



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

August 4, 2022

Decision Date

3411 Sierra Glen Road

Address

Administrative Design Review (ADR)

Review Type

5613-012-031

APN

PDR 2204799

Case Number

Arbi Vartanian

Applicant

Vista Ezzati, Planner

Case Planner

Arbi Vartanian & Melina Derzakharian

Owner

Project Summary

The applicant is proposing a 600 square-foot (SF) addition (500 SF directly facing the street, 100 SF infill of an existing breezeway) to an existing one-story, 1,490 SF single-family residence (originally constructed in 1956) with an attached two-car garage on an 8,800 SF lot located in the R1R (FAR District II) Zone.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.

Existing Property/Background

Originally developed in 1956, the project site is an 8,800 SF, rectangular-shaped, interior lot with frontage on Sierra Glen Road. The hillside lot has a gradual slope up from Sierra Glen Road to the existing flat pad of the current house, and then slopes downward towards the rear of the property line. The site is currently developed with an existing 1,490 SF single-family residence with an attached two-car garage located at the front of the house and perpendicular to the street. Access to the existing garage is from a driveway that will be maintained and located on Sierra Glen Road.

Staff Recommendation

Approve

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	12,142 sq. ft.	7,937 sq. ft. – 18,558 sq. ft.	8,800 sq. ft.
Setback	20'-0"	20'-0"	20'-0"
House size	1,832 sq. ft.	1,504 sq. ft. – 2,199 sq. ft.	2,090 sq. ft.
Floor Area Ratio	0.15	0.09 – 0.21	0.24
Number of stories	1-story	1-story	1-story

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography
- ☐ Alteration of landform minimized

Yards and Usable Open Space

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space
- ☐ Use of retaining walls minimized

- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consistent with predominant pattern on street
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Complementary to building design and surrounding site
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located
- ☐ Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the site planning is appropriate and remains relatively unchanged with the house centrally sited on the lot on the existing flat pad.
- The proposed addition will infill an existing breezeway between the attached garage and the house, and extend the building's east elevation approximately 14 feet.
- There is a prevailing 20'-0" street-front setback in the immediate neighborhood and this will be maintained; no changes are proposed to the existing garage attached in front of the house with the proposed additions set back approximately an additional 20 feet.

- There are no other changes proposed to the project site, and all landscaping will be maintained, with the exception of the area along the north elevation where landscaping will be removed to accommodate the addition.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the proposal is consistent with the existing one-story residence.
- The proposed addition that will infill an existing breezeway between the house and the garage, will maintain the existing roof and is in-line with the existing entry that will also be maintained.
- The 500 SF addition along the northerly portion of the lot expands the building footprint and extends the gable roof form while maintaining the existing 4:12 pitch.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately
- ☐ Natural colors appropriate to hillside area

Paving Materials

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition's design and detailing are compatible with the existing ranch-style house through the use of similar materials, windows and colors.
 - The new windows are aluminum clad, casement, and recessed in the opening to match the existing residence. The windows on the rest of house are to remain as existing.
 - The addition will feature a Boral Steel Stone Coated Roof System, shiplap wood siding, brick veneer wainscoting, and cement stucco siding to match the existing house.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

None

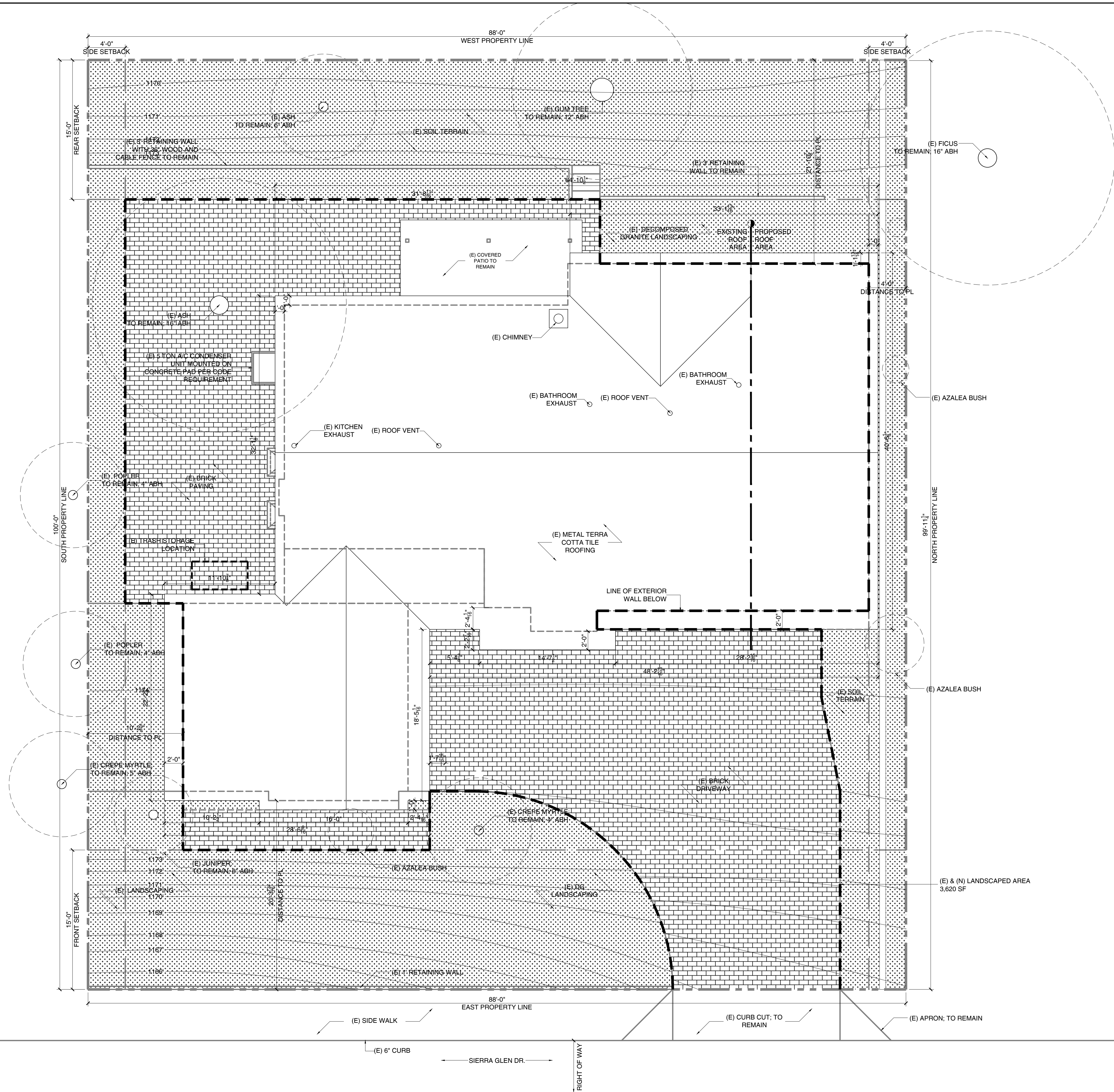
Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

