



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

November 2, 2022 <i>Hearing Date</i>	500 Fischer Street <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5680-015-004 <i>APN</i>
PDRNRAF2211435 <i>Case Number</i>	Harry Akopian <i>Applicant</i>
Nikki Laureola <i>Case Planner</i>	Armen Ambarchyan <i>Owner</i>

Project Summary

The applicant is proposing a cumulative residential floor area addition of 1,155 square feet to the rear and side of an existing 980 square-foot single-family home, including an attached two-car garage. The applicant also proposes demolition of the existing 205 square-foot detached one-car garage on the 7,500 square-foot lot in the R-3050 Zone, originally developed in 1925.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption, pursuant to Section 15301 (e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area. The property does not appear to be eligible for historic designation at the federal, state, or local levels and is, therefore, not considered a historic resource under CEQA.

Existing Property/Background

The project site is a 7,500 square-foot interior lot with frontage on Fischer Street that was originally developed in 1925 as a one-story 980 square-foot single-family residence and detached 205 SF one-car garage in the minimal traditional style. Access to the garage is provided by a single driveway off Fischer Street. There are no protected oak, bay, or sycamore trees on the site or within 20’.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R3050 - Moderate Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	7,500 SF	7,500 SF – 7,500 SF	7,500 SF
Setback	23 ft.	11 ft. – 34 ft.	25 ft.
House size	3,886 SF	980 SF – 9,179 SF	980 SF
Floor Area Ratio	0.53	0.13 – 1.22	0.13
Number of stories	Primarily 1-story	1- and 2- story	1-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed addition and attached garage to the rear and side of the house incorporate the building footprint of the existing nonconforming garage in a manner that is appropriate to the house’s siting on the lot. The proposal follows the predominant pattern of the block.
- Increased paving to the south of the addition will provide access the wider conforming garage and a graded common space not visible from the street.
- The addition is proposed to be compliant with current setback requirements and landscaping ratios.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The existing residence is shown to have the lowest floor area ratio and smallest square footage in its general vicinity. The proposed addition is largely not visible from the public right-of-way and would not create a visual impact of monumentality in this neighborhood.
- The architectural concept and roof forms are consistent throughout, and the addition is appropriately sized and placed on the site so as to create a usable semi-private space in front of the garage without disrupting proportion. The proposed massing creates transitions along the north-facing façade that break up what could be an overbearing stucco wall.
- The flat roof form behind the front façade gable also minimizes the impact of the addition.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located

- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

- yes** **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design of the addition and attached garage are consistent with the original dwelling, well-proportioned, and with finish materials and colors to match the 1925 minimal traditional home with Spanish tile coping, textured stucco, and recessed windows with flat wood trim.
- All proposed windows will be at ground level, and they are placed well away from facing windows on adjacent properties to maximize privacy between residences.
- All proposed windows will be built with a new sill, frame, and edge detail to match the visible windows at the building’s front façade.
- Downspouts and exterior equipment, trash, and lighting have been appropriately placed.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

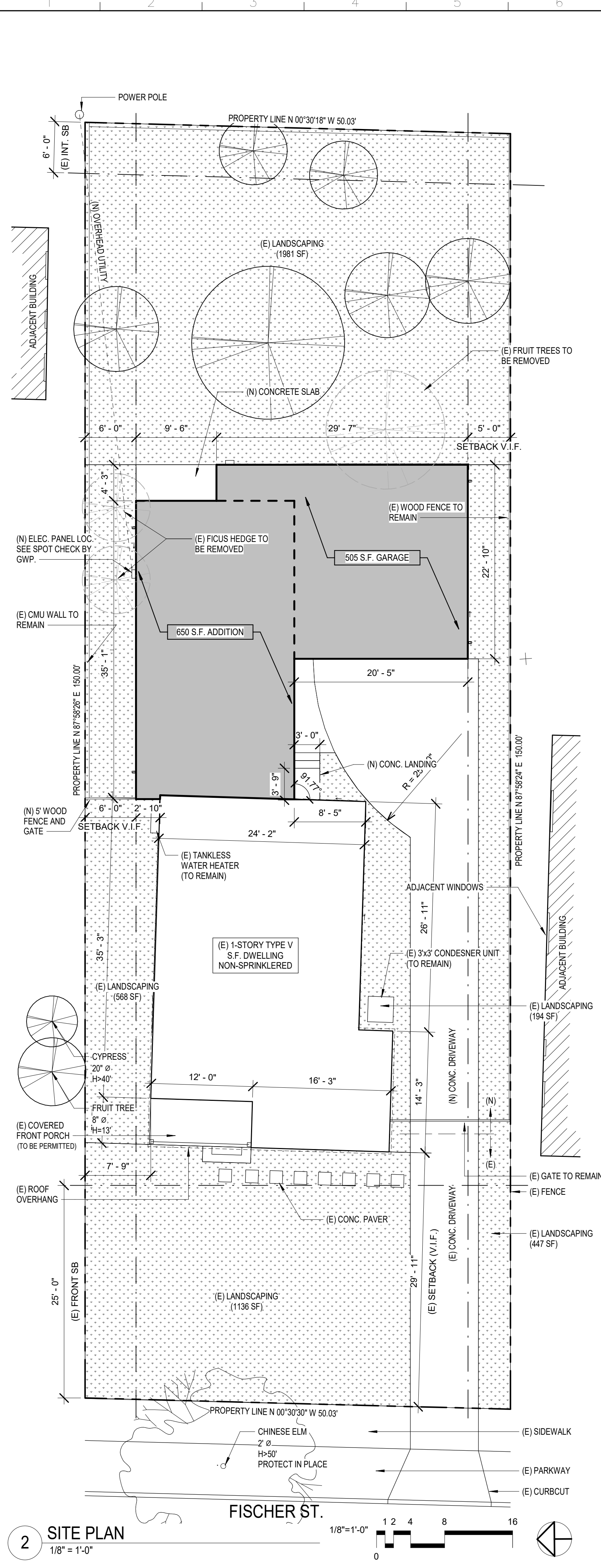
Conditions

None

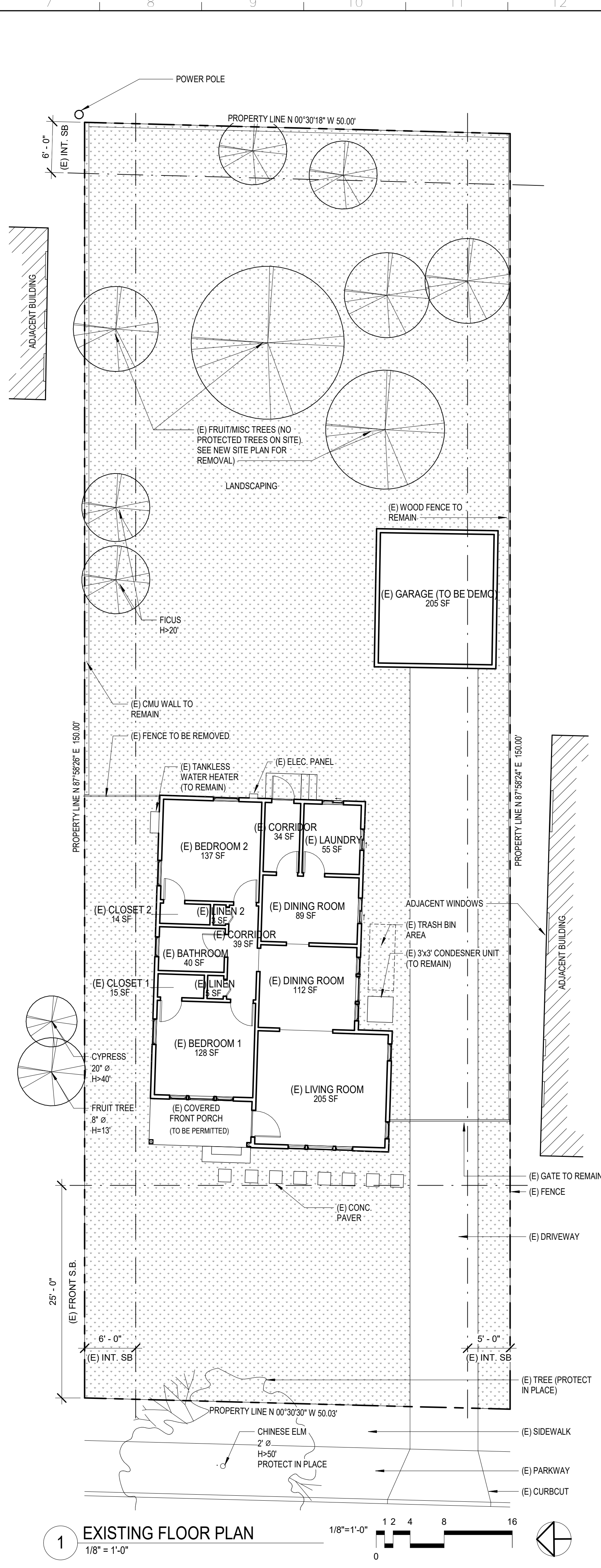
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Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey



