

### CITY OF GLENDALE, CA

### **DESIGN REVIEW STAFF REPORT - SINGLE FAMILY**

November 2, 2022 500 Fischer Street

Hearing Date Address

Administrative Design Review (ADR) 5680-015-004

Review Type APN

PDRNRAF2211435 Harry Akopian

Case Number Applicant

Nikki Laureola Armen Ambarchyan

Case Planner Owner

### **Project Summary**

The applicant is proposing a cumulative residential floor area addition of 1,155 square feet to the rear and side of an existing 980 square-foot single-family home, including an attached two-car garage. The applicant also proposes demolition of the existing 205 square-foot detached one-car garage on the 7,500 square-foot lot in the R-3050 Zone, originally developed in 1925.

### **Environmental Review**

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption, pursuant to Section 15301 (e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 2,500 squarefeet of floor area. The property does not appear to eligible for historic designation at the federal, state, or local levels and is, therefore, not considered a historic resource under CEQA.

### **Existing Property/Background**

The project site is a 7,500 square-foot interior lot with frontage on Fischer Street that was originally developed in 1925 as a one-story 980 square-foot single-family residence and detached 205 SF one-car garage in the minimal traditional style. Access to the garage is provided by a single driveway off Fischer Street. There are no protected oak, bay, or sycamore trees on the site or within 20'.

### Staff Recommendation

Approve with Conditions

### **Last Date Reviewed / Decision**

First time submittal for final review.

Zone: R3050 - Moderate Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

## **Active/Pending Permits and Approvals**

None.

## **Site Slope and Grading**

None proposed.

## **Neighborhood Survey**

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	7,500 SF	7,500 SF – 7,500 SF	7,500 SF
Setback	23 ft.	11 ft. – 34 ft.	25 ft.
House size	3,886 SF	980 SF – 9,179 SF	980 SF
Floor Area Ratio	0.53	0.13 – 1.22	0.13
Number of stories	Primarily 1-story	1- and 2- story	1-story

### **DESIGN ANALYSIS**

 $\boxtimes$  yes  $\square$  n/a  $\square$  no

Site Planning		
Site Planning		

Are the following items satisfactory and compatible with the ding are

e the following items satisfactory and compatible with the project site and surround ea?
Building Location ⊠ yes □ n/a □ no
If "no" select from below and explain:  ☐ Setbacks of buildings on site
<ul><li>□ Prevailing setbacks on the street</li><li>□ Building and decks follow topography</li></ul>
Garage Location and Driveway ⊠ yes □ n/a □ no
If "no" select from below and explain:  ☐ Predominant pattern on block ☐ Compatible with primary structure
☐ Permeable paving material ☐ Decorative paving
Landscape Design

<ul> <li>If "no" select from below and explain:</li> <li>□ Complementary to building design</li> <li>□ Maintains existing trees when possible</li> <li>□ Maximizes permeable surfaces</li> <li>□ Appropriately sized and located</li> </ul>
Walls and Fences  ☑ yes ☐ n/a ☐ no  If "no" select from below and explain: ☐ Appropriate style/color/material ☐ Perimeter walls treated at both sides
<ul><li>□ Retaining walls minimized</li><li>□ Appropriately sized and located</li></ul>
Determination of Compatibility: Site Planning
The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:
<ul> <li>The proposed addition and attached garage to the rear and side of the house incorporate the building footprint of the existing nonconforming garage in a manner that is appropriate to the house's siting on the lot. The proposal follows the predominant pattern of the block.</li> <li>Increased paving to the south of the addition will provide access the wider conforming garage and a graded common space not visible from the street.</li> <li>The addition is proposed to be compliant with current setback requirements and landscaping ratios.</li> </ul>
Massing and Scale Are the following items satisfactory and compatible with the project site and surrounding area?
Building Relates to its Surrounding Context ⊠ yes □ n/a □ no
<ul> <li>If "no" select from below and explain:</li> <li>□ Appropriate proportions and transitions</li> <li>□ Relates to predominant pattern</li> <li>□ Impact of larger building minimized</li> </ul>
Building Relates to Existing Topography ⊠ yes □ n/a □ no
If "no" select from below and explain:  ☐ Form and profile follow topography ☐ Alteration of existing land form minimized ☐ Retaining walls terrace with slope

# **Consistent Architectural Concept**

⊠ yes   □ n/a   □ no
If "no" select from below and explain:
☐ Concept governs massing and height
Scale and Proportion ⊠ yes □ n/a □ no If "no" select from below and explain:
<ul> <li>□ Scale and proportion fit context</li> <li>□ Articulation avoids overbearing forms</li> <li>□ Appropriate solid/void relationships</li> <li>□ Entry and major features well located</li> <li>□ Avoids sense of monumentality</li> </ul>
Roof Forms ⊠ yes □ n/a □ no
If "no" select from below and explain:
☐ Roof reinforces design concept
☐ Configuration appropriate to context
Determination of Compatibility: Mass and Scale
The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:
<ul> <li>The existing residence is shown to have the lowest floor area ratio and smallest square footage in its general vicinity. The proposed addition is largely not visible from the public right-of-way and would not create a visual impact of monumentality in this neighborhood.</li> </ul>
<ul> <li>The architectural concept and roof forms are consistent throughout, and the addition is appropriately sized and placed on the site so as to create a usable semi-private space in front of the garage without disrupting proportion. The proposed massing creates transitions along the north-facing façade that break up what could be an overbearing stucco wall.</li> </ul>
The flat roof form behind the front façade gable also minimizes the impact of the addition.
Design and Detailing Are the following items satisfactory and compatible with the project site and surrounding area?
Overall Design and Detailing ⊠ yes □ n/a □ no
If "no" select from below and explain:
☐ Consistent architectural concept
<ul> <li>□ Proportions appropriate to project and surrounding neighborhood</li> <li>□ Appropriate solid/void relationships</li> </ul>

Entryway ⊠ yes □ n/a □ no
<ul> <li>If "no" select from below and explain:</li> <li>☐ Well integrated into design</li> <li>☐ Avoids sense of monumentality</li> <li>☐ Design provides appropriate focal point</li> <li>☐ Doors appropriate to design</li> </ul>
Windows ⊠ yes □ n/a □ no
If "no" select from below and explain:  ☐ Appropriate to overall design ☐ Placement appropriate to style ☐ Recessed in wall, when appropriate
Privacy ⊠ yes □ n/a □ no
If "no" select from below and explain:  ☐ Consideration of views from "public" rooms and balconies/decks ☐ Avoid windows facing adjacent windows
Finish Materials and Color ☑ yes □ n/a □ no
If "no" select from below and explain:  ☐ Textures and colors reinforce design ☐ High-quality, especially facing the street ☐ Respect articulation and façade hierarchy ☐ Wrap corners and terminate appropriately
Paving Materials ⊠ yes □ n/a □ no
If "no" select from below and explain:  ☐ Decorative material at entries/driveways ☐ Permeable paving when possible ☐ Material and color related to design
Lighting, Equipment, Trash, and Drainage  ☑ yes ☐ n/a ☐ no
If "no" select from below and explain:  ☐ Light fixtures appropriately located/avoid spillover and over-lit facades ☐ Light fixture design appropriate to project ☐ Equipment screened and well located

<ul> <li>□ Trash storage out of public view</li> <li>□ Downspouts appropriately located</li> <li>□ Vents, utility connections integrated with design, avoid primary facades</li> </ul>	
Ancillary Structures □ yes ⊠ n/a □ no	
<ul><li>If "no" select from below and explain:</li><li>□ Design consistent with primary structure</li><li>□ Design and materials of gates complement primary structure</li></ul>	
Determination of Compatibility: Design and Detailing	
The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:	
<ul> <li>The overall design of the addition and attached garage are consistent with the original dwelling, well-proportioned, and with finish materials and colors to match the 1925 minimal traditional home with Spanish tile coping, textured stucco, and recessed windows with flat wood trim.</li> <li>All proposed windows will be at ground level, and they are placed well away from facing windows on adjacent properties to maximize privacy between residences.</li> <li>All proposed windows will be built with a new sill, frame, and edge detail to match the visible windows at the building's front façade.</li> <li>Downspouts and exterior equipment, trash, and lighting have been appropriately placed.</li> </ul>	Э

### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval.** This determination is based on the implementation of the following recommended conditions:

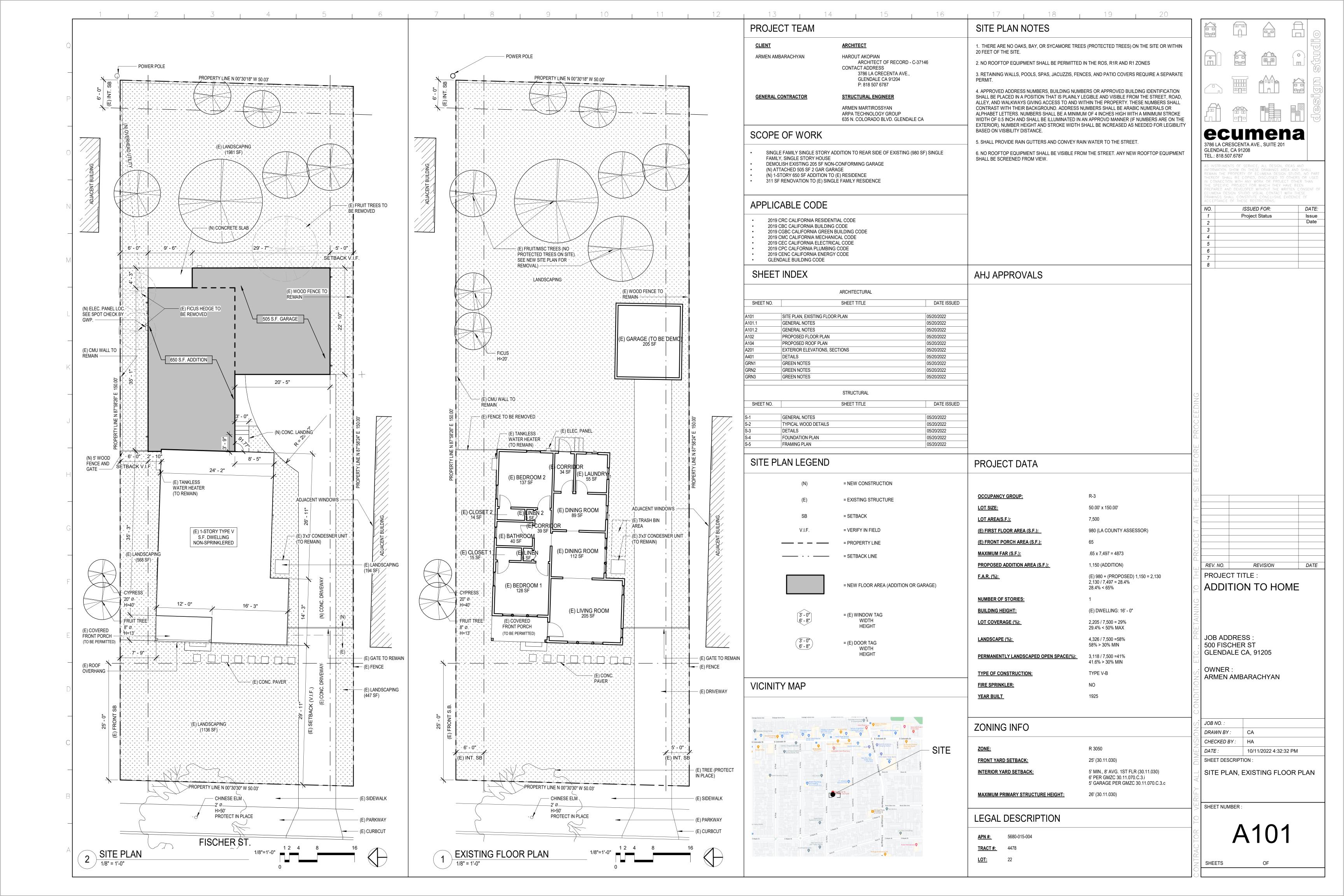
## **Conditions**

None

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### **Attachments**

- 1. Reduced Plans
- 2. Photos of Existing Property
- 3. Location Map
- 4. Neighborhood Survey



