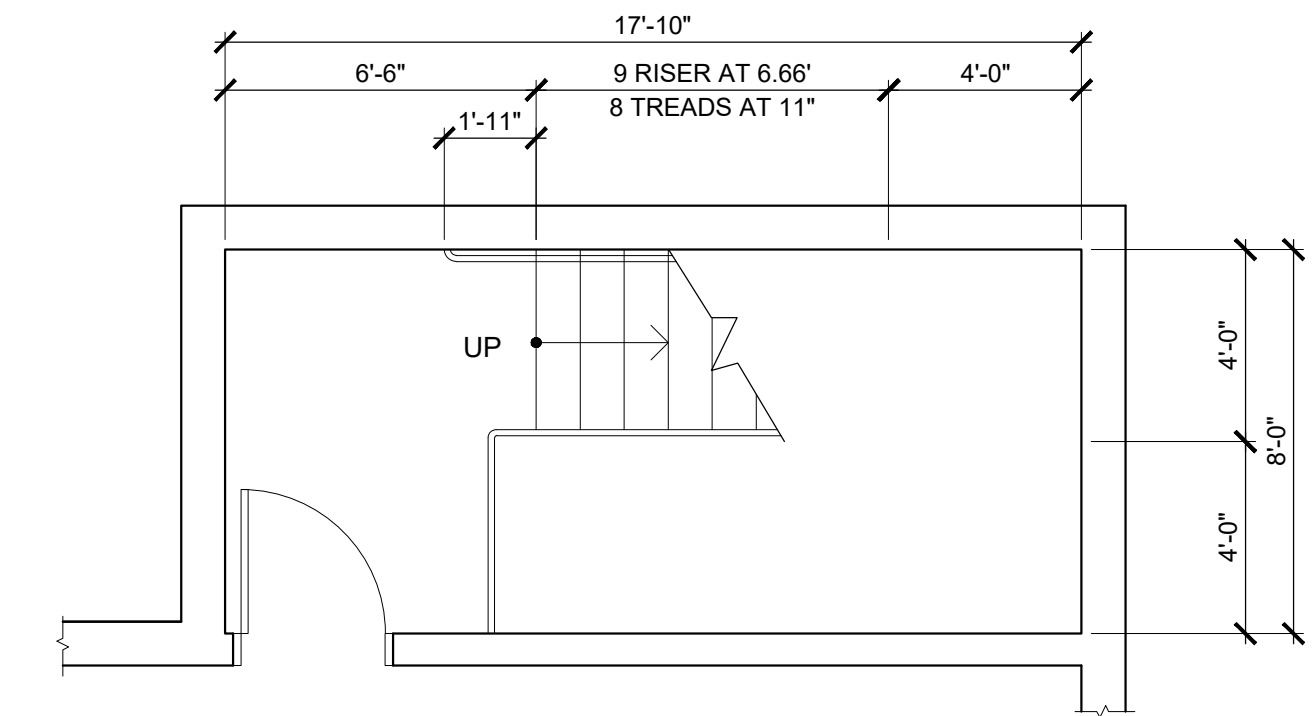
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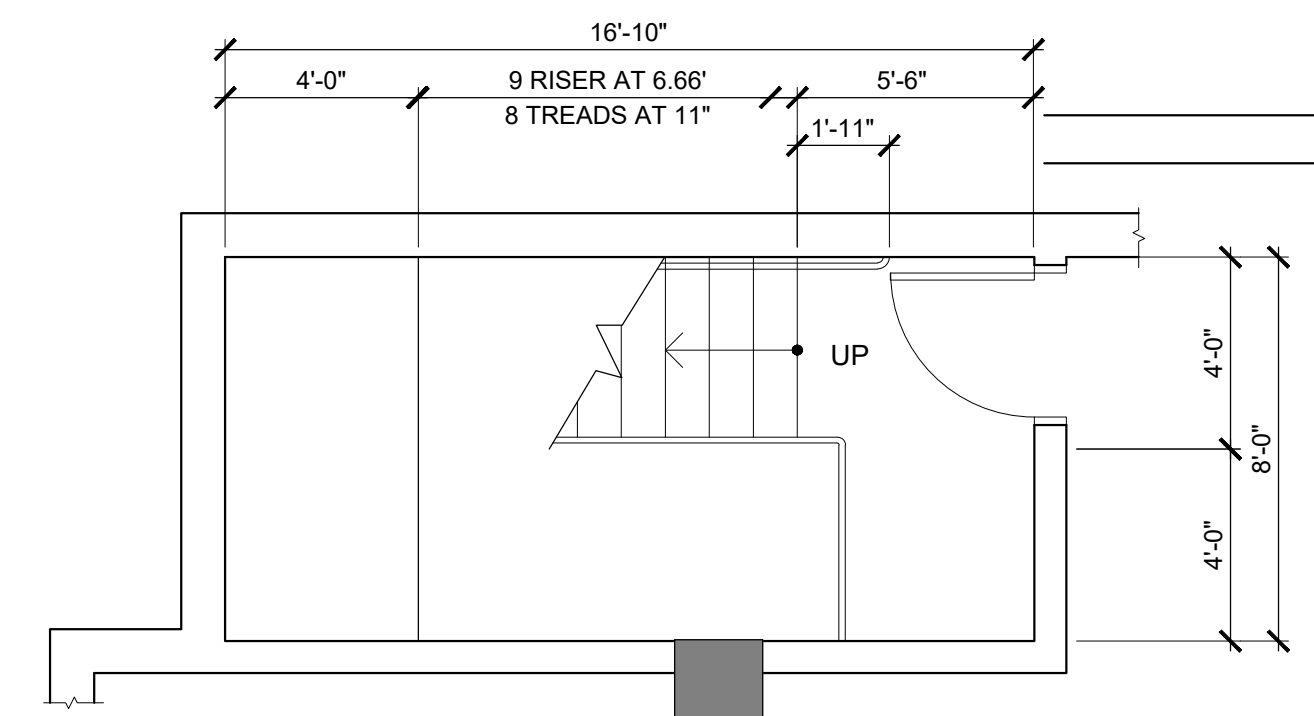
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BASEMENT -2 PLAN
 SC. 1/8"=1'



STAIR#1 BASEMENT -2
 SC. 1/4"=1'



STAIR#2 BASEMENT -2
 SC. 1/4"=1'

REVISIONS	BY
11.10.20 REVISION	AK
01.26.21 REVISION	AK

OWNER:
 AV Hospitality, LLC

ENGINEER:
 K&M ENGINEERING AND DESIGN CORP.

PROJECT:
 1633 Victory, Glendale, CA 91201

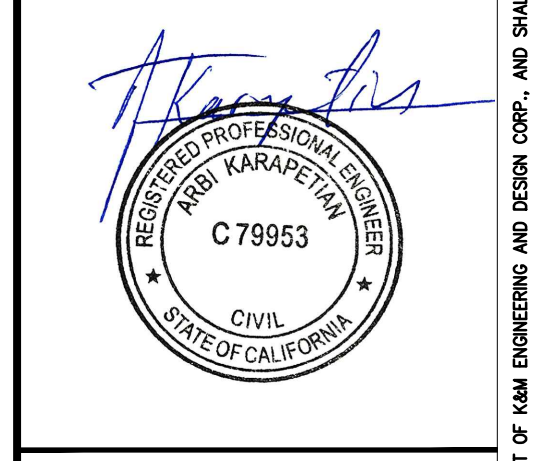
DESCRIPTION:
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DRAWING TITLE: BASEMENT -2 PLAN

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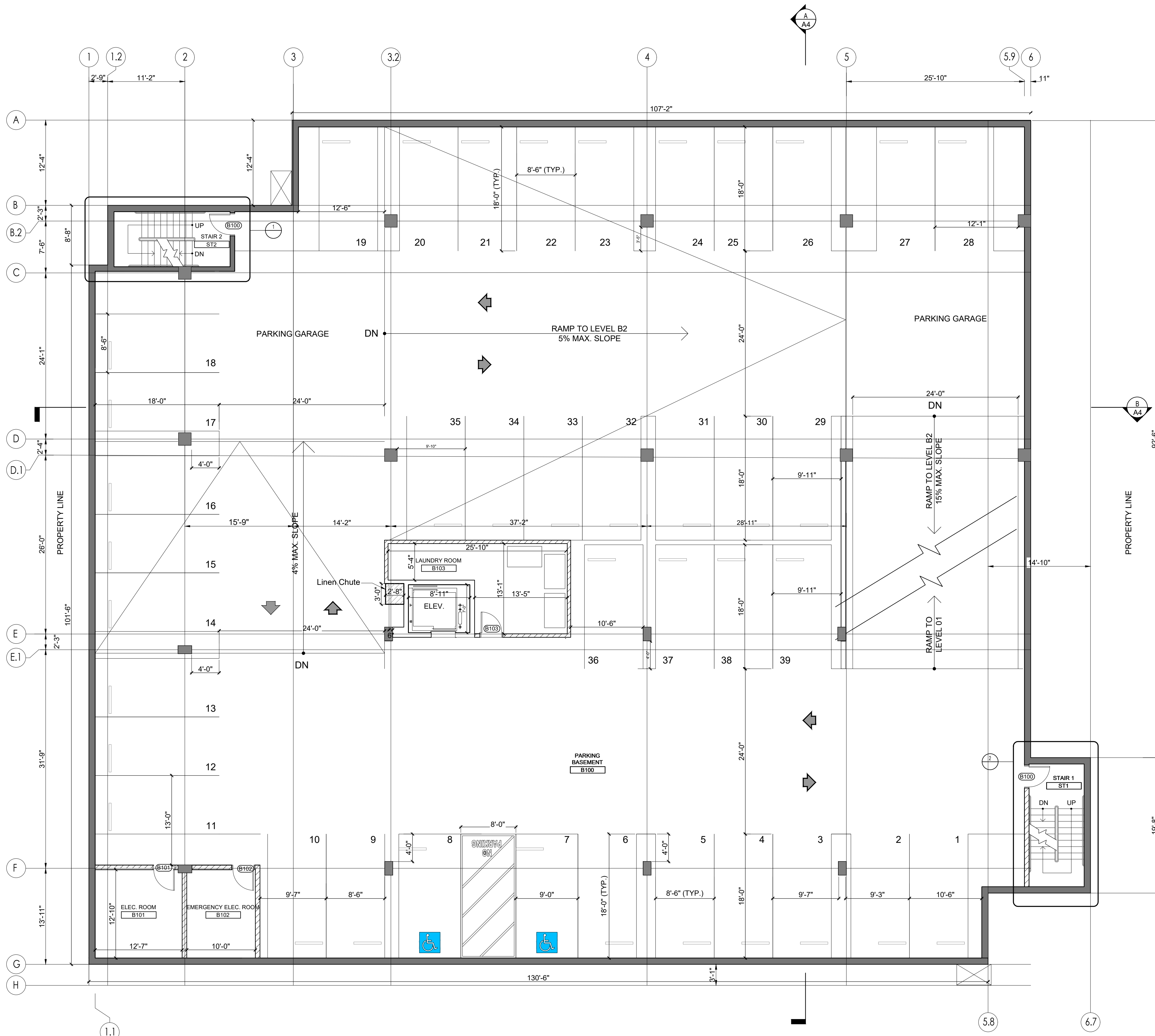
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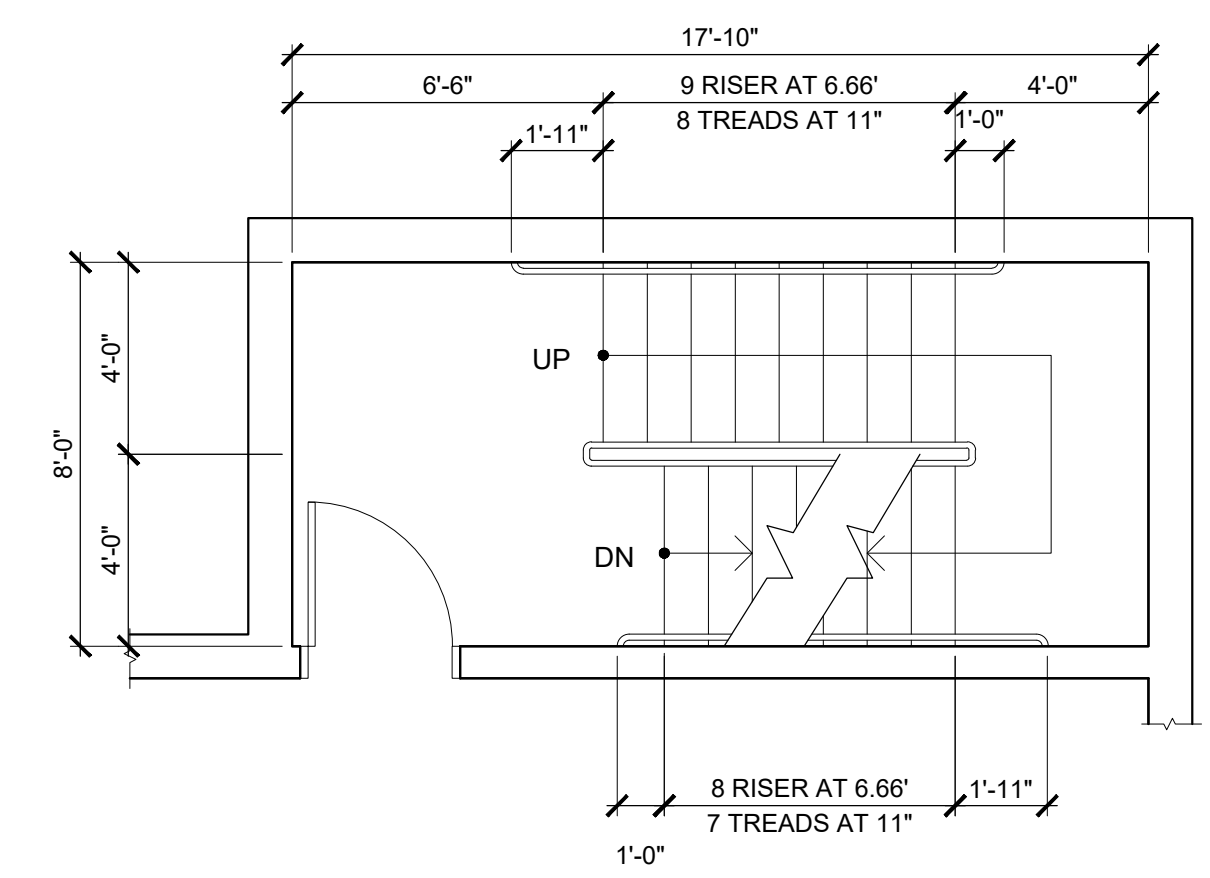
DRAWN BY: A.M
 CHECKED BY: AK
 DATE: 02-11-2020
 SCALE: AS NOTED
 JOB NO.: 2019-115
 SHEET:

A1.01

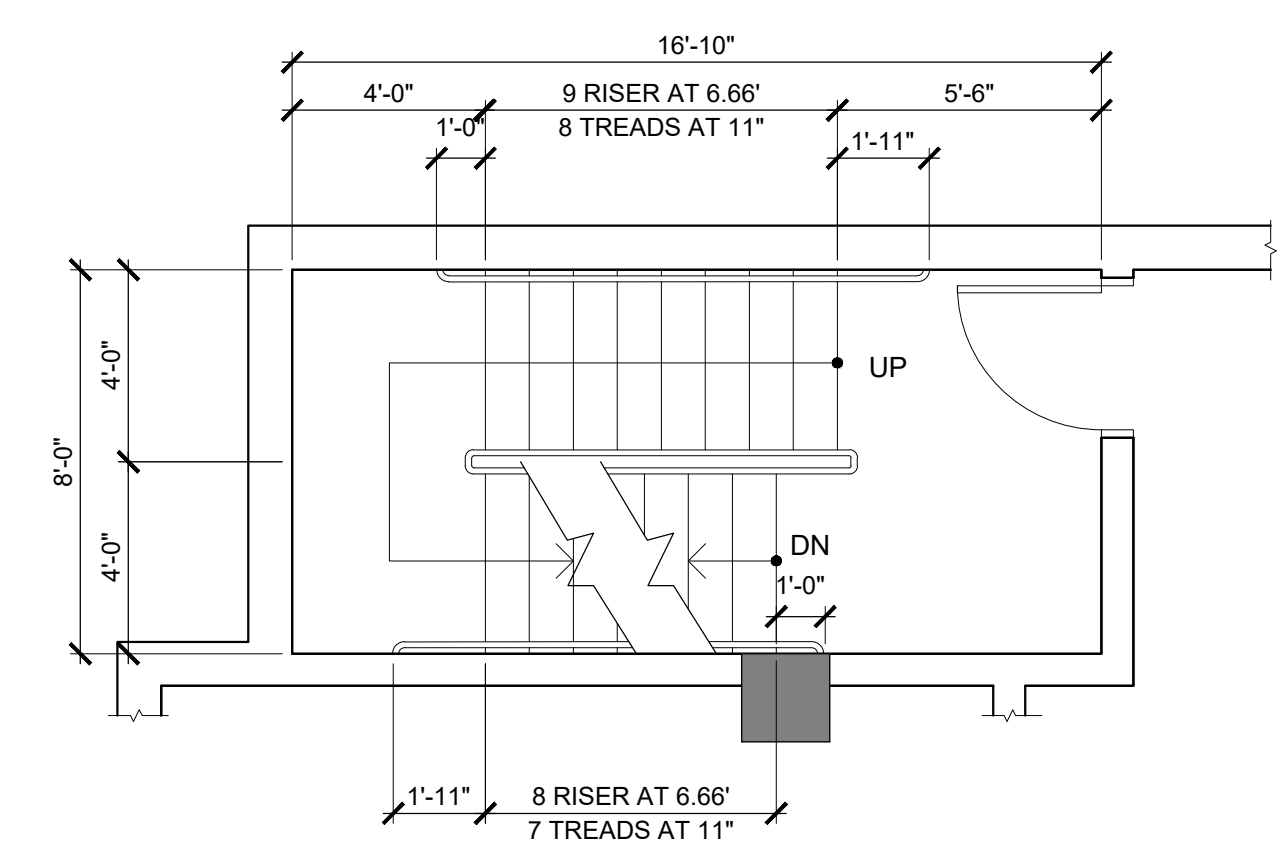
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BASEMENT -1 PLAN
 SC. 1/8"=1'



STAIR#1 BASEMENT -1
 SC. 1/4"=1'



STAIR#2 BASEMENT -1
 SC. 1/4"=1'

CONCRETE WALL
 CMU WALL

REVISIONS	BY
11.10.20 REVISION	⚠
01.26.21 REVISION	⚠

OWNER:
 AV Hospitality, LLC
ENGINEER:
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PROJECT:
 1633 Victory, Glendale, CA 91201
DESCRIPTION:
 NEW HOTEL
DRAWING TITLE: BASEMENT - 1 PLAN

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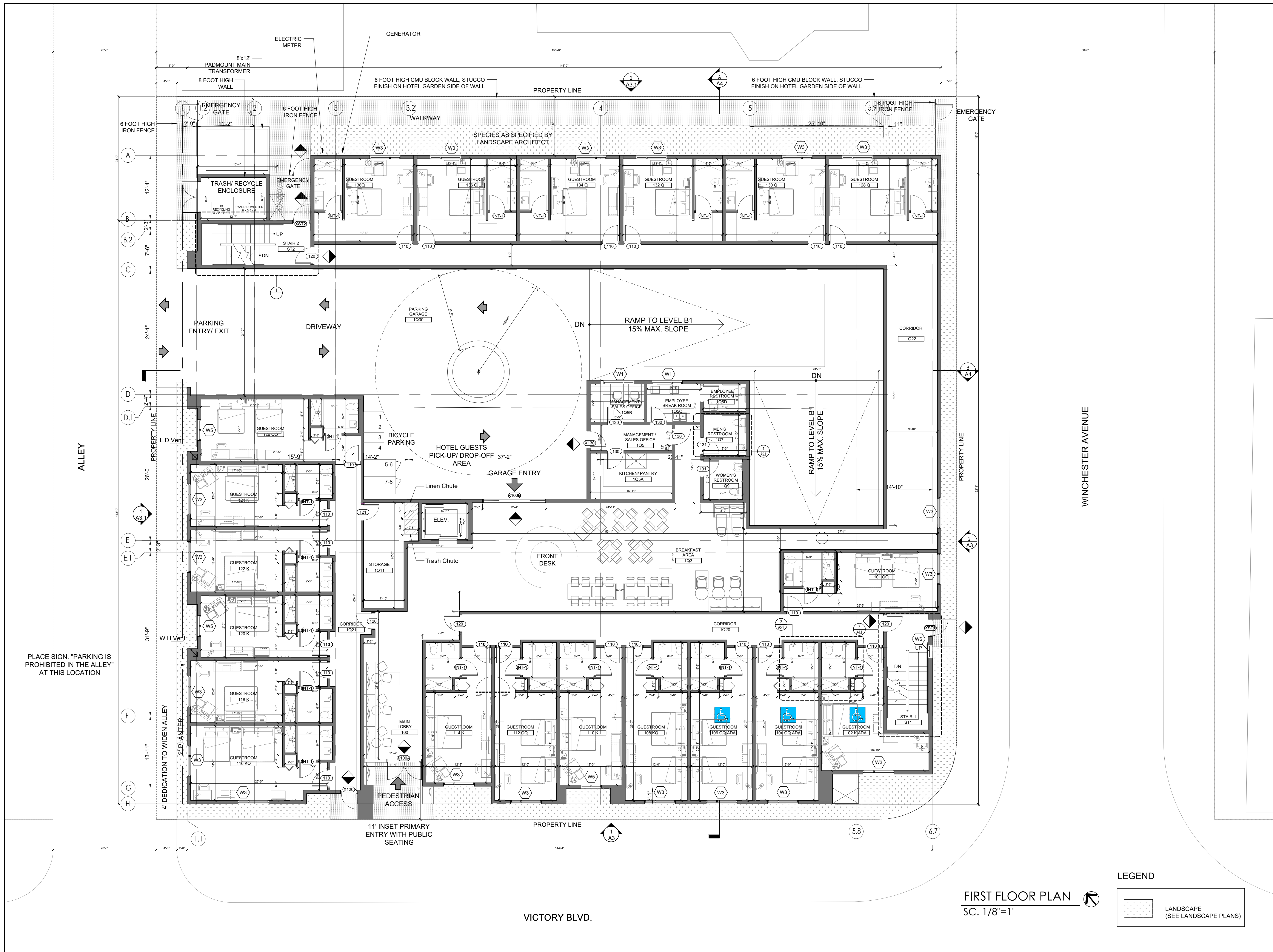
6854 FOOTHILL BLVD.
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 CHECKED BY: AK
 DATE: 02-11-2020
 SCALE: AS NOTED
 JOB NO.: 2019-115
 SHEET:

A1.02

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PLACE SIGN: "PARKING IS PROHIBITED IN THE ALLEY" AT THIS LOCATION

FIRST FLOOR PLAN
SC. 1/8"=1'

LEGEND

LANDSCAPE (SEE LANDSCAPE PLANS)

REVISIONS	BY
11.10.20 REVISION	
01.26.21 REVISION	

OWNER:
AV Hospitality, LLC

ENGINEER:
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PROJECT:
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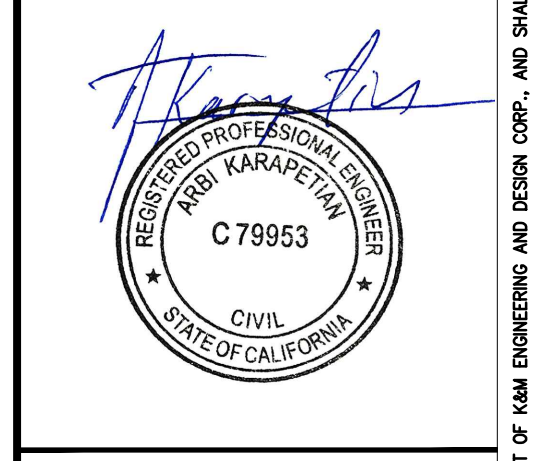
DESCRIPTION:
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DRAWING TITLE: FIRST FLOOR PLAN

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DRAWN BY: AM
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DATE: 02-11-2020
SCALE: AS NOTED
JOB NO.: 2019-115
SHEET:

A1.1

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SECOND FLOOR PLAN
 SC. 1/8"=1'

REVISIONS	BY
11.10.20 REVISION	AK
01.26.21 REVISION	AK

OWNER:
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ENGINEER:
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PROJECT:
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DESCRIPTION:
 NEW HOTEL

DRAWING TITLE: SECOND FLOOR PLAN

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DRAWN BY: A.M
 CHECKED BY: AK
 DATE: 02-11-2020
 SCALE: AS NOTED
 JOB NO: 2019-115
 SHEET:

A1.2

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VICTORY BLVD.