2 SITE PLAN
1/8" = 1'-0"



1 EXISTING FLOOR PLAN
1/8" = 1'-0"

PROJECT TEAM

CLIENT
ARMEN AMBARACHYAN

ARCHITECT
HAROUT AKOPIAN
ARCHITECT OF RECORD - C-37146
CONTACT ADDRESS
3786 LA CRESCENTA AVE.,
GLENDALE CA 91204
P: 818 507 6787

GENERAL CONTRACTOR
ARMEN MARTIROSSYAN
ARPA TECHNOLOGY GROUP
635 N. COLORADO BLVD. GLENDALE CA

SCOPE OF WORK

- SINGLE FAMILY SINGLE STORY ADDITION TO REAR SIDE OF EXISTING (880 SF) SINGLE FAMILY, SINGLE STORY HOUSE
- DEMOLISH EXISTING 205 SF NON-CONFORMING GARAGE
- (N) ATTACHED 505 SF 2 GAR GARAGE
- (N) 1-STORY 650 SF ADDITION TO (E) RESIDENCE
- 311 SF RENOVATION TO (E) SINGLE FAMILY RESIDENCE

APPLICABLE CODE

- 2019 CRC CALIFORNIA RESIDENTIAL CODE
- 2019 CBC CALIFORNIA BUILDING CODE
- 2019 CGBC CALIFORNIA GREEN BUILDING CODE
- 2019 CMC CALIFORNIA MECHANICAL CODE
- 2019 CEC CALIFORNIA ELECTRICAL CODE
- 2019 CPC CALIFORNIA PLUMBING CODE
- 2019 CENC CALIFORNIA ENERGY CODE
- GLENDALE BUILDING CODE

SHEET INDEX

ARCHITECTURAL		
SHEET NO.	SHEET TITLE	DATE ISSUED
A101.1	SITE PLAN, EXISTING FLOOR PLAN	05/20/2022
A101.1	GENERAL NOTES	05/20/2022
A101.2	GENERAL NOTES	05/20/2022
A102	PROPOSED FLOOR PLAN	05/20/2022
A104	PROPOSED ROOF PLAN	05/20/2022
A201	EXTERIOR ELEVATIONS, SECTIONS	05/20/2022
A401	DETAILS	05/20/2022
GRN1	GREEN NOTES	05/20/2022
GRN2	GREEN NOTES	05/20/2022
GRN3	GREEN NOTES	05/20/2022

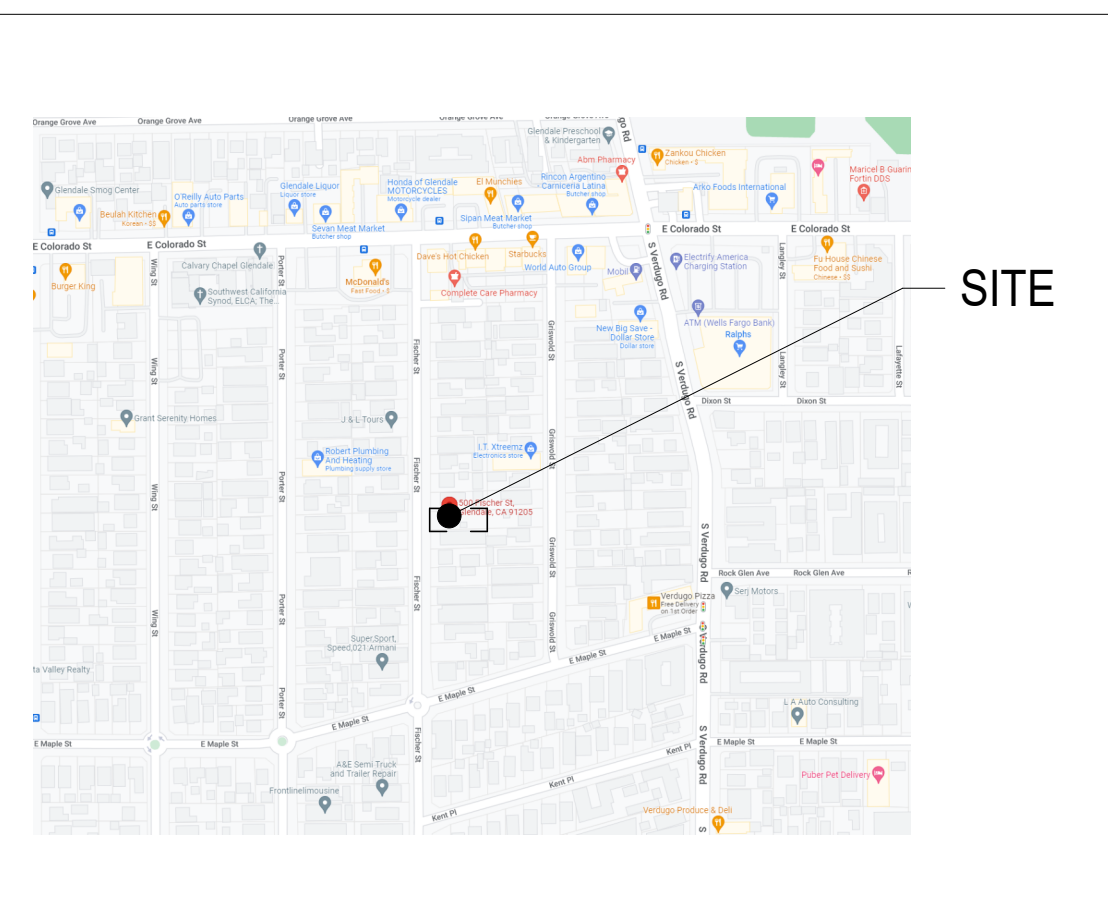
STRUCTURAL

SHEET NO.	SHEET TITLE	DATE ISSUED
S-1	GENERAL NOTES	05/20/2022
S-2	TYPICAL WOOD DETAILS	05/20/2022
S-3	DETAILS	05/20/2022
S-4	FOUNDATION PLAN	05/20/2022
S-5	FRAMING PLAN	05/20/2022

SITE PLAN LEGEND

- (N) = NEW CONSTRUCTION
- (E) = EXISTING STRUCTURE
- SB = SETBACK
- V.I.F. = VERIFY IN FIELD
- = PROPERTY LINE
- - - = SETBACK LINE
- [Shaded Box] = NEW FLOOR AREA (ADDITION OR GARAGE)
- 3'-0" / 6'-8" = (E) WINDOW TAG WIDTH HEIGHT
- 3'-0" / 6'-8" = (E) DOOR TAG WIDTH HEIGHT

VICINITY MAP



SITE PLAN NOTES

- THERE ARE NO OAKS, BAY, OR SYCAMORE TREES (PROTECTED TREES) ON THE SITE OR WITHIN 20 FEET OF THE SITE.
- NO ROOFTOP EQUIPMENT SHALL BE PERMITTED IN THE ROS, R1R AND R1 ZONES
- RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE A SEPARATE PERMIT.
- APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
- SHALL PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.
- NO ROOFTOP EQUIPMENT SHALL BE VISIBLE FROM THE STREET. ANY NEW ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW.