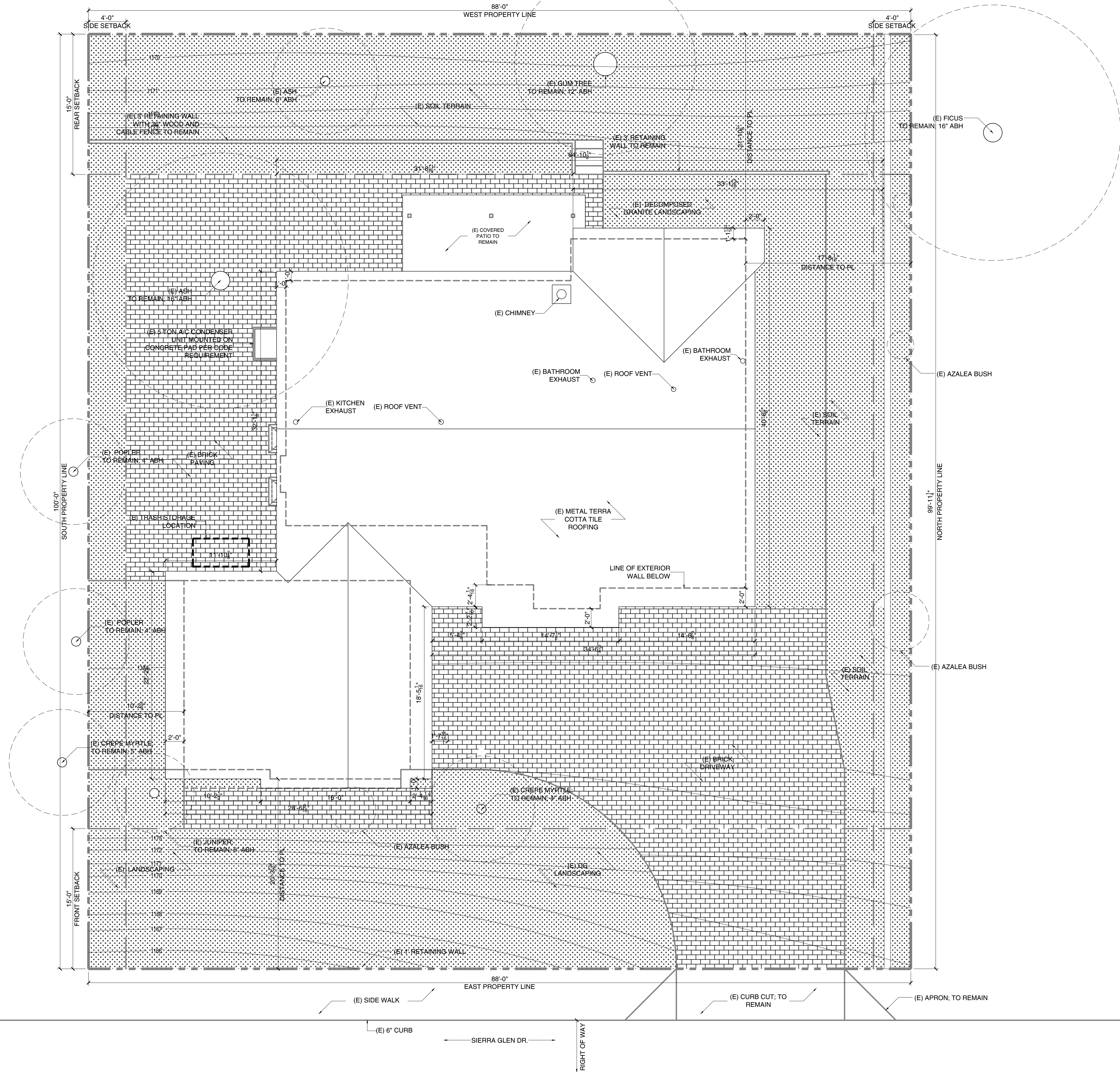
DRAWING INDEX				BUILDING KEY PLAN				SYMBOLS				DRAWING INDEX				DESIGNER					
ABV	ABOVE	LP	LOW POINT						DIRECTION OF ELEVATION LOCATION ON SHEET SHEET NUMBER EXTERIOR ELEVATION MARKER		COLUMN GRID REF NUMBER COLUMN GRID LINE	SHEET	SHEET DESCRIPTION	ADR SET				RAFFY MARDIROSSIAN 659 ROBIN GLEN DRIVE GLENDALE, CA 91202			
ACCESS	ACCESSIBLE	LT	LIGHT						DIRECTION OF ELEVATION SHEET NUMBER LOCATION ON SHEET INTERIOR ELEVATION MARKER		REVISION REFERENCE NUMBER AREA REVISED REVISION CLOUD										OWNER
ACOUS	ACOUSTICAL	LTG	LIGHTING																		ARBBI AND MELINA VARTANIAN
ADDL	ADDITIONAL	LVLG	LEVELING																		3411 SIERRA GLEN RD GLENDALE, CA 91208 +1 818 331 0878
ADJ	ADJACENT																				
AFF	ABOVE FINISHED FLOOR	MATL	MATERIAL																		STRUCTURAL ENGINEER
ALT	ALTERNATE, ALTERATION	MAX	MAXIMUM																		
ALUM	ALUMINUM	MECH	MECHANICAL																		
ANOD	ANODIZED	MEMB	MEMBRANE																		
APPL	APPLIANCE	MEZZ	MEZZANINE																		
APPROX	APPROXIMATE	MFD	MANUFACTURED																		
ARCH	ARCHITECT(URAL)	MFR	MANUFACTURER																		
ASSOC	ASSOCIATION, ASSOCIATE	MIN	MINIMUM																		
AUTH	AUTHORIZED	MISC	MISCELLANEOUS																		
AUTO	AUTOMATIC	MLWK	MILLWORK																		
AVG	AVERAGE	MOT	MOTOR(IZED)																		
		MTD	MOUNTED																		
		MTL	METAL																		
		MULL	MULLION																		
		NIC	NOT IN CONTRACT																		
		NO	NUMBER																		
		NOM	NOMINAL																		
		NTS	NOT TO SCALE																		
		OA	OVERALL																		
		OC	ON CENTER																		
		OD	OUTSIDE DIAMETER																		
		OPNG	OPENING(S)																		
		OPP	OPPOSITE																		
		OPR	OPERABLE																		
		ORD	OVERFLOW ROOF DRAIN																		
		OVFL	OVERFLOW																		
		OVHD	OVERHEAD																		
		PBD	PARITICLE BOARD																		
		PED	PEDESTAL																		
		PERF	PERFORATE																		
		PERIM	PERIMETER																		
		PERP	PERPENDICULAR																		
		PKG	PARKING																		
		PL	PLATE																		
		PLAM	PLASTIC LAMINATE																		
		PLAS	PLASTER																		
		PLBG	PLUMBING																		
		PLSTC	PLASTIC																		
		PLYWD	PLYWOOD																		
		PNL	PANEL																		
		POLYST	POLYSTYRENE																		
		PREFAB	PREFABRICATED																		
		PREFIN	PREFINISHED																		
		PRTN	PARTITION																		
		PT	PAINT																		
		PTD	PAINTED																		
		PVG	PAVING																		
		PVMT	PAVEMENT																		
		PWR	POWER																		
		QTR	QUARTER																		
		QTY	QUANTITY																		
		RA	RETURN AIR																		
		RCP	REFLECTED CEILING PLAN																		
		RD	ROOF DRAIN																		
		RDL	ROOF DRAIN LEADER																		
		REBAR	REINFORCING BAR																		
		RECES	RECESSED																		
		RECPT	RECEPTACLE																		
		REF	REFERENCE																		
		REFR	REFRIGERATOR																		
		REINF	REINFORCE(D)(ING)(MENT)																		
		REQD	REQUIRED																		
		RESIL	RESILIENT																		
		RESIS	RESIST(ANT)(IVE)																		
		REV	REVERSE or REVISE or REVISION																		
		RFG	ROOFING																		
		RH	RIGHT HAND																		
		RM	ROOM																		
		RO	ROUGH OPENING																		
		SC	SOLID CORE																		
		SCHED	SCHEDULE																		
		SECT	SECTION																		
		SERV	SERVICE																		
		SF	SQUARE FEET																		
		SGL	SINGLE																		
		SHTG	SHEATHING																		
		SIM	SIMILAR																		
		SLNT	SEALANT																		
		SPEC	SPECIFICATION																		
		SQ	SQUARE																		
		SST	STAINLESS STEEL																		
		STD	STANDARD																		
		STL	STEEL																		
		STOR	STORAGE																		
		STRUCT	STRUCTURAL																		
		SURF	SURFACE																		
		SUSP	SUSPENDED																		
		SYM	SYMMETRICAL																		
		SYS	SYSTEM(S)																		
		TC	TOP OF CURB																		
		TD	TRENCH DRAIN																		
		TEL	TELEPHONE																		
		TEMP	TEMPORARY																		
		THK	THICK																		
		TLT	TOILET																		
		TOC	TOP OF CONCRETE																		
		TOS	TOP OF SLAB																		
		TP	TOP OF PAVEMENT																		
		TRTD	TREATED																		
		TST	TOP OF STEEL																		
		TSTAT	THERMOSTAT																		
		TYP	TYPICAL																		
		UL	UNDERWRITERS' LABORATORIES																		
		UNDRLAY	UNDERLAYMENT																		
		UNO	UNLESS NOTED OTHERWISE																		
		UTIL	UTILITY																		
		VCT	VINYL COMPOSITION TILE																		
		VERT	VERTICAL																		
		VEST	VESTIBULE																		
		VIF	VERIFY IN FIELD																		
		W/	WITH																		
		W/O	WITHOUT																		
		WC	WATER CLOSET																		
		WD	WOOD																		
		WDW	WINDOW																		
		WH	WATER HEATER																		
		WR	WATER RESISTANT or WATER REPELLANT																		
		WRSTP	WEATHERSTRIPPING																		
		WT	WEIGHT																		
		WTRPRF	WATERPROOFING																		
INFO	INFORMATION																				
INSUL	INSULATION																				
INT	INTERIOR																				
J-BOX	JUNCTION BOX																				
LAM	LAMINATE, LAMINATED																				
LB	POUND																				
LH	LEFT HAND																				