THIRD FLOOR PLAN
 SC. 1/8"=1'

REVISIONS	BY
11.10.20 REVISION	⚠
01.26.21 REVISION	⚠

OWNER:
 AV Hospitality, LLC

ENGINEER:
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PROJECT:
 1633 Victory, Glendale, CA 91201

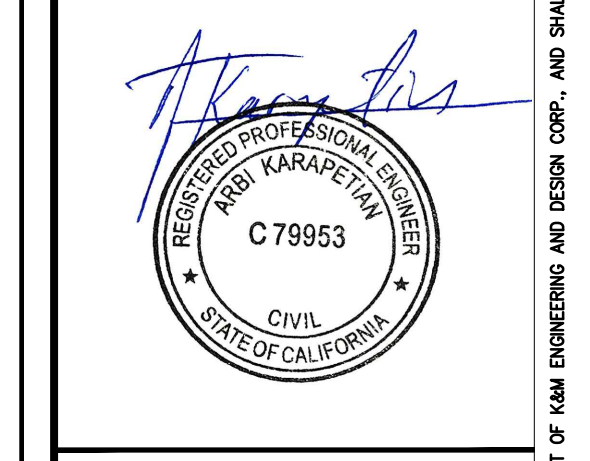
DESCRIPTION:
 NEW HOTEL

DRAWING TITLE: THIRD FLOOR PLAN

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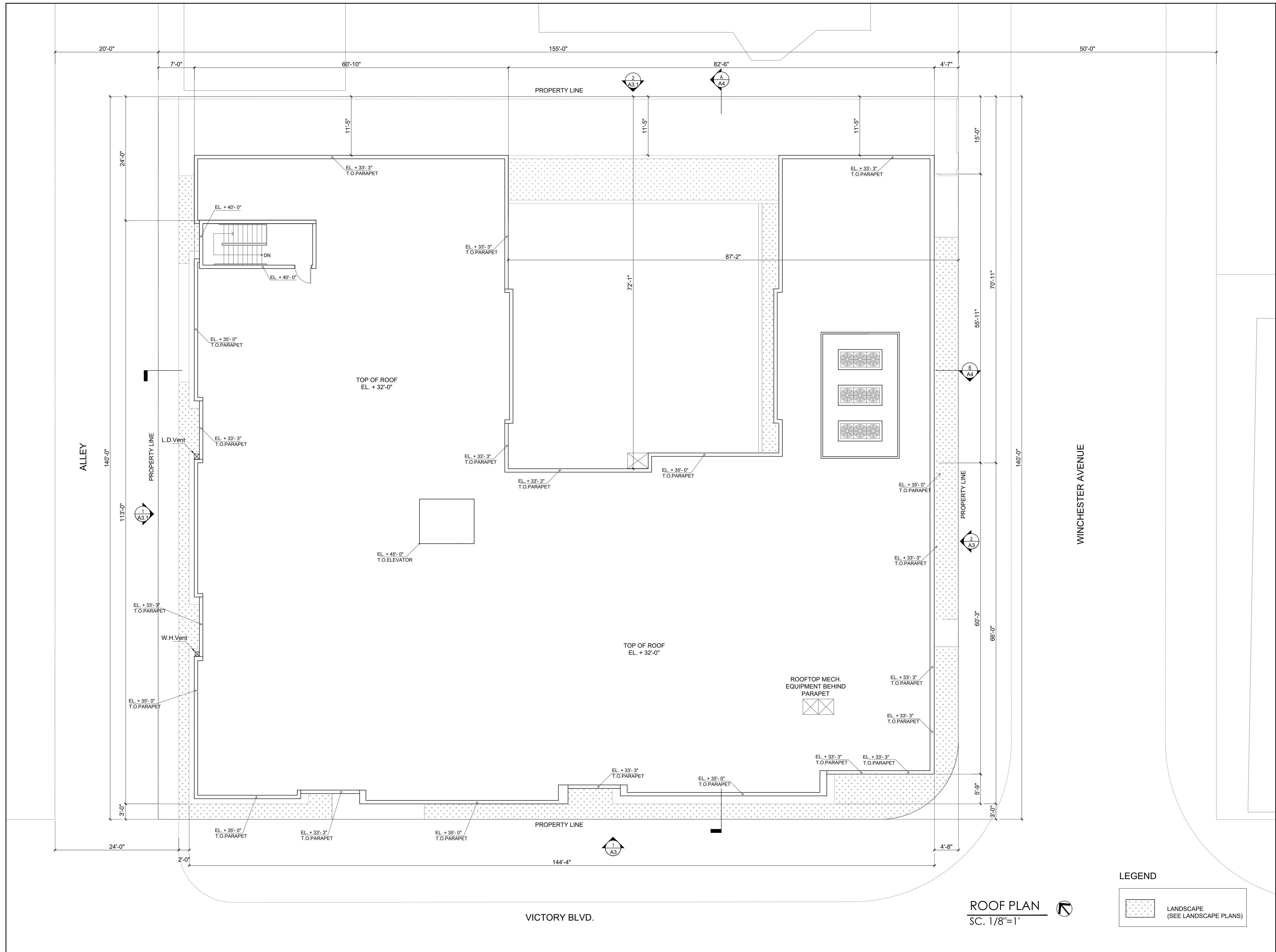
6854 FOOTHILL BLVD.
 TUNJUNGA, CA 91042



DRAWN BY: AM
 CHECKED BY: AK
 DATE: 02-11-2020
 SCALE: AS NOTED
 JOB NO: 2019-115
 SHEET:

A1.3

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REVISIONS	BY
11.10.20 REVISION	AK
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OWNER:
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ENGINEER:
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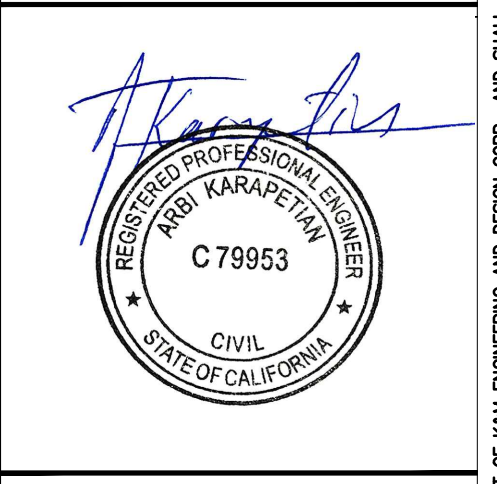
PROJECT:
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DESCRIPTION:
NEW HOTEL

DRAWING TITLE: ROOF PLAN

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DRAWN BY: A.M.
CHECKED BY: AK
DATE: 02-11-2020
SCALE: AS NOTED
JOB NO.: 2019-115
SHEET:

A1.4

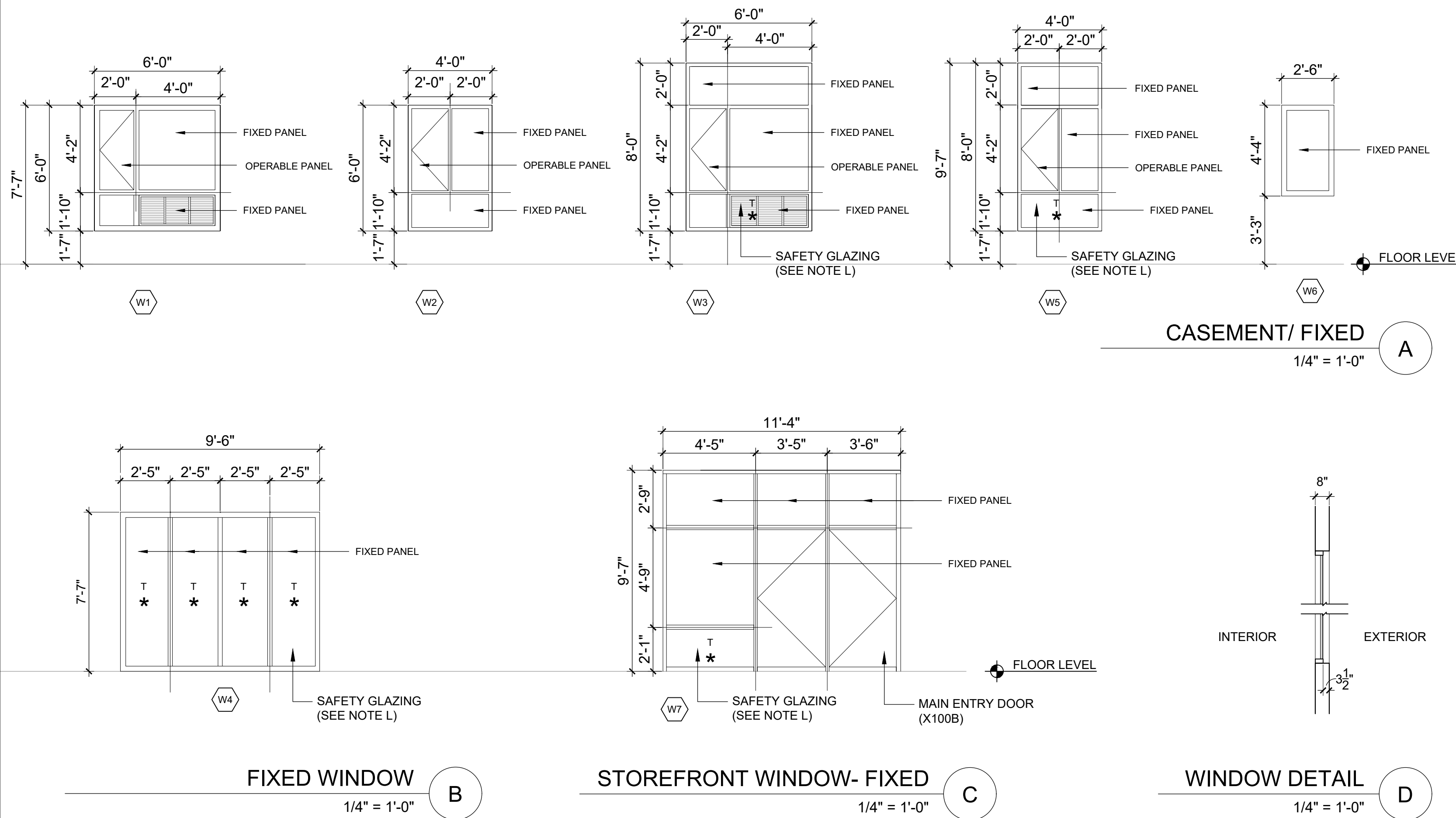
LEGEND

LANDSCAPE (SEE LANDSCAPE PLANS)

ROOF PLAN
SC. 1/8"=1'

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WINDOW TYPES (ELEVATION)



GENERAL NOTES

- PROVIDE COMPLETE WEATHER STRIPPING TO ALL EXTERIOR WINDOWS.
- ALL THE EXTERIOR WINDOWS SHALL BE DOUBLE GLAZED.
- THE THICKNESS OF ALL GLAZING IN THE STOREFRONT, WINDOW WALL, OR CURTAIN WALL SYSTEMS SHALL BE 1/4" MINIMUM.
- FIRE RATED WINDOWS SHALL BEAR A LABEL TO IDENTIFY THE REQUIRED RATING.
- TEMPERED GLASS AFFIXED WITH PERMANENT LABEL, THAT SPECIFIES THE LABELER AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS.
- WINDOW OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4- HOUR) OR (1-1/2 HOUR) FIRE ASSEMBLIES AS REQUIRED PER CODE.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING. GLAZING IN: SECTION 2406
 - SWING DOORS.
 - FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
 - STORM DOORS.
 - UNFRAMED SWINGING DOORS.
 - DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
 - FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610mm) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525mm) ABOVE THE WALKING SURFACE. READ CODE FOR EXCEPTIONS.
 - FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITION (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.84M2)
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (457mm) ABOVE THE FLOOR.
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES (914 mm) ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 mm) HORIZONTALLY OF THE PLANE OF THE GLAZING.
 - GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
 - WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 mm) ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.
 - THE GLAZING IS WITHIN 60 INCHES (1525 mm) OF A SWIMMING POOL OR SPA WATER'S EDGE.
 - ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE (READ CODE FOR EXCEPTION WITH SPECIAL WITH SPECIAL INSTALLATION).
 - ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
 - USE TEMPERED (T) GLASS FOR GLASS PANELS PER CODE REQUIREMENT PER CALIFORNIA BUILDING CODE

DOOR SCHEDULE

DOOR NO.	ROOM NAME	WIDTH	HEIGHT	THK.	TYPE	FIRE RATING	DOOR		FRAME		DETAIL			HARDWARE	REMARKS	QTY.
							MATERIAL	FINISH	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD			
BASEMENT LEVEL B2																
B200	STAIRS	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
B201	NON-USABLE ROOMS	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						2
BASEMENT LEVEL B1																
B100	STAIRS	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
B101	NON-USABLE ROOMS	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						4
LEVEL 01																
X100A	MAIN LOBBY	11'-0"	9'-6"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
X100B	MAIN LOBBY	7'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
X120	CORRIDOR	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
X130	OFFICE EXIT	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
XST1	STAIR 1	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						1
XST2	STAIR 2	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						1
110	GUESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						20
120	CORRIDOR	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						4
121	STORAGE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
130	MANAGEMENT	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						4
131	WOMEN'S RESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						2
INT-1	GUESTROOM BATH RM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						20
LEVEL 02																
X220	EXIT TO TERRACE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
210	GUESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						31
220	STAIR / CORRIDOR	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
230	STORAGE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
231	FITNESS ROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
INT-1	GUESTROOM BATH RM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						31
LEVEL 03																
310	GUESTROOM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						33
320	STAIR / CORRIDOR	3'-0"	7'-0"	1-3/4"		90 MIN.	HM/MTL	PTD.	MTL	PTD.						2
330	STORAGE	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						1
INT-1	GUESTROOM BATH RM	3'-0"	7'-0"	1-3/4"		20 MIN.	HM/MTL	PTD.	MTL	PTD.						33

ABBREVIATIONS:

GL	-	GLASS
HM	-	HOLLOW METAL
WD	-	WOOD
STL	-	STEEL
MTL	-	METAL
M/G	-	METAL AND GLASS
W/G	-	WOOD AND GLASS
SC	-	SOLID CORE WOOD
TM	-	TEMPERED GLASS
PTD	-	PAINTED
FF	-	FACTORY PRE-FINISH

WINDOW SCHEDULE

WINDOW TYPE	SIZE		FRAME		GLAZING	HARDWARE GROUP	REMARKS	QTY.
	WIDTH	HEIGHT	MATERIAL	FINISH				
W1	6'-0"	6'-0"	MTL	PTD			CASEMENT/ FIXED	50
W2	4'-0"	6'-0"	MTL	PTD			CASEMENT/ FIXED	16
W3	6'-0"	8'-0"	MTL	PTD	TEMPERED		CASEMENT/ FIXED	19
W4	9'-6"	7'-7"	MTL	PTD	TEMPERED		FIXED	4
W5	4'-0"	8'-0"	MTL	PTD	TEMPERED		CASEMENT/ FIXED	3
W6	2'-6"	4'-4"	MTL	PTD			FIXED	7
W7	12'-0"	6'-0"	MTL	PTD	TEMPERED		CASEMENT/ FIXED	1

ABBREVIATIONS:

AL	-	ALUMINUM
MTL	-	METAL
FF	-	FACTORY PRE-FINISHED
CONC	-	CONCRETE
CMU	-	CONCRETE MASONRY
UNIT	-	
CG	-	CLEAR GLASS
SG	-	SOLAR GLASS
TM	-	SAFETY GLASS
PTD	-	PAINTED
GB	-	GYPSON BOARD
TBD	-	TO BE DETERMINED

REVISIONS	BY
11.10.20 REVISION	▲

OWNER: AV Hospitality, LLC
ENGINEER: K&M ENGINEERING AND DESIGN CORP.

PROJECT: 1633 Victory, Glendale, CA 91201
DESCRIPTION: NEW HOTEL

DRAWING TITLE: DOOR AND WINDOW SCHEDULE

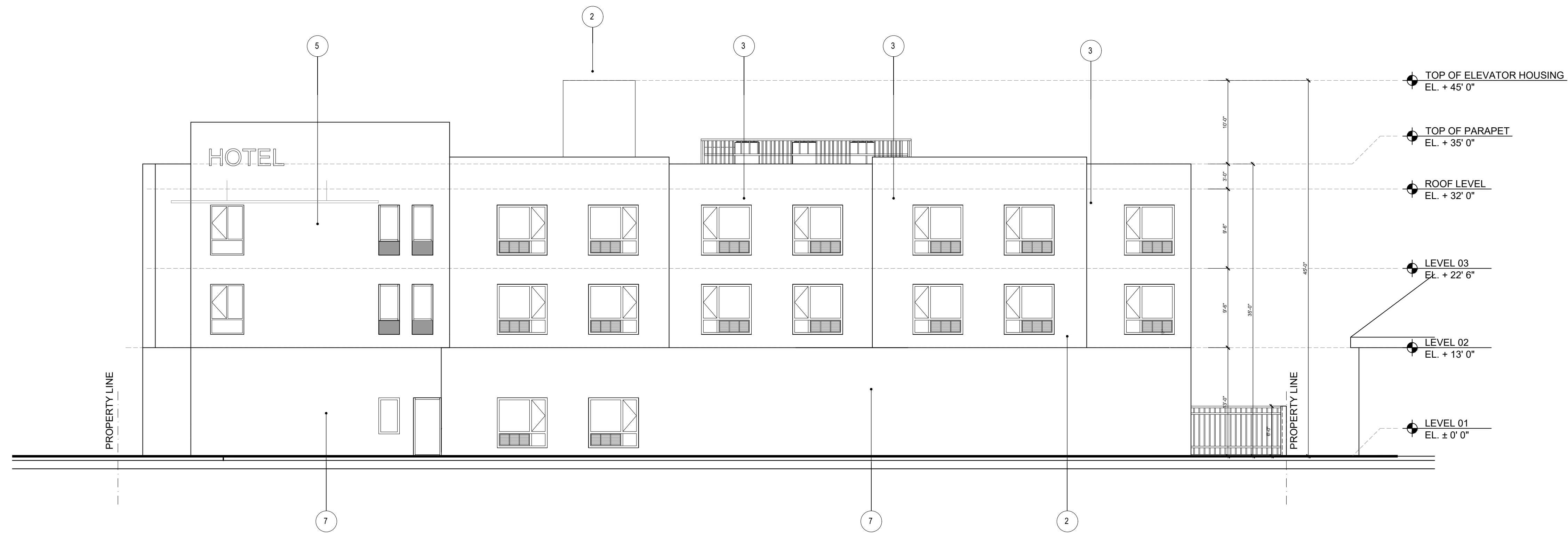
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6854 FOOTHILL BLVD.
TUJUNGA, CA 91042

DRAWN BY: AM
 CHECKED BY: AK
 DATE: 02-11-2020
 SCALE: AS NOTED
 JOB NO.: 2019-115
 SHEET:

A2.0

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EAST ELEVATION- SIDE (WINCHESTER AVE.) 2
1/8" = 1'-0"



SOUTH ELEVATION- FRONT (VICTORY BLVD.) 1
1/8" = 1'-0"

REVISIONS	BY
11.10.20 REVISION	▲
01.26.21 REVISION	▲

OWNER:
AV Hospitality, LLC

ENGINEER:
K&M ENGINEERING AND DESIGN CORP.

PROJECT:
1633 Victory, Glendale, CA 91201

DESCRIPTION:
NEW HOTEL

DRAWING TITLE: ELEVATIONS

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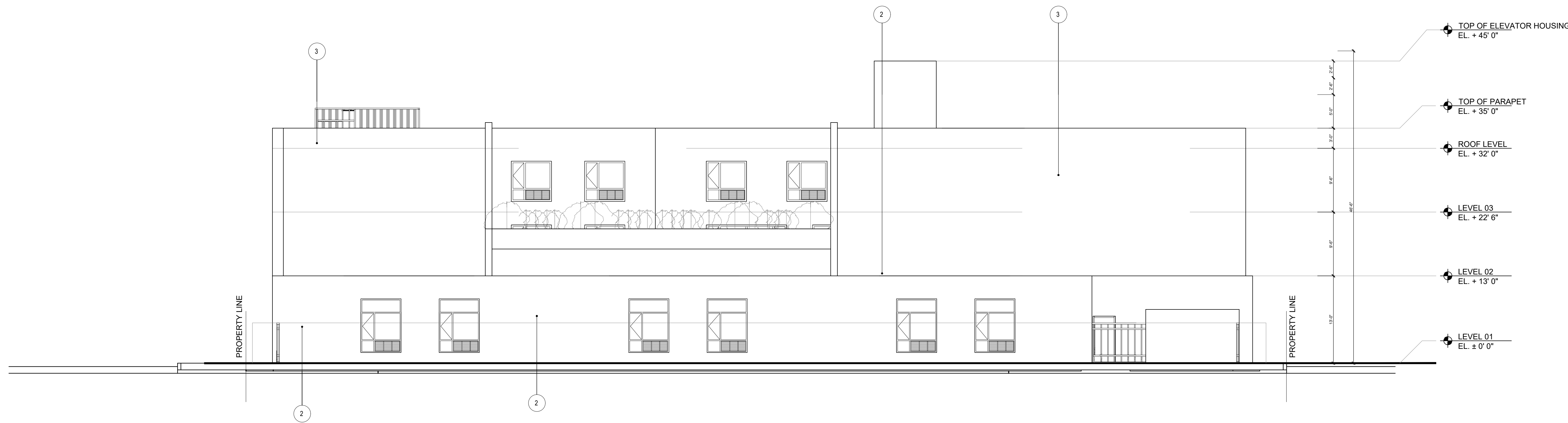
6854 FOOTHILL BLVD.
TUJUNGA, CA 91042



DRAWN BY: A.M
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DATE: 02-11-2020
SCALE: AS NOTED
JOB NO: 2019-115
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NORTH ELEVATION- REAR (MIDBLOCK) 2
1/8" = 1'-0"



WEST ELEVATION- SIDE (ALLEY) 1
1/8" = 1'-0"

REVISIONS	BY
11.10.20 REVISION	AK
01.26.21 REVISION	AK

OWNER:
AV Hospitality, LLC

ENGINEER:
K&M ENGINEERING AND DESIGN, CORP.