AHJ APPROVALS

NO	ISSUED FOR	DATE
1	Project Status	Issue Date
2		
3		
4		
5		
6		
7		
8		

PROJECT DATA

OCCUPANCY GROUP: R-3

LOT SIZE: 50.00' x 150.00'

LOT AREA(S.F.): 7,500

(E) FIRST FLOOR AREA (S.F.): 980 (LA COUNTY ASSESSOR)

(E) FRONT PORCH AREA (S.F.): 65

MAXIMUM FAR (S.F.): .65 x 7,497 = 4873

PROPOSED ADDITION AREA (S.F.): 1,150 (ADDITION)

F.A.R. (%): (E) 980 + (PROPOSED) 1,150 = 2,130
2,130 / 7,497 = 28.4%
28.4% < 65%

NUMBER OF STORIES: 1

BUILDING HEIGHT: (E) DWELLING: 16' - 0"

LOT COVERAGE (%): 2,205 / 7,500 = 29%
29.4% < 50% MAX

LANDSCAPE (%): 4,326 / 7,500 = 58%
58% > 30% MIN

PERMANENTLY LANDSCAPED OPEN SPACE(%): 3,118 / 7,500 = 41%
41.6% > 30% MIN

TYPE OF CONSTRUCTION: TYPE V-B

FIRE SPRINKLER: NO

YEAR BUILT: 1925

ZONING INFO

ZONE: R 3050

FRONT YARD SETBACK: 25' (30.11.030)

INTERIOR YARD SETBACK: 5' MIN., 8' AVG. 1ST FLR (30.11.030)
6' PER GMZC 30.11.070.C.3.1
5' GARAGE PER GMZC 30.11.070.C.3.c

MAXIMUM PRIMARY STRUCTURE HEIGHT: 26' (30.11.030)

LEGAL DESCRIPTION

APN #: 5680-015-004

TRACT #: 4478

LOT: 22



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REV. NO.	REVISION	DATE

PROJECT TITLE:
ADDITION TO HOME

JOB ADDRESS:
500 FISCHER ST
GLENDALE CA, 91205

OWNER:
ARMEN AMBARACHYAN

DRAWN BY: CA
CHECKED BY: HA

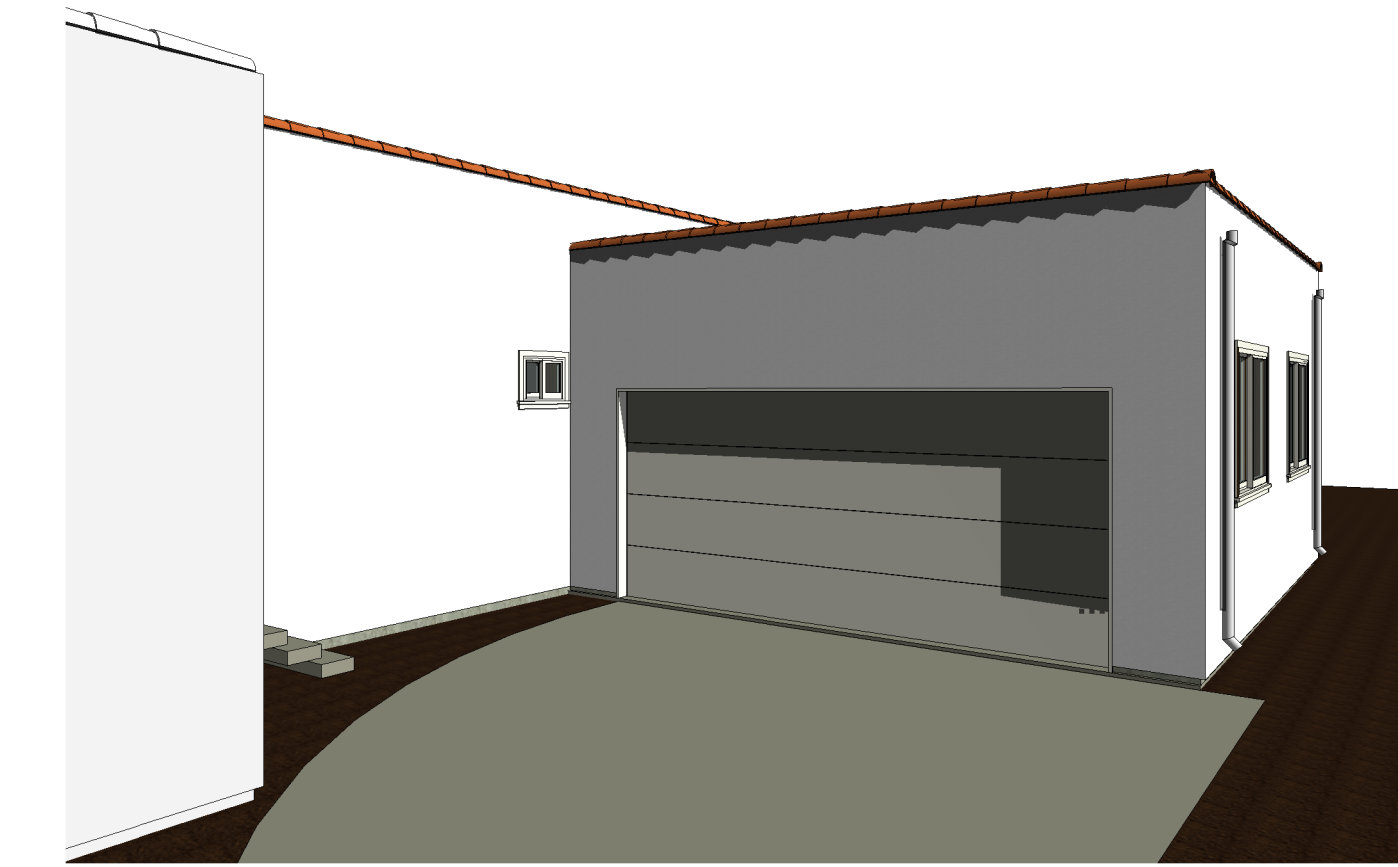
DATE: 10/11/2022 4:32:32 PM

SHEET DESCRIPTION:
SITE PLAN, EXISTING FLOOR PLAN

SHEET NUMBER:
A101

SHEETS: OF

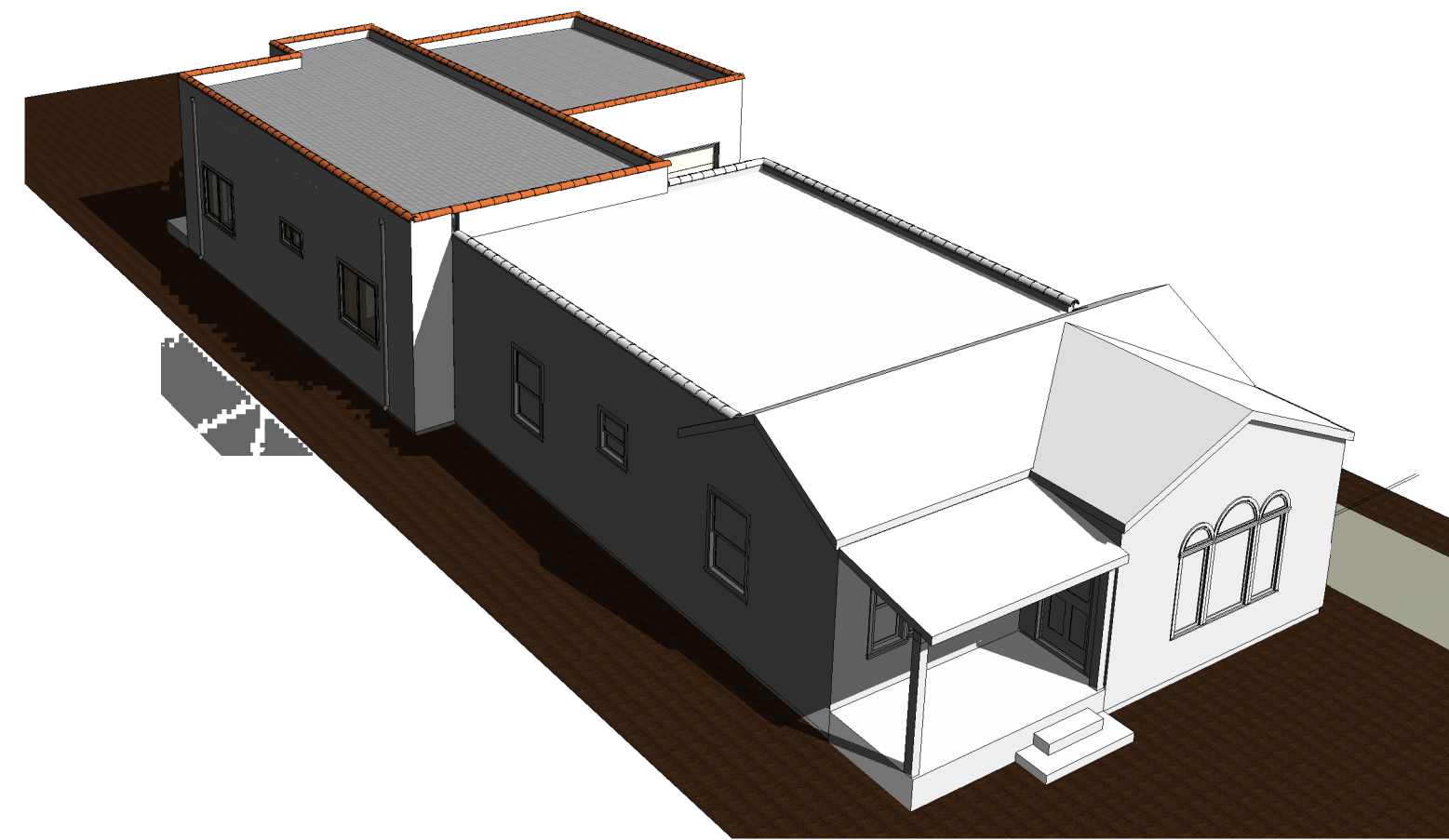
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE PROJECT AT THE SITE BEFORE PROCEEDING