NOTES — GROUND LEVEL WINDOW LOCATIONS	DESIGNER RAFFY MARDIROSSIAN 659 ROBIN GLEN DRIVE GLENDALE, CA 91202
	OWNER ARBI AND MELINA VARTANIAN 3411 SIERRA GLEN RD GLENDALE, CA 91208 +1 818 331 0878
	STRUCTURAL ENGINEER
	TITLE 24 CONSULTANT
	DATE
STAMP	
NOT FOR CONSTRUCTION	
PROJECT INFO. VARTANIAN RESIDENCE	
PROJECT ADDRESS 3411 SIERRA GLEN RD. GLENDALE, CA 91208	
TITLE NEIGHBORHOOD SITE PLAN	
SHEET NO. A1.01	



DESIGNER RAFFY MARDIROSSIAN 659 ROBIN GLEN DRIVE GLENDALE, CA 91202
OWNER ARBI AND MELINA VARTANIAN 3411 SIERRA GLEN RD GLENDALE, CA 91208 +1 818 331 0878
STRUCTURAL ENGINEER
TITLE 24 CONSULTANT
DATE
STAMP
NOT FOR CONSTRUCTION
PROJECT INFO. VARTANIAN RESIDENCE
PROJECT ADDRESS 3411 SIERRA GLEN RD. GLENDALE, CA 91208
TITLE PROPOSED SITE PLAN
SHEET NO. A1.11



DESIGNER
RAFFY MARDIROSSIAN
659 ROBIN GLEN DRIVE
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+1 818 331 0878

STRUCTURAL ENGINEER

TITLE 24 CONSULTANT

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PROJECT INFO.
VARTANIAN RESIDENCE

PROJECT ADDRESS
3411 SIERRA GLEN RD.
GLENDALE, CA 91208

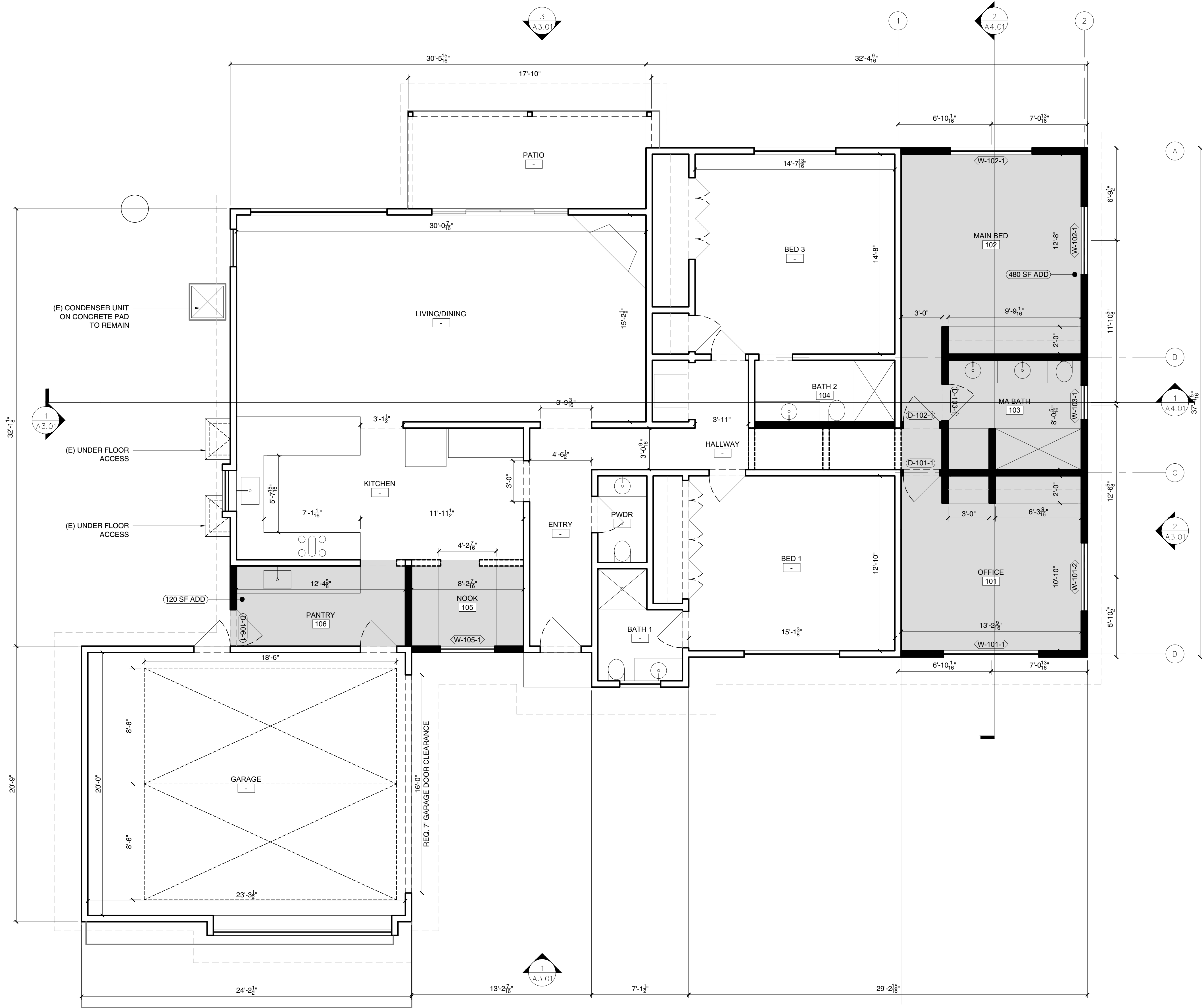
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PROPOSED SITE PLAN

SHEET NO.

A1.11

PROJECT NO. 2100

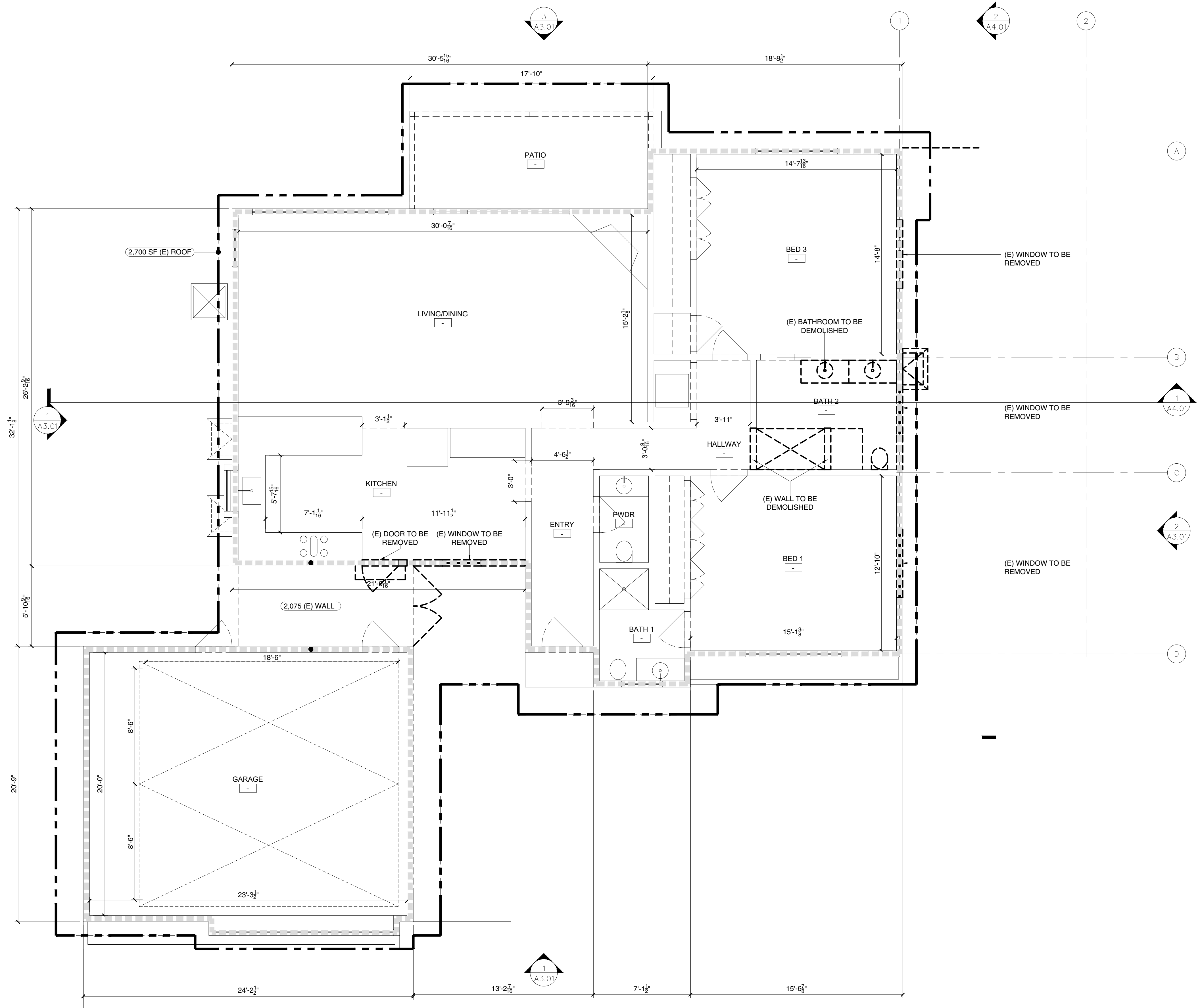
©RM



NOTES

- EXISTING WALL
- PROPOSED WALL
- WALL TO BE DEMOLISHED
- AREA IN SCOPE OF WORK

DESIGNER	RAFFY MARDIROSSIAN 659 ROBIN GLEN DRIVE GLENDALE, CA 91202
OWNER	ARBI AND MELINA VARTANIAN 3411 SIERRA GLEN RD GLENDALE, CA 91208 +1 818 331 0878
STRUCTURAL ENGINEER	
TITLE 24 CONSULTANT	
DATE	
STAMP	NOT FOR CONSTRUCTION
PROJECT INFO.	VARTANIAN RESIDENCE
PROJECT ADDRESS	3411 SIERRA GLEN RD. GLENDALE, CA 91208
TITLE	PROPOSED FLOOR PLAN
SHEET NO.	A2.01