PROJECT:
1633 Victory, Glendale, CA 91201

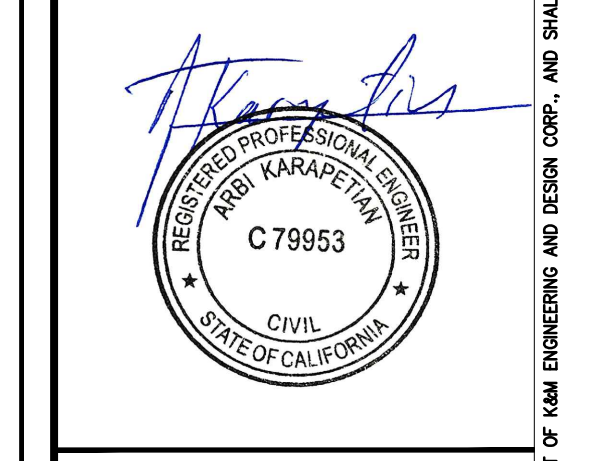
DESCRIPTION:
NEW HOTEL

DRAWING TITLE: ELEVATIONS

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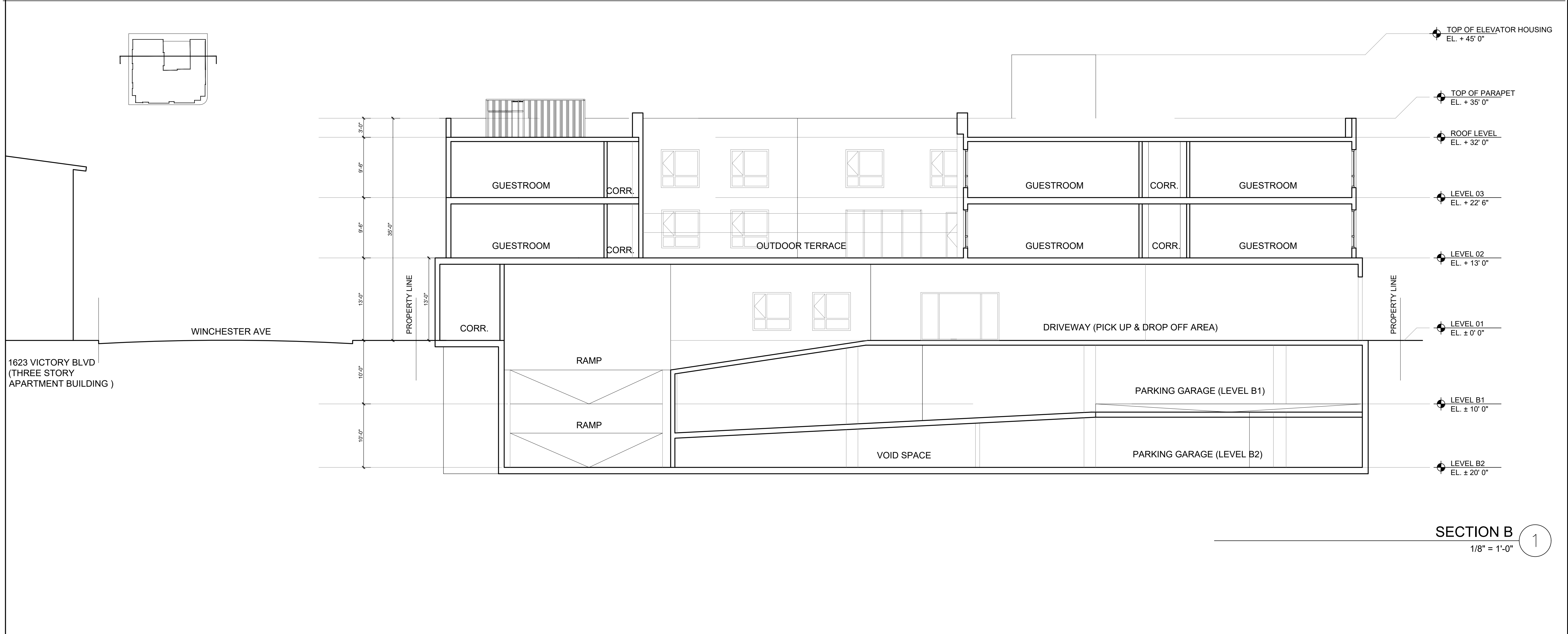
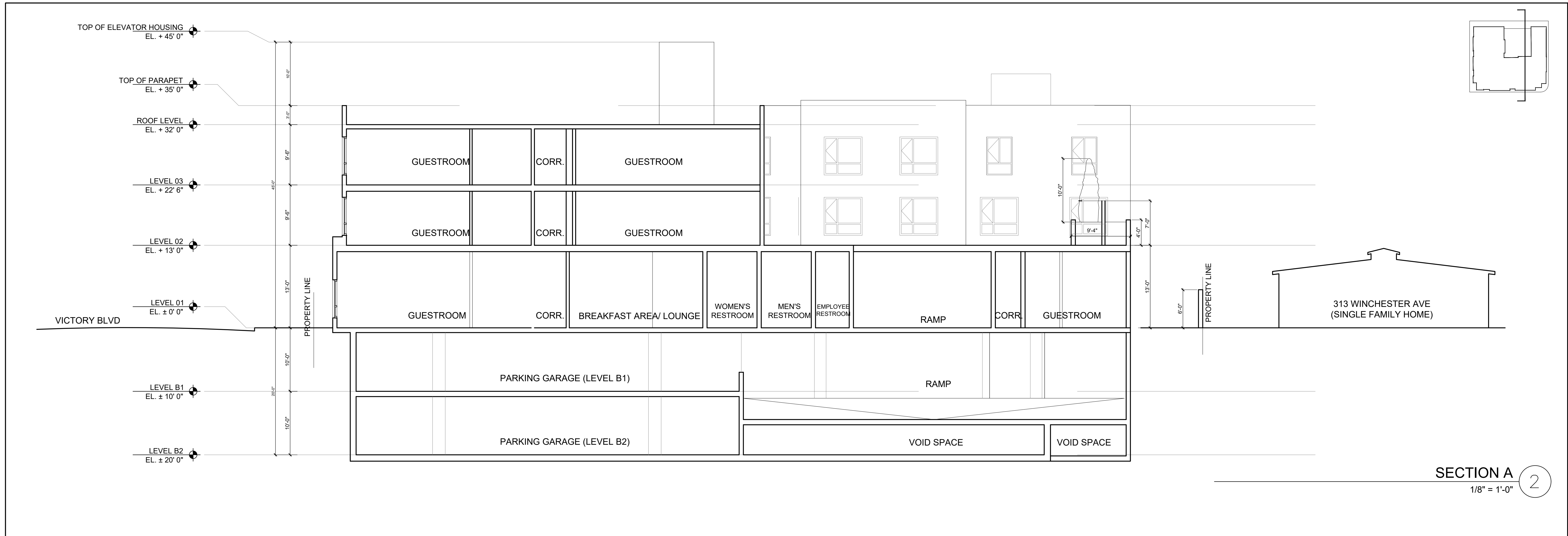
6854 FOOTHILL BLVD.
TUJUNGA, CA 91042



DRAWN BY: A.M
CHECKED BY: AK
DATE: 02-11-2020
SCALE: AS NOTED
JOB NO: 2019-115
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11.10.20 REVISION	⚠
01.26.21 REVISION	⚠

OWNER:
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PROJECT:
1633 Victory, Glendale, CA 91201

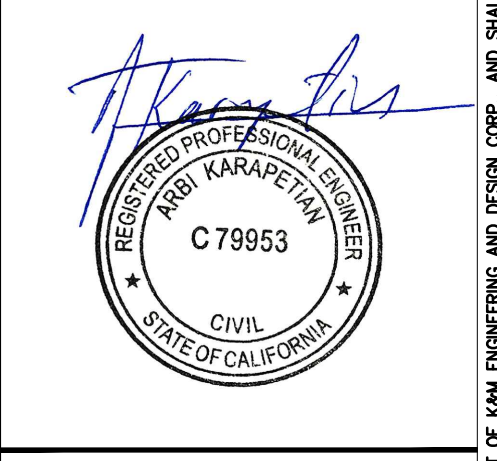
DESCRIPTION:
NEW HOTEL

DRAWING TITLE: ELEVATIONS

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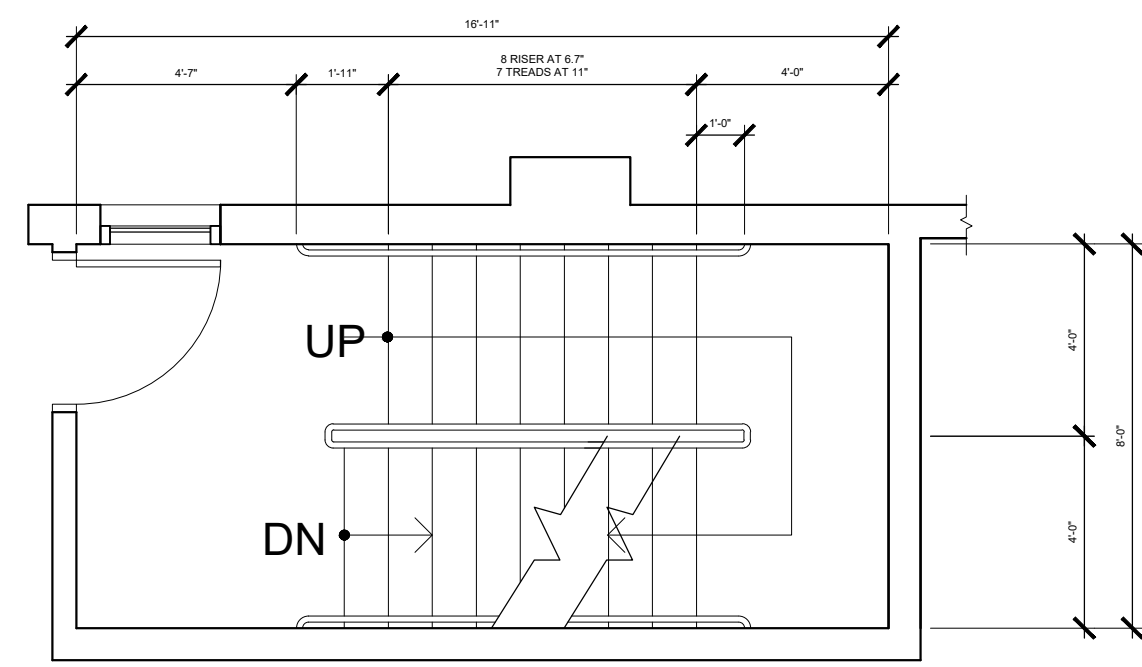
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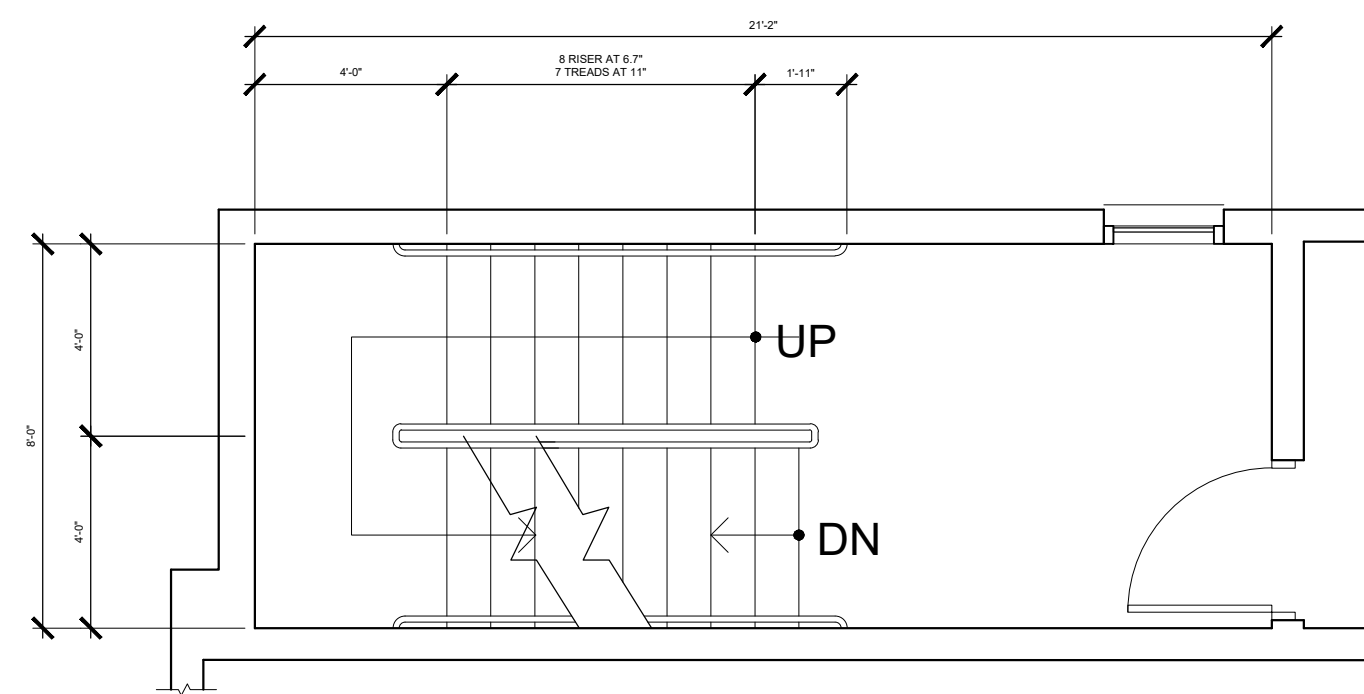
DRAWN BY: A.M
CHECKED BY: AK
DATE: 02-11-2020
SCALE: AS NOTED
JOB NO.: 2019-115
SHEET:

A4.0

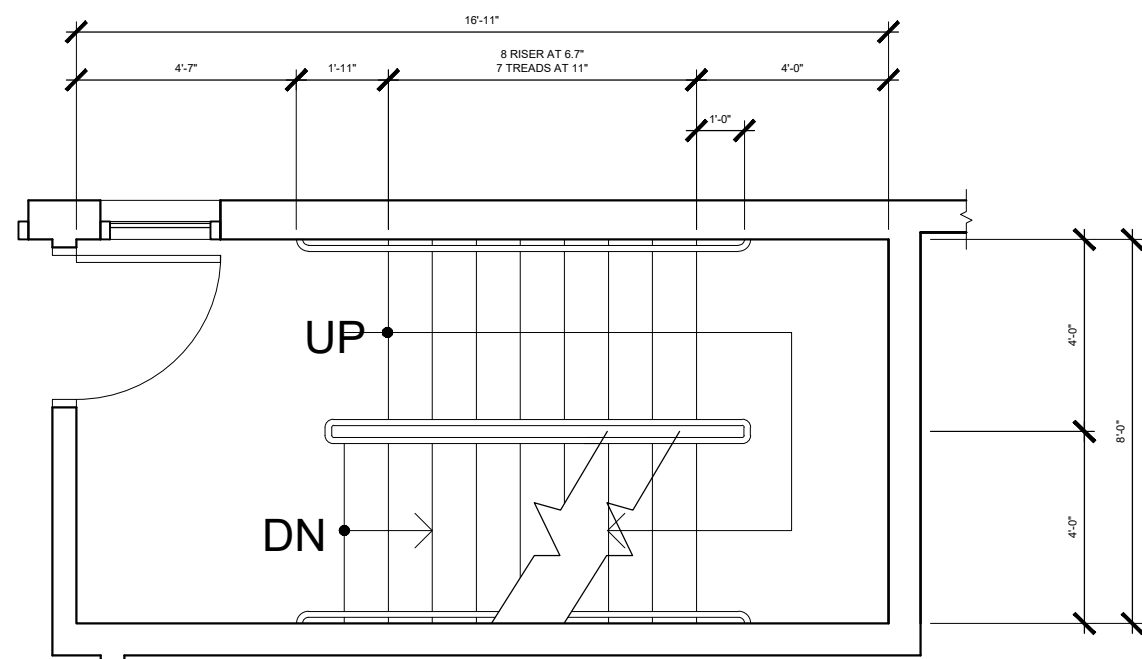
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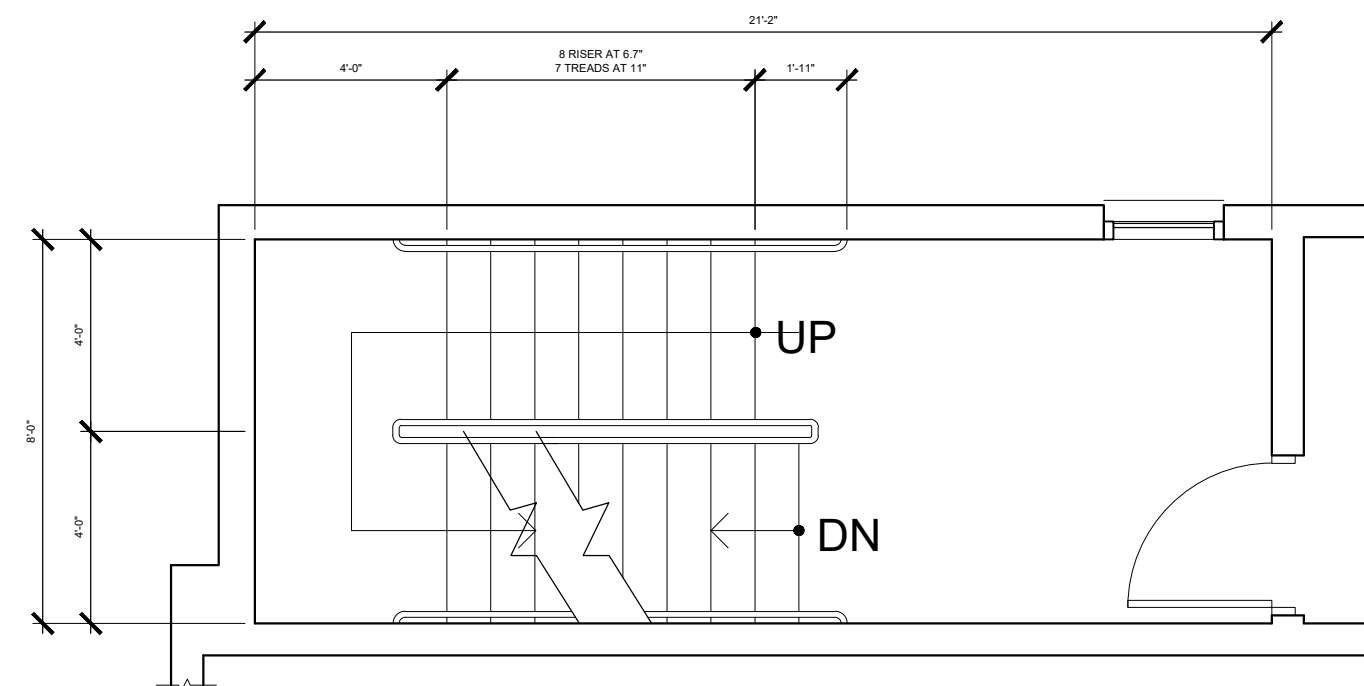
5 STAIR#1 THIRD FLOOR
SC. 1/4"=1'



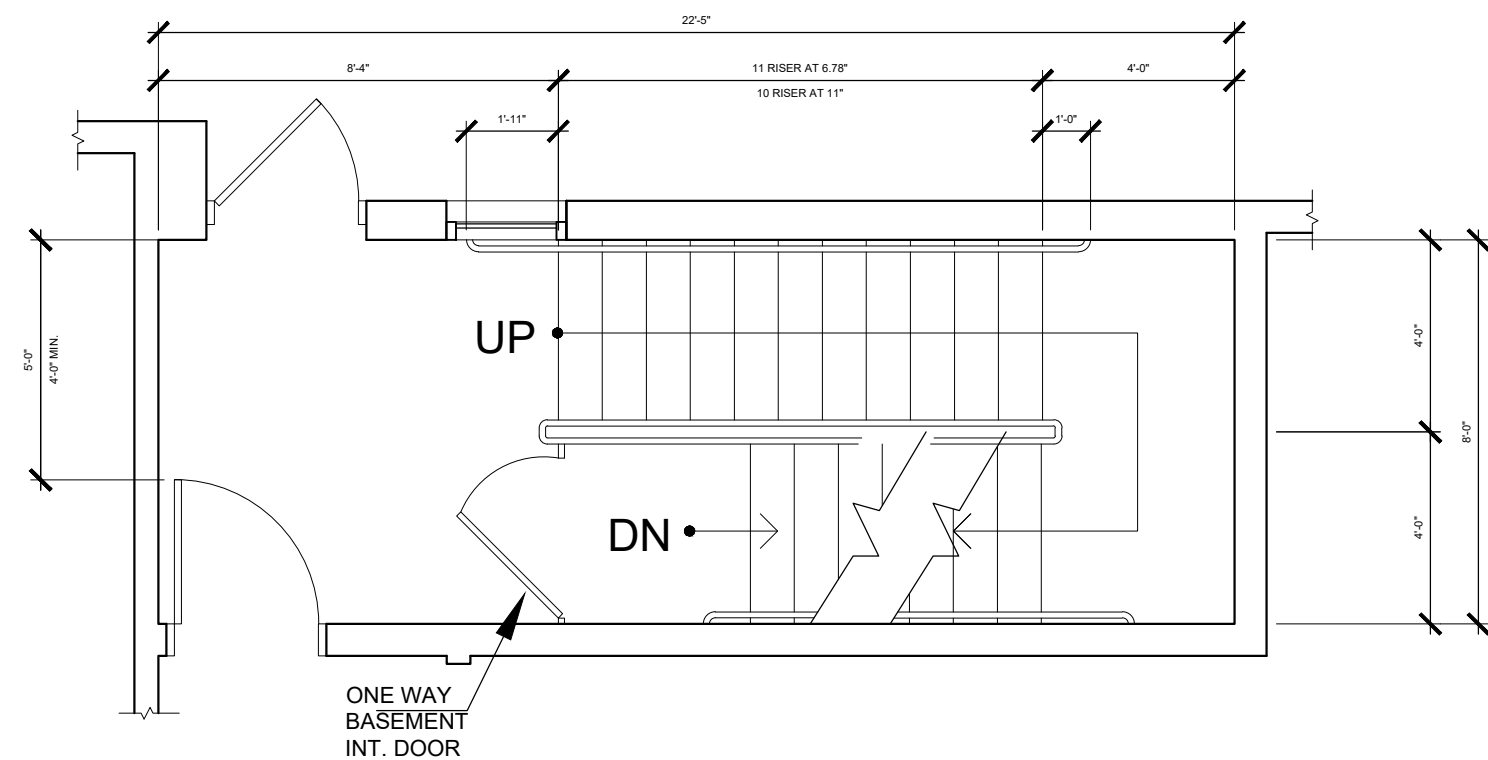
6 STAIR#2 THIRD FLOOR
SC. 1/4"=1'