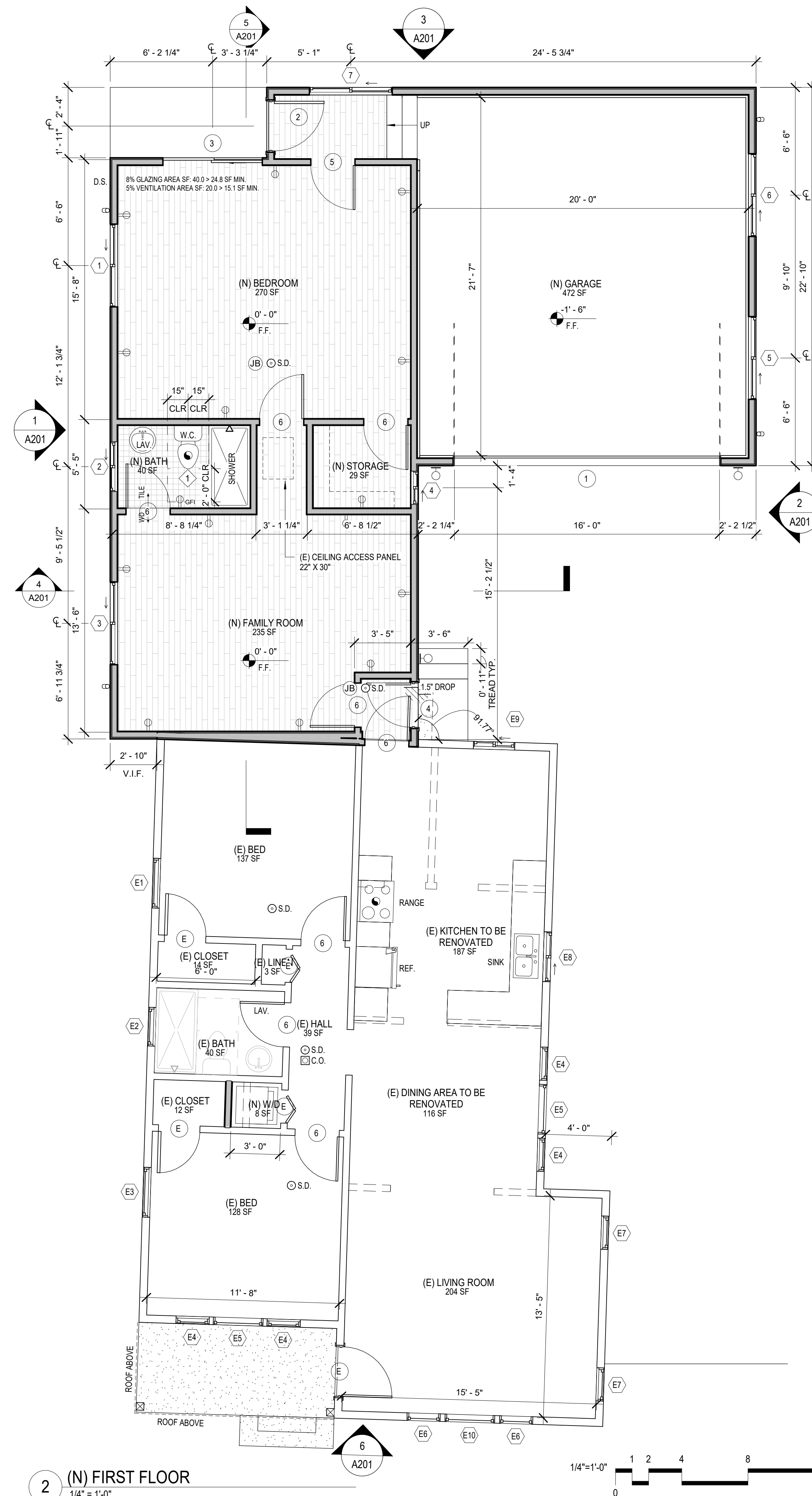
3 3D View 1



4 3D View 2



5 3D View 3



2 (N) FIRST FLOOR
1/4" = 1'-0"

FLOOR PLAN NOTES

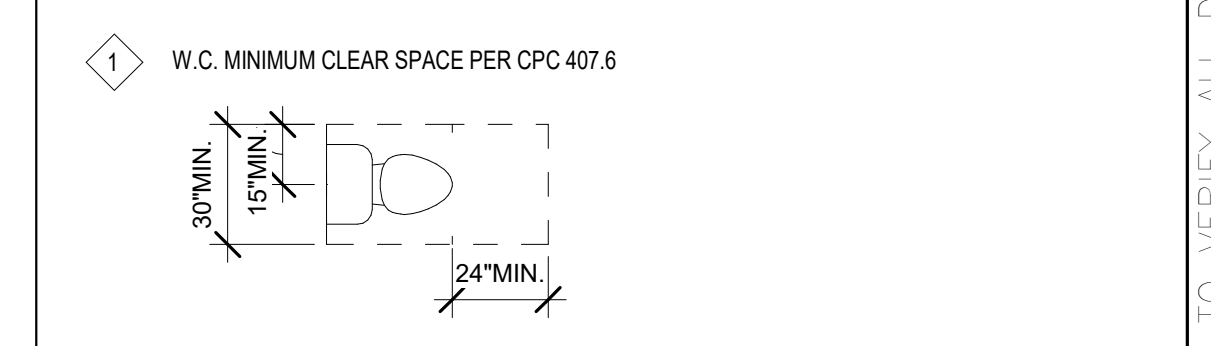
- PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- MINIMUM 72" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
- ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
- PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS PER TTL-24 ENERGY COMPLIANCE CALC'S.
- INSTALL GFCI OUTLETS IN NEW BATHROOMS, KITCHEN.
- SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 - IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
 - IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
- CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS
- DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2011 CHAPTER 3 SEC. 315
- WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE, IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T & T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE WITH COMPARTMENT.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 4.303.2
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE* (L.A.M.C. 57.20.25)
- PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. (SHOW THESE DIMENSIONS ON A FOUNDATION DETAIL DRAWING) (SECTION 2512.1.2)

DEMOLITION CALCULATION
(163 SF + 0) / (1201 SF + 1005 SF) = 163/2206 = .07

SYMBOLS LEGEND

- (E) EXISTING CONSTRUCTION
- (N) NEW CONSTRUCTION
- V.I.F. VERIFY IN FIELD
- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO REMOVE
- ▬ NEW 2x AT 16" o.c. WOOD STUD WALL, U.N.O.
- ⊕ WINDOW TAG & WINDOW TYPE MARK #
- ⊕ DOOR TAG & DOOR TYPE MARK #
- ⊕ WALL SWITCH AT 48" A.F.F.
- ⊕ DIMMER WALL SWITCH AT 48" A.F.F.
- ⊕ DUPLEX ELECTRICAL OUTLET
- ⊕ GROUND FAULT CIRCUIT-INTERRUPTER
- ⊕ CEILING MOUNTED INCANDESCENT LTG FIXTURE
- ⊕ RECESSED CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED OUTDOOR LIGHT FIXTURE
- S.D. SMOKE DETECTOR SEE NOTE #6
- C.O. CARBON MONOXIDE DETECTOR SEE NOTE #7
- ⊕ FAN EXHAUST MINIMUM 50 CFM EXHAUSTING (100CFM IN KITCHEN) ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT
- ⊕ JUNCTION BOX
- ⊕ INV INVERTER FOR FUTURE SOLAR PANEL AT ROOF LEVEL
- ⊕ ELEC MAIN ELECTRICAL SERVICE PANEL
- ⊕ KEYNOTE
- ⊕ LOCK

PLAN KEYNOTES LEGEND



ecumena
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GLENDALE, CA 91208
TEL.: 818.507.6787

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NO	ISSUED FOR:	DATE:
1	Project Status	Issue Date
2		
3		
4		
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REV. NO.	REVISION	DATE