# 01. GENERAL NOTES:

- 0.1 THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, AND MAJOR CONSTRUCTION ELEMENTS. AS SUCH, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- 0.2 WORK INDICATED ON THE DRAWINGS AS (N.I.C.) IS NOT IN THE CONTRACT. SUBSEQUENT DRAWINGS AND SPECIFICATIONS WILL BE SUBMITTED BY OTHERS FOR SEPARATE APPROVAL AND SEPARATE BUILDING PERMITS. THE CONTRACTOR SHALL COORDINATE ALL THE TRADES OF HIS WORK DIRECTLY OR INDIRECTLY INVOLVED WITH APPROVED ADDITIONAL WORK.
- 0.3 ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANY ONE SUPPLYING LABOR OR MATERIALS OR BOTH TO INSTALL HIS WORK IN CONFORMANCE WITH THE CODE AND TO BRING TO THE ATTENTION OF THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS
- \*0.4 THE BUILDING DESIGN MEETS THE REQUIREMENTS OF TITLE 24.
- 0.5 ALL WORK PERFORMED BY THE CONTRACTOR/SUB-CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL OR FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- 0.6 WHERE THE CONTRACT NOTES OR DRAWINGS CALL FOR, ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR ANY OTHER DEPARTMENT HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS SHALL BE FURNISHED IN ALL CASES
- 0.7 ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- 0.8 ALL DIMENSIONS SHALL BE CONSIDERED "NOMINAL" UNLESS NOTED OTHERWISE. NOTED DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE OF DRAWINGS. DO NOT "SCALE" DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS.
- 0.9 ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO FACE OF FINISH, TYP, UNLESS NOTED OTHERWISE. DIMENSIONS TO EXT. WALLS ARE TO FACE OF STUD (F.O.S.). COLUMN DIMENSIONS ARE TO CENTERLINE OF COLUMN, TYP.
- 0.10 ANY DIMENSIONS, DETAILS, NOTES AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS NOTED OTHERWISE.
- ALL "ECUMENA DESIGN STUDIO" DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- 0.12 THE GENERAL CONTRACTOR SHALL NOTIFY "ECUMENA DESIGN STUDIO" IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN, UNLESS NOTED OTHERWISE, THAT WHICH SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQUIRED.
- WHERE THE TERMS "APPROVED EQUAL". "OTHER APPROVED". "EQUAL TO". "ACCEPTABLE" OR THE OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT
- 0.15 THE GENERAL CONTRACTOR SHALL SUPPLY CUT SHEET SPECIFICATIONS OF ALL FIXTURES AND EQUIPMENT CALLED FOR ON DRAWING, I.E. LIGHT FIXTURES, HARDWARE, ETC.

REFERENCE IS MADE TO THE RULING AND JUDGMENT OF THE "ECUMENA DESIGN STUDIO".

- THE GENERAL CONTRACTOR SHALL HAVE TEN WORKING DAYS FROM AWARD OF THE CONTRACT TO SUBMIT SUBSTITUTIONS OF SPECIFIED PRODUCTS OR WORK FOR REVIEW BY THE "ECUMENA DESIGN STUDIO". HE SHALL INCLUDE CUT SHEETS WITH SPECIFICATIONS AND REASONS FOR SUBSTITUTION. THE "ECUMENA DESIGN STUDIO" SHALL RESPOND IN TEN WORKING DAYS TO SUBMITTAL. NO SUBSTITUTIONS SHALL BE ACCEPTED AFTER THE INITIAL TIME LIMIT HAS PASSED.
- 0.17 THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF
- CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES. 0.18 THE GENERAL CONTRACTOR SHALL SEE THAT ALL SUB-CONTRACTORS RECEIVE COMPLETE ETS OF WORKING DRAWINGS OR ASSUME FULL RESPONSIBILITY FOR COORDINATION OF WORK WHEN
- COMPLETE SETS ARE NOT AVAILABLE TO SUB- CONTRACTORS. WHERE SPECIAL ITEMS REQUIRE EXTENDED LEAD TIME PREVENTING INSTALLATION BY PROJECTED MOVE-IN DATE, CONTRACTOR IS TO PROPOSE AN AVAILABLE ALTERNATE FOR APPROVAL BY THIS OFFICE. AND CLIENT AS WELL AS TO PREPARE PRICING FOR POSSIBLE TEMPORARY ASSEMBLIES.
- 0.20 THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY
- OF ALL PARTIES PRESENT ON THE JOB SITE IS THE RESPONSIBILITY OF THE CONTRACTOR. THE GENERAL CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND HE WILL BE EXPECTED TO COMPLY WITH THE
- \*0.22 TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY CHAPTER 33 SECTION 3306 CBC. A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE.

SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.

- 0.23 THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBILE FOR THE REMOVAL. REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. HE SHALL REPLACE OR REPAIR AS DIRECTED ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH SHALL APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 0.24 THE GENERAL CONTRACTOR, HIS SUB-CONTRACTOR AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFORE.
- 0.25 CONTRACTOR SHALL IDENTIFY AND DESCRIBE PROTECTION MEASURES TO BE UTILIZED DURING CONSTRUCTION TO PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT, FIRE HAZARDS AND OTHER POTENTIAL PROBLEMS CAUSED BY CONSTRUCTION.
- 0.26 THE GENERAL CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT CONTROL OVER JOB TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE.
- STRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, SCAFFOLDING OR FALSEWORK MORE THAN 3 STORIES OR 36' IN HEIGHT, REQUIRES A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUE OF A BUILDING PERMIT.
- 0.28 THE GENERAL CONTRACTOR SHALL PROPERLY PROTECT THE EXISTING BUILDING TO REMAIN AND ANY ADJOINING PROPERTY OR WORK AND ANY DAMAGE TO SAME, CAUSED BY HIS WORK OR WORKMEN MUST BE MADE GOOD WITHOUT DELAY. PATCHING AND REPLACING OF DAMAGED WORK SHALL BE DONE BY THE GENERAL CONTRACTOR.
- 0.29 THE CONTRACTOR MUST PROVIDE TEMPORARY LIGHTING ON THE JOB SITE.
- ALL REQUIRED EXITS, WAYS OF APPROACH THERETO, AND WAYS OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE CASE OF FIRE OR OTHER EMERGENCY.
- DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS, BOTH FROM HIS OWN AND OTHER SUBCONTRACTORS EMPLOYEES, INCLUDING THAT RUBBISH WHICH IS A BY-PRODUCT OF CARPET AND CABINET INSTALLATION, TELEPHONE COMPANY INSTALLATION, ETC. AND PROVIDE FOR ITS REMOVAL FROM THE SITE.
- 0.33 AT THE END OF EACH DAY OF CONSTRUCTION OR FINISH WORK, EACH TRADE SHALL BE RESPONSIBLE FOR REMOVING ANY DEBRIS FROM THE SITE. THE JOB SITE SHALL BE CLEANED TO THE SATISFACTION OF THE CLIENT AND THIS OFFICE UPON COMPLETION OF THE PROJECT BY THE
- 0.34 NO COMBUSTIBLE RUBBISH DURING CONSTRUCTION SHALL BE STORED IN BUILDING. IT SHALL BE REMOVED DAILY.

- 0.35 THE GENERAL CONTRACTOR SHALL VERIFY SIZE, ELECTRICAL REQUIREMENTS, LOCATION AND CHARACTERISTICS OF ALL WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- 0.36 CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FORMING WALLS, FLOORS, etc...
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING, ELECTRICAL AND FIRE SPRINKLER WORK, ACCESS PANELS TO BE APPROVED BY THE DESIGNER.
- 0.38 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES. EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.
- 0.39 ALL EXISTING APPURTENANCES NOT BEING REMOVED SHALL BE REFURBISHED WHERE REQUIRED. ANY LOOSE ITEMS TIGHTENED (CEILING EXIT SIGNS, ETC.) AND ANY MISSING PARTS REPLACED BY THE GENERAL CONTRACTOR TO ACHIEVE A FINISHED FIRST CLASS INSTALLATION AND
- 0.40 THE GENERAL CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUTS TO THE "ECUMENA DESIGN STUDIO" FOR REVIEW. THE "ECUMENA DESIGN STUDIO" SHALL HAVE 40 WORKING HOURS (5 DAYS) SHOP DRAWING TURN-AROUND TIME FROM DATE OF RECEIPT. ALL SHOP DRAWINGS AND CUTS SIGNED "REVIEWED" SHALL SUPERSEDE ORIGINAL DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS.
- ALL FINISH CONTRACTORS TO FIELD VERIFY SIZE OF ROOMS AND WALLS PRIOR TO PLACING ORDERS.
- 0.42 THE GENERAL CONTRACTOR, SUB-CONTRACTOR AND TENANTS CONTRACTOR SHALL SUBMIT CERTIFICATES TO THE "ECUMENA DESIGN STUDIO" UPON COMPLETION OF WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING
  - a) FIREPROOF WOOD TEST REPORT (IF REQUIRED) b) ELECTRICAL, PLUMBING AND AIR CONDITIONING CERTIFICATES ISSUED BY: -DEPARTMENT OF WATER SUPPLY, GAS AND ELECTRICITY -BOARD OF FIRE UNDERWRITERS

## 1. FIRE/LIFE SAFETY:

- \*1.1 PROVIDE AN APPROVED FIRE ALARM SYSTEM, WITH DESCRIPTION OF SEQUENCE, OF OPERATION AND LISTED STATE FIRE MARSHAL APPROVED EQUIPMENT.
- \*1.2 FIRE DEPARTMENT ACCESS. FIRE HYDRANTS. AND FIRE FLOW REQUIREMENTS ON THIS PROJECT SHALL BE REVIEWED BY THE HYDRANT UNIT, \_\_\_\_\_ CITY, \_\_\_\_ ADDRESS,
- 1.3 SPRINKLER SYSTEM MUST BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 1.4 ALL INTERIOR WALLS AND CEILING FINISHES SHALL BARE THE FOLLOWING MAXIMUM FLAME SPREAD CLASSIFICATION FOR FINISH MATERIALS, AS REQUIRED BY CHAPTER 8 C.B.C.:
  - a) ENCLOSED VERTICAL CLASS I b) OTHER EXITWAYS - CLASS II c) ROOMS OR AREAS - CLASS III

HAVE I.C.B.O. NUMBER APPROVAL.