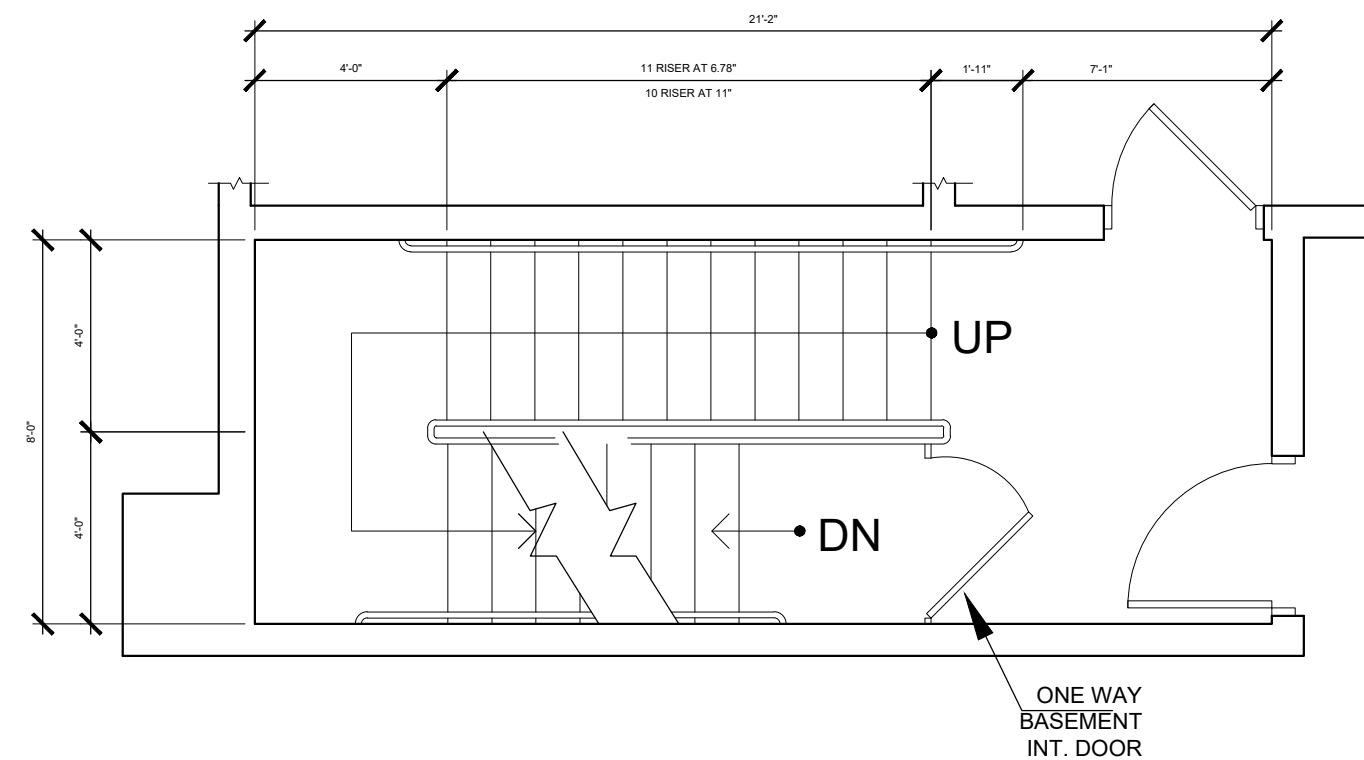
3 STAIR#1 SECOND FLOOR
SC. 1/4"=1'



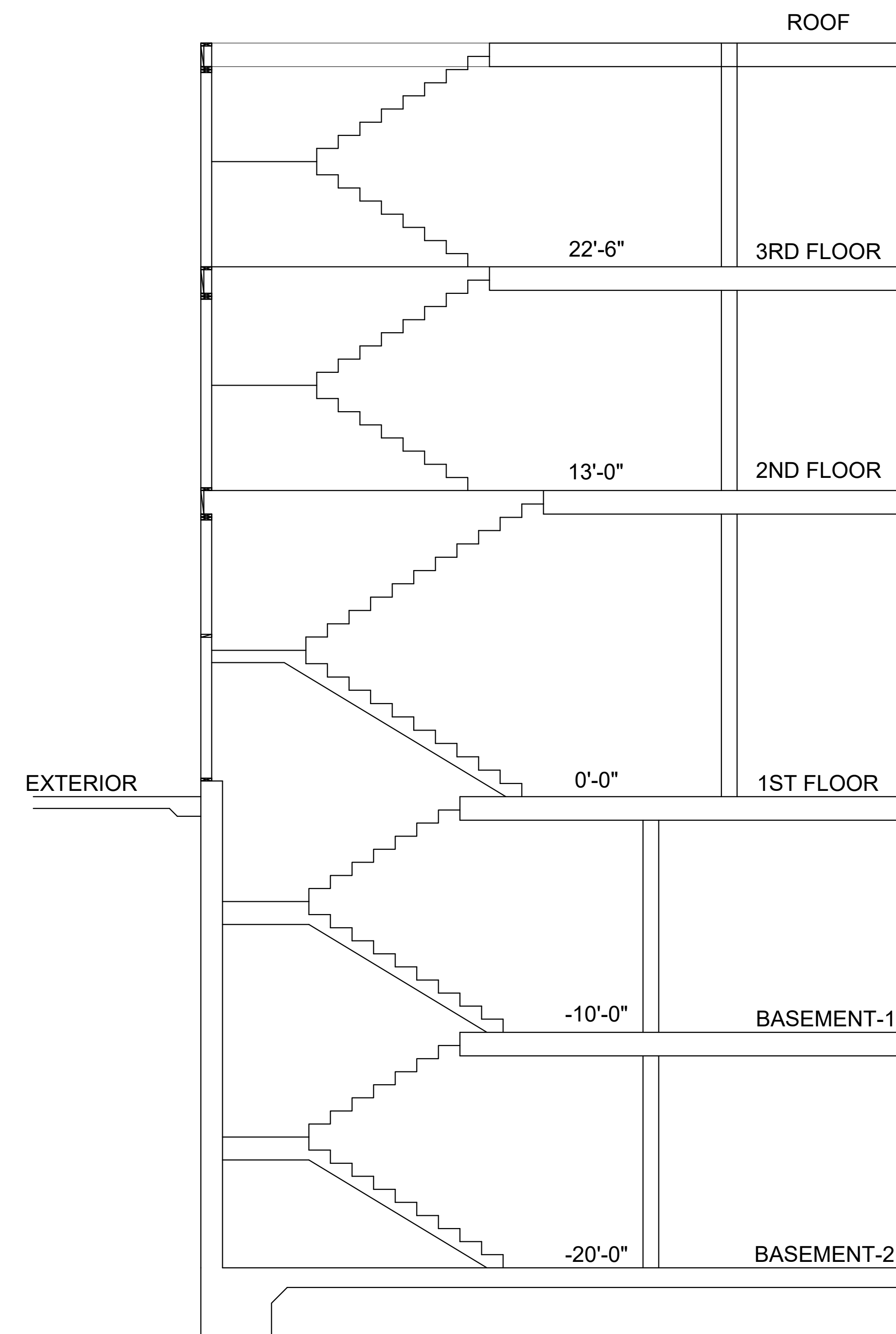
4 STAIR#2 SECOND FLOOR
SC. 1/4"=1'



2 STAIR#1 FIRST FLOOR
SC. 1/4"=1'



1 STAIR#2 FIRST FLOOR
SC. 1/4"=1'



1 TYPICAL STAIR SECTION
SC. 1/4"=1'

REVISIONS	BY

OWNER:
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1633 Victory, Glendale, CA 91201

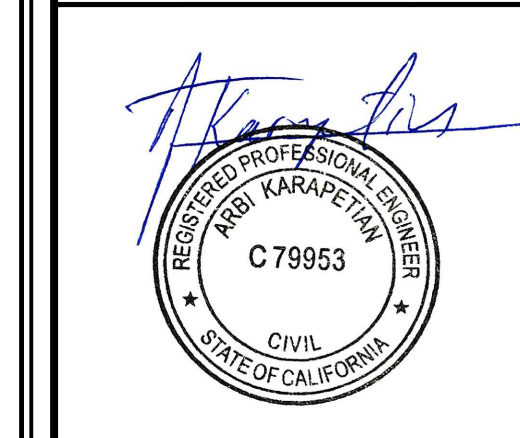
DESCRIPTION:
NEW HOTEL

DRAWING TITLE: ENLARGED STAIRS/SECTION

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DRAWN BY: A.M
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DATE: 02-11-2020
SCALE: AS NOTED
JOB NO.: 2019-115
SHEET:

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OWNER:
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ENGINEER:
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PROJECT:
1633 Victory, Glendale, CA 91201

DESCRIPTION:
NEW HOTEL

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TUJUNGA, CA 91042



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DATE: 02-11-2020

SCALE: AS NOTED

JOB NO.: 2019-115

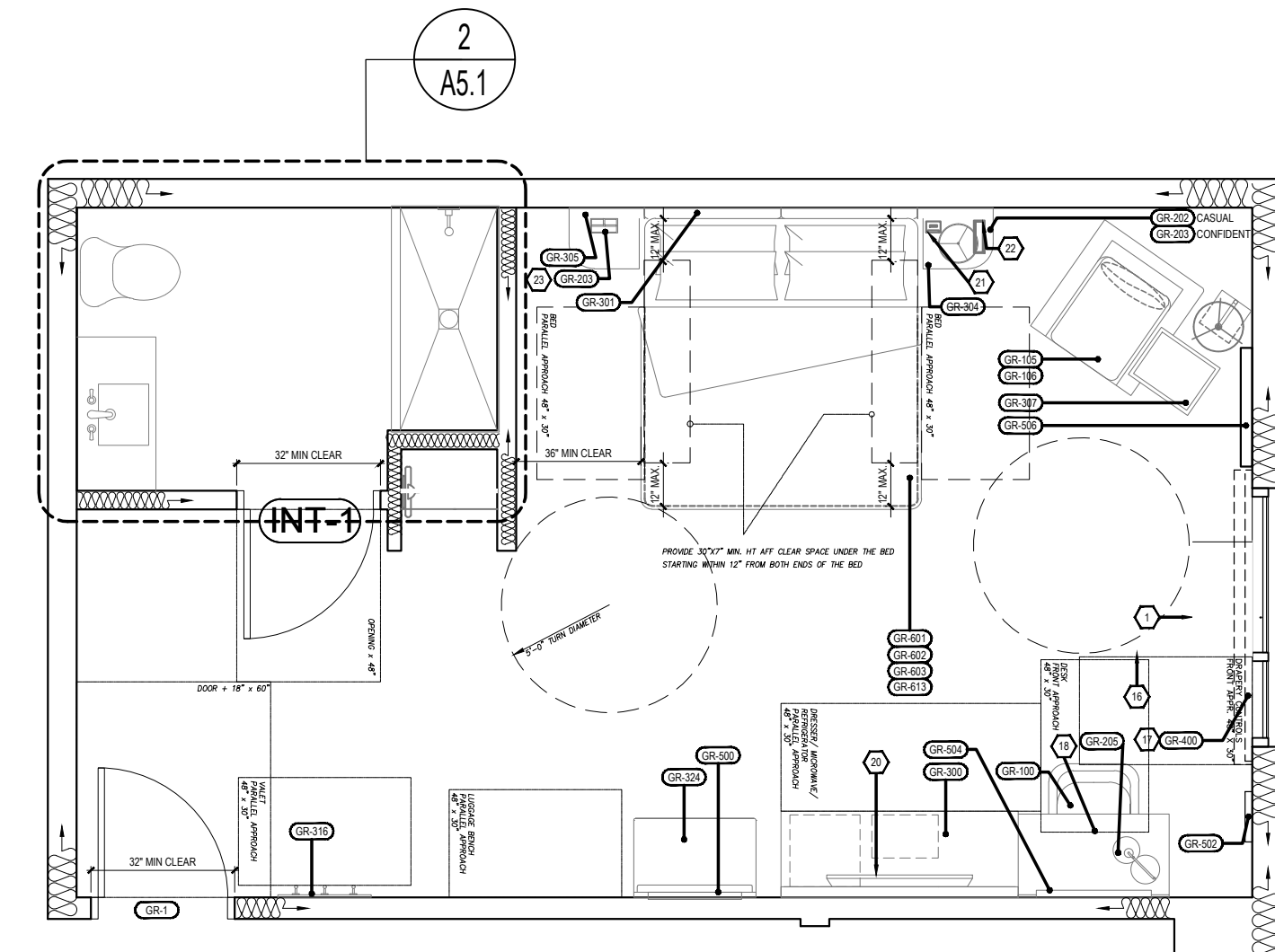
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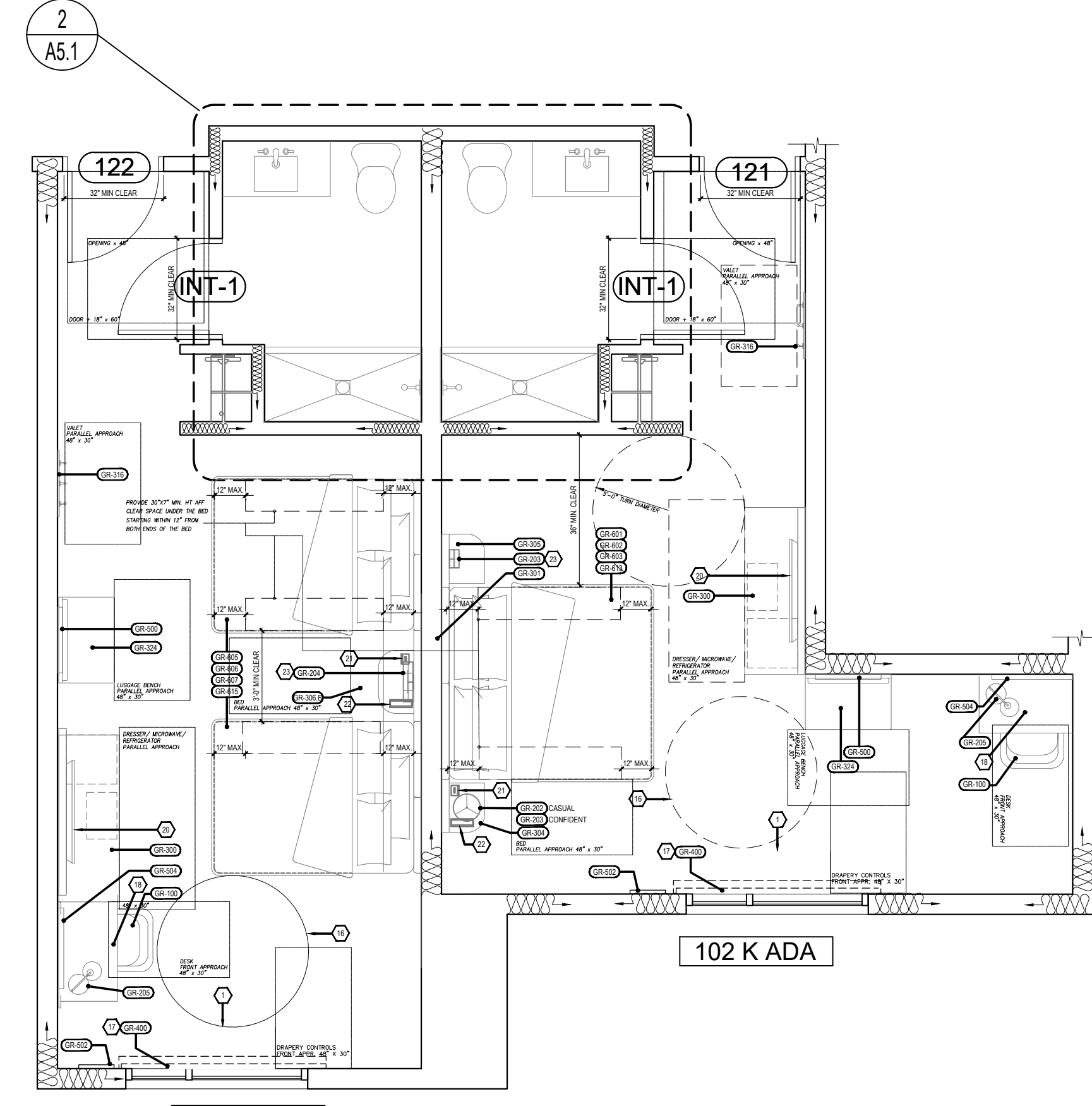
DRAWING TITLE: ENLARGE ROOM PLANS

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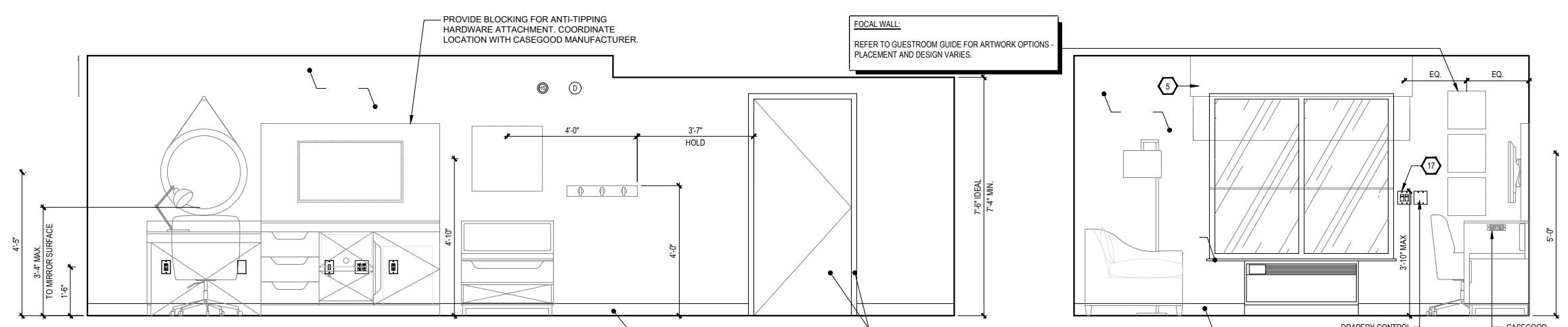
- KEYNOTES**
- FULL HEIGHT CORNER GUARD, NO EXPOSED FASTENERS, COLOR TO COORDINATE WITH WALL
 - CASED OPENING - PAINTED
 - MOISTURE RESISTANT GYP. BD. [TYP.]
 - CLOSET ROD TUBING # 770 1 CHR. FLANGE #735 CHR. MFG BY KNAPE AND VOGT (616-459-3311 / KNAPEANDVOGT.COM). MOUNT AT 66" A.F.F. IN TYP. GUESTROOM. AT ACCESSIBLE GUESTROOMS PROVIDE HALF THE CLOSET ROD LENGTH AT 44" A.F.F.
-PROVIDE ACCESSIBLE TUBING ON MOST ACCESSIBLE SIDE OF CLOSET
 - TYP. GUESTROOM CLOSET WOOD SHELF W/ HARDWOOD EDGE @ 66" A.F.F. IN ACCESSIBLE GUESTROOMS WITH MOBILITY FEATURES. PROVIDE HALF THE CLOSET SHELF @ 48" A.F.F. -PROVIDE ACCESSIBLE HANG ROD ON MOST ACCESSIBLE SIDE OF CLOSET - REFER TO CLOSET DETAIL
 - IRONING BOARD
 - NOT USED
 - ARTWORK
 - FLOATING TOWEL SHELVES (CR-312)
 - WALL MOUNTED LIGHT FIXTURE
 - FRAMED MIRROR
 - TYPICAL GUEST VANITY - REFER TO GUEST ROOM DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
 - APPROVED SHOWER PAN - REFER TO HAMPTON STANDARD
 - APPROVED SHOWER SURROUND - REFER TO HAMPTON STANDARD
 - CONTROL VALVE
 - SHOWER HEAD, ROUGH IN HEIGHT BETWEEN 6'-10" AND 7'-0" ABOVE FINISH
 - SLIDING GLASS SHOWER DOOR - CUSTOM HEIGHT
 - SHOWER BAR / DRAWER PULL TO BE USED AS SECONDARY TOWEL HOLDER
 - TILE BASE-REFER TO HAMPTON STANDARDS
 - BATHUB - REFER TO HAMPTON STANDARDS
 - FLUSH LEVER MUST BE POSITIONED ON OPEN SIDE OF WATER CLOSET AS SHOWN
 - MIRROR COMPLIANT WITH ACCESSIBILITY REQS. MOUNT BOTTOM OF GLASS AT 48" MAX. AFF
 - TYPICAL ACCESSIBLE GUEST VANITY - REFER TO GUEST ROOM DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
 - PROTECT PIPES PER ACCESSIBILITY REQUIREMENTS
 - ACCESSIBLE SHOWER FLOOR NOT TO EXCEED 1:48 IN ANY DIRECTION
 - PROVIDE INSULATED FLOOR DRAIN IN THIS LOCATION FOR GUEST BATHS EQUIPPED WITH A ROLL-IN SHOWER DRAIN WITH 1/2" DIA. DSH. FLOOR SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION. PROVIDE TRAP PRIMER - COMPLY ALSO WITH LOCAL CODE WHERE APPLICABLE
 - CONTROL VALVE LOCATION FOR ACCESSIBLE ROOMS WITH MOBILITY FEATURES
 - ACCESSIBLE ADJUSTABLE SHOWER HEAD FOR ACCESSIBLE ROOMS WITH MOBILITY FEATURES - REFER TO HAMPTON STANDARDS
 - PADED REMOVABLE ACCESSIBLE TUB SEAT. TO BE 15'-14" DEEP AND AT 17'-1/2" ABOVE FINISHED FLOOR WHEN IN USE
 - ACCESSIBLE BATH TUB
 - REFER TO TYPICAL BATH TUB DRAWING - 2 / A5.53
 - PROVIDE ADDITIONAL TOWEL HOOK WITH TUB OPTION
 - TOWEL CADDY
- FINISH LEGEND:**
- | | | | |
|-----|---------------------|-------|---------------------------------------|
| B | BASE | NOTE: | REFER TO FRAE SPECIFICATIONS |
| C | CARPET | | MANUAL FOR FINISH ITEMS NOT |
| M | METAL | | SPECIFICALLY IDENTIFIED WITHIN THESE |
| PT | PAINT | | DRAWINGS. |
| RF | RESILIENT FLOORING | | RECOMMENDED PLACEMENT OF WALL |
| SF | SPECIAL FINISH | | FINISHES WITH REFERENCE TO EACH |
| SI | SPECIAL ITEM | | DESIGN ATTITUDE ARE IDENTIFIED IN THE |
| ST | STONE | | GUESTROOM DESIGN GUIDE. |
| T | TILE | | |
| VWC | VINYL WALL COVERING | | |
| W | WOOD FINISH | | |
- ELECTRICAL LEGEND**
- | PLAN | ELEV. | DESCRIPTION |
|------|-------|---|
| | | DUPLEX OUTLET |
| | | QUADPLEX OUTLET |
| | | GF OUTLET |
| | | TELEPHONE OUTLET |
| | | TV OUTLET |
| | | SWITCH |
| | | REMOTE THERMOSTAT |
| | | SMOKE DETECTOR |
| | | STROBE (N.C.F. ROOMS ONLY) |
| | | FIRE HORN (STANDARD ROOMS) |
| | | FIRE HORN, STANDARD ROOMS |
| | | SIDE WALL SPRINKLER HEAD |
| | | DOORBELL LIGHT (C.F. ROOMS ONLY) |
| | | HSA (WIRED WHERE APPLICABLE) |
| | | JUNCTION BOX |
| | | EXHAUST FAN |
| | | LIGHT AT CEILING |
| | | DOORBELL MOUNT AT 48" AFF TO CENTER OF BUTTON (C.F. ROOMS ONLY) |
- ALERT!**
- VISUAL ALARMS TO BE FULLY VISIBLE FROM ALL AREAS OF ROOM
- GENERAL NOTES**
- AT ADJACENT ROOMS, ELECTRICAL OUTLET LOCATIONS, INCLUDING TV AND TELEPHONE OUTLETS, SHALL BE OFFSET 6" FOR INSTALLATION. BACK TO BACK OUTLETS ARE NOT ALLOWED. ELECTRICAL CORDS SHOULD BE HIDDEN FROM VIEW. REFER TO OUTLET DETAIL.
 - LIGHT SWITCH AND G.F.I. OUTLETS CAN BE MOUNTED IN A COMMON 4x4 BOX WITH COVER PLATE. COORDINATE CLEARANCES AS REQUIRED.
 - THE HEIGHT OF ALL SWITCHES, OUTLETS, ETC., TO MEET ACCESSIBILITY STANDARDS AT A MINIMUM AND/OR LOCAL CODE REQUIREMENTS, WHICHEVER IS STRICTER. SWITCHES ON LAMPS MUST BE TOGGLE TYPE.
 - ELECTRICAL OUTLETS AT DESKS ARE TO BE COORDINATED WITH HAMPTON STANDARDS, DEPENDING ON FRAE PROVIDED. CERTAIN OUTLETS MAY NOT BE REQUIRED.
 - CEILING MOUNTED LIGHT FIXTURE AND FAN AT ALL GUEST ROOM BATHS TO BE SWITCHED SEPARATELY FROM LIGHT. SLOPE FLOORS TO DRAIN. SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION.
 - ANY LIGHT FIXTURES OVER WET AREAS TO BE DAMP LOCATION RATED W/ SHATTERPROOF LENS.
 - COORDINATE BATH DOOR SWING WITH MOUNTING LOCATION OF CURVED SHOWER ROD AND STYLE OF DOOR STOP.
 - ROLL IN SHOWER COMPARTMENTS ARE REQUIRED IN A MINIMUM NUMBER OF ACCESSIBLE ROOMS PER ACCESSIBILITY REQUIREMENTS.
 - ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT RATED GYPSUM BOARD. CEILING AT BATH SHALL BE MOISTURE RESISTANT RATED CEILING BOARD.
 - WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE, ETC.
 - REFER TO GUEST BATH ACCESSORY LEGEND-REFER TO HAMPTON STANDARDS FOR SPECIFIC REQUIREMENTS
 - ACCESSIBLE CLEARANCES INDICATED IN THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. DESIGNER OF RECORD SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS PER LOCAL AND NATIONAL CODES.
 - WALL MOUNTED EQUIPMENT, FIXTURES, ETC., BETWEEN 27" AND 87" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL PER ACCESSIBILITY STANDARDS.