PROJECT TITLE:
ADDITION TO HOME

JOB ADDRESS:
500 FISCHER ST
GLENDALE CA, 91205

OWNER:
ARMEN AMBARACHYAN

JOB NO.:	
DRAWN BY:	Author
CHECKED BY:	Designer
DATE:	10/11/2022 4:33:52 PM

SHEET DESCRIPTION:
PROPOSED FLOOR PLAN

SHEET NUMBER:
A102

SHEETS OF

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE PROJECT AT THE SITE BEFORE PROCEEDING

WINDOW SCHEDULE (GLENDALE)

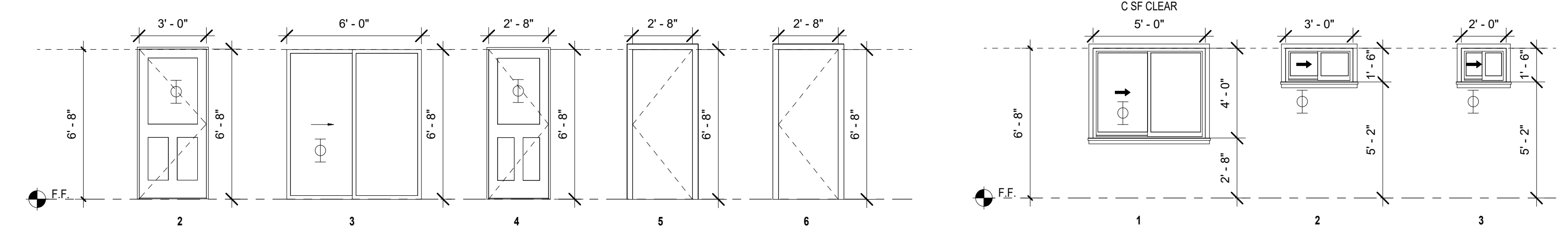
WINDOW NO.	COUNT	WIDTH	HEIGHT	Phase Created	MATERIAL	VISIBLE FROM STREET	OPERATION	FRAME TYPE	Grid	KEEP EX. SILL/FRAME	BUILD NEW SILL/FRAME	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BED ROOM	ENERGY EFFICIENT	TEMPERED	OTHER		GLAZING				DETAIL		OTHER			
																	FIRE HAZARD ZONE	WIN 18" OF FLOOR OR 40" OF DOOR	TYPE	COLOR	JAMB	HEAD	SILL	SILL HEIGHT	U-VALUE	SHGC		
1	1	5'-0"	4'-0"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	Yes	Yes				DOUBLE GLASS/TEMPERED	CLEAR	5/A401	5/A401	5/A401	2'-8"	0.3000	0.23		
2	1	3'-0"	1'-6"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	No	Yes	Yes		Yes	DOUBLE GLASS	CLEAR	5/A401	5/A401	5/A401	5'-2"	0.3000	0.23		
3	1	5'-0"	4'-0"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	No	Yes				DOUBLE GLASS/TEMPERED	CLEAR	5/A401	5/A401	5/A401	2'-8"	0.3000	0.23		
4	1	2'-0"	1'-6"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	No	Yes	Yes		Yes	DOUBLE GLASS	OBSCURE	5/A401	5/A401	5/A401	5'-2"	0.3000	0.23		
5	1	5'-0"	4'-0"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	No	Yes				DOUBLE GLASS/TEMPERED	CLEAR	5/A401	5/A401	5/A401	2'-8"	0.3000	0.23		
6	1	5'-0"	4'-0"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	No	Yes				DOUBLE GLASS/TEMPERED	CLEAR	5/A401	5/A401	5/A401	2'-8"	0.3000	0.23		
7	1	5'-0"	4'-0"	New Construction - Phase 1	VINYL		SLIDING	BLOCK		No	Yes		FLAT WOOD	No	Yes	Yes			DOUBLE GLASS/TEMPERED	CLEAR	5/A401	5/A401	5/A401	2'-8"	0.3000	0.23		
E1	1	3'-0"	4'-5"	Existing	VINYL		SINGLE HUNG			Yes	No	FLAT WOOD		Yes	Yes										2'-3"			
E2	1	2'-4"	2'-4"	Existing	VINYL		SINGLE HUNG			Yes	No	FLAT WOOD		No	Yes											4'-4"		
E3	1	3'-0"	4'-5"	Existing	VINYL		SINGLE HUNG			Yes	No	FLAT WOOD		Yes	Yes											2'-3"		
E4	4	2'-0"	4'-6"	Existing	VINYL		SINGLE HUNG			Yes	No	FLAT WOOD		No	Yes											2'-2"		
E5	2	3'-0"	4'-6"	Existing	VINYL		FIXED			Yes	No	FLAT WOOD		No	Yes											2'-2"		
E6	2	2'-0"	4'-6"	Existing	VINYL	Yes	SINGLE HUNG			Yes	No	FLAT WOOD		No	Yes											1'-0"		
E7	2	2'-0"	6'-0"	Existing	VINYL		SINGLE HUNG			Yes	No	FLAT WOOD		No	Yes			Yes								0'-8"		
E8	1	3'-0"	3'-0"	Existing	VINYL		SLIDING			Yes	No	FLAT WOOD		No	Yes											3'-8"		
E9	1	2'-6"	3'-5"	Existing	VINYL		SLIDING			Yes	No	FLAT WOOD		No	Yes											3'-3"		
E10	1	3'-0"	4'-6"	Existing	VINYL	Yes	FIXED			No	No	FLAT WOOD		No	Yes											1'-0"		

DOOR SCHEDULE

DOOR NO.	Count	DOOR				CONSTR.	MATERIAL	FINISH	FRAME			GLAZING		OTHER ITEMS		REMARKS
		WIDTH	HEIGHT	THICKNESS	OPERATION				MATERIAL	FINISH	TYPE	COLOR	CLOSER	F.R.		
1	1	16'-0"	7'-0"	0'-11/2"	GARAGE DOOR			PAINT	WOOD	PAINT	-	-	-	-		
2	1	3'-0"	6'-8"	0'-13/4"	SWING	SOLID CORE	WOOD	PAINT	ALUM	PAINT	SINGLE GLAZING	OBSCURE	-	-		
3	1	6'-0"	6'-8"	0'-13/4"	SLIDING	ALUM	ALUM	PAINT	WOOD	PAINT	-	-	-	-		
4	1	2'-8"	6'-8"	0'-13/8"	SWING	HOLLOW CORE	WOOD	PAINT	WOOD	PAINT	-	-	-	-		
5	1	2'-8"	6'-8"	0'-13/8"	SWING	HOLLOW CORE	WOOD	PAINT	WOOD	PAINT	-	-	Y	20 MIN	20 MIN FIRE RATING	
6	5	2'-8"	6'-8"	0'-13/8"	SWING	HOLLOW CORE	WOOD	PAINT	WOOD	PAINT	-	-	-	-		

DOOR AND WINDOW GENERAL NOTES

1. ALL DOORS AND WINDOWS SHALL MEET CITY OF GLENDALE'S SECURITY ORDINANCE.
2. UNLESS NOTED OTHERWISE, DOORS AND OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALL OR SHALL BE LOCATED 6" FROM FINISH WALL TO EDGE OR BACK OF DOOR.
3. INSTALL DOORS AND FRAMES BLUMB, STRAIGHT, IN TRUE ALIGNMENT AND RIGIDLY SECURED TO WALLS. ERECT IN PROPER SEQUENCE WITH WORK OF OTHER TRADES.
4. SPECIAL LOCKING DEVICES IF SPECIFIED SHALL BE OF A CITY APPROVED TYPE.
5. INSTALLATION OF GLASS SHALL CONFORM TO FEDERAL SPECIFICATION 16-CFR-1202 AND THE C.B.C. AND ALL LOCAL CODES AND ORDINANCES. SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL CONFORM TO C.B.C. SECTION 2408.
6. ALL DOOR AND OPERABLE WINDOWS TO BE COMPLETELY WEATHER-STRIPPED, INCLUDING ROLL-UP TRUCK DOORS.
7. ALL MANUFACTURED WINDOW AND DOOR UNITS SHALL BE LABELED AS MEETING ANSI STANDARD FOR AIR INFILTRATION.
8. INSULATION MATERIAL SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 2.5312 B.E.E.S. - MOST CURRENT EDITION.
9. DOORS AND WINDOWS SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 2.5317 B.E.E.S. - MOST CURRENT EDITION.
10. DOOR OPENING IN MASONRY WALLS SHALL BE 4" HORIZONTAL AND 2" VERTICAL LARGER THAN DOOR DIMENSION TO PROVIDE FOR METAL DOOR FRAME.
11. ALL DOORS AND WINDOWS DIMENSIONS ARE CLEAR OPENING DIMENSIONS.
12. INSTALL ICE & WATER SHIELD @ EXTERIOR WINDOWS BY W.J. GRACE CO. AT WINDOW HEAD. INSTALL SHIELD UNDER BUILDING PAPER.
13. USE FIBERGLASS EXTERIOR DOORS AND WINDOWS BY 'MILGARD' OR APPROVED EQUAL, U-FACTOR = 0.34, SHGC = 0.28.
14. THE PERSON WITH OVERALL RESPONSIBILITY FOR CONSTRUCTION OR THE PERSON RESPONSIBLE FOR THE INSTALLATION OF REGULATED MANUFACTURED DEVICES SHALL POST, OR MAKE AVAILABLE.