2. EXITS & STAIRS:

OPENS TO A PUBLIC WAY.(R311.1)

EXTERIOR STAIRS AND LANDINGS. (R311.3.1)

AT THE BOTTOM LANDING OF THE STAIRWAY. (R303.7 CRC)

SOURCE IS LOCATED OVER EACH STAIRWAY SECTION.

CONTROLLED FROM THE INSIDE OF THE DWELLING UNIT.

THAN 36". (R311.3)

- 1.5 BUILDING NUMBER OR ADDRESS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. LOCATE AS DIRECTED BY THE FIRE INSPECTOR. NUMBERS SHALL BE 8" HELVETICA FOAM CORE PAINTED IN THE CONTRASTING COLOR.
- 1.6 DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2 INCH GYPSUM BOARD, 3/8 INCH PLYWOOD, 3/8 INCH TYPE 2-M PARTICLE BOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. PROVIDE A COMPLETE SEAL THE ENTIRE FULL HEIGHT OF THE SPACE.
- \*1.7 ALL PENETRATIONS OF FIRE RATED WALLS SUCH AS FOR HVAC DUCTS, ELECTRICAL, PLUMBING etc.... SHALL BE TREATED WITH A FIRE STOPS SEALANT MEETING THE PROVISION OF SEC. 709.6 OF THE C.B.C. HAVING F OR T RATINGS AS DE TERMINED BY TEST CONDUCTED IN ACCORDANCE WITH I.B.C. STANDARD NO.7-1, STANDARD METHOD E 814 OF THE ASTM OR UL 1479. ALL PRODUCTS USED SHALL
- 1.8 FIRE DEPARTMENT ACCESS ROADWAY TO COMPLY WITH F.P.B. POLICY A-85-3, AND 10.207 U.F.C.
- 1.9 CURB MARKIGS. NO PARKING SIGNS AND PAINTED CURBS TO BE PROVIDED AS DIRECTED BY THE FIRE INSPECTOR.
- \*1.10 ROOF COVERING SHALL BE FIRE RETARDANT (CHAPTER 15 C.B.C.)
- ROOF: USE CLASS "A" OR "B". WHERE UNDERLAYS ARE ATTACHED TO THE ROOF BY STRIP OR SPOT BONDING, A MINIMUM OF 1 LAYER 3/8" PLYWOOD; WHERE UNDERLAYS ARE ATTACHED TO THE ROOF BY NAILING AT POINTS NOT MORE THAN 12" APART IN ANY DIRECTION, A MINIMUM OF 1 LAYER 1" NOMINAL SHEATHING OR 1/2" PLYWOOD SURFACED WITH A FIRE-RETARDANT ROOFING OF 3 LAYERS 15 # FELT BONDED TOGETHER WITH MINIMUM 40# BITUMNIOUS BONDING AGENT WITH 250# GRAVEL PER 100 S.F. UNLESS SPECIFIED OTHERWISE ON PLANS. SEE ALSO STRUCTURAL DRAWINGS AND REQUIREMENTS OF CHAPTER 16, C.B.C.
- 1.12 TOP OF CHIMNEY MUST EXTEND MINIMUM 24 INCHES ABOVE ANY ROOF WITHIN 10 FEET. PROVIDE APPROVED SPARK ARRESTOR AS PER MANUFACTURER SPEC'S.
- 1.14 ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON, FENCE, CABLE, OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE.
- 1.15 SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: a) IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE
- THAN ONE STORY b) IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED.

2.1 THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL

AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE

DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE

REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT

2.2 EMERGENCY EGRESS. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW

OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE. THESE EMERGENCY ESCAPE WINDOWS OR

DOORS MUST PROVIDE A FULL CLEAR OPENING AND SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE

USE OF SPECIAL TOOLS. ONE OPENABLE WINDOW WITH AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ.

FT., MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS

2.4 ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD.

2.5 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH MEANS TO ILLUMINATE THE

LIGHTING LOCATED AT EACH LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS SHALL BE PROVIDED

WITH ARTIFICIAL LIGHTING LOCATED AT THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS

EXCEPTION: A LIGHT SOURCE IS NOT REQUIRED AT THE TOP AND BOTTOM LANDING PROVIDED A LIGHT

LIGHT ACTIVATION (R303.7 CRC): WHERE LIGHTING OUTLETS ARE INSTALLED IN INTERIOR STAIRWAYS.

THE STAIRWAY HAS SIX OR MORE RISERS. THE ILLUMINATION OF EXTERIOR STAIRWAYS SHALL BE

EXCEPTION: LIGHTS THAT IS CONTINUOULY ILLUMINATED OR AUTOMATICALLY CONTROLLED.

2.7 A LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.7.6)

2.8 SPIRAL STAIRWAY SHALL NOT SERVE AS REQIRED EXIT FOR AN AREA EXCEEDING 400 SQ.FT.

THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROLLED LIGHTING OUTLETS WHERE

2.6 LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NO LESS

PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE SHALL BE PROVIDED WITH ARTIFICIAL LIGHTING

STAIRS, INCLUDING LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL

EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE

THAN 7.75" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL

2.3 EXIT DOORS SHALL BE NOT LESS THAN 36" IN WIDTH AND NOT LESS THAN 6'8" IN HEIGHT.

REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (1030.2)

### 2.9 STAIRS: a) MAXIMUM RISER = 7" (7.75" -WITHIN INDIVIDUAL UNITS) b) MINIMUM TREAD = 11" (10" -WITHIN INDIVIDUAL UNITS) c) MINIMUM HEADROOM = 6'8" d) HANDRAILS = 34"-38" HIGH

- 2.10 HANDGRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/2" INCHES NOR MORE THAN 2 INCHES IN CROSS SECTIONAL DIMENSION.
- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS REQUIRES 1-HR FIRE RESISTIVE CONSTRUCTION ON ENCLOSED SIDE.
- STAIRWAY LANDING: a) LANDING DIMENSION IN THE DIRECTION OF TRAVEL MUST EQUAL THE WIDTH OF THE
- b) SWINGING DOORS SHALL NOT REDUCE REQUIRED LANDING WIDTH TO LESS THAN ONEc) WHEN DOOR OPENS OVER LANDING THE LANDING SHALL HAVE A LENGTH OF NOT LESS
- PROVIDE 42" GUARDRAIL. MAXIMUM CLEARANCE BETWEEN INTERMEDIATE RAIL IS 4".

d) MAXIMUM VERTICAL DISTANCE BETWEEN LANDINGS IS 12 FEET.

PROVIDE 42" HIGH MINIMUM PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES, LANDINGS AND RAISED FLOORS, WHEN MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW, AND OPEN SIDE(S) OF STAIR LANDING. OPENING BETWEEN BALUSTERS/ RAILS SHALL PRECLUDE PASSAGE OF 4 INCH

- 3.1 PROVIDE 2 COATS OF INDUSTRIAL GLOSS ENAMEL (INTERIOR/EXTERIOR) OVER PRIMER ON ALL EXPOSED STRUCTURAL STEEL MEMBERS, STEEL SUPPORT STRUCTURAL RAILINGS PIPE CHANNELS AND
- 3.2 ALL NON-CONCRETE SURFACES UNLESS NOTED OTHERWISE, TO BE PAINTED SHALL RECEIVE A MINIMUM OF THREE COATS OR TWO COATS ON PRIMER. CONCRETE TO BE ONE COAT OVER PRIMER.
- 3.3 FLOOR SURFACES SHALL BE SLIP RESISTANT MEETING THE REQUIREMENTS OF CALIFORNIA TITLE
- 3.4 ALL UTILITIES ARE REQUIRED TO BE UNDERGROUND ON THIS SITE AND SHALL BE UNDERGROUND FROM PROPERTY LINE TO BUILDING.
- 3.5 SOILS REPORT AND COMPACTION REPORTS ARE TO BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO FOUNDATION INSPECTION.
- 3.6 THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, UNLESS A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT
- 3.7 TEMPORARY TOILET. MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION.
- 3.8 WELDING SHALL BE DONE BY CITY BUILDING DEPARTMENT CERTIFIED WELDERS.
- 3.9 FOUNDATION. DEPTH OF FOOTINGS: MINIMUM OF 24" INTO NATURAL GRADE OR APPROVED COMPACTED FILL UNLESS SHOWN OTHERWISE ON THE DRAWINGS. SEE ALSO STRUCTURAL DRAWINGS AND SOIL REPORT.
- 3.10 PROVIDE MINIMUM 12" CLEARANCE UNDER FLOOR GIRDERS AND MINIMUM 18" CLEARANCE UNDER FLOOR JOISTS IN THE CRAWL SPACE AREA.
- MUDSILLS. ALL WOOD IN CONTACT WITH CONCRETE AND WITHIN 48" OF GRADE SHALL BE EITHER FOUNDATION GRADE REDWOOD OR PRESSURE-TREATED DOUGLAS FIR.
- 3.12 ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A
- ALL NOISE BARRIER BATTS (SOUND INSULATION) SHALL BE NON-COMBUSTIBLE.

MANNER AS TO MAKE THEM WEATHERPROOF.

- WOOD/EARTH SEPARATION MINIMUM 8" CLEARANCE, EXCEPT SEPARATION BY CONCRETE MAY BE 2" MINIMUM.
- 3.15 STUD WALLS, TYPICAL WALLS SHALL BE FRAMED WITH 2x4 AT 16" o.c. EXCEPT WHERE NOTED OTHERWISE. CRIPPLES OR WALLS BEARING TWO STORIES ABOVE SHALL BE FRAMED WITH 2X6 OR 3X4 STUDS AT 16"O.C. EXCEPT WHERE NOTED OTHER- WISE AT EXTERIOR WALLS AND BEARING WALLS. STUDS SHALL NOT BE NOTCHED MORE THAN 25% OF WIDTH OF STUD; AT NON- BEARING PARTITIONS NOT MORE THAN 40% OF WIDTH OF STUDS. BORED HOLES MAX. DIAMETER 40% ANY STUD AND 60% NON-BEARING STUD. NO BORED HOLE CLOSER THAN 5/8" TO EDGE OF STUD.
- 3.16 DECORATIONS USED IN PUBLIC AREAS SHALL BE NON-COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER, TITLE 19, ARTICLE 42, M.C. 57,22
- 3.17 AN ATTIC ACCESS OPENING SHALL BE PROVIDED FOR ATTIC WITH A VERTICAL HEIGHT OF GREATER THAN 30 INCHES. THE OPENING SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. THE OPENING SHALL NOT BE LESS THAN 22 INCES BY 30 INCHES. 30 INCH MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS
- ROOF DRAINS DISCHARGING WATER WITHIN 25' OF A STREET PROPERTY LINE MUST BE CONDUCTED UNDER SIDEWALK. ALL ROOF DRAINAGE SHALL BE CONDUCTED TO THE STREET BY MEANS OF APPROVED NON-EROSIVE DEVICE.
- 3.19 OVERFLOW DRAINS AND SCUPPERS ROOFS ENCLOSED BY PARAPET WALLS SHALL BE PROVIDED WITH OVERFLOW SCUPPERS NOT LESS IN AREA THAN 3 TIMES THE SIZE OF THE ROOF DRAINS AND HAVING A MINIMUM OPENING HEIGHT OF 4 INCHES, THE BOTTOM OF THE SCUPPERS SHALL BE NOT MORE THAN 2" ABOVE THE ROOF POINT. ALL ROOF DRAINAGE SHALL CONFORM TO SEC. 1506 CBC
- U OCCUPANCY GARAGE REQUIRES 1-HOUR OCCUPANCY SEPARATION FROM R-3 OCCUPANCY.