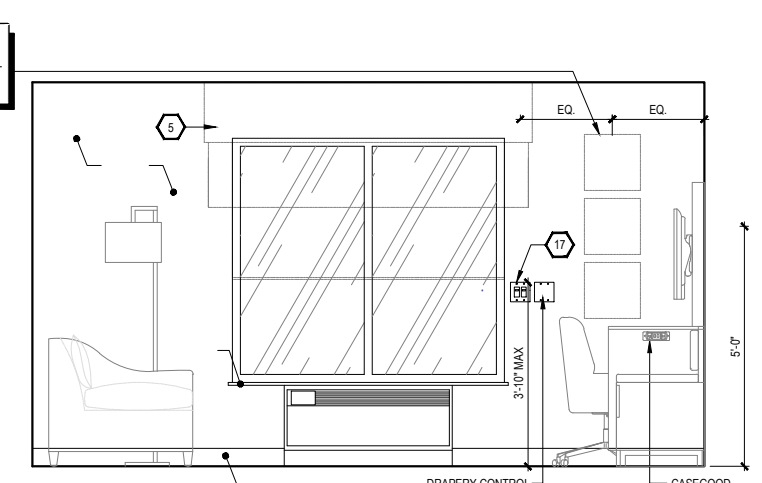
ENLARGED PLAN - ADA KING GESTROOM (101)
SCALE: 1/4" = 1'-0"



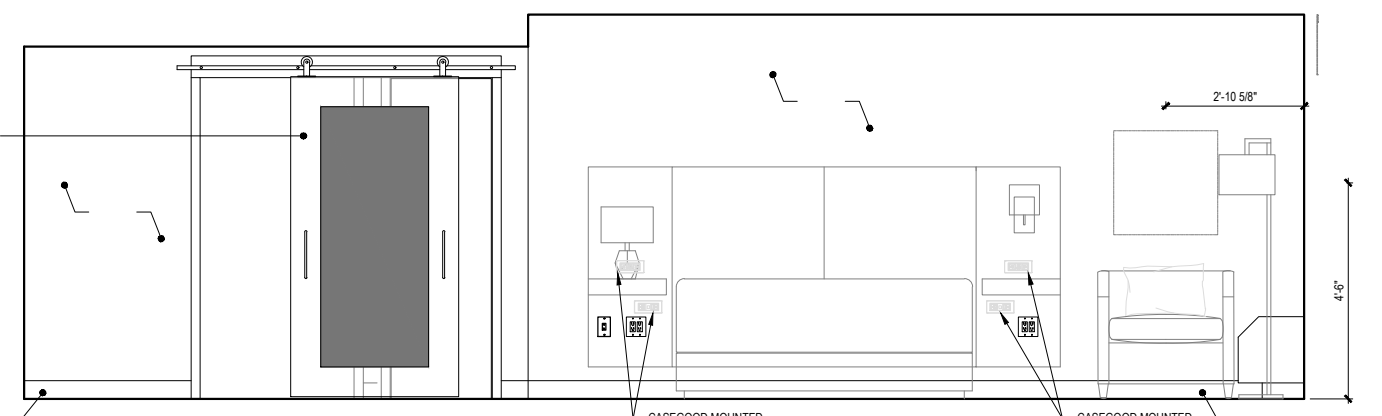
ENLARGED PLAN - ADA K,QQ GESTROOM (102,104)
SCALE: 1/8" = 1'-0"



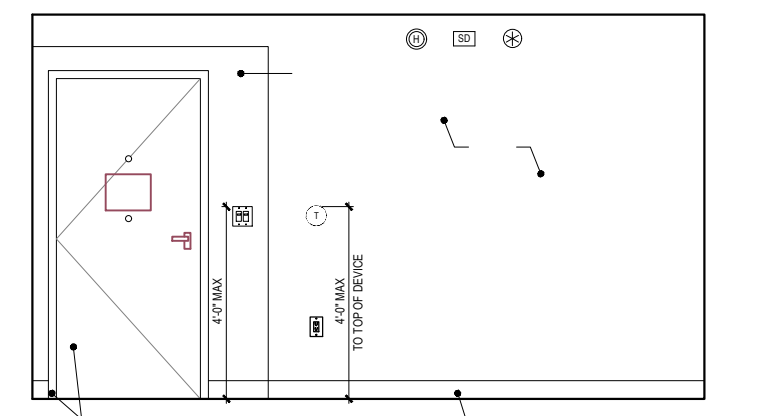
INTERIOR ELEVATION - DESK WALL
SCALE: 1/4" = 1'-0"



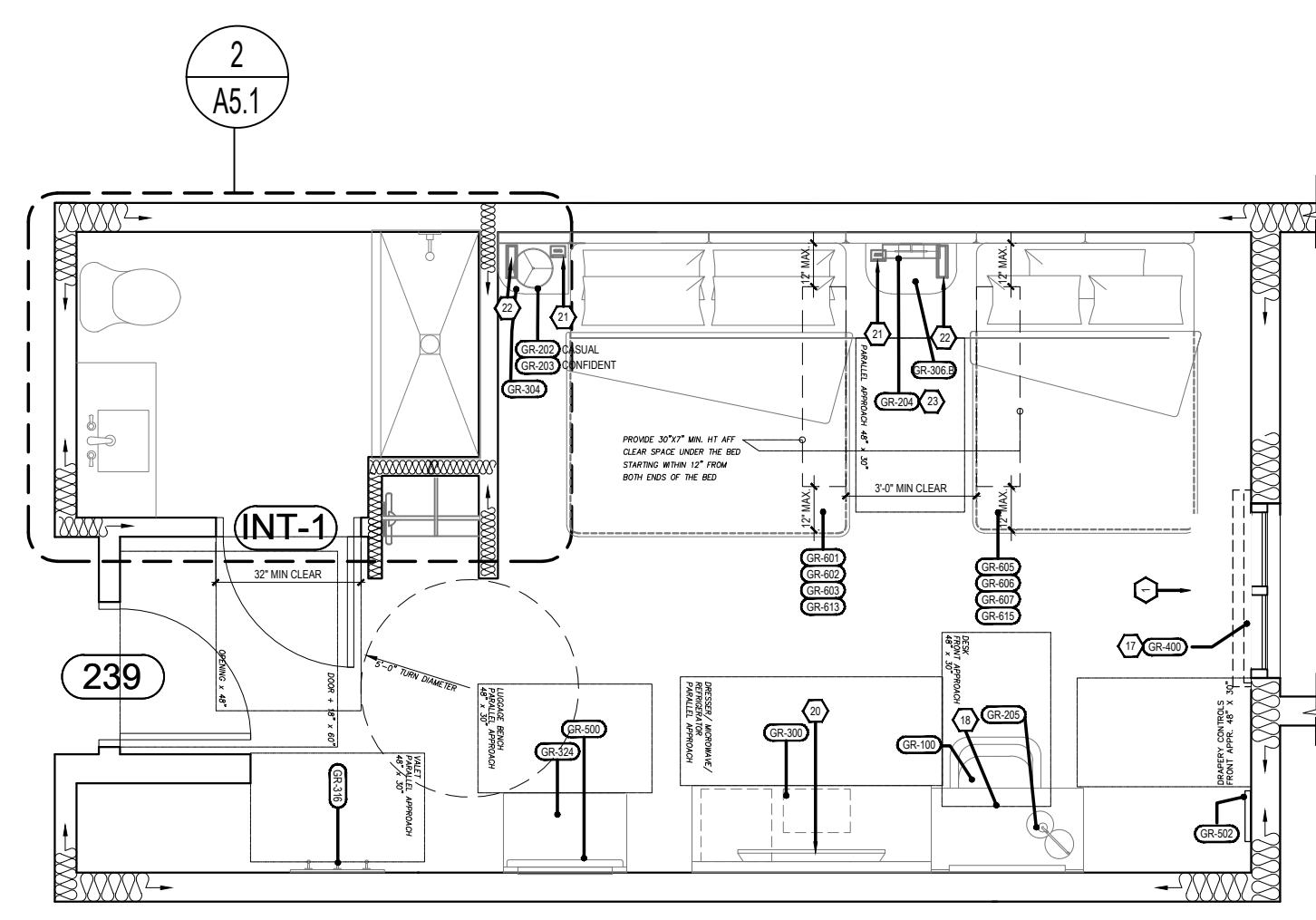
INTERIOR ELEVATION - WINDOW WALL
SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION - BED WALL
SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION - BATH WALL
SCALE: 1/4" = 1'-0"



ENLARGED PLAN - ADA KQ GESTROOM (217)
SCALE: 1/8" = 1'-0"

REVISIONS	BY

OWNER:
AV Hospitality, LLC

ENGINEER:
K&M ENGINEERING AND DESIGN CORP.

PROJECT:
1633 Victory, Glendale, CA 91201

DESCRIPTION:
NEW HOTEL

DRAWING TITLE: ENLARGE RESTROOMS

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6854 FOOTHILL BLVD.
TUJUNGA, CA 91042



DRAWN BY: A.M

CHECKED BY: AK

DATE: 02-11-2020

SCALE: AS NOTED

JOB NO.: 2019-115

SHEET:

A5.1

- KEYNOTES**
- FULL HEIGHT CORNER GUARD, NO EXPOSED FASTENERS, COLOR TO COORDINATE WITH WALL
 - CASED OPENING - PAINTED
 - MOISTURE RESISTANT GYP. BD. [TYP.]
 - CLOSET ROD TUBING # 770-1 CHR. FLANGE #735 CHR. MFG BY KNAPE AND VOGT (616-459-3311 / KNAPEANDVOGT.COM), MOUNT AT 66" A.F.F. IN TYP. GUESTROOM. AT ACCESSIBLE GUESTROOMS PROVIDE HALF THE CLOSET ROD LENGTH AT 44" A.F.F.
-PROVIDE ACCESSIBLE TUBING ON MOST ACCESSIBLE SIDE OF CLOSET
 - TYP. GUESTROOM CLOSET WOOD SHELF W/ HARDWOOD EDGE @ 66" A.F.F. IN ACCESSIBLE GUESTROOMS WITH MOBILITY FEATURES, PROVIDE HALF THE CLOSET SHELF @ 48" A.F.F.
-PROVIDE ACCESSIBLE HANG ROD ON MOST ACCESSIBLE SIDE OF CLOSET - REFER TO CLOSET DETAIL
 - IRONING BOARD
 - NOT USED
 - ARTWORK
 - FLOATING TOWEL SHELVES (OR-312)
 - WALL MOUNTED LIGHT FIXTURE
 - FRAMED MIRROR
 - TYPICAL GUEST VANITY - REFER TO GUEST ROOM DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
 - APPROVED SHOWER PAN - REFER TO HAMPTON STANDARD
 - APPROVED SHOWER SURROUND - REFER TO HAMPTON STANDARD
 - CONTROL VALVE
 - SHOWER HEAD, ROUGH IN HEIGHT BETWEEN 6'-10" AND 7'-0" ABOVE FINISH
 - SLIDING GLASS SHOWER DOOR - CUSTOM HEIGHT
 - SHOWER BAR / DRAWER PULL TO BE USED AS SECONDARY TOWEL HOLDER
 - TILE BASE-REFER TO HAMPTON STANDARDS
 - BATHUB - REFER TO HAMPTON STANDARDS
 - FLUSH LEVER MUST BE POSITIONED ON OPEN SIDE OF WATER CLOSET AS SHOWN
 - MIRROR COMPLIANT WITH ACCESSIBILITY REGS. MOUNT BOTTOM OF GLASS AT 40" MAX. AFF
 - TYPICAL ACCESSIBLE GUEST VANITY - REFER TO GUEST ROOM DRAWINGS FOR GUEST ROOM FURNITURE SPECIFICATIONS
 - PROTECT PIPES PER ACCESSIBILITY REQUIREMENTS
 - ACCESSIBLE SHOWER FLOOR NOT TO EXCEED 1:48 IN ANY DIRECTION
 - PROVIDE INSULATED FLOOR DRAIN IN THIS LOCATION FOR GUEST BATHS EQUIPPED WITH A ROLL-IN SHOWER DRAIN WITH 1/2" DIA. DISH. FLOOR SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION. PROVIDE TRAP PRIMER - COMPLY ALSO WITH LOCAL CODE WHERE APPLICABLE
 - CONTROL VALVE LOCATION FOR ACCESSIBLE ROOMS WITH MOBILITY FEATURES
 - ACCESSIBLE ADJUSTABLE SHOWER HEAD FOR ACCESSIBLE ROOMS WITH MOBILITY FEATURES - REFER TO HAMPTON STANDARDS
 - PADDED REMOVABLE ACCESSIBLE TUB SEAT - TO BE 15"-16" DEEP AND AT 17"-19" ABOVE FINISHED FLOOR WHEN IN USE
 - ACCESSIBLE BATH TUB
 - REFER TO TYPICAL BATH TUB DRAWING - 2 / A5.53
 - PROVIDE ADDITIONAL TOWEL HOOK WITH TUB OPTION
 - TOWEL CADDY

FINISH LEGEND:

B	BASE
C	CARPET
M	METAL
PT	PAINT
RF	RESILIENT FLOORING
SF	SPECIAL FINISH
SI	SPECIAL ITEM
ST	STONE
T	TILE
VWC	VINYL WALL COVERING
W	WOOD FINISH

NOTE:
REFER TO FF&E SPECIFICATIONS MANUAL FOR FINISH ITEMS NOT SPECIFICALLY IDENTIFIED WITHIN THESE DRAWINGS.
RECOMMENDED PLACEMENT OF WALL FINISHES WITH REFERENCE TO EACH DESIGN ALTITUDE ARE IDENTIFIED IN THE GUESTROOM DESIGN GUIDE.

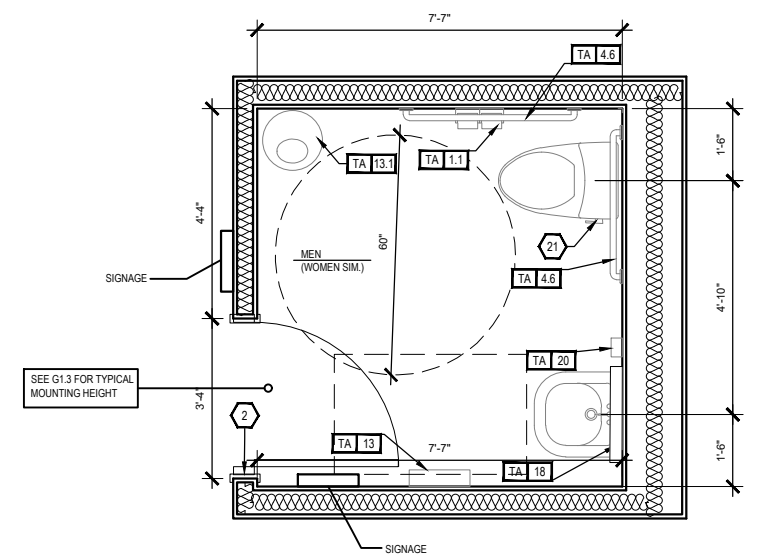
ELECTRICAL LEGEND

PLAN	ELEV.
	DUPLEX OUTLET
	QUADPLEX OUTLET
	GF OUTLET
	TELEPHONE OUTLET
	TV OUTLET
	SWITCH
	REMOTE THERMOSTAT
	SMOKE DETECTOR
	STROBE (IN C.F. ROOMS ONLY)
	FIRE HORN/STANDARD ROOMS
	FIRE HORN, STANDARD ROOMS
	SIDE WALL SPRINKLER HEAD
	DOORBELL LIGHT (C.F. ROOMS ONLY)
	HSIA (WIRED WHERE APPLICABLE)
	JUNCTION BOX
	EXHAUST FAN
	LIGHT AT CEILING
	DOORBELL MOUNT AT 48" AFF TO CENTER OF BUTTON (C.F. ROOMS ONLY)

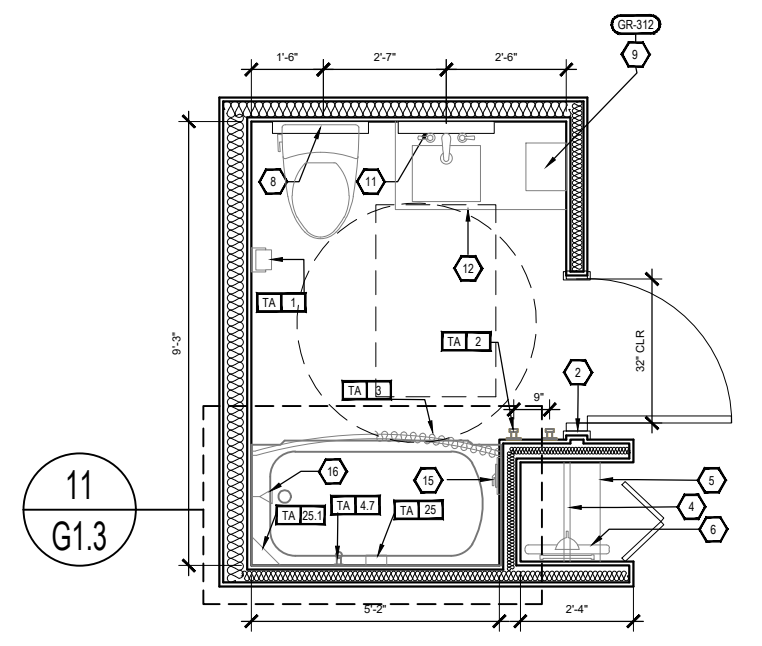
ALERT 1

VISUAL ALARMS TO BE FULLY VISIBLE FROM ALL AREAS OF ROOM

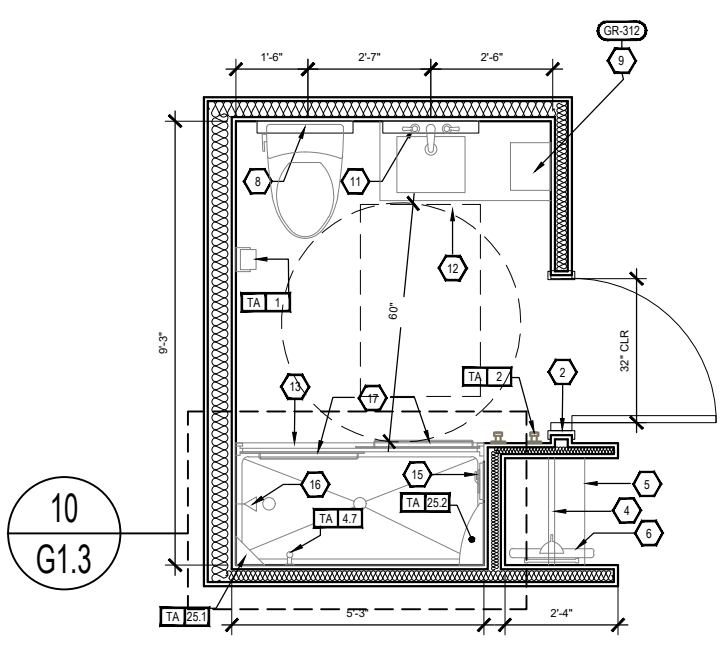
- GENERAL NOTES**
- AT ADJACENT ROOMS, ELECTRICAL OUTLET LOCATIONS, INCLUDING TV AND TELEPHONE OUTLETS, SHALL BE OFFSET 6" FOR INSTALLATION. BACK TO BACK OUTLETS ARE NOT ALLOWED. ELECTRICAL CORDS SHOULD BE HIDDEN FROM VIEW. REFER TO OUTLET DETAIL.
 - LIGHT SWITCH AND G.F.I. OUTLETS CAN BE MOUNTED IN A COMMON 4x4 BOX WITH COVER PLATE. COORDINATE CLEARANCES AS REQUIRED.
 - THE HEIGHT OF ALL SWITCHES, OUTLETS, ETC., TO MEET ACCESSIBILITY STANDARDS AT A MINIMUM AND/OR LOCAL CODE REQUIREMENTS, WHICHEVER IS STRICTER. SWITCHES ON LAMPS MUST BE TOGGLE TYPE.
ELECTRICAL OUTLETS AT DESKS ARE TO BE COORDINATED WITH HAMPTON STANDARDS, DEPENDING ON FF&E PROVIDED. CERTAIN OUTLETS MAY NOT BE REQUIRED.
 - CEILING MOUNTED LIGHT FIXTURE AND FAN AT ALL GUEST ROOM BATHS TO BE SWITCHED SEPARATELY FROM LIGHT. SLOPE FLOORS TO DRAIN. SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION.
 - ANY LIGHT FIXTURES OVER WET AREAS TO BE DAMP LOCATION RATED W/ SHATTERPROOF LENS.
 - COORDINATE BATH DOOR SWING WITH MOUNTING LOCATION OF CURVED SHOWER ROD AND STYLE OF DOOR STOP.
 - ROLL IN SHOWER COMPARTMENTS ARE REQUIRED IN A MINIMUM NUMBER OF ACCESSIBLE ROOMS PER ACCESSIBILITY REQUIREMENTS.
 - ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. CEILING AT BATH SHALL BE MOISTURE RESISTANT RATED CEILING BOARD.
 - WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE, ETC.
 - REFER TO GUEST BATH ACCESSORY LEGEND-REFER TO HAMPTON STANDARDS FOR SPECIFIC REQUIREMENTS
 - ACCESSIBLE CLEARANCES INDICATED IN THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. DESIGNER OF RECORD SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS PER LOCAL AND NATIONAL CODES.
 - WALL MOUNTED EQUIPMENT, FIXTURES, ETC., BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL PER ACCESSIBILITY STANDARDS.