DEMOLITION DATA
A = AREA OF EXISTING WALL DEMOLISHED: 0 SF
B = AREA OF EXISTING ROOF DEMOLISHED: 0 SF
C = TOTAL AREA OF EXISTING WALLS: 2,075 SF
D = TOTAL AREA OF EXISTING ROOF: 2,700 SF

DEMOLITION CALCULATION
 $0 + 0 / 2,075 + 2,700 = 0 / 4,775$
 $X = 0$

DESIGNER
RAFFY MARDIROSSIAN
659 ROBIN GLEN DRIVE
GLENDALE, CA 91202

OWNER
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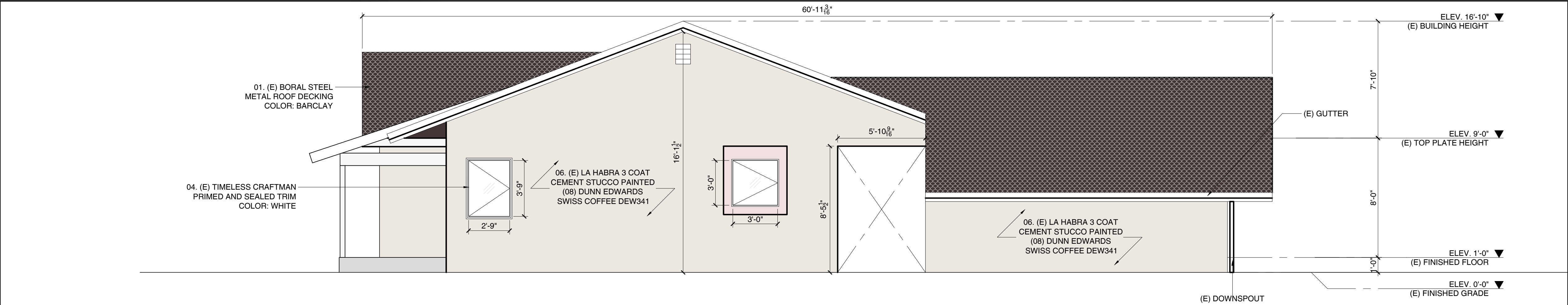
TITLE
EXISTING AND DEMOLITION
FLOORPLAN

SHEET NO.

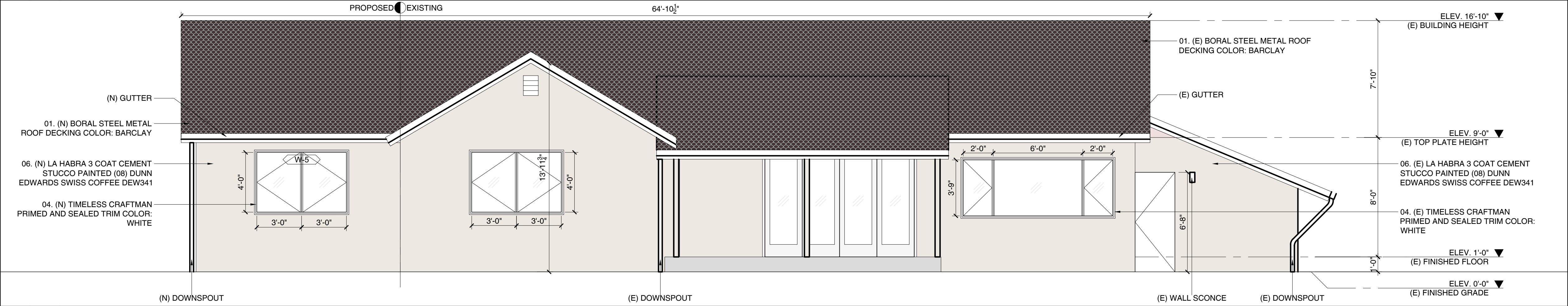
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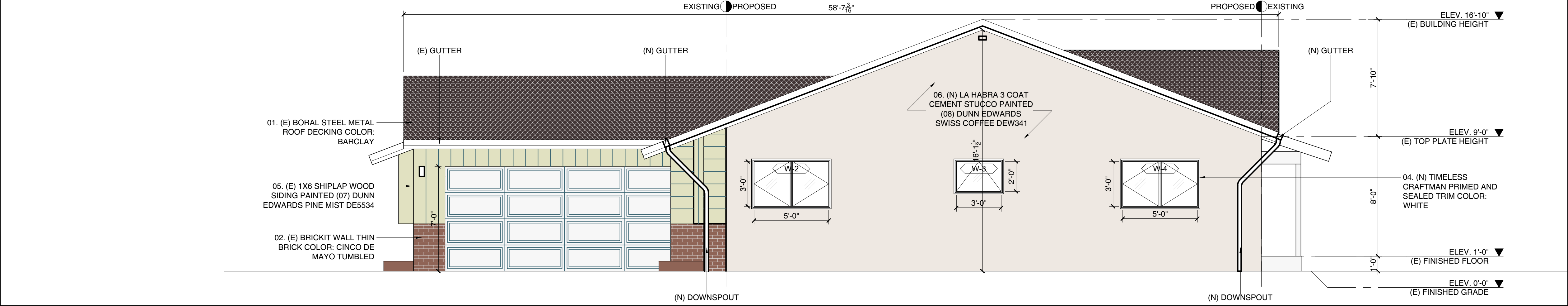
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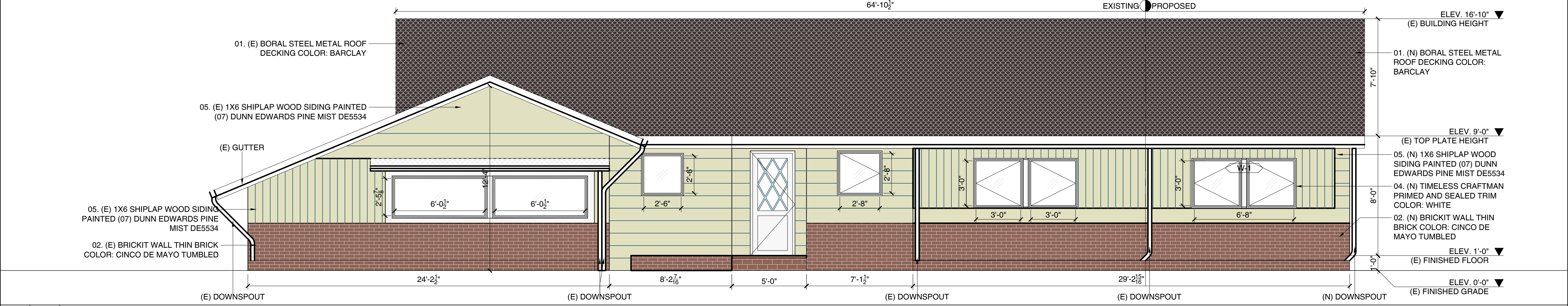
4 SOUTH ELEVATION