# 4. SECURITY PROVISION NOTES:

- ALL OPENINGS NOTED WITH SYMBOL ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY:
- ALL OPENINGS IN AN EXTERIOR WALL AND LESS THAN 16 FT. ABOVE ANY ADJOINING GRADE ACCESSIBLE TO THE PUBLIC OR OTHER TENANT, AND OPENINGS IN ENCLOSING PARTITIONS OF A DWELLING UNIT, PRIVATE GARAGE, GUESTROOM OR SINGLE TENANT NON-RESIDENTIAL AREA ARE SECURITY OPENINGS.
- 4.1 ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 6706.
- WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURE. 6707 4.3 WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION.

4.2 SCREENS, BARRICADES OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING

SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS

- 6709.1. DOOR STOPS OF IN-SWINGING DOORS SHALL BE ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB. 6709.4 4.4 OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES
- ARE NOT PERMITTED (R302.5.1). 4.5 DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR

HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

- 4.6 SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN
- 4.7 SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1
- 4.8 METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32 IN. DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED.

- 4.9 PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 6712
- 4.10 GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2 INCHES. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2 INCHES IN THEIR GREATEST DIMENSIONS. 6713
- 4.11 LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. SUCH BARS OR GRILLES SHALL HAVE A PATTERN SUCH THAT FETC. AND ALL COVERPLATES TO BE WHITE. NO LESS THAN ONE DIMENSION OF ANY OPENING SHALL BE 6 IN. OR LESS. 6715.3
- 4.12 SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION, 6715.1.
- 4.13 SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TEST
- 4.14 ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 6715.4
- 4.15 AL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 IN. IN ONE DIMENSION. 6716
- 4.16 SINGLE SWINGING DOORS DEADBOLTS WITH HARDENED INSERTS TO BE SPECIFIED: DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR; LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT. 6709.2

### 5. LIGHTING/ELECTRICAL NOTES:

SPECIFIED IN 6717.2

- 5.1 THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES AND ELECTRICAL WORK AS SHAFT ENCLOSURE OR ANY OTHER WALLS OR CEILING THAT ARE REQUIRED TO BE FIRE RATED. SHOWN OR IMPLIED ON ALL DRAWINGS AND NOTES.
- 5.2 THE CONTRACTOR SHALL COORDINATE HIS WORK WITH MANUFACTURER'S SPECIFICATIONS.
- LABORATORIES, INC. IN EVERY CASE WHERE SUCH A STANDARD HAS BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL IN QUESTION, UNLESS OTHERWISE NOTED.
- 5.5 PROPOSALS SHALL BE BASED UPON FURNISHING AND INSTALLING NEW LIGHTING FIXTURES AND REMOVING AND REINSTALLING EXISTING LIGHTING FIXTURES (INCLUDING NEW LAMPING) OF TYPES AND
- 5.6 THE GENERAL AND ELECTRICAL CONTRACTORS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, LIGHTING AND OTHER OBSTRUCTIONS TO ASSURE THE FINISHED CEILING HEIGHT SHOWN ON THE "ECUMENA DESIGN STUDIO" DRAWINGS. ANY DISCREPANCY
- 5.7 ALL RECESSED FIXTURES SHALL BE SET FLUSH INTO CEILINGS, UNLESS OTHERWISE NOTED.
- 5.8 THE ELECTRICAL CONTRACTOR SHALL SUBMIT CUTS OF ALL FIXTURES AS DIRECTED.
- 5.9 THE ELECTRICAL CONTRACTOR SHALL COORDINATE ANY ELECTRICAL OR LIGHTING INSTALLATION INTO CABINETWORK WITH CABINET CONTRACTOR IF AND AS REQUIRED.
- SERVICE FOR ALL TRADES AS REQUIRED.
- 5.12 ALL ELECTRICAL, TELEPHONE RECEPTACLES AND LIGHT FIXTURES SHALL BE LOCATED AS
- READS AS FOLLOWS: ALL 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES,

DIMENSIONED ON THE "ECUMENA DESIGN STUDIO" PLANS.

- 5.15 CENTER OF RECEPTACLE OUTLETS SHALL NOT BE LESS THAN 12-INCHES ABOVE THE FLOOR OR WORKING AREA.
- COOLING, HEATING AND VENTILATION EQUIPMENT SHALL NOT BE LESS THAN 3 FEET NOR MORE THAN 4 FEET ABOVE THE FLOOR OR WORKING PLATFORM.
- 5.18 NO "BACK-TO-BACK" OUTLETS ARE PERMITTED WITHIN A WALL. OUTLETS MUST BE STAGGERED IN LOCATION. DIMENSIONS GIVEN ARE TO FIRST SET OF OUTLETS ENCOUNTERED, STAGGER OPPOSITE
- 5.20 FIRE RATED TEFLON PLENUM CABLES SHALL BE USED FOR TELEPHONE AND ANY LOW-VOLTAGE
- 5.21 UNLESS OTHERWISE NOTED, ALL OUTLETS SIDE BY SIDE SHALL BE 6" FROM CENTER OF PLATE WITH POSITIONING DIMENSIONS CENTERED BETWEEN.
- 5.25 PROVIDE NEW BLANK COVER PLATES FOR EXISTING OUTLETS NOT BEING USED. COVER PLATES TO MATCH NEW RECEPTACLES, UNLESS OTHERWISE NOTED.

THE ELECTRICAL CONTRACTOR WILL COORDINATE HIS WORK WITH THE AIR CONDITIONING

- RATED 15 AMP., 125 V., GROUNDED, UNLESS NOTED OTHERWISE.
- 5.27 THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL POWER WIRING.
- WITH MULTIPLE OUTLETS DEDICATED TO A SPECIFIC EQUIPMENT USAGE.
- 5.30 THE POWER AND SIGNAL PLAN GOVERNS DEVICE LOCATIONS AND THE ELECTRICAL ENGINEER'S DRAWINGS GOVERN THE WIRING LAYOUT AND INSTALLATION. INSTALL IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY LOCAL AUTHORITIES. WHERE CONFLICTS OCCUR NOTIFY ARCHITECT FOR CLARIFICATION.

- - 5.32 TYPICAL HEIGHTS OF ELECTRICAL OUTLETS AND DEVICES ARE AS INDICATED: a) LOCATE CENTERLINE OF THERMOSTATS, PULL BOXES AND CONTROL DEVICES AT +42" ABOVE b) LOCATE SWITCHES/DIMMERS AT +42" ABOVE FINISHED FLOOR. GANG WITH OTHER OUTLETS WHERE ADJACENT, PROVIDE A SINGLE PIECE COVERPLATE WHERE SWITCHES/DIMMERS ARE
  - TOGETHER. c) LOCATE CENTERLINE OF ALL WALL MOUNTED ELECTRICAL, TELEPHONE AND DATA OUTLETS AT
  - +15" ABOVE FINISH FLOOR IN VERTICAL POSITION, UNLESS NOTED OTHERWISE. d) ELECTRICAL, TELEPHONE, AND DATA OUTLETS MOUNTED AT A HEIGHT OF +30" ABOVE FINISH FLOOR OR MORE, ARE TO BE INSTALLED HORIZONTALLY TO CENTERLINE OF DIMENSION INDICATED.
  - 5.33 ALL EXPOSED ELECTRICAL DEVICES, I.E. SWITCHES, OUTLETS, WALL TELEPHONE MOUNTS,

## 6. H.V.A.C. NOTES:

BE DONE ON OVERTIME.

CONSIDERATIONS.

OR SLEEPING ROOM.

- 6.1 REFER TO MECHANICAL AND ELECTRICAL CONTRACTOR'S DRAWINGS AND MANUFACTURER'S TEMPLATE DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL FOUIPMENT SUPPORTS. BOLT SETTING TEMPLATES, ISOLATIONS, SPRING ISOLATION, ETC., NOT SHOWN ON DRAWINGS.
- 6.2 CONTRACTOR SHALL COORDINATE ALL SLAB AND WALL OPENINGS REQUIRED BY MECHANICAL AND ELECTRICAL DRAWINGS.
- \*6.3 DUCT PENETRATIONS THROUGH PROTECTIVE ELEMENT OF FIRE RATED CORRIDOR WALLS SHALL
- 6.4 ROOF DRAINS DISCHARGING WATER MUST BE CONDUCTED UNDER THE SIDEWALK OR APPROVED LOCATION.

BE PROTECTED WITH A FIRE DAMPER PER CBC STANDARD 43-7 AND 43-12.