1 ENLARGED PLAN - PUBLIC RESTROOM
SCALE: 3/4" = 1'-0"



11 ENLARGED PLAN- TYPICAL ACCESSIBLE TUB GUESTROOM
SCALE: 3/4" = 1'-0"



10 ENLARGED PLAN- TYPICAL ACCESSIBLE SHOWER GUESTROOM
SCALE: 3/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF K&M ENGINEERING AND DESIGN CORP., AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH K&M ENGINEERING AND DESIGN CORP.

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					19
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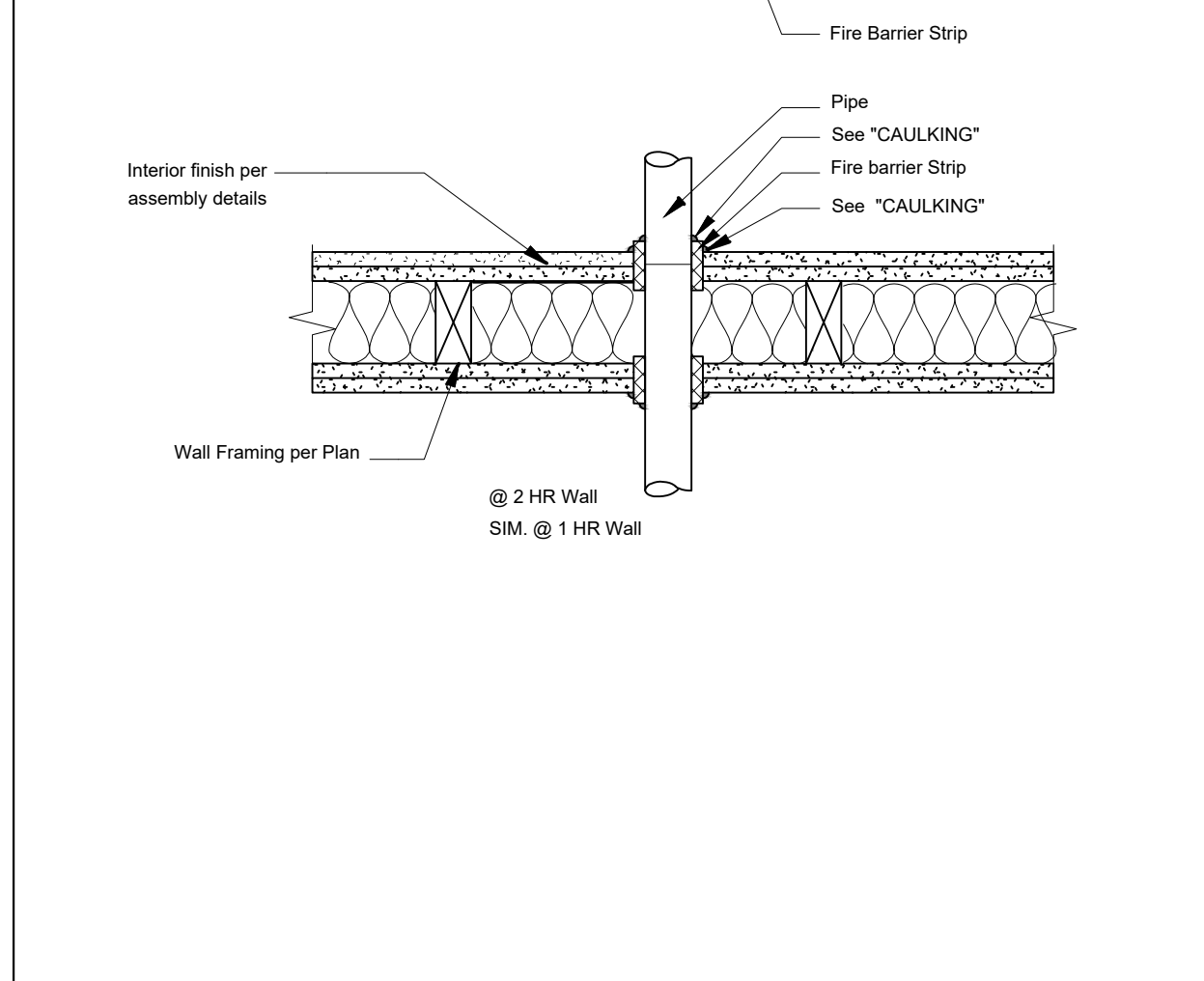
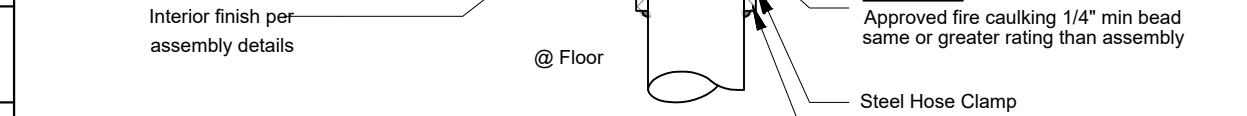
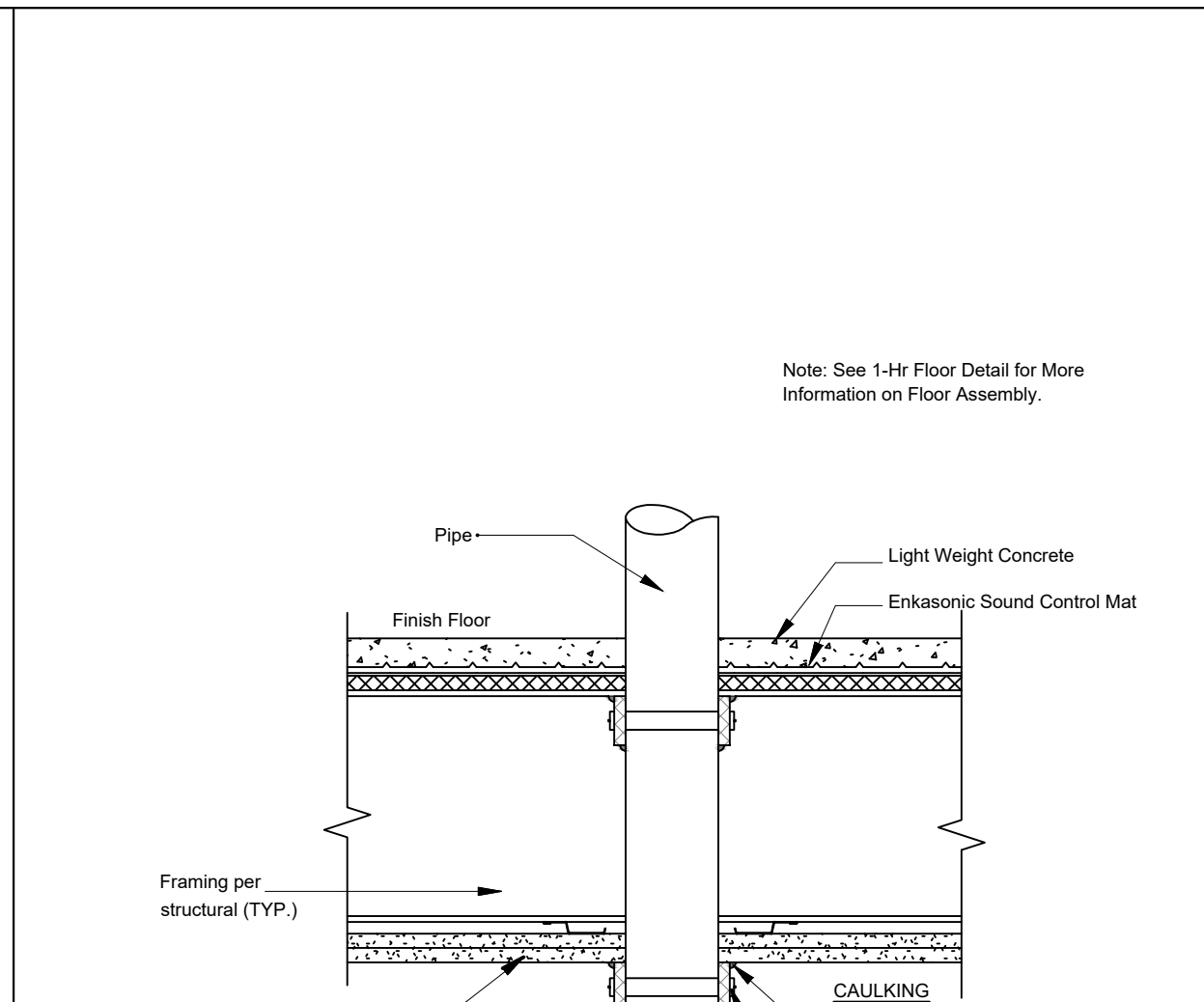
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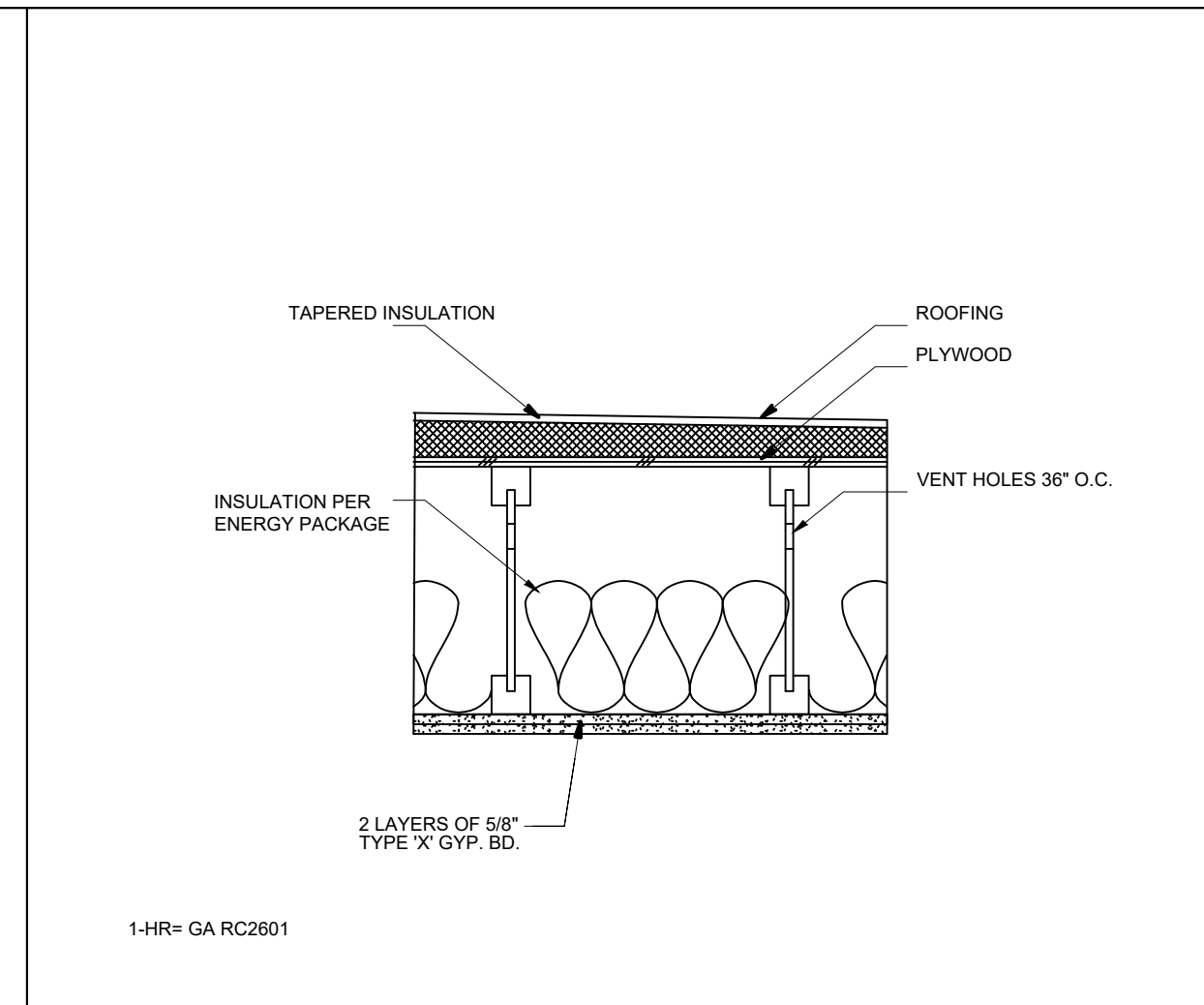
FIRE RATED PENETRATION	6
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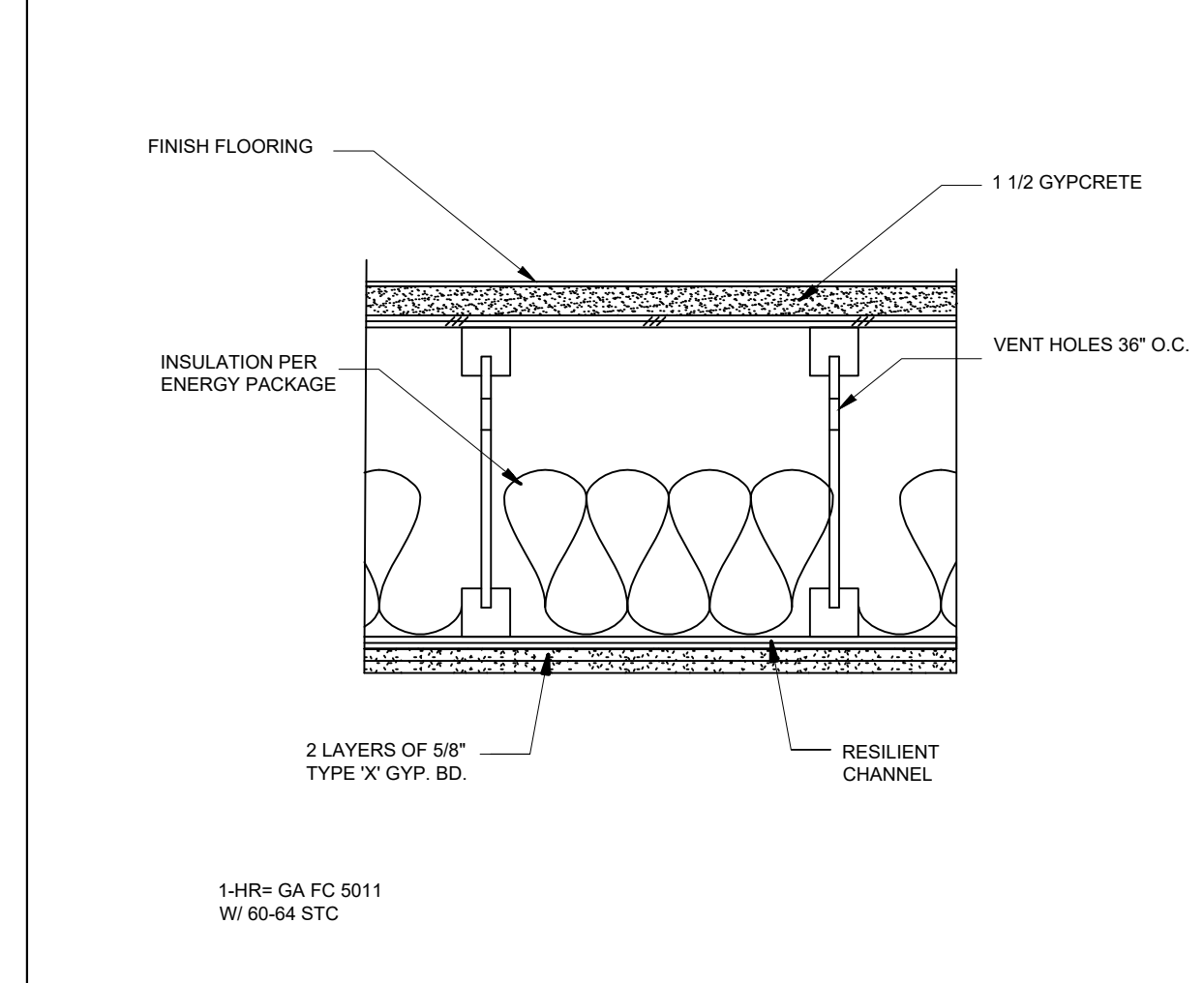
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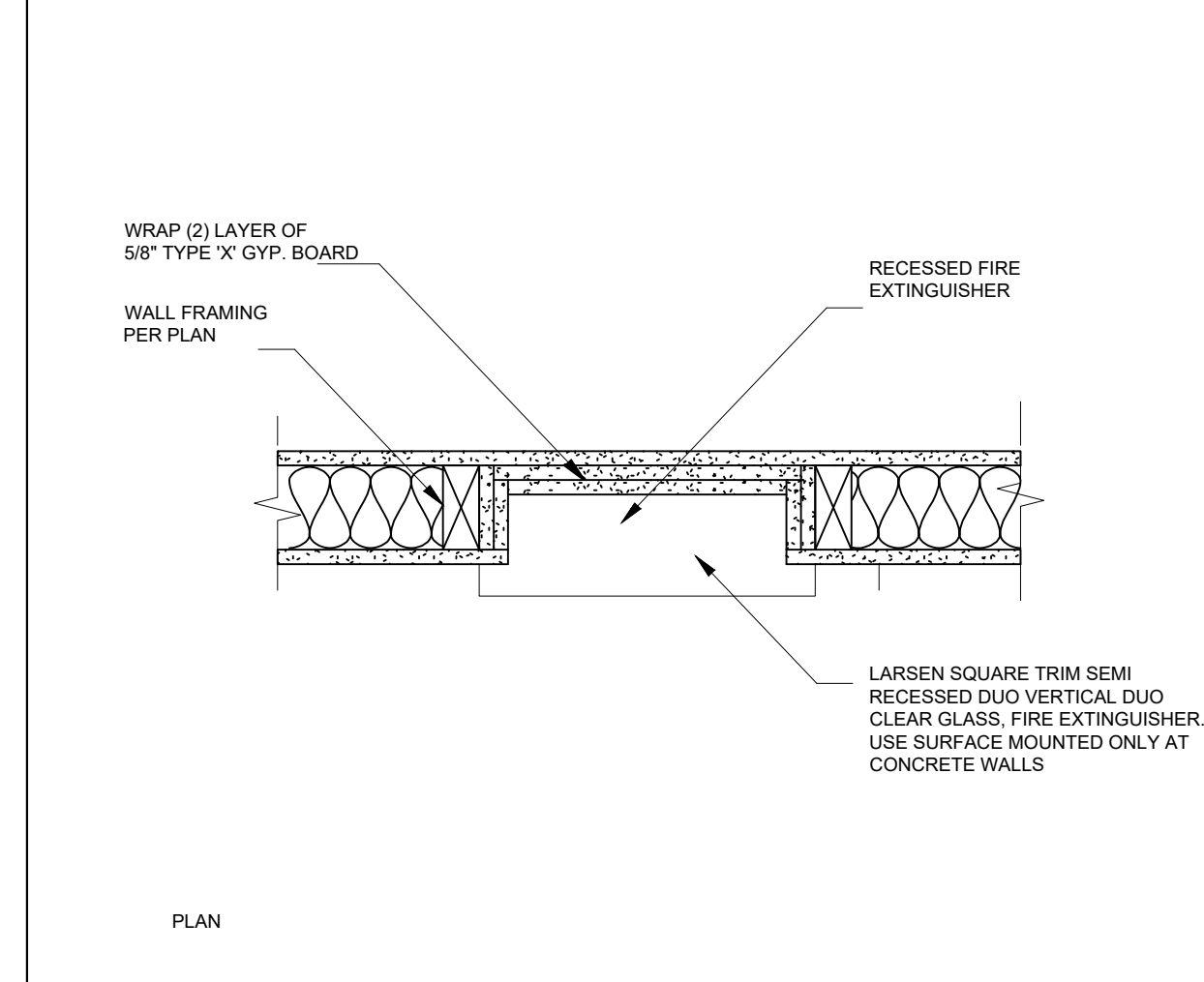
FIRE RATED PENETRATION	6
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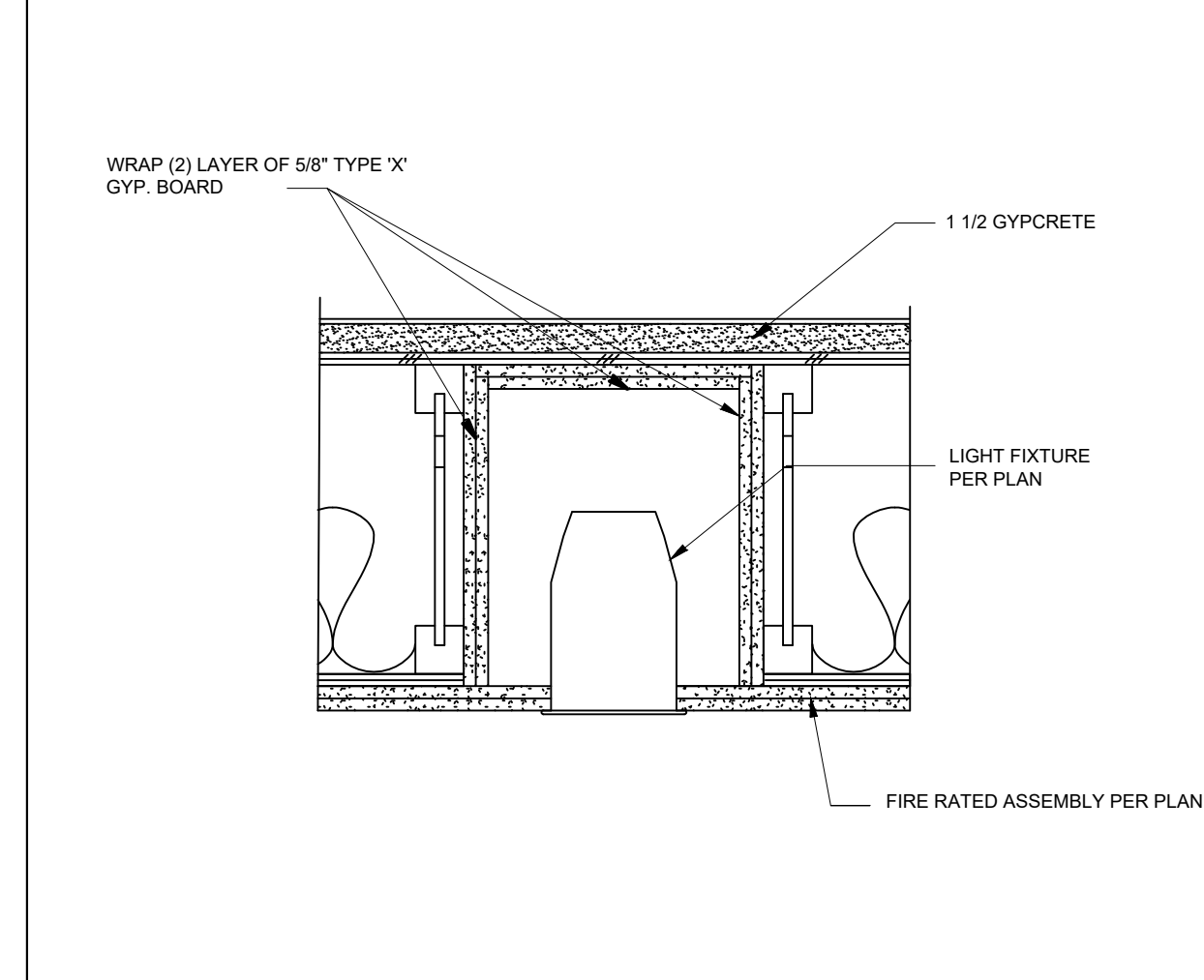
1-HR ROOF CEILING	5
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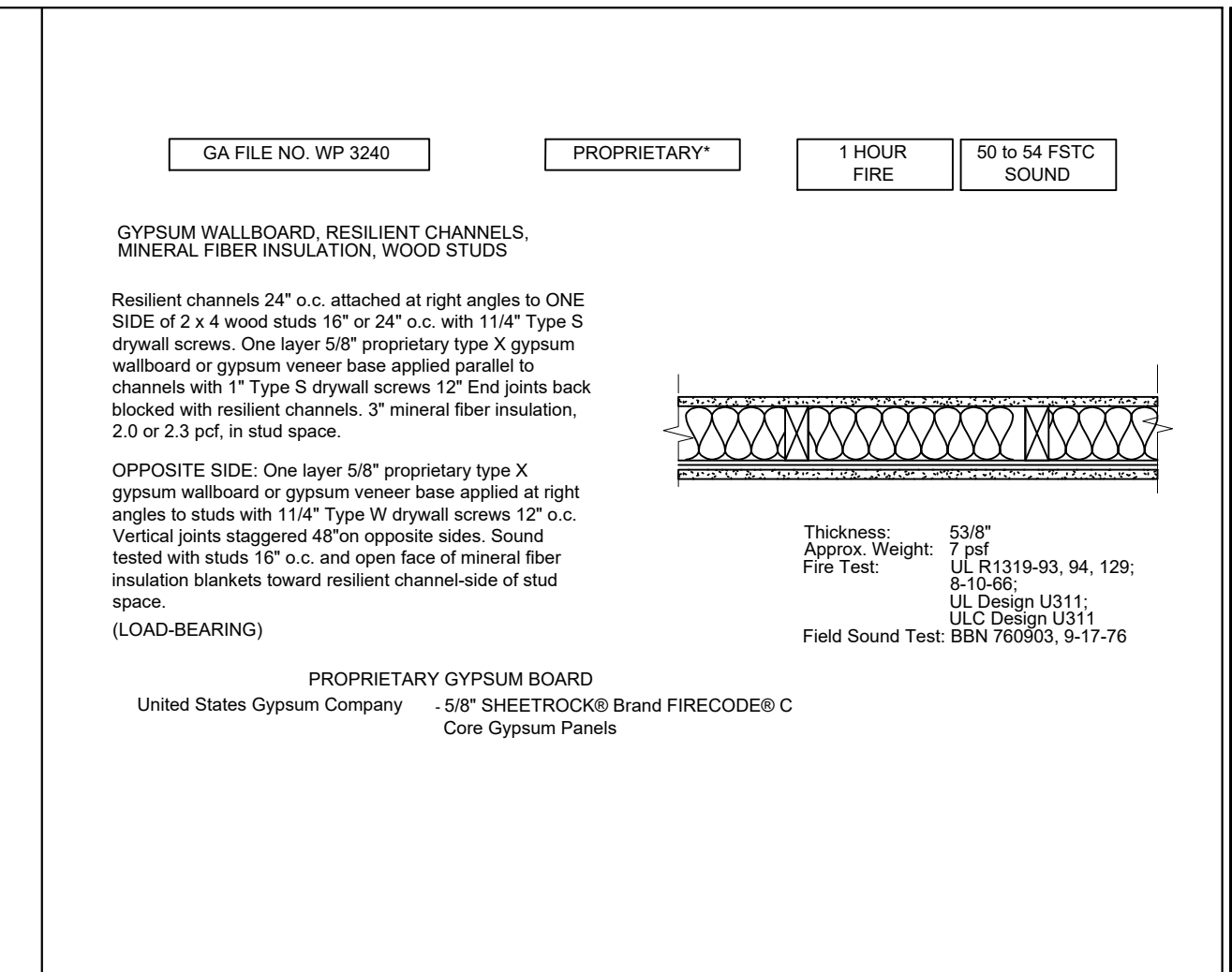
1-HR FLOOR / CEILING	6
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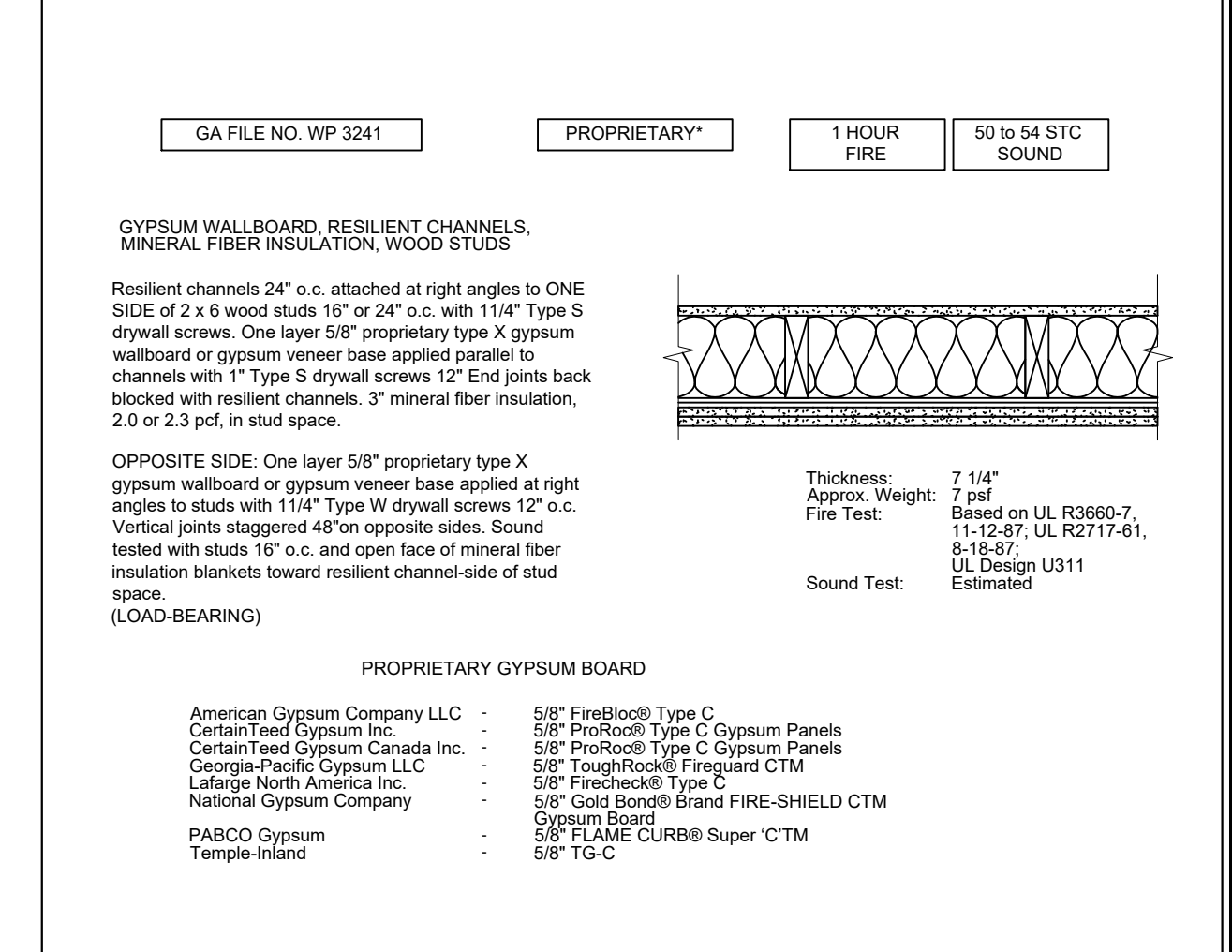
1-HR RECESSED FIRE EXTINGUISHER	7
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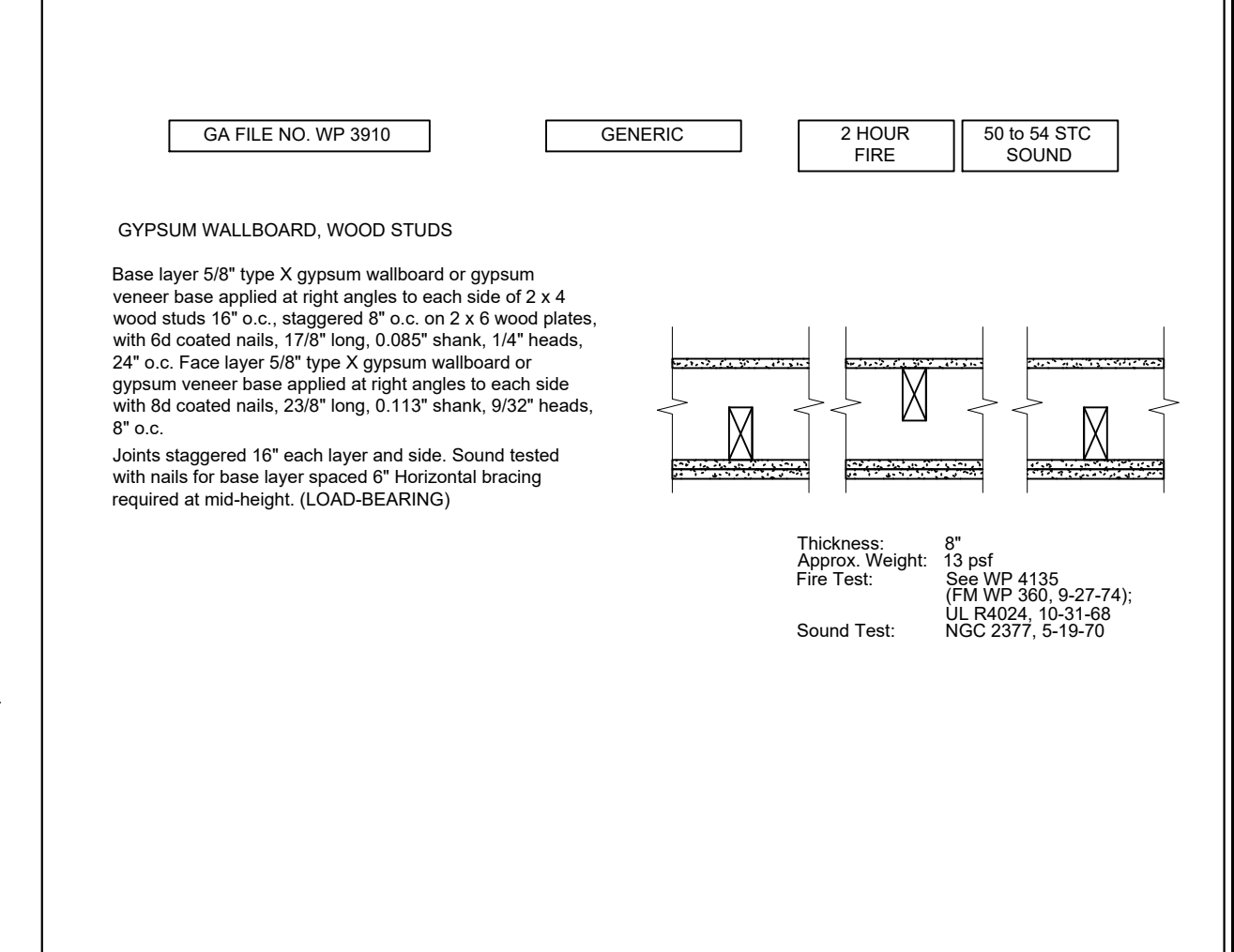
1-HR RATED RECESSED LIGHT	8
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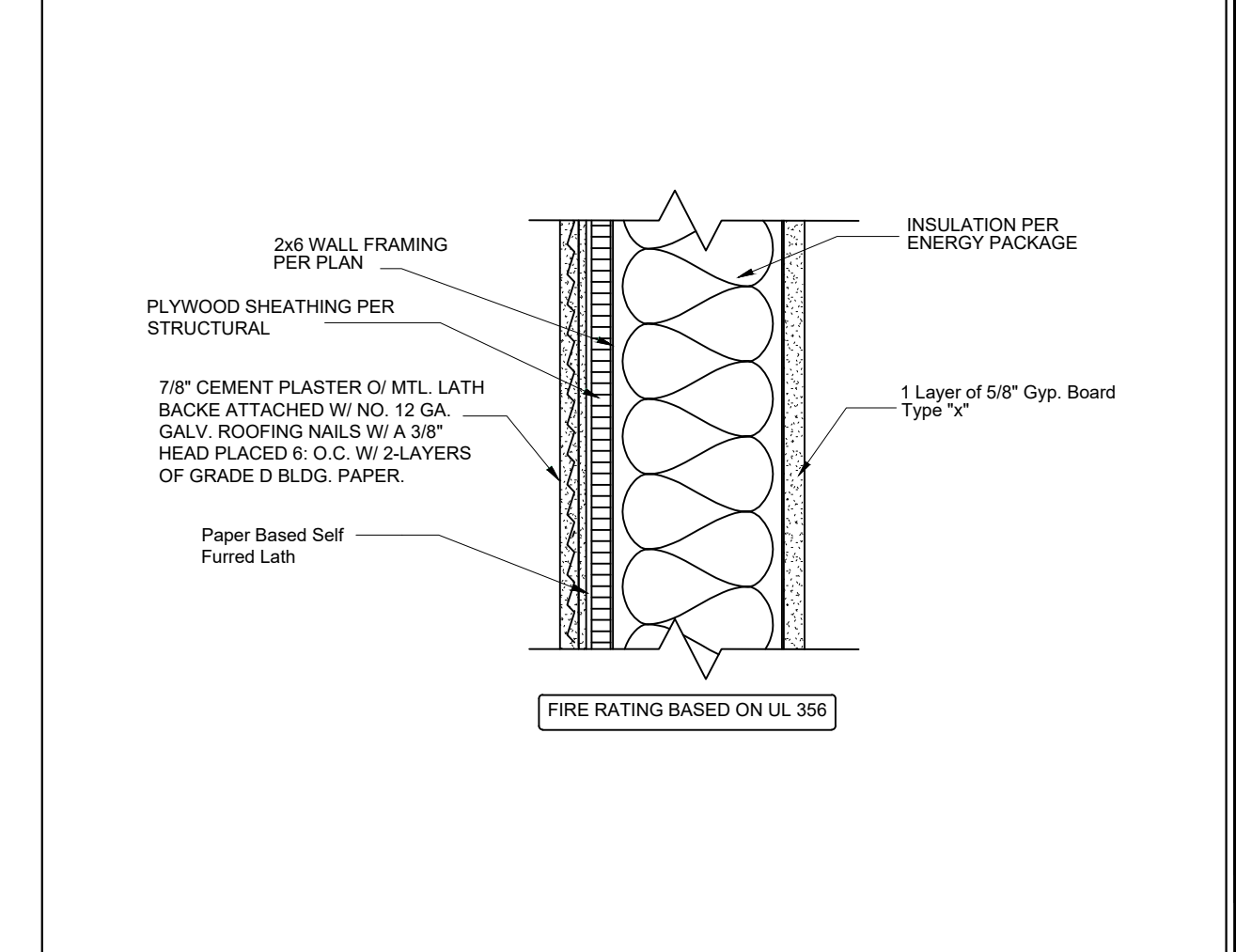
1-HR INT. WALL PARTITION BETWEEN ROOM	1
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1-HR EXT. PARTITION @ CORRIDOR	2
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2-HR RATED WALL @ STAIRWELLS	3
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1-HR EXTERIOR WALL	4
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REVISIONS	BY