DOOR AND WINDOW ELEVATION TYPE
1/4" = 1'-0"



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NO.	ISSUED FOR:	DATE:
1	Project Status	Issue Date
2		
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5		
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8		

REV. NO.	REVISION	DATE

PROJECT TITLE :
ADDITION TO HOME

JOB ADDRESS :
500 FISCHER ST
GLENDALE CA, 91205

OWNER :
ARMEN AMBARACHYAN

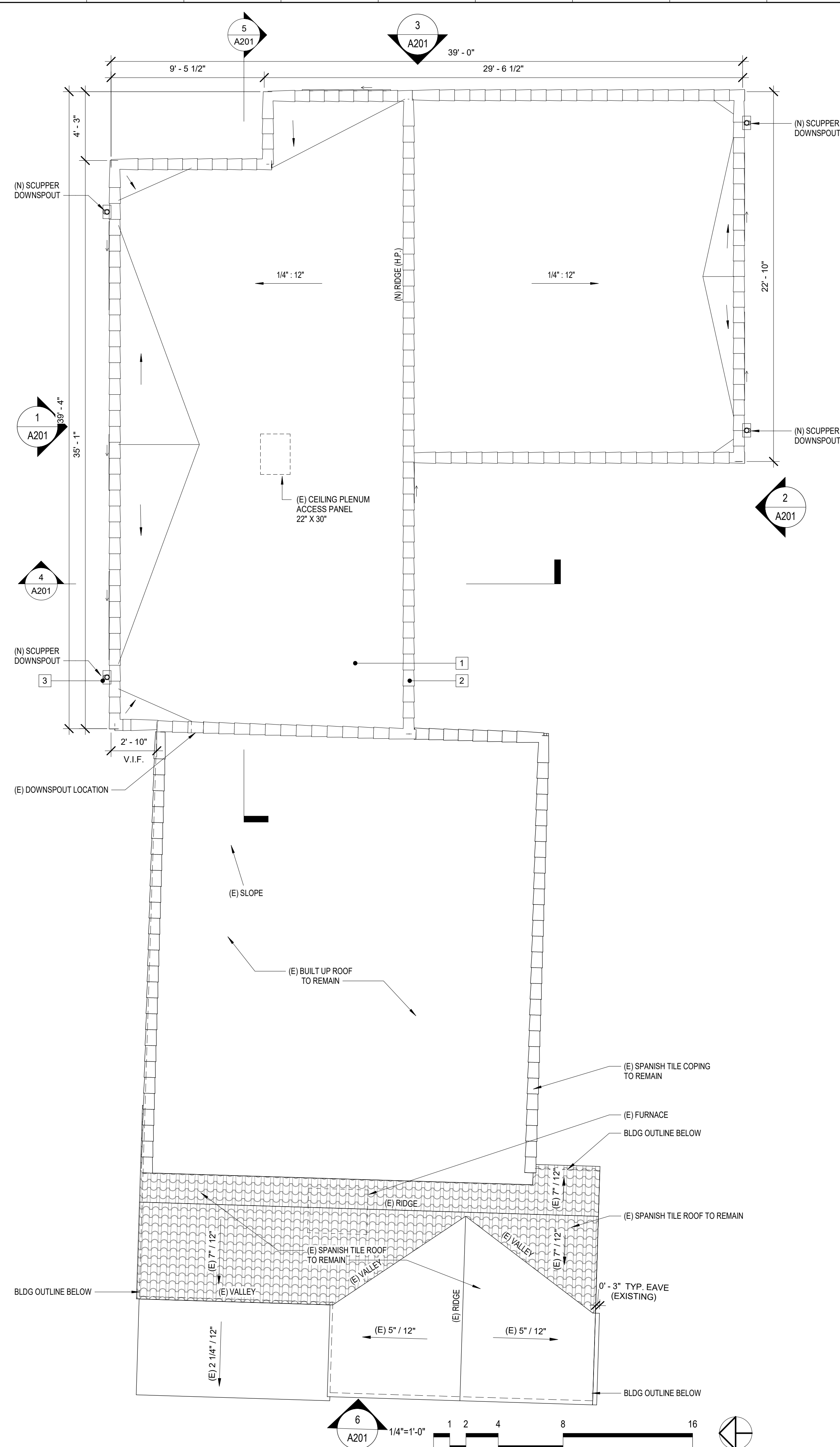
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DRAWN BY :	CA
CHECKED BY :	HA
DATE :	10/11/2022 4:34:08 PM

SHEET DESCRIPTION :
DOOR AND WINDOW SHEET

SHEET NUMBER :

A103

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PREPARING TO THE PROJECT AT THE SITE BEFORE PROCEEDING



1 (N) ADDITION ROOF PLAN
1/4" = 1'-0"

ROOF PLAN NOTES

- PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMP. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC."
- ALL DOWN SPOUTS DRAIN TO RAIN GARDEN, SEE 1/A101.

ROOF PLAN NOTES:

- ROOF SLOPE**
 A. ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWINGS.
 B. IN THE ABSENCE OF SLOPES SHOWN ON STRUCTURAL DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN.
 C. NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS.
 D. CRICKETS MUST MAINTAIN POSITIVE SLOPE TO DRAIN AND TIE INTO DRAINAGE SYSTEM.
 E. CONTRACTOR TO VERIFY ALL ROOF DRAIN SLOPES AND ROOF DRAIN ELEVATIONS.

- ROOFING MATERIAL**
 A. PITCHED ROOF TO BE SHINGLE ROOF, TIMBERLINE COOL SERIES BY GAF - CLASS "A" ROOFING
 B. ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY.

- GUTTERS AND ROOF DRAINS**
 A. GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD RAIN WATER LEADERS.
 B. DRAINS SHALL BE SIZED TO ACCOMMODATE 3" PER HOUR OF RAINFALL.
 C. UNLESS SPECIFIED OTHERWISE, RAIN WATER LEADERS ARE EXPOSED AND LOCATION IS SHOWN ON ROOF PLAN.
 D. DOWNSPOUTS AT FLAT ROOFS SHALL BE A MINIMUM OF 4" DIAMETER WITH OVERFLOW DRAINS.
 E. PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN.
 F. CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS (WHERE APPLICABLE) FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDINGS AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE.
 G. ROOF DRAINAGE TO BE CONNECTED TO EXISTING COUNTY APPROVED DRAINAGE DEVICE. ALL RAIN WATER TO BE DIRECTED TO STREET OR APPROVED OUTLET.
 H. GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO ENSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS, STOR AND BUILDING SANITARY ARE COMPLETED.

- ROOF PENETRATION**
 A. VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 B. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
 C. CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS SHALL BE PROVIDED WITH WR GRACE 4000 BITUTHENE WRAPPING AND PRE-FINISHED METAL FLASHING AND COUNTERFLASHING. ALL JOINTS AT SHEET METAL SHALL BE CAULKED.
 D. GENERAL CONTRACTOR SHALL COORDINATE WITH THE DIFFERENT TRADES FOR INSTALLATION OF ROOF PENETRATIONS PRIOR TO INSTALLATION OF THE ROOFING MEMBRANE.
 E. COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.
 F. ADD SELF-ADHERING MODIFIED BITUMEN EXTENDING 24" EACH SIDE AT ALL VALLEYS, RADIUS WALLS, CRICKETS, TOPS OF WALLS, AND TRANSITIONAL AREAS.