- 6.5 MECHANICAL VENTILATION IN TOILET ROOM SHALL PROVIDE ONE (1) COMPLETE AIR CHANGE EVERY FIFTEEN (15) MINUTES AND SHALL BE VENTED TO OUTSIDE AIR.
- 6.6 THE PLUMBING CONTRACTOR SHALL SUBMIT CUTS OF ALL NEW FIXTURES, FITTINGS AND ACCESSORIES TO THE "ECUMENA DESIGN STUDIO" FOR REVIEW AND APPROVAL.
- 6.7 AUTOMATIC FIRE DAMPERS SHALL BE PROVIDED WHEREVER DUCTS PENETRATE FIRE RATED
- 6.8 THE HVAC ENGINEER WILL PROVIDE NECESSARY ENGINEERING DRAWINGS TO REWORK ALL EXISTING EQUIPMENT AND TO DETERMINE ALL NEW EQUIPMENT TO MEET THE ABOVE REQUIREMENTS.
- INCLUDING DIFFUSERS, THERMOSTATS AND ANY REQUIRED ACCESS PANELS, TO CITY SPACES, INC.. FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION AND/OR INSTALLATION OR RELOCATION. 6.10 THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD SUPERVISION OF ALL THEIR

WORK DURING INSTALLATION AND SHALL INSPECT ALL SYSTEMS FOR PROPER OPERATIONS AT

6.9 SUBMIT SHOP DRAWINGS INDICATING ALL NEW WORK AND ALL EXISTING EQUIPMENT TO REMAIN

- 6.11 INSTALLATION SHALL BE COORDINATED WITH ALL TRADES AS REQUIRED FOR PROPER ASSEMBLY. CEILING DIFFUSERS TO BE RELOCATED TO MAINTAIN NEW FIXTURE PATTERNS.
- 6.12 ANY BUILDING SERVICE SHUT DOWNS REQUIRED FOR THIS WORK SHALL BE REQUIRED IN WRITING BY THE HVAC CONTRACTOR AT LEAST 72 HOURS IN ADVANCE THE SHUT DOWN. THE HVAC CONTRACTOR SHALL OBTAIN APPROVAL FROM ALL AUTHORITIES HAVING JURISDICTION PRIOR TO SHUT DOWN. ANY SHUT DOWN AFFECTING THE NORMAL HVAC SERVICE OF OTHER BUILDING OCCUPANTS SHALL
- 6.13 BALANCING OF ENTIRE SYSTEM SHALL BE DONE BY A QUALIFIED ENGINEER. SUBMIT REPORT TO THE "ECUMENA DESIGN STUDIO".
- 6.14 ALL DUCT WORK SHALL BE INSULATED AS REQUIRED FOR THERMAL AND ACOUSTIC
- 6.15 NO HVAC DUCT WORK OR RELATED EQUIPMENT IS TO BE HUNG FROM THE ROOF DECK. EQUIPMENT SHALL BE SUSPENDED FROM STRUCTURAL MEMBERS OR SECONDARY FRAMING MEMBERS. MECHANICAL, ELECTRICAL AND PLUMBING SUB- CONTRACTORS SHALL COORDINATE THEIR WORK WITH EACH OTHER AND WITH THE BUILDING FRAMING.
- 6.16 ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 1/8 OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 10 SQ.FT 6.17 IN BATHROOMS CONTAINING A BATHTUB OR SHOWER OR COMBINATION THEREOF, LAUNDRY
- OUTSIDE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR MAY BE PROVIDED. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAS 3 FEET FROM ANY OPENING INTO THE BUILDING. 6.18 BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS SHALL

ROOMS. AND SIMILAR ROOMS. A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE

NOT LESS THAN 1/20 OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 1 1/2 SQ.FT.  $^{-}$ 6.19 MECHANICAL VENTILATING SYSTEM CAPABLE OF PROVIDING TWO AIR CHANGES PER HOUR

BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA

- MAY BE PROVIDED. 1/5 OF THE AIR SUPPLY SHALL BE TAKEN FROM THE OUTSIDE. UNDER-FLOOR AREAS SHALL BE VENTILATED WITH OPENINGS HAVING A NET AREA OF NOT LESS THAN 1 SQ.FT. FOR EACH 150 SQ.FT. OF AREA, OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. THE OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES AND SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF MAXIMUM 1/4
- INCH IN DIMENSION. 6.21 ATTIC AREA SHALL BE VENTILATED WITH OPENINGS HAVING A NET AREA OF NOT LESS THAN 1 SQ.FT. FOR EACH 150 SQ.FT. OF AREA. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT
  - WIRE MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION. 6.22 WATER HEATER LOCATION. NO WATER HEATER WHICH DEPENDS ON THE COMBUSTION OF A FUEL FOR HEAT SHALL BE INSTALLED IN ANY ROOM USED OR DESIGNED TO BE USED FOR SLEEPING PURPOSES, A BATHROOM, A CLOTHES CLOSET, OR IN ANY CONFINED SPACE OPENING INTO A BATHROOM
  - \*6.23 ANCHORAGE OF WATER HEATERS. ALL WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO PREVENT HORIZONTAL AND VERTICAL DISPLACEMENT DUE TO EARTHQUAKE. WATER HEATER SHALL BE ADEQUATELY BRACED TO RESIST SEISMIC FORCES. PROVIDE TWO (2) STRAPS. ONE STRAP AT TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK. CPC. SECTION 510.5
- \*6.24 THE FAU CLOSET OR ALCOVE MUST BE 12 INCHES WIDER THAN THE FURNACE OR FURNACES BEING INSTALLED. CMC SECTION 304.7 6.25 A FUEL BURNING FURNACE (OR ANY FUEL BURNING EQUIPMENT) SHALL NOT BE INSTALLED IN A

CLOSET, BATHROOM OR A ROOM READILY USABLE AS A BEDROOM, OR IN A ROOM, COMPARTMENT OR

ALCOVE OPENING. \*6.26 PASSAGEWAY TO THE ATTIC FURNACE SHALL BE UNOBSTRUCTED NOT LESS THAN 30" HIGH AND 30" WIDE AND HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24 INCHES WIDE, NOT MORE THAN 20 FEET IN LENGTH THROUGH THE ATTIC. SECTION 307.3.2, CMC.

TEL.: 818.507.6787 ONNECTION WITH ANY WORK OR PROJECT OTHER THAI

GLENDALE, CA 91208

DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.					
NO.	ISSUED FOR:	DATE:			
1	Project Status	Issue			
2	GLENDALE PLANNING DPT	08/04/22			
3					
4					
5					
6					



DATE REVISION

**ADDITION TO HOME** 

JOB ADDRESS 500 FISCHER ST GLENDALE CA, 91205

PROJECT TITLE

OWNER: ARMEN AMBARACHYAN

> JOB NO.: DRAWN BY : Author

8/3/2022 5:29:55 PM SHEET DESCRIPTION:

CHECKED BY:

SHEET NUMBER:

GENERAL NOTES

- 5.3 THE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, PUBLIC UTILITIES COMPANY, TELEPHONE COMPANY AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- 5.4 ALL NEW MATERIALS REQUIRED SHALL CONFORM WITH THE STANDARDS OF THE UNDERWRITERS
- MANUFACTURER'S AS INDICATED ON THE "ECUMENA DESIGN STUDIO" REFLECTED CEILING PLANS.
- WILL BE BROUGHT TO THIS OFFICE ATTENTION PRIOR TO FINAL BIDDING.
- 5.10 THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AND ELECTRICAL
- WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN GANG TYPE BOX UNDER ONE COVERPLATE.
- GROUND-FAUILT CIRCUIT-INTERRUPTER PROTECTION COMPLIES WITH NEC ART. 210-8, WHICH
- BASEMENTS, OUTDOORS, KITCHEN COUNTERS AND AT WET BAR SINKS. 5.14 RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC ART, 210-52(a).
- 5.16 CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR
- ALL NEW OUTLETS ON COLUMNS WILL BE CENTERED ON FACE SHOWN, UNLESS OTHERWISE
- 5.19 ALL FIRE PREVENTION AND ELECTRICAL WIRING IS TO BE PLACED IN CONDUIT.
- CIRCUITS NOT IN CONDUIT.
- 5.22 PROVIDE TELEPHONE OUTLETS (WHERE SHOWN ON "ELECTRICAL/ TELEPHONE PLAN") AND ALL NECESSARY CONDUIT RUNS TO TELEPHONE EQUIPMENT AS REQUIRED. 5.23 ALL ELECTRICAL AND TELEPHONE WIRING CONDUIT SHALL BE CONCEALED IN PARTITIONS
- 5.24 THE ELECTRICAL AND/OR GENERAL CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING OF ALL CHASES IN FLOORS, WALLS, AND CEILINGS, AS REQUIRED.
- 5.26 CONVENIENCE RECEPTACLES SHALL BE AS SPECIFIED BY ELECTRICAL ENGINEER, DUPLEX TYPE
- ENGINEER AND CONTRACTOR PRIOR TO EXECUTING HIS WORK. AS IT RELATES TO THIS SET OF DOCUMENTS A DEDICATED CIRCUIT SHALL BE A SINGLE CIRCUIT
- 5.31 DEVICE LOCATIONS, ELECTRICAL, TELEPHONE/DATA OUTLETS, LIGHT SWITCHES ETC. SHALL BE "CHALKED AND LOCATED" FOR REVIEW BY THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

### 7. SAFETY GLAZING IN HAZARDOUS AREAS:

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSED OF SAFETY GLAZING SECTION 2406,

GLAZING IN: a. SWING DOORS EXCEPT JALOUSIES.

b. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.

c. STORM DOORS. d. UNFRAMED SWINGING DOORS.

e. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

f. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE, READ CODE FOR EXCEPTIONS.

g. FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).

i. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.84 RN)

ii. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR. iii. EXPOSED TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR. iv. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE

OF THE GLAZING. h. GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS. WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL

OF THE FOLLOWING CONDITIONS ARE PRESENT: i. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.

ii. THE GLAZING IS WITHIN 60 INCHES (1525 MM) OF A SWIMMING POOL OR SPA WATER'S EDGE. ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE(READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION). k. ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION ).

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN

IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

a. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES. b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING

CONDITIONS: iii. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

iv. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

v. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. vi. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING. GLAZING IN

GUARDS AND RAILINGS. e. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES

MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. f. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES,

MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE. g. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF

AND RAMPS. h. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING (R304.2)

VERY HIGH HAZARD SEVERITY FIRE ZONE:

A. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)

B. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY

C. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (705A.4)

D. (ROOF) (ATTIC)(EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4 -INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (706A.1, 706A.2, 706A.3, 7207.3)

E. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE

F. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A.3)

G. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A.3.1)

H. EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING- GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (708A.2.1)

I. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 ¼ INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS)

J. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER

K. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION- RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (707A.8)

L. BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (707A.8, 7207.1)

M. ALL UTILITIES, PIPES, FURNANCES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION.(7207.2)

N. THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 705A.2.

O. NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.

P. TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO. P/BC 2008-023).

### 8. MISCELLANEOUS NOTES:

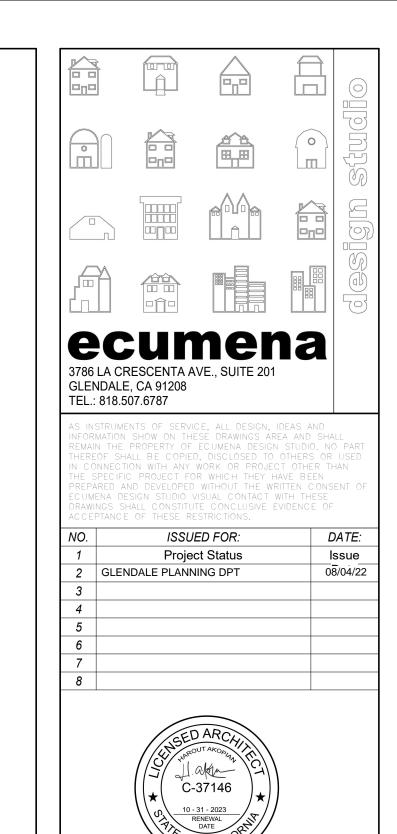
8.1 SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. PROVIDE A METAL LABEL FOR GAS SHUTOFF VALVE, FOR ALL ASSEMBLY OCCUPANCIES.