OWNER:
AV Hospitality, LLC

ENGINEER:
K&M ENGINEERING AND DESIGN, CORP.

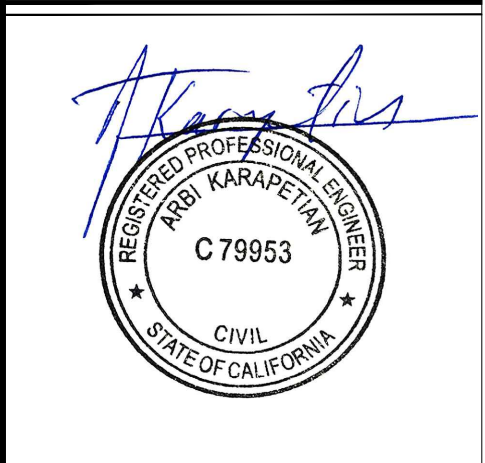
PROJECT:
1633 Victory, Glendale, CA 91201

DESCRIPTION:
NEW HOTEL

DRAWING TITLE: FIRE DETAILS

K&M ENGINEERING AND DESIGN, CORP.
T: (818) 273-9980
E: info@kmdesigncorp.com
www.kmdesigncorp.com

6854 FOOTHILL BLVD.
TUJUNGA, CA 91042



DRAWN BY: V.K.

CHECKED BY: AK

DATE: 02-21-2020

SCALE: N/A

JOB NO.: 2019-115

SHEET:

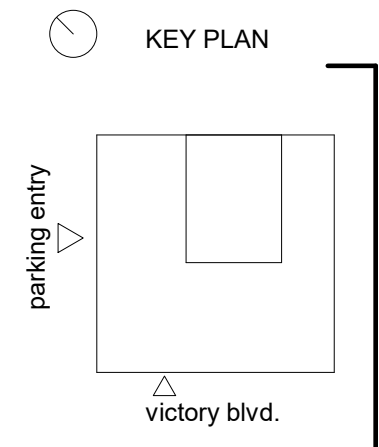
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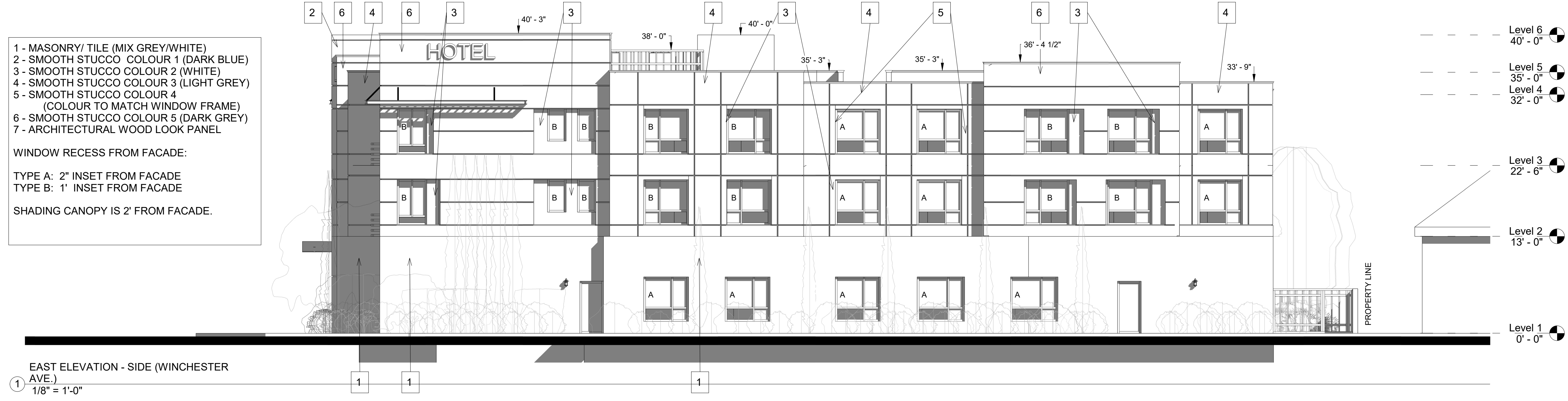
1633 Victory
Glendale CA

CLIENT NAME:
Anand Desi

DESIGNER NAME:
Alex Karpov



- 1 - MASONRY/ TILE (MIX GREY/WHITE)
 - 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
 - 3 - SMOOTH STUCCO COLOUR 2 (WHITE)
 - 4 - SMOOTH STUCCO COLOUR 3 (LIGHT GREY)
 - 5 - SMOOTH STUCCO COLOUR 4 (COLOUR TO MATCH WINDOW FRAME)
 - 6 - SMOOTH STUCCO COLOUR 5 (DARK GREY)
 - 7 - ARCHITECTURAL WOOD LOOK PANEL
- WINDOW RECESS FROM FACADE:
TYPE A: 2" INSET FROM FACADE
TYPE B: 1" INSET FROM FACADE
SHADING CANOPY IS 2' FROM FACADE.