- ROOF (ATTIC) VENTILATION**
 A. TOTAL ATTIC VENTILATION SHALL BE A MAXIMUM OF 1/150 OF THE AREA TO BE VENTED.
 B. ATTIC DRAFT STOPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES.
 C. ALL VENT OPENINGS SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH OPENINGS NO LARGER THAN 1/4" IN ANY DIRECTION.
 D. ATTIC VENTILATION OPENINGS IN VERTICAL WALLS AND ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQUARE INCHES PER OPENING AND SHALL BE COVERED WITH METAL LOUVERS AND 1/4" (6.25MM) MESH CORROSION-RESISTANT METAL SCREEN.

ROOF VENTILATION CALCULATION:
 -REQUIRED AREA OF VENTILATION INTAKE SHALL BE A MAXIMUM OF 1/150 OF THE ROOF AREA TO BE VENTED.

ADDITION
 1,092 SF / 150 = 7.28 SF TOTAL VENTILATION REQ'D
 7 x 1.13 (ATTIC VENT) = 7.91 SF
 7.91 SF > 7.28 SF...OK

NOTE:
 A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(e) SHALL BE PROVIDED TO THE OCCUPANT

ROOF PLAN NOTES

NOTE NUMBER	NOTE TEXT

ROOF PLAN MATERIAL SCHEDULE

NOTE NUMBER	NOTE TEXT
1	BUILT UP ROOF CLASS "A" AT 1/4" = 1'-0" BY "GAF" "DAFGLAS" LA R.R. #25271, CSI #07550, CRRC PRODUCT #0876-00214. SRV=100 TO MATCH EXISTING HOUSE.
2	CLASS "A" CLAY ROOF TILE BY "MCA" "S" MISSION TILE 7.8 PSF, ICC ESR#214. CRRC PRODUCT ID 0882-35. COLOR TO MATCH EXISTING.
3	8" SCUPPER 24GA G.I. WIG.I. DOWNSPOUT

ROOF PLAN LEGEND

- BUILDING WALLS SHOWN BELOW
- 4" DOWNSPOUT
- ==== 4" METAL GUTTER
- 4:12 (N) SLOPE DIRECTION OF SLOPE/GRADIENT



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1	Project Status	Issue
2		Date
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REV. NO.	REVISION	DATE

PROJECT TITLE :
ADDITION TO HOME

JOB ADDRESS :
 500 FISCHER ST
 GLENDALE CA, 91205

OWNER :
 ARMEN AMBARACHYAN

JOB NO. :	
DRAWN BY :	Author
CHECKED BY :	Designer
DATE :	10/11/2022 4:34:21 PM

SHEET DESCRIPTION :
PROPOSED ROOF PLAN

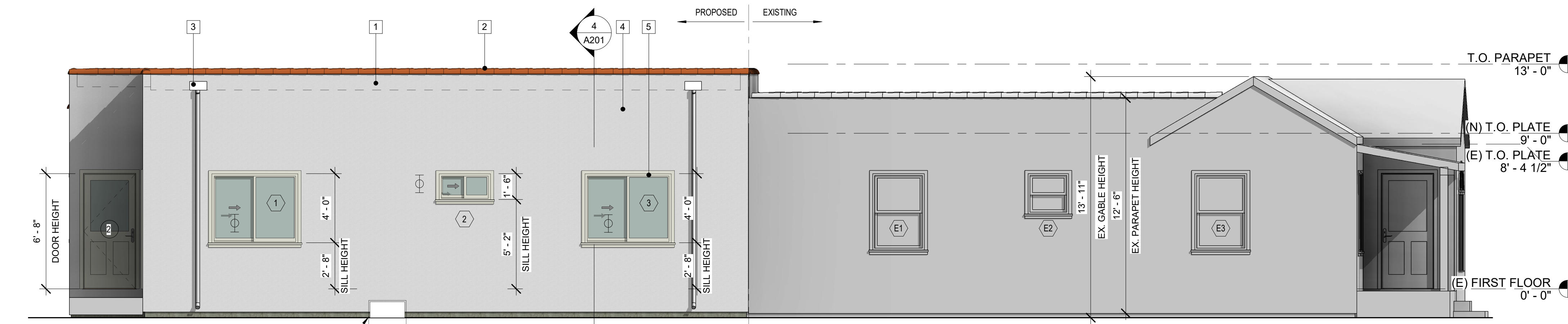
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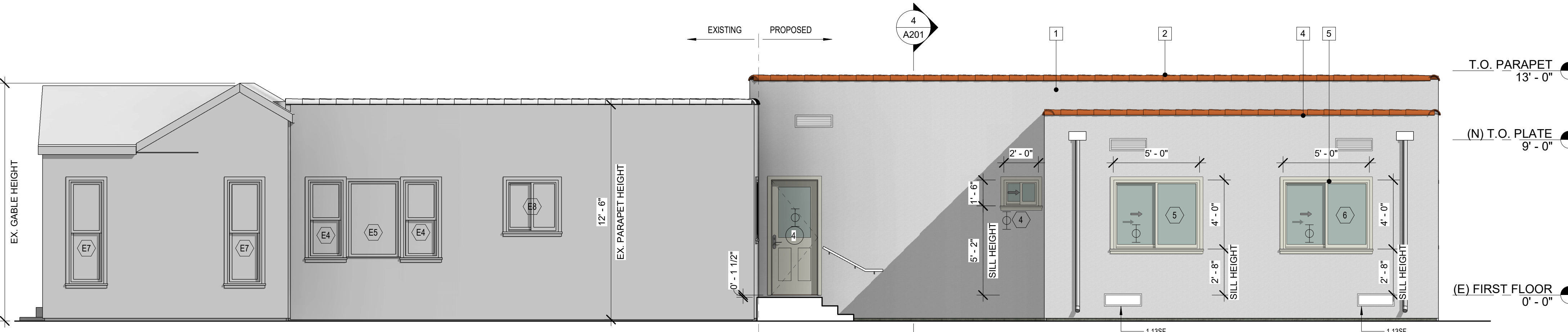
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1 NORTH ELEVATION
1/4" = 1'-0"



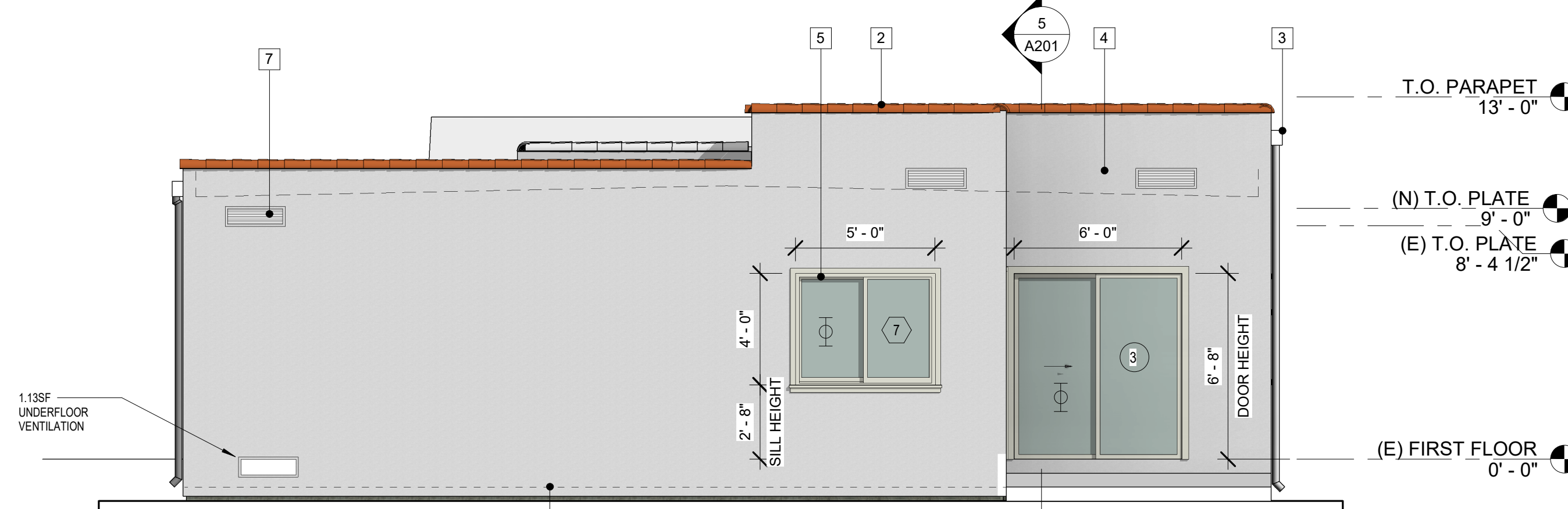
2 SOUTH ELEVATION
1/4" = 1'-0"