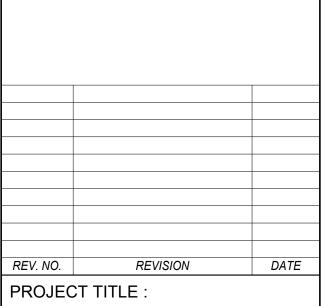
8.2 THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

8.3 PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR.

8.4 DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS

8.5 PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA





**ADDITION TO HOME** 

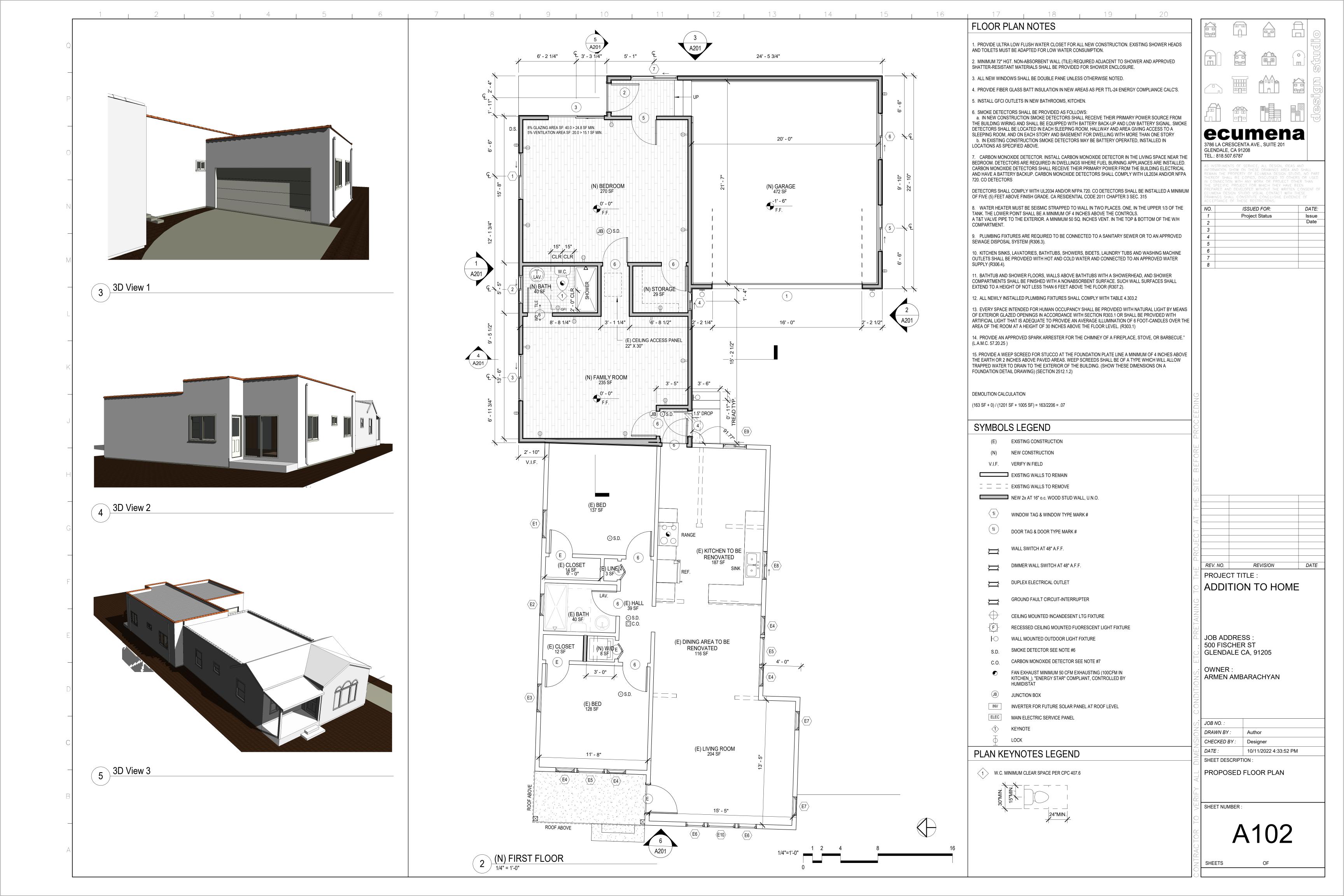
JOB ADDRESS: 500 FISCHER ST GLENDALE CA, 91205

OWNER: ARMEN AMBARACHYAN

,	JOB NO. :	
	DRAWN BY :	Author
)	CHECKED BY:	Designer
	DATE:	8/3/2022 5:30:15 PM
	SHEET DESCRIPT	ION :

SHEET NUMBER:

**GENERAL NOTES** 





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20 MIN FIRE RATING

8. INSULATION MATERIAL SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 2.5312 B.E.E.S. - MOST CURRENT EDITION.

12. INSTALL ICE & WATER SHIELD @ EXTERIOR WINDOWS BY W.I. GRACE CO. AT WINDOW HEAD: INSTALL SHIELD UNDER BUILDING PAPER.

13. USE FIBERGLASS EXTERIOR DOORS AND WINDOWS BY "MILGARD" OR APPROBED EQUAL, U-FACTOR = 0.34, SHGC = 0.28

11. ALL DOORS AND WINDOWS DIMENSIONS ARE CLEAR OPENING DIMENSIONS.

SHALL POST, OR MAKE AVAILABLE

9. DOORS AND WINDOWS SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 2.5317 B.E.E.S. - MOST CURRENT EDITION.

10. DOOR OPENING IN MASONRY WALLS SHALL BE 4" HORIZONTAL AND 2" VERTICAL LARGER THAN DOOR DIMENSION TO PROVIDE FOR METAL DOOR FRAME.

14. THE PERSON WITH OVERALL RESPONSIBILITY FOR CONSTRUCTION OR THE PERSON RESPONSIBLE FOR THE INSTALLATION OF REGULATED MANUGACTURED DEVICES

DOOR AND WINDOW ELEVATION TYPE

1/4" = 1'-0"

- -Y 20 MIN

6' - 0" 6' - 8" 0' - 13/4" SLIDING ALUM

4 1 2'-8" 6'-8" 0'-13/8" SWING HOLLOW CORE WOOD PAINT WOOD PAINT

6 5 2'-8" 6'-8" 0'-13/8" SWING HOLLOW CORE WOOD PAINT WOOD PAINT

2' - 8" 6' - 8" 0' - 13/8" SWING HOLLOW CORE WOOD PAINT WOOD PAINT

ALUM PAINT WOOD PAINT

LUE SHGC

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1	Project Status	Issue
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REV. NO. REVISION DATE
PROJECT TITLE:

ADDITION TO HOME

JOB ADDRESS : 500 FISCHER ST GLENDALE CA, 91205

OWNER : ARMEN AMBARACHYAN

JOB NO. :

DRAWN BY: CA

CHECKED BY: HA

DATE: 10/11/2022 4:34:08 PM

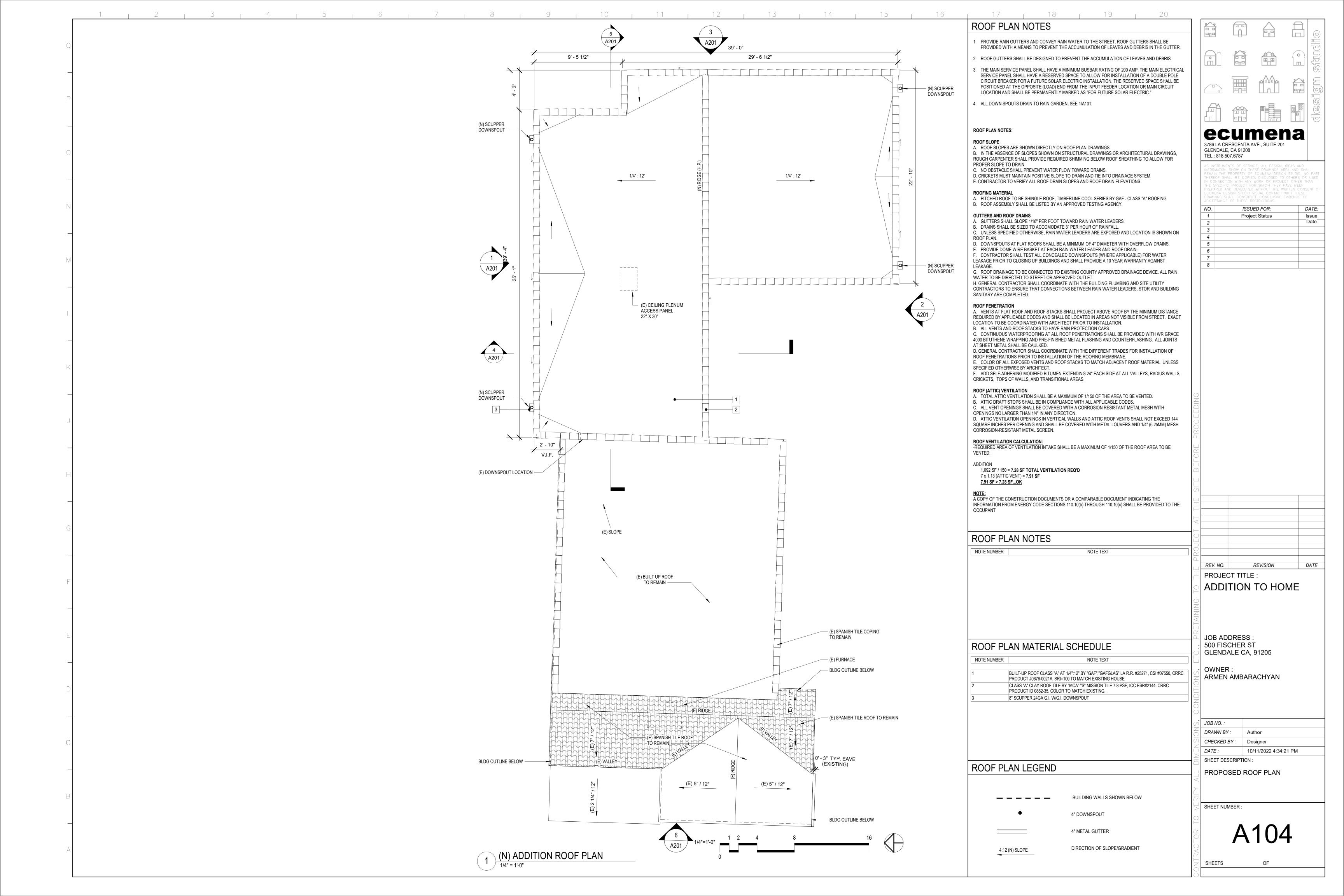
SHEET DESCRIPTION:

DOOR AND WINDOW SHEET

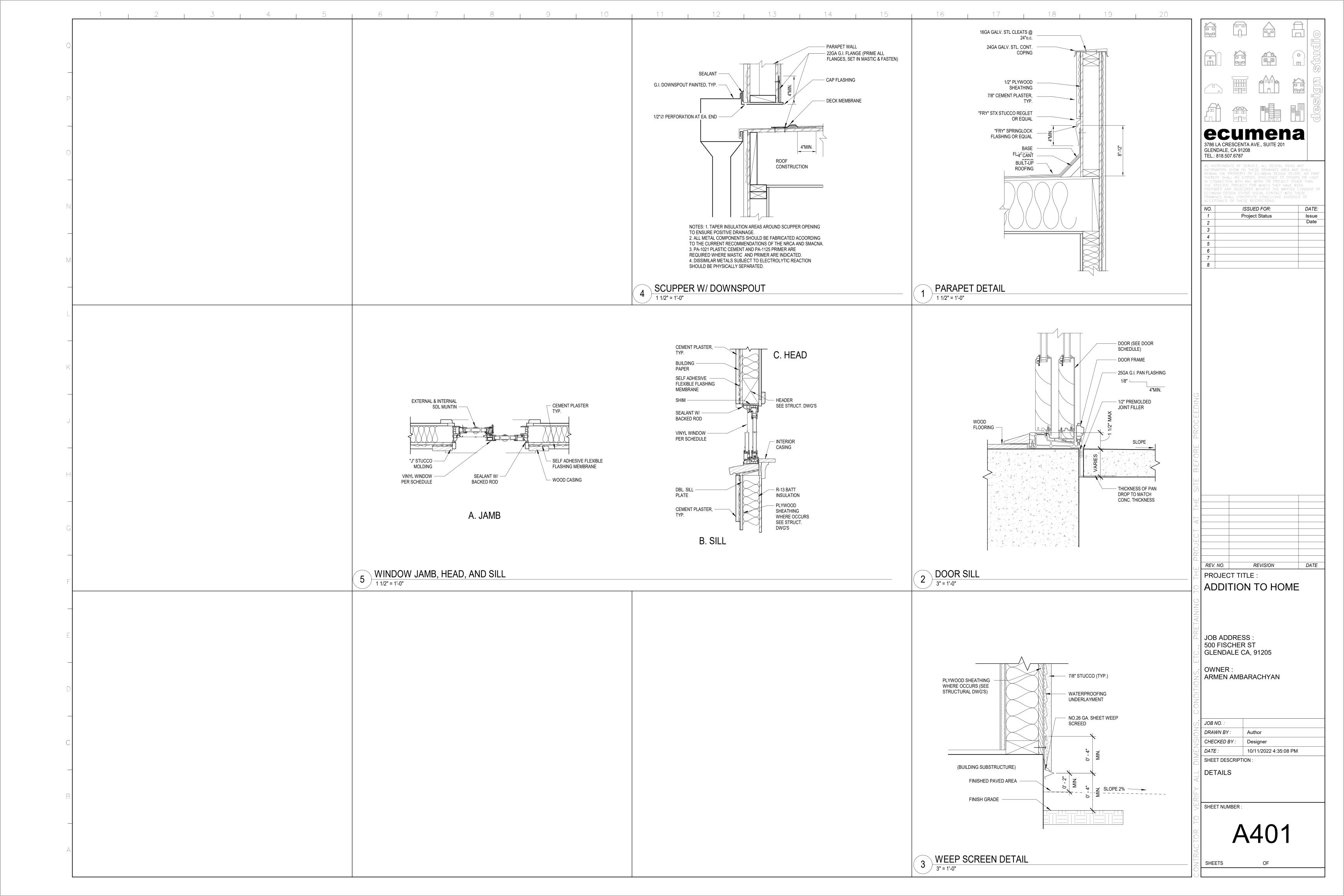
SHEET NUMBER :

A103

SHEETS OF





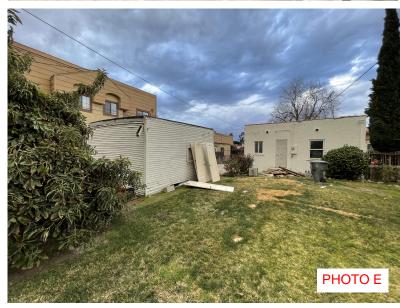




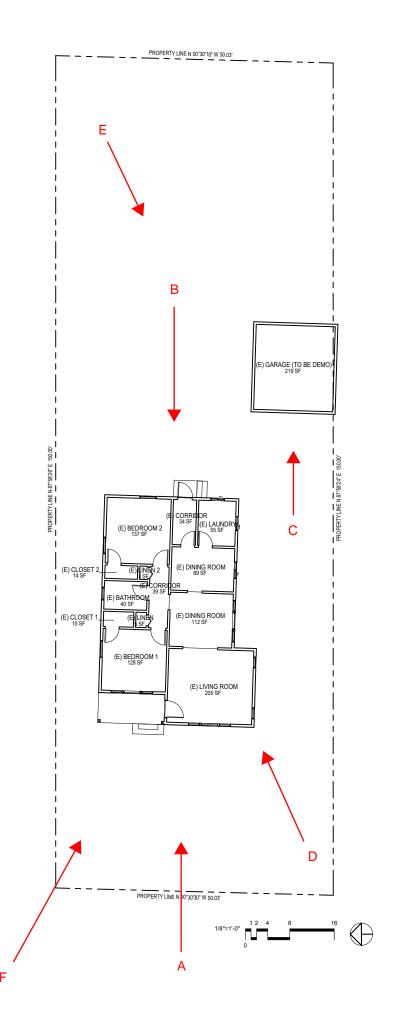


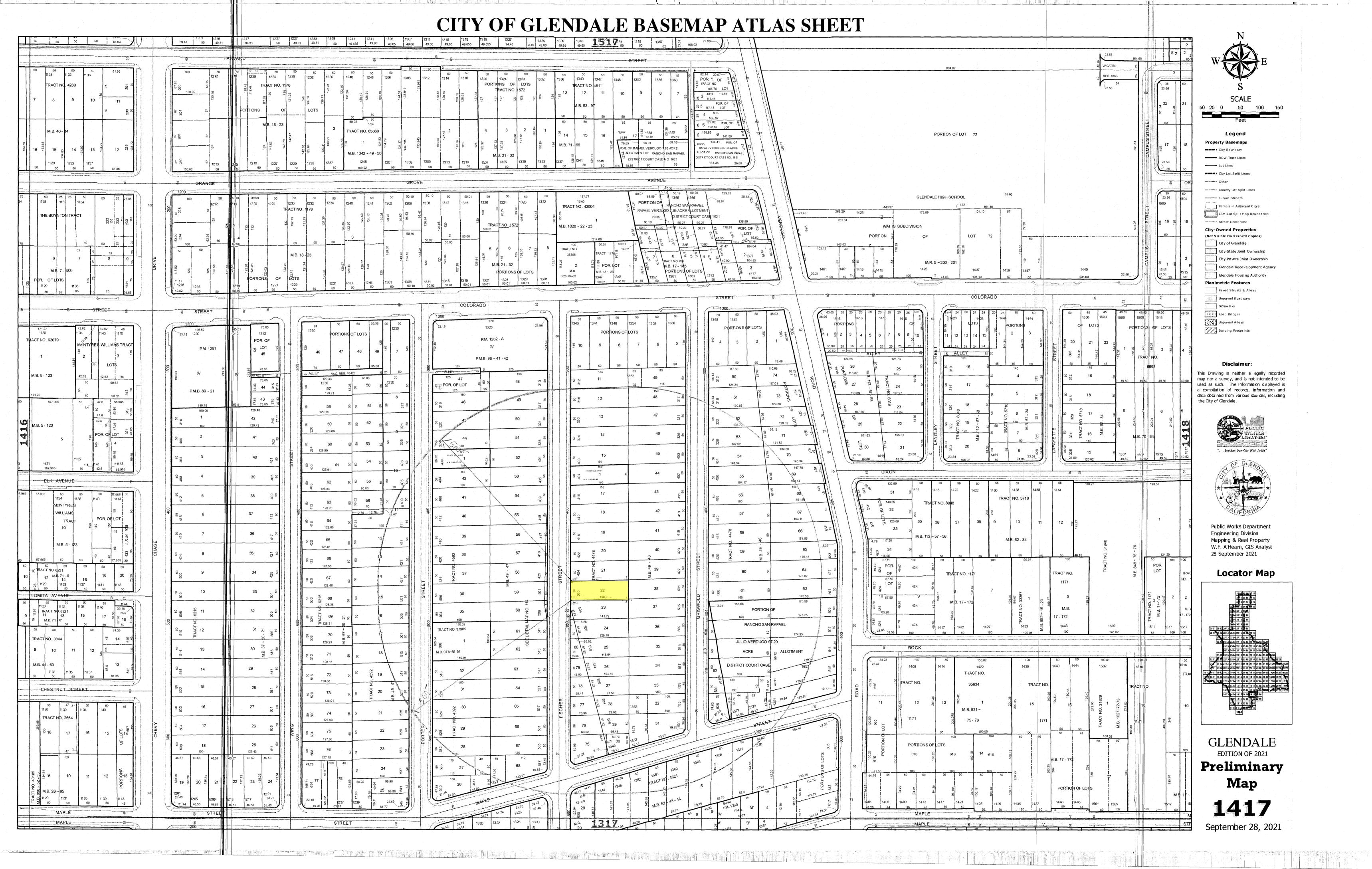














# 1. 404 FISCHER ST.



## 2. 405 FISCHER ST.

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			design studio	PROJECT TITLE:		1
			3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		ı
£			TEL. 818.507-6787	SCALE:		SHEET 1 OF 13



# 3. 409 FISCHER ST.



# 4. 410 FISCHER ST.

		品	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			design studio	PROJECT TITLE:		2
		â	3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		_
£			TEL. 818.507-6787	SCALE:		SHEET 2 OF 13



# 5. 412 FISCHER ST.

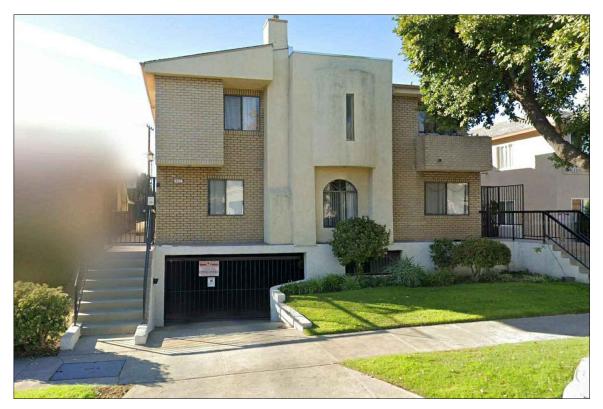


# 6. 415 FISCHER ST.

	A	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
		design studio	PROJECT TITLE:		3
		3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		5
		TEL. 818.507-6787	SCALE:		SHEET 3 OF 13



# 7. 416 FISCHER ST.



# 8. 417 FISCHER ST.

	<b>ecumena</b>	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
		PROJECT TITLE:		1
		SHEET TITLE:		4
	TEL. 818.507–6787	SCALE:		SHEET 4 OF 13