3 WEST ELEVATION

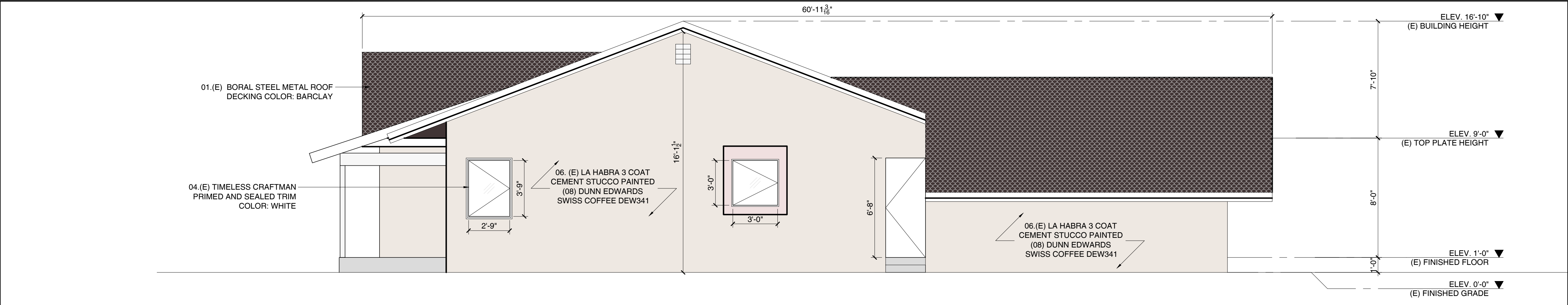


2 NORTH ELEVATION

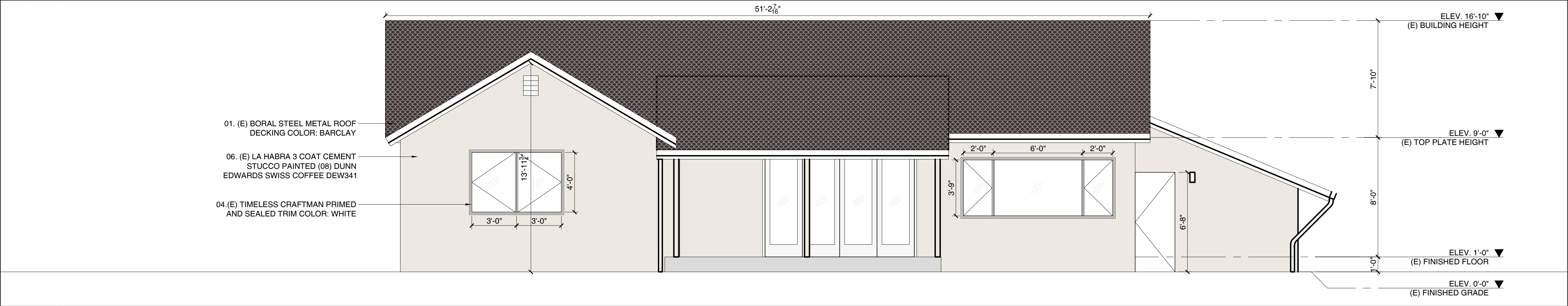


1 EAST ELEVATION

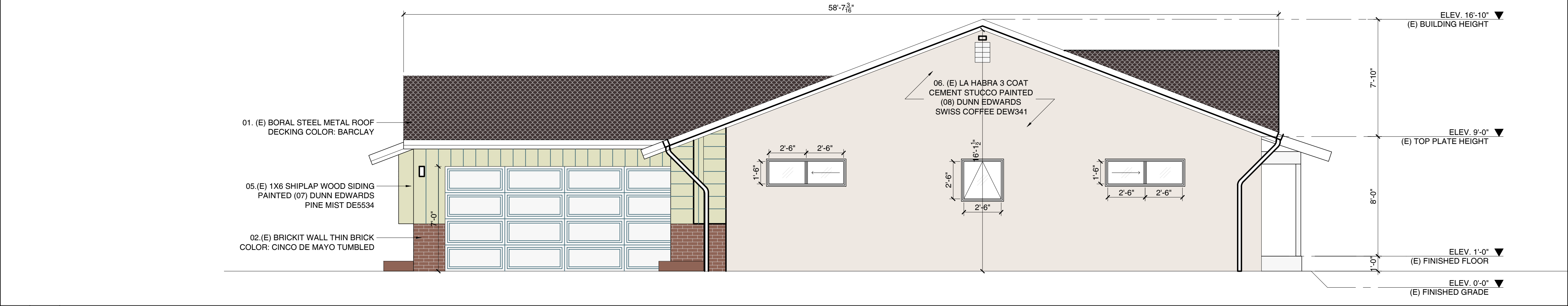
DESIGNER RAFFY MARDIROSSIAN 659 ROBIN GLEN DRIVE GLENDALE, CA 91202
OWNER ARBI AND MELINA VARTANIAN 3411 SIERRA GLEN RD GLENDALE, CA 91208 +1 818 331 0878
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TITLE EXTERIOR ELEVATIONS PROPOSED
SHEET NO. A3.01



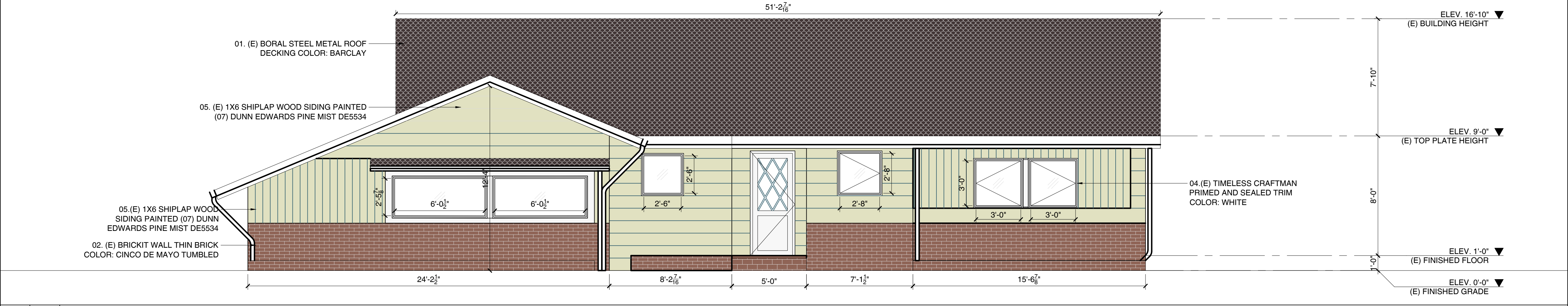
4 SCALE 1/4"=1' SOUTH ELEVATION



3 SCALE 1/4"=1' WEST ELEVATION



2 SCALE 1/4"=1' NORTH ELEVATION



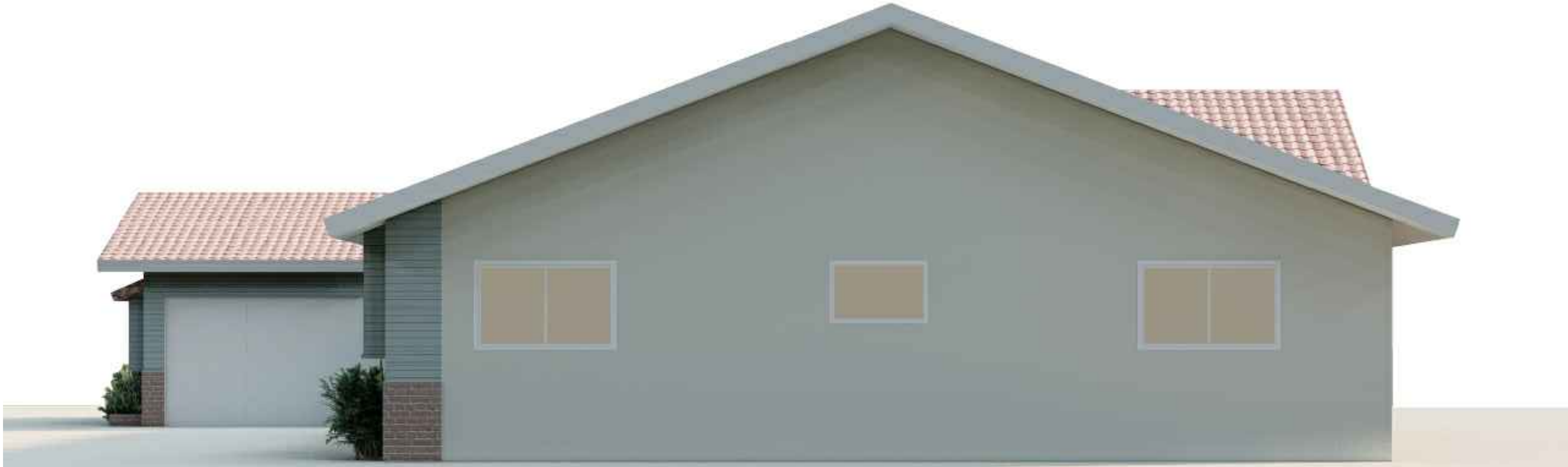
1 SCALE 1/4"=1' EAST ELEVATION

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STRUCTURAL ENGINEER
TITLE 24 CONSULTANT
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PROJECT INFO. VARTANIAN RESIDENCE
PROJECT ADDRESS 3411 SIERRA GLEN RD. GLENDALE, CA 91208
TITLE EXTERIOR ELEVATIONS EXISTING
SHEET NO. A3.02