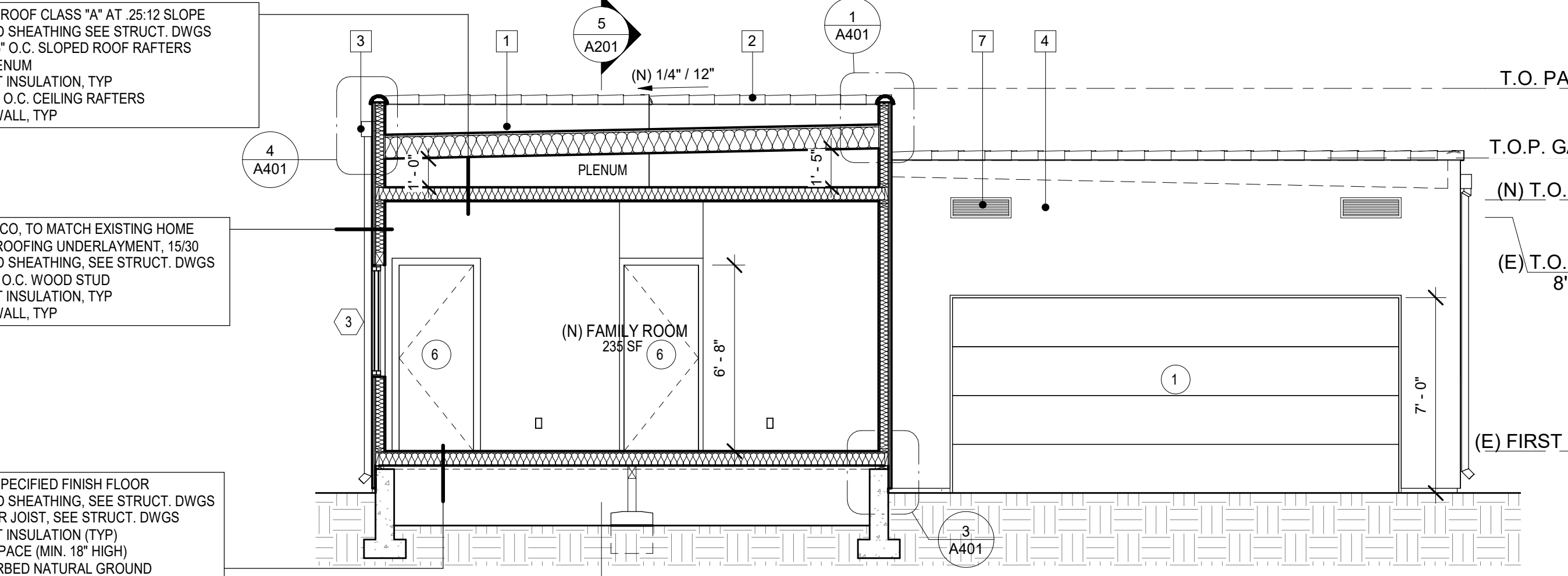
6 WEST ELEVATION
1/4" = 1'-0"



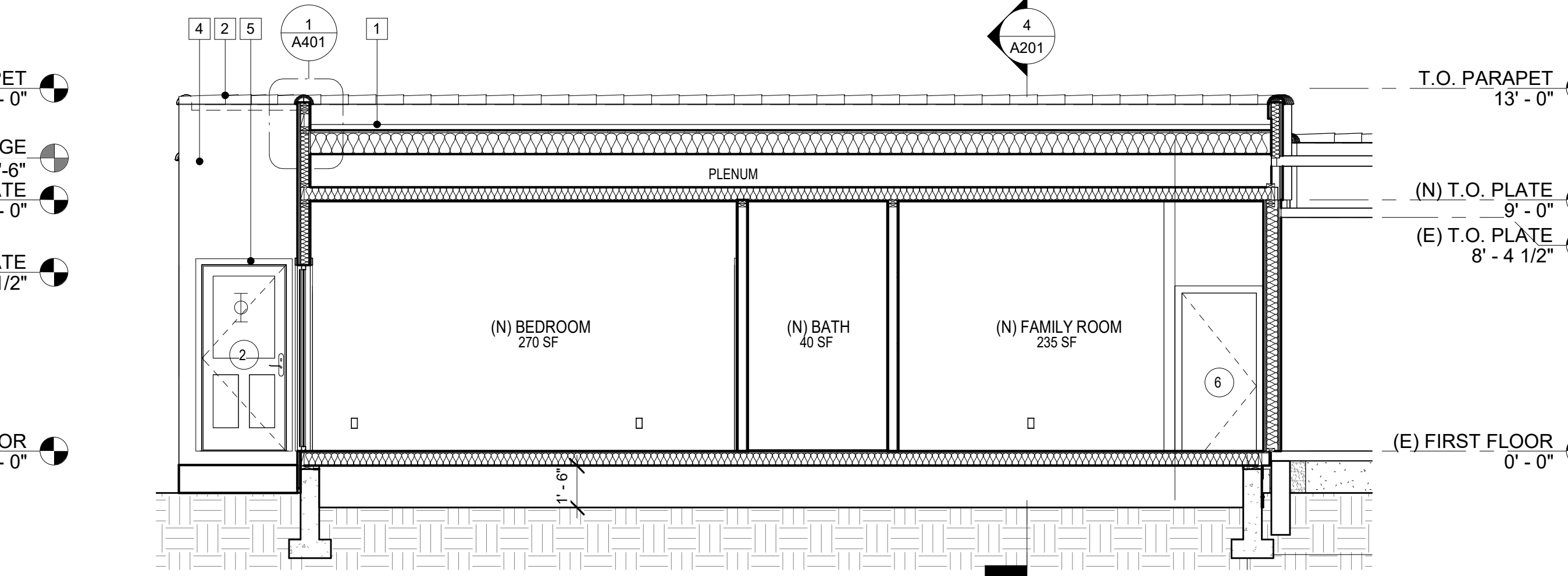
3 EAST ELEVATION
1/4" = 1'-0"



4 TRANSVERSE SECTION
1/4" = 1'-0"



5 LONGITUDINAL SECTION
1/4" = 1'-0"



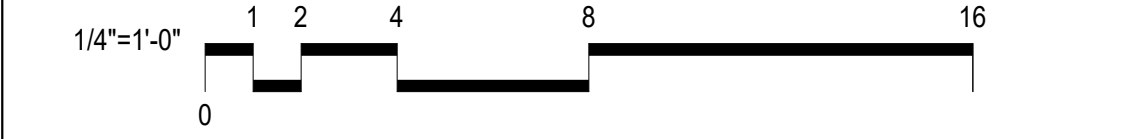
ELEVATION NOTES

1. EXTERIOR COLORS AND MATERIALS OF THE PROPOSED ADDITION INCLUDING WALLS, ROOFS, AND WINDOWS MUST MATCH THE EXISTING STRUCTURES

EXTERIOR FINISH SCHEDULE

NOTE NUMBER	NOTE TEXT
1	BUILT-UP ROOF CLASS "A" AT 1/4" / 12" BY "GAF" "GAFGLAS" LA R.R. #25271, CSI #07550, CRRC PRODUCT #0676-0021A, SRI=100 TO MATCH EXISTING HOUSE
2	ORNAMENTAL SPANISH TILE COPING TO MATCH EXISTING HOUSE. CLASS A CLAY ROOF TILE BY "MCA" "S" MISSION TILE CANYON RED BLEND
3	8" SCUPPER 24GA G.I. W/G I. DOWNSPOUT
4	7/8" THK. MATCHING APPLIED EXTERIOR STUCCO BY "LA HABRA" SPRAY TEXTURED FINISH.
5	OFF-WHITE COLOR VINYL CLAD DOORS & WINDOWS BY "MARVINS" OR APPROVED EQ. SEE DOOR & WINDOW SCHED. FOR INFO.
6	CORROSION RESISTANT WEEP SCREED W/ MIN 3.5" FLANGE UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. CRC R703.7.2.1
7	ATTIC VENTILATION

UNDERFLOOR AREA CALCULATIONS:
AREA / 150 = X
655 / 150 = 4.37 SF. REQUIRED AREA
PROVIDED VENTILATION AREA:
1.13 SF + 1.13 SF + 1.13 SF + 2.68 S.F. = 6.07
6.07 > 4.37 = OK



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REV. NO.	REVISION	DATE

PROJECT TITLE:
ADDITION TO HOME

JOB ADDRESS:
500 FISCHER ST
GLENDALE CA, 91205

OWNER:
ARMEN AMBARACHYAN