KEY PLAN:

SHEET INFORMATION:
Project Number 000
Drawn By Alex Karpov
Checked By Alex Karpov

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:
elevation

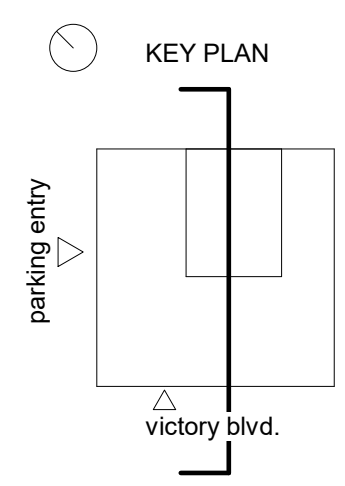
SCALE: 1/8" = 1'-0"

SHEET NO:
A102

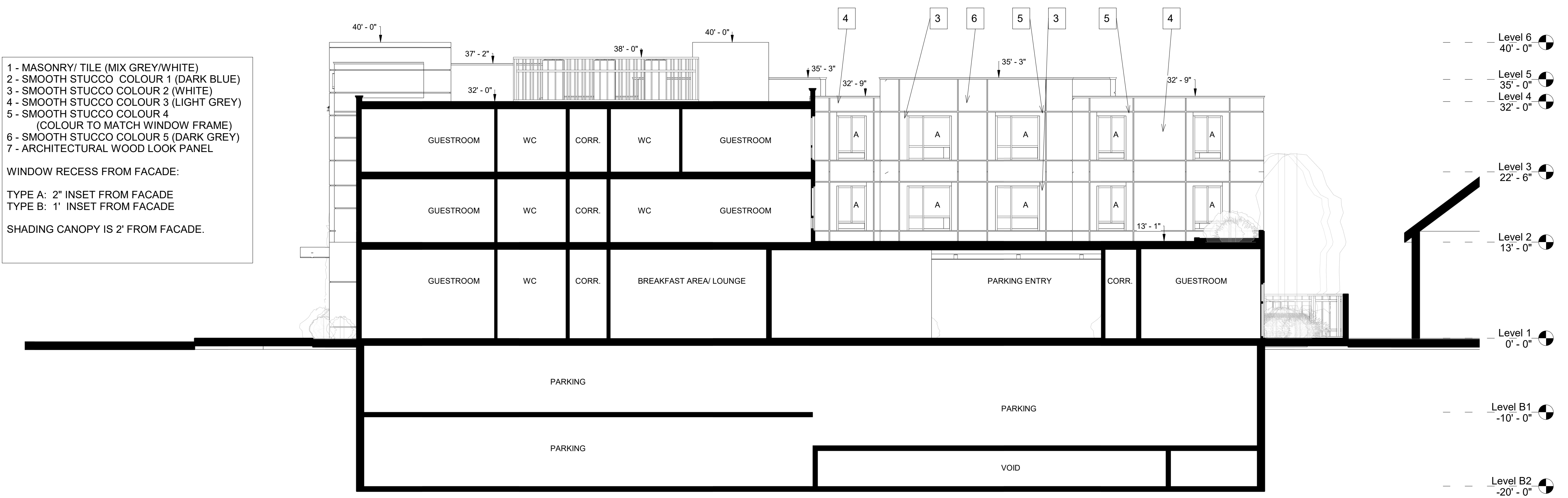
1633 Victory
Glendale CA

CLIENT NAME:
Anand Desi

DESIGNER NAME:
Designer



- 1 - MASONRY/ TILE (MIX GREY/WHITE)
 - 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
 - 3 - SMOOTH STUCCO COLOUR 2 (WHITE)
 - 4 - SMOOTH STUCCO COLOUR 3 (LIGHT GREY)
 - 5 - SMOOTH STUCCO COLOUR 4 (COLOUR TO MATCH WINDOW FRAME)
 - 6 - SMOOTH STUCCO COLOUR 5 (DARK GREY)
 - 7 - ARCHITECTURAL WOOD LOOK PANEL
- WINDOW RECESS FROM FACADE:
TYPE A: 2" INSET FROM FACADE
TYPE B: 1" INSET FROM FACADE
SHADING CANOPY IS 2" FROM FACADE.



① Section A
1/8" = 1'-0"



② Section A
1/8" = 1'-0"

KEY PLAN:

SHEET INFORMATION:
Project Number 000
Drawn By Author
Checked By Checker

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:
elevation

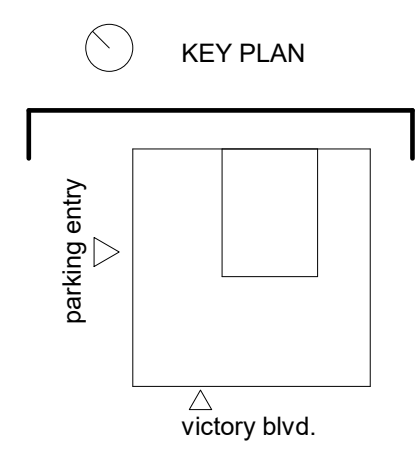
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SHEET NO:
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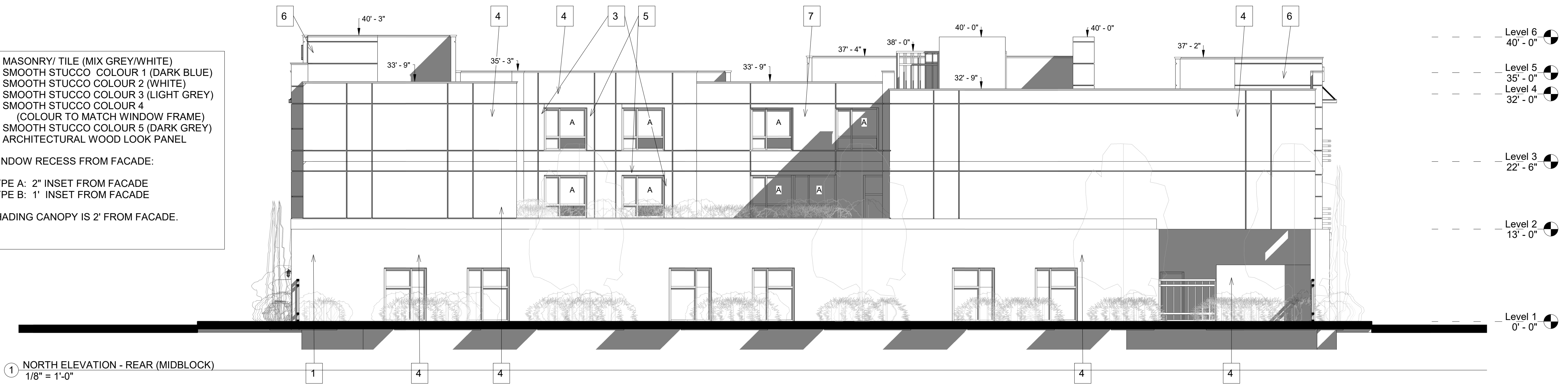
1633 Victory
Glendale CA

CLIENT NAME:
Anand Desi

DESIGNER NAME:
Alex Karpov



- 1 - MASONRY/ TILE (MIX GREY/WHITE)
 - 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
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- WINDOW RECESS FROM FACADE:
TYPE A: 2" INSET FROM FACADE
TYPE B: 1" INSET FROM FACADE
- SHADING CANOPY IS 2' FROM FACADE.



① NORTH ELEVATION - REAR (MIDBLOCK)
1/8" = 1'-0"



② NORTH ELEVATION - REAR (MIDBLOCK).
1/8" = 1'-0"

KEY PLAN:

SHEET INFORMATION:

Project Number 000
Drawn By Alex Karpov
Checked By Alex Karpov

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:
elevation

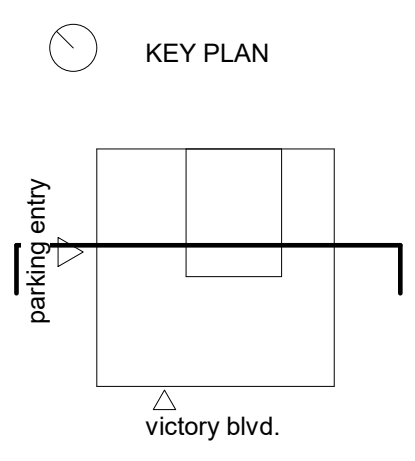
SCALE: 1/8" = 1'-0"

SHEET NO:
A103

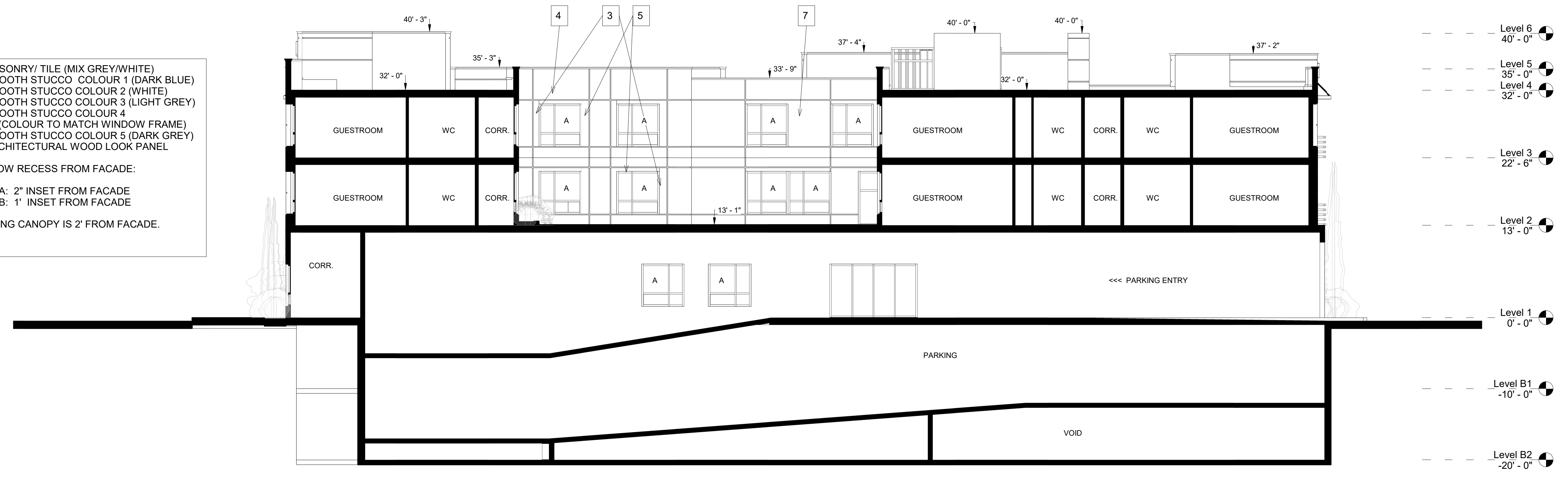
1633 Victory
Glendale CA

CLIENT NAME:
Anand Desi

DESIGNER NAME:
Designer



- 1 - MASONRY/ TILE (MIX GREY/WHITE)
 - 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
 - 3 - SMOOTH STUCCO COLOUR 2 (WHITE)
 - 4 - SMOOTH STUCCO COLOUR 3 (LIGHT GREY)
 - 5 - SMOOTH STUCCO COLOUR 4 (COLOUR TO MATCH WINDOW FRAME)
 - 6 - SMOOTH STUCCO COLOUR 5 (DARK GREY)
 - 7 - ARCHITECTURAL WOOD LOOK PANEL
- WINDOW RECESS FROM FACADE:
TYPE A: 2" INSET FROM FACADE
TYPE B: 1" INSET FROM FACADE
SHADING CANOPY IS 2' FROM FACADE.



1 Section B
1/8" = 1'-0"



2 Section B
1/8" = 1'-0"

KEY PLAN:

SHEET INFORMATION:
Project Number: 000
Drawn By: Author
Checked By: Checker

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:
elevation

SCALE: 1/8" = 1'-0"

SHEET NO:
A107

1633 Victory
Glendale CA

CLIENT NAME:

Anand Desi

DESIGNER NAME:

Alex Karpov

KEY PLAN:

SHEET INFORMATION:

Project Number 000
 Drawn By Alex Karpov
 Checked By Alex Karpov

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:

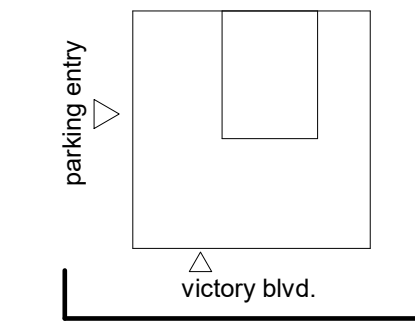
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SCALE: 1/8" = 1'-0"

SHEET NO:

A101

KEY PLAN



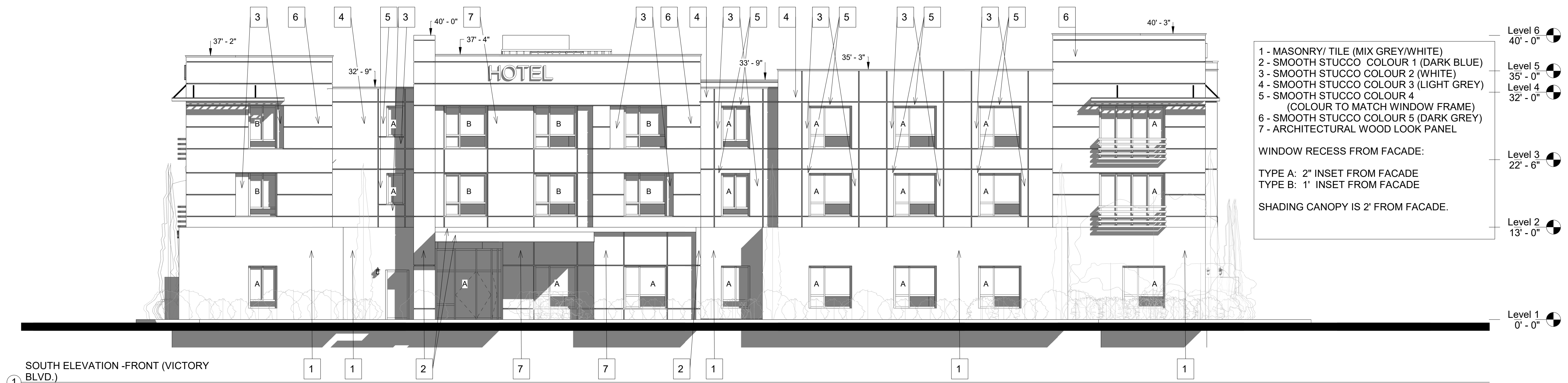
- 1 - MASONRY/ TILE (MIX GREY/WHITE)
- 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
- 3 - SMOOTH STUCCO COLOUR 2 (WHITE)
- 4 - SMOOTH STUCCO COLOUR 3 (LIGHT GREY)
- 5 - SMOOTH STUCCO COLOUR 4 (COLOUR TO MATCH WINDOW FRAME)
- 6 - SMOOTH STUCCO COLOUR 5 (DARK GREY)
- 7 - ARCHITECTURAL WOOD LOOK PANEL

WINDOW RECESS FROM FACADE:

- TYPE A: 2" INSET FROM FACADE
- TYPE B: 1" INSET FROM FACADE

SHADING CANOPY IS 2' FROM FACADE.

- Level 6 40' - 0"
- Level 5 35' - 0"
- Level 4 32' - 0"
- Level 3 22' - 6"
- Level 2 13' - 0"
- Level 1 0' - 0"



① SOUTH ELEVATION -FRONT (VICTORY BLVD.)
1/8" = 1'-0"



② SOUTH ELEVATION -FRONT (VICTORY BLVD.)
1/8" = 1'-0"

1633 Victory
Glendale CA

CLIENT NAME:

Anand Desi

DESIGNER NAME:

Alex Karpov

KEY PLAN:

SHEET INFORMATION:

Project Number 000
 Drawn By Alex Karpov
 Checked By Alex Karpov

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

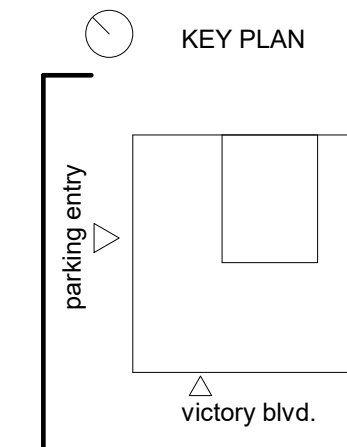
SHEET NAME:

elevation

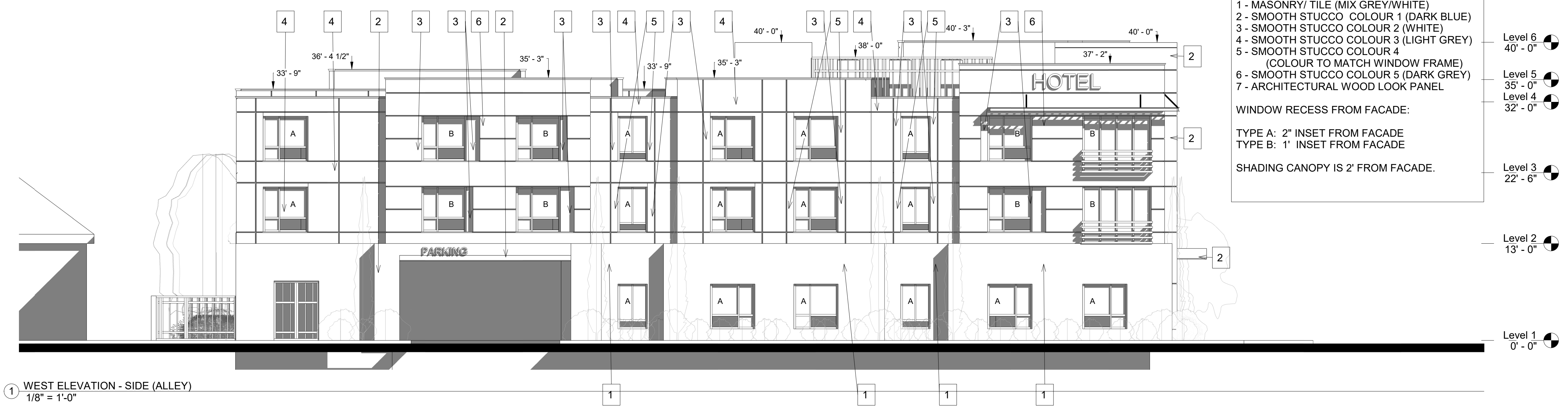
SCALE: 1/8" = 1'-0"

SHEET NO:

A104



- 1 - MASONRY/ TILE (MIX GREY/WHITE)
 - 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
 - 3 - SMOOTH STUCCO COLOUR 2 (WHITE)
 - 4 - SMOOTH STUCCO COLOUR 3 (LIGHT GREY)
 - 5 - SMOOTH STUCCO COLOUR 4 (COLOUR TO MATCH WINDOW FRAME)
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 - 7 - ARCHITECTURAL WOOD LOOK PANEL
- WINDOW RECESS FROM FACADE:
 TYPE A: 2" INSET FROM FACADE
 TYPE B: 1" INSET FROM FACADE
- SHADING CANOPY IS 2' FROM FACADE.



① WEST ELEVATION - SIDE (ALLEY)
1/8" = 1'-0"



② WEST ELEVATION - SIDE (ALLEY)
1/8" = 1'-0"

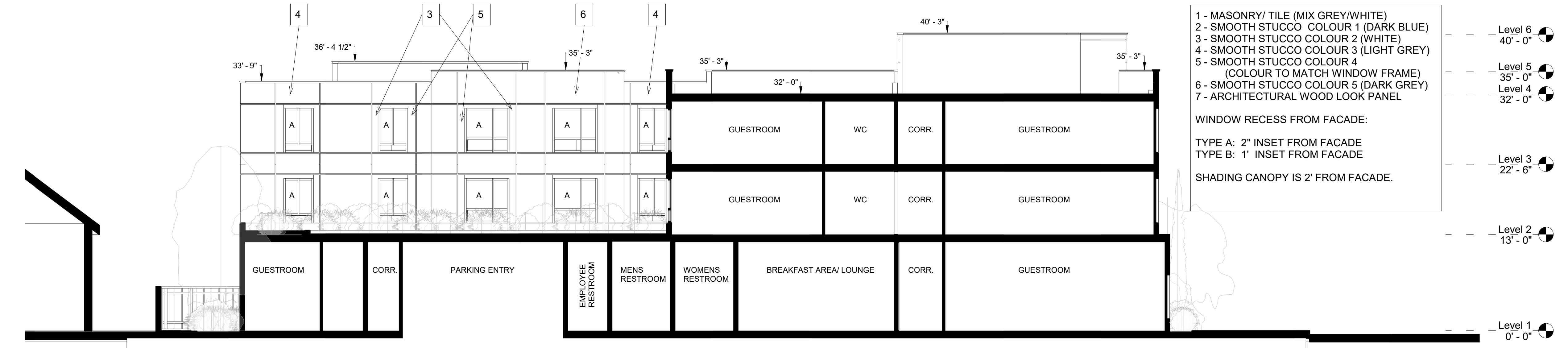
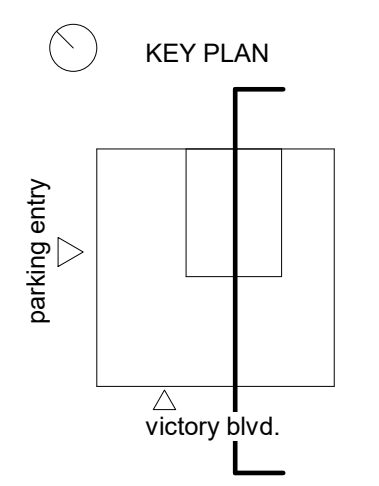
1633 Victory
Glendale CA

CLIENT NAME:

Anand Desi

DESIGNER NAME:

Designer



- 1 - MASONRY/ TILE (MIX GREY/WHITE)
 - 2 - SMOOTH STUCCO COLOUR 1 (DARK BLUE)
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- WINDOW RECESS FROM FACADE:
TYPE A: 2" INSET FROM FACADE
TYPE B: 1" INSET FROM FACADE
SHADING CANOPY IS 2' FROM FACADE.

1 Section C
1/8" = 1'-0"



2 Section C
1/8" = 1'-0"

KEY PLAN:

SHEET INFORMATION:

Project Number 000
Drawn By Author
Checked By Checker

No.	Date	Description

FULL SIZE PRINT: 24" X 36"

SHEET NAME:

elevation

SCALE: 1/8" = 1'-0"

SHEET NO:

A105