4

SCALE
1/4"=1'

NORTH ELEVATION



3

SCALE
1/4"=1'

WEST ELEVATION



2

SCALE
1/4"=1'

EAST ELEVATION



1

SCALE
1/4"=1'

EAST ELEVATION



DESIGNER
RAFFY MARDIROSSIAN
659 ROBIN GLEN DRIVE
GLENDALE, CA 91202

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STRUCTURAL ENGINEER

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NOT FOR CONSTRUCTION

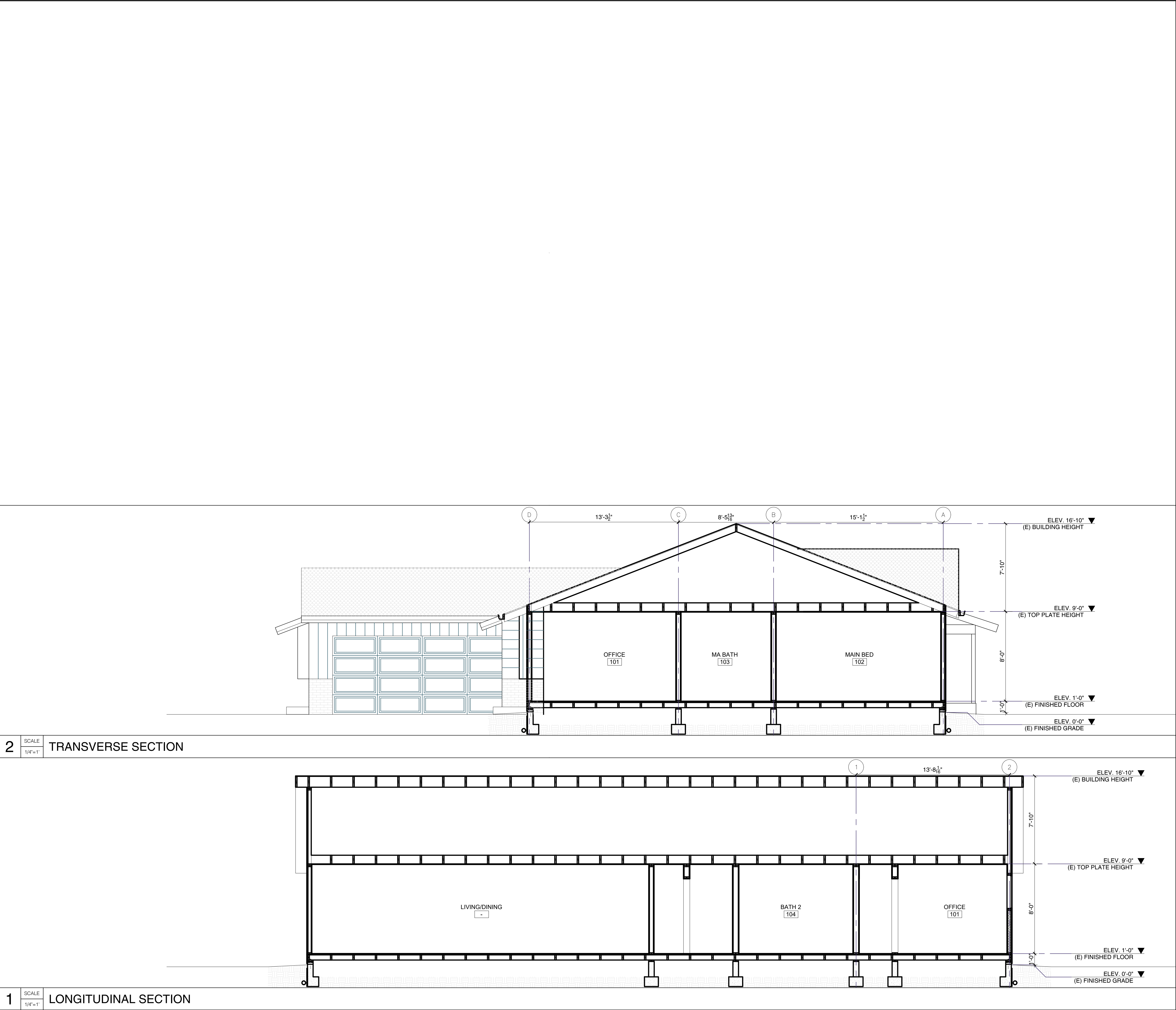
PROJECT INFO.
VARTANIAN RESIDENCE

PROJECT ADDRESS
3411 SIERRA GLEN RD.
GLENDALE, CA 91208

TITLE
RENDERED
PERSPECTIVES

SHEET NO.

A3.03



DESIGNER RAFFY MARDIROSSIAN 659 ROBIN GLEN DRIVE GLENDALE, CA 91202
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PROJECT INFO. VARTANIAN RESIDENCE
PROJECT ADDRESS 3411 SIERRA GLEN RD. GLENDALE, CA 91208
TITLE SECTION
SHEET NO. A4.01

DESIGNER
RAFFY MARDIROSSIAN
659 ROBIN GLEN DRIVE
GLENDALE, CA 91202

OWNER
ARBI AND MELINA VARTANIAN
3411 SIERRA GLEN RD
GLENDALE, CA 91208
+1 818 331 0878

STRUCTURAL ENGINEER

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STAMP

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PROJECT INFO.
VARTANIAN RESIDENCE

PROJECT ADDRESS
3411 SIERRA GLEN RD.
GLENDALE, CA 91208

TITLE
WINDOW SCHEDULE AND DETAILS

SHEET NO.

A7.01

KEY NOTES

INT

EXT

5/8" GYP BOARD
INSULATION
STUD FRAME, SEE STRUCT
WOOD CASING TRIM
SHEATHING, SEE STRUCT
WATER-RESISTIVE BARRIER
WOOD SIDING TO MATCH
EXISTING
WOOD TRIM; MATCH EXIST.
SEALANT & BACKER ROD
ALUM CLAD GLAZING ASSEMBLY

2

SCALE
3"=1'

JAMB DETAIL

INT

EXT

5/8" GYP BOARD
SHEATHING, SEE STRUCT
WATER-RESISTIVE BARRIER
FLEXIBLE FLASHING
WOOD SIDING;MATCH EXIST.
WOOD TRIM; MATCH EXIST.
SEALANT & BACKER ROD
ALUM GLAZING ASSEMBLY
FRAMING, SEE STRUCT
SEALANT & BACKER ROD
WOOD CASING TRIM

1

SCALE
3"=1'

SILL/HEAD DTL

Window Number	Quantity	Existing Width X Height	New Width x Height	Existing Material	New Material	Visible From Street Y/N	Existing Operation	New Operation	New Frame Type	External Grid (SDL) Y/N	Keep Existing Sill & Frame? Y/N	Build New Sill & Frame? Y/N	Existing Edge Detail	New Edge Detail	Bedroom? Y/N?	Energy Efficient? Y/N	Tempered Glass? Y/N	Fire Hazard Zone	Within 18" of floor or 40" of door?	Jamb Detail	Head and Sill Detail
W-1	1	N/A	36"x80"	N/A	ALUM CLD	Y	N/A	CASEMENT	WOOD	N	N/A	Y	N/A	WOOD PROFILE	Y	Y	N	N	N	2/A7.01	1/A7.01
W-2	1	N/A	36"x60"	N/A	ALUM CLD	N	N/A	CASEMENT	WOOD	N	N/A	Y	N/A	WOOD PROFILE	Y	Y	N	N	N	2/A7.01	1/A7.01
W-3	1	N/A	24"x36"	N/A	ALUM CLD	N	N/A	CASEMENT	WOOD	N	N/A	Y	N/A	WOOD PROFILE	N	Y	N	N	N	2/A7.01	1/A7.01
W-4	1	N/A	36"x60"	N/A	ALUM CLD	N	N/A	CASEMENT	WOOD	N	N/A	Y	N/A	WOOD PROFILE	Y	Y	N	N	N	2/A7.01	1/A7.01
W-5	1	N/A	48"x72"	N/A	ALUM CLD	N	N/A	CASEMENT	WOOD	N	N/A	Y	N/A	WOOD PROFILE	Y	Y	N	N	N	2/A7.01	1/A7.01