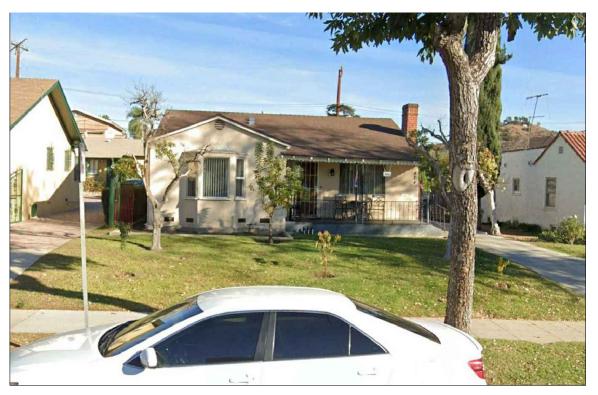


# 9. 419 FISCHER ST.



## 10. 422 FISCHER ST.

		品	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			design studio	PROJECT TITLE:		5
			3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		5
£			TEL. 818.507-6787	SCALE:		SHEET 5 OF 13

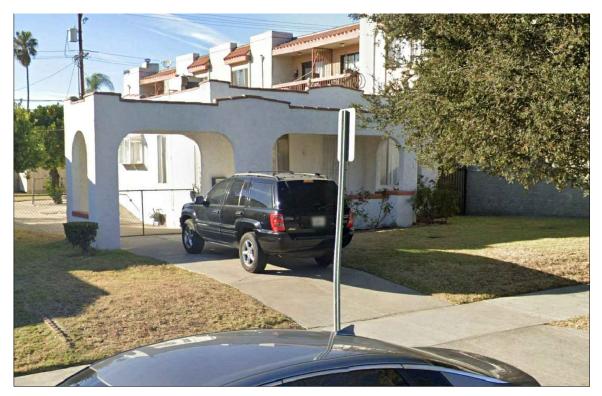


# 11. 424 FISCHER ST.

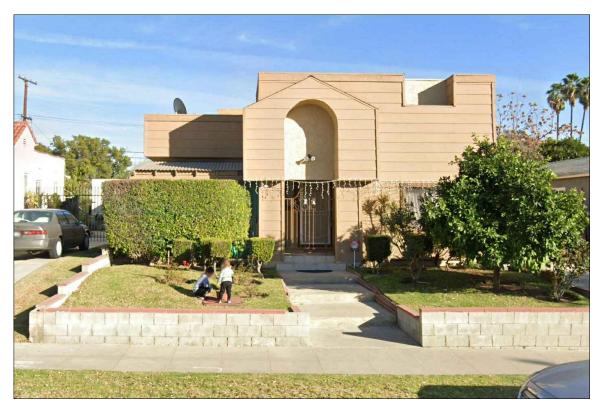


# 12. 425 FISCHER ST.

		<b>ecumena</b>	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
		design studio	PROJECT TITLE:		6
		3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		O
Ã		TEL. 818.507–6787	SCALE:		SHEET 6 OF 13



# 13. 501 FISCHER ST.



# 14. 504 FISCHER ST.

		品	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			design studio	PROJECT TITLE:		7
		â	3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		<i>'</i>
£			TEL. 818.507-6787	SCALE:		SHEET 7 OF 13



15. 506 FISCHER ST.



16. 509 FISCHER ST.

益		ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			PROJECT TITLE:		Q
		3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		O
		TEL. 818.507–6787	SCALE:		SHEET 8 OF 13



17. 510 FISCHER ST.



18. 511 FISCHER ST.

	<b>a</b> ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
		PROJECT TITLE:		a
		SHEET TITLE:		9
	TEL. 818.507–6787	SCALE:		SHEET 9 OF 13

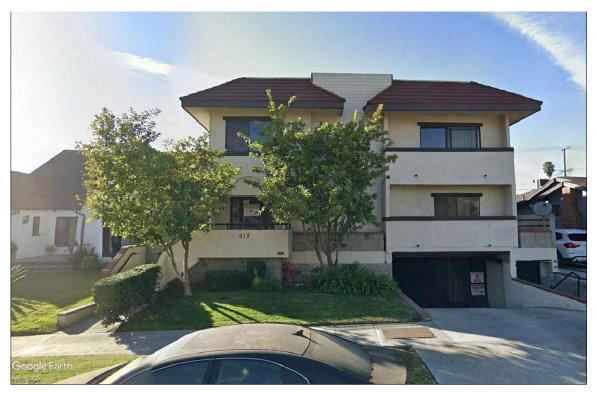


19. 513 FISCHER ST.

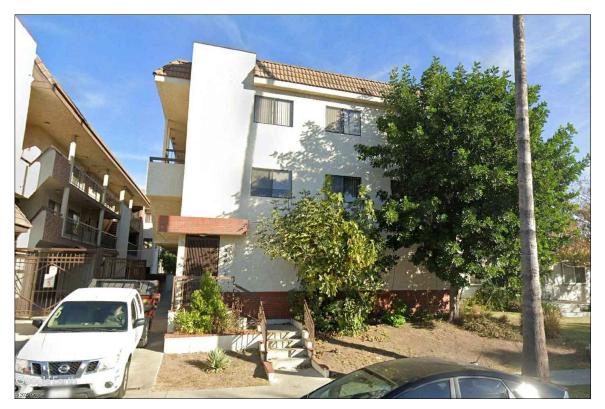


20. 514 FISCHER ST.

	Ð	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			PROJECT TITLE:		10
		3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		10
		TEL. 818.507-6787	SCALE:		SHEET 10 OF 13



21. 517 FISCHER ST.

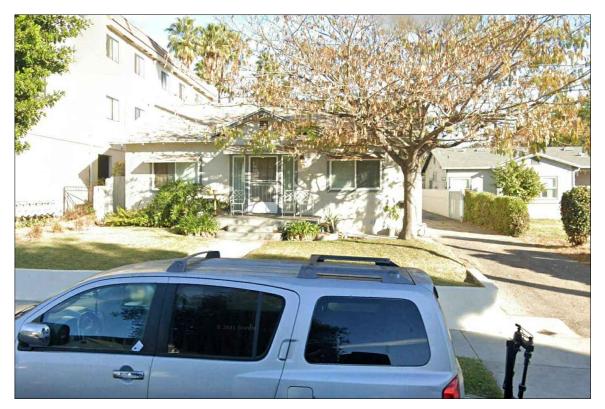


## 22. 520 FISCHER ST.

		品	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			design studio	PROJECT TITLE:		11
			3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		1 1
£			TEL. 818.507-6787	SCALE:		SHEET 11 OF 13

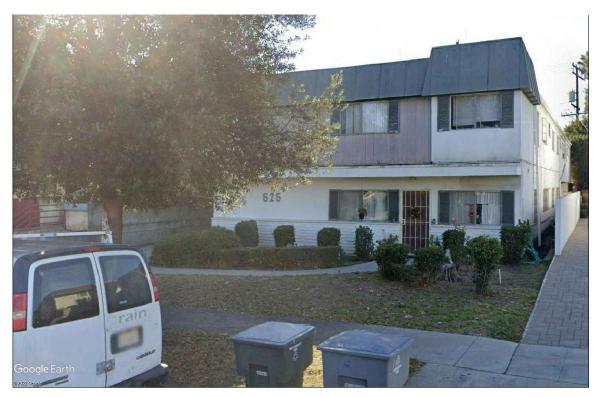


23. 521-523 FISCHER ST.

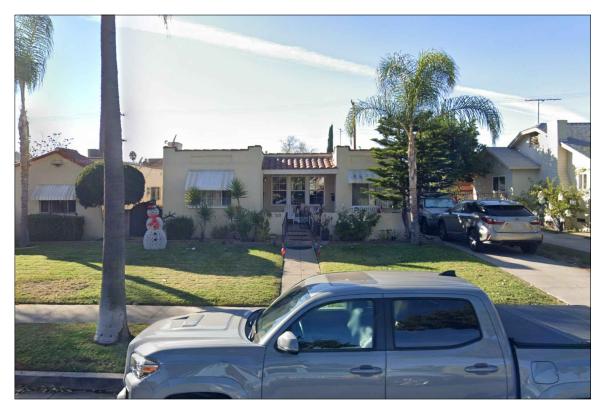


24. 524 FISCHER ST.

盒		A	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			design studio	PROJECT TITLE:		12
			3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		12
			TEL. 818.507-6787	SCALE:		SHEET 12 OF 13



25. 525 FISCHER ST.



26. 501 GRISWOLD ST

		品	ecumena	JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	
			design studio	PROJECT TITLE:		13
			3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208	SHEET TITLE:		13
£			TEL. 818.507-6787	SCALE:		SHEET 13 OF 13

KEY	ADDRESS	LOT AREA	HOUSE AREA	FAR%	STORIES	SETBACK	ROOF
Subject	500 FISCHER ST	7,500	980	13.1	1	25	S.T.
1	404 FISCHER ST	7,500	5,285	70.5	2	26	F
2	405 FISCHER ST	7,500	1,816	24.2	1	34	S.T.
3	409 FISCHER ST	7,500	1,825	24.3	1	33	S.T.
4	410 FISCHER ST	7,500	3,695	49.3	1	20	COMP.
5	412 FISCHER ST	7,500	6,492	86.6	2	15	F
6	415 FISCHER ST	7,500	4,470	59.6	1	22	COMP.
7	416 FISCHER ST	7,500	2,371	31.6	1	23	F
8	417 FISCHER ST	7,500	8,458	112.8	2	16	COMP.
9	419 FISCHER ST	7,500	1,146	15.3	1	20	COMP.
10	422 FISCHER ST	7,500	2,989	39.9	1	22	COMP.
11	424 FISCHER ST	7,500	2,792	37.2	1	32	COMP.
12	425 FISCHER ST	7,500	9,179	122.4	2	11	F
13	501 FISCHER ST	7,500	1,454	19.4	1	22	F
14	504 FISCHER ST	7,500	6,102	81.4	2	22	F
15	506 FISCHER ST	7,500	3,030	40.4	1	25	COMP.
16	509 FISCHER ST	7,500	1,104	14.7	1	20	COMP.
17	510 FISCHER ST	7,500	1,330	17.7	1	20	COMP.
18	511 FISCHER ST	7,500	1,879	25.1	1	27	COMP.
19	513 FISCHER ST	7,500	1,228	16.4	1	21	COMP.
20	514 FISCHER ST	7,500	7,659	102.1	2	13	F
21	517 FISCHER ST	7,500	8,756	116.7	2	15	F
22	520 FISCHER ST	7,500	6,904	92.1	2	15	F
23	521-523 FISCHER ST	7,500	4,076	54.3	1	30	COMP.
24	524 FISCHER ST	7,500	2,180	29.1	1	27	COMP.
25	525 FISCHER ST	7,500	6,672	89.0	2	25	F
26	501 GRISWOLD ST	7,500	1,050	14.0	1	28	F
	Neighborhood Average	7,500	3,886	53.3	1	23	

**ABBREVIATIONS:** COMP. - COMPOSITION SHINGLES

S.T. - SPANISH TILE SHK - WOOD SHAKE F - FLAT BUILD-UP ROOF