1

SCALE
NTS

WINDOW SCHEDULE



01
BORAL STEEL METAL ROOF DECKING
COLOR: BARCLAY



02
BRICKIT WALL THIN BRICK
COLOR: CINCO DE MAYO TUMBLED



03
JELD WEN ALUMINUM CLAD CASEMENT
COLOR: WHITE



04
TIMELESS CRAFTMAN PRIMED AND SEALED TRIM
COLOR: WHITE



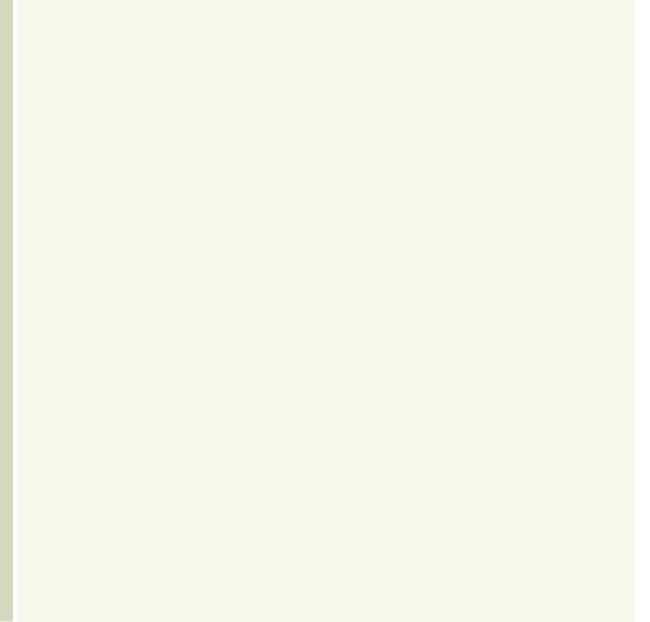
05
PATTERN STOCK SHIPLAP WOOD SIDING 1X6
COLOR: DUNN EDWARDS DE5534 (7)



06
LA HABRA 3 COAT CEMENT STUCCO
COLOR: DUNN EDWARDS DEW341 (08)



07
DUNN EDWARDS EXTERIOR PAINT
COLOR: PINE MIST DE 5534



08
DUNN EDWARDS EXTERIOR PAINT
COLOR: SWISS COFFEE DEW341

Architectural Guidelines

3411 Sierra Glen Road

Our project will address the Comprehensive Design Guidelines for the City of Glendale by respecting the character and aesthetic of the neighborhood by mimicking and copying the design language, aesthetic and character of the existing building for the addition.

Site Planning

In an effort to keep the 600 square foot addition to the primary residence as subtle and inconspicuous as possible, the addition is introduced along the north property line of the site, extending the existing ridgeline and massing of the existing building like for like. Being that this portion of the site has no substantial planting or trees, it further reinforces having the addition along the north side of the building. It incorporates minimal to no grading, and does not result in the removal of any trees. The terrain is flat, eliminating sitework and following the existing building profile of the building.

Mass and Scale

As mentioned before, the 600 square foot addition occurs in two locations. 120 square feet of the addition occurs in the breezeway between the existing garage and primary structure and falling underneath the existing roof. As such, it has minimal to no impact on the appearance of the house and does not modify the mass or scale of the building in any meaningful way. The remaining 480 square feet of addition is allocated along the north property line of the property. It exactly mimics and continues the massing, ridgeline, and height of the existing structure, ostensibly “stretching” the building and replicating the same design language as what is already there, for the new addition. In essence, the addition along this portion of the house merely extends the roof profile and massing of the existing to create more usable interior space.

Design and Detailing

The detailing and design of the addition will simply follow and mimic that of the existing structure. Similar white casement windows will be used for all glazing to match the existing. Light olive green painted 1x6 wood cladding will be used to clad the new addition to exactly match the existing building, and brick will be added to further reinforce the idea of blending the addition seamlessly into the existing. New roof shingles will match the existing, and white window trim will be added around the new casement windows to match the character and aesthetic of the existing building.

SUBJECT PROPERTY PHOTOGRAPHS - EAST



SUBJECT PROPERTY PHOTOGRAPHS - EAST



SUBJECT PROPERTY PHOTOGRAPHS - NORTH



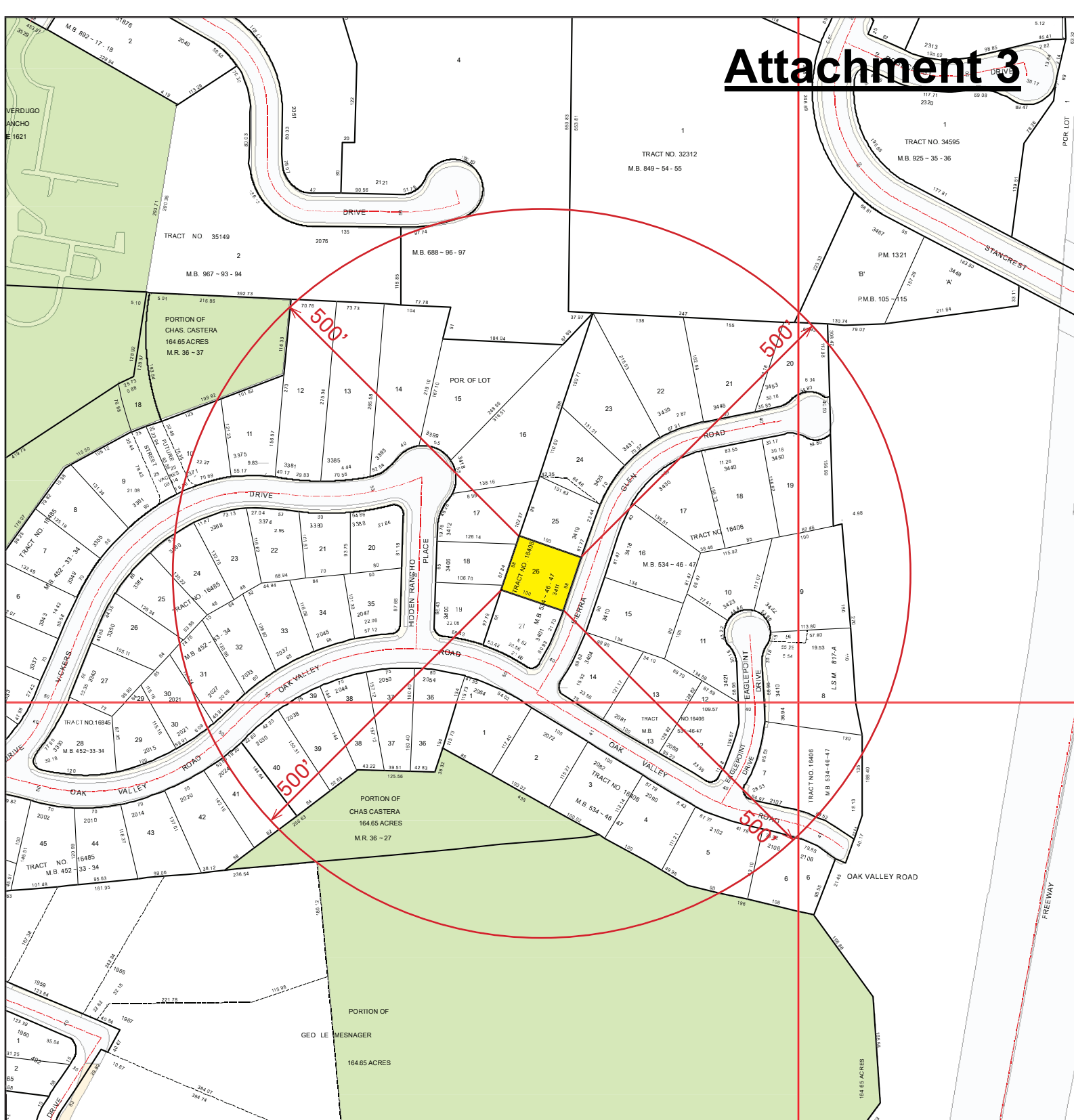
SUBJECT PROPERTY PHOTOGRAPHS - WEST




SUBJECT PROPERTY PHOTOGRAPHS - SOUTH



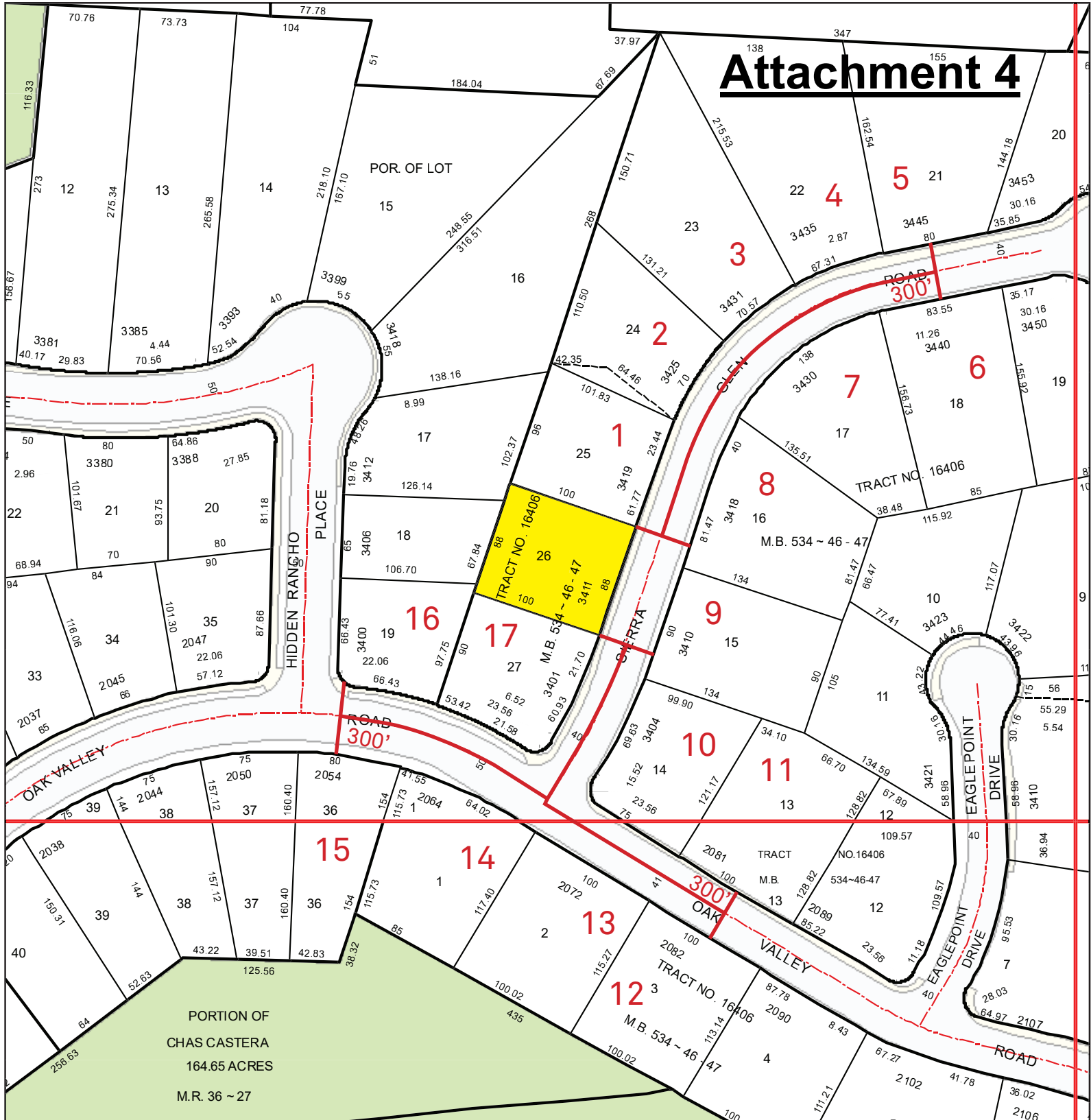
Attachment 3



LOCATION MAP

<p>LEGEND:</p> <p> SUBJECT PROPERTIES</p>	<p>SITE LOCATION: 3411 SIERRA GLEN RD. GLENDALE, CA 91208</p> <p>APN: 5613-012-031 DATE: 03/07/2022</p>	<p>SCALE: 1"=200'</p> <div style="text-align: center;">  </div>
<p>PREPARED BY:</p>		<p>RAFFY MARDIROSSIAN 9846 CABANAS AVE. TUJUNGA, CA 91042</p>

Attachment 4



PHOTOGRAPHIC SURVEY

LEGEND:

 SUBJECT PROPERTIES

SITE LOCATION:

3411 SIERRA GLEN RD.
GLENDALE, CA 91208

APN: 5613-012-031

DATE: 03/07/2022

SCALE: 1"=100'



PREPARED BY:

RAFFY MARDIROSSIAN
9846 CABANAS AVE. TUJUNGA, CA 91042

KEY	ADDRESS	PARCEL NO.	LOT SF.	HOUSE SF.	FAR	STORIES	SETBACK	ROOF
SITE	3411 SIERRA GLEN RD	5613-012-031	8,852	1,555	17.5%	1	20'	METAL SHINGLE
1	3419 SIERRA GLEN RD	5613-012-030	9,999	2,199	21.9%	1	20'	COMP SHINGLE
2	3425 SIERRA GLEN RD	5613-012-029	9,378	1,505	16.0%	1	20'	COMP SHINGLE
3	3431 SIERRA GLEN RD	5613-012-028	16,362	1,568	9.6%	1	20'	COMP SHINGLE
4	3435 SIERRA GLEN RD	5613-012-027	18,558	2,028	10.9%	1	20'	METAL SHINGLE
5	3445 SIERRA GLEN RD	5613-012-026	17,414	1,908	11.0%	1	20'	COMP SHINGLE
6	3440 SIERRA GLEN RD	5613-013-018	14,117	2,133	15.1%	1	20'	COMP SHINGLE
7	3430 SIERRA GLEN RD	5613-013-017	12,840	1,945	15.1%	1	20'	COMP SHINGLE
8	3418 SIERRA GLEN RD	5613-013-016	13,666	1,892	13.8%	1	20'	COMP SHINGLE
9	3410 SIERRA GLEN RD	5613-013-015	11,910	1,994	16.7%	1	20'	COMP SHINGLE
10	3404 SIERRA GLEN RD	5613-013-014	10,232	1,656	16.2%	1	20'	COMP SHINGLE
11	2081 OAK VALLEY RD	5613-013-013	12,857	2,064	16.1%	1	20'	COMP SHINGLE
12	2082 OAK VALLEY RD	5613-013-003	11,316	1,630	14.4%	1	20'	METAL SHINGLE
13	2072 OAK VALLEY RD	5613-013-002	12,099	2,066	17.1%	1	20'	METAL SHINGLE
14	2064 OAK VALLEY RD	5613-013-001	12,364	1,947	15.7%	1	20'	COMP SHINGLE
15	2054 OAK VALLEY RD	5613-014-001	9,511	1,712	18.0%	1	20'	COMP SHINGLE
16	3400 HIDDEN RANCHO PL	5613-012-008	7,937	1,504	18.9%	1	20'	COMP SHINGLE
17	3401 SIERRA GLEN RD	5613-012-032	9,155	1,683	18.4%	1	20'	COMP SHINGLE
AVE	-	-	12,142	1,832	15.1%	1	20'	-
NEIGHBORHOOD SURVEY								
			SITE LOCATION: 3411 SIERRA GLEN RD. GLENDALE, CA 91208 APN: 5613-012-031 DATE: 03/07/2022			SCALE: NTS		
PREPARED BY:				RAFFY MARDIROSSIAN 9846 CABANAS AVE. TUJUNGA, CA 91042				

1	3419 SIERRA GLEN RD	5613-012-030	9,999	2,199	21.9%	1	20'	COMP SHINGLE
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2	3425 SIERRA GLEN RD	5613-012-029	9,378	1,505	16.0%	1	20'	COMP SHINGLE
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3	3431 SIERRA GLEN RD	5613-012-028	16,362	1,568	9.6%	1	20'	COMP SHINGLE
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4	3435 SIERRA GLEN RD	5613-012-027	18,558	2,028	10.9%	1	20'	METAL SHINGLE
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5	3445 SIERRA GLEN RD	5613-012-026	17,414	1,908	11.0%	1	20'	COMP SHINGLE
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6	3440 SIERRA GLEN RD	5613-013-018	14,117	2,133	15.1%	1	20'	COMP SHINGLE
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7	3430 SIERRA GLEN RD	5613-013-017	12,840	1,945	15.1%	1	20'	COMP SHINGLE
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8	3418 SIERRA GLEN RD	5613-013-016	13,666	1,892	13.8%	1	20'	COMP SHINGLE
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9	3410 SIERRA GLEN RD	5613-013-015	11,910	1,994	16.7%	1	20'	COMP SHINGLE
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10	3404 SIERRA GLEN RD	5613-013-014	10,232	1,656	16.2%	1	20'	COMP SHINGLE
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11	2081 OAK VALLEY RD	5613-013-013	12,857	2,064	16.1%	1	20'	COMP SHINGLE
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12	2082 OAK VALLEY RD	5613-013-003	11,316	1,630	14.4%	1	20'	METAL SHINGLE
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13	2072 OAK VALLEY RD	5613-013-002	12,099	2,066	17.1%	1	20'	METAL SHINGLE
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14	2064 OAK VALLEY RD	5613-013-001	12,364	1,947	15.7%	1	20'	COMP SHINGLE
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15	2054 OAK VALLEY RD	5613-014-001	9,511	1,712	18.0%	1	20'	COMP SHINGLE
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16	3400 HIDDEN RANCHO PL	5613-012-008	7,937	1,504	18.9%	1	20'	COMP SHINGLE
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17	3401 SIERRA GLEN RD	5613-012-032	9,155	1,683	18.4%	1	20'	COMP SHINGLE
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SITE	3411 SIERRA GLEN RD	5613-012-031	8,852	1,555	17.5%	1	20'	METAL SHINGLE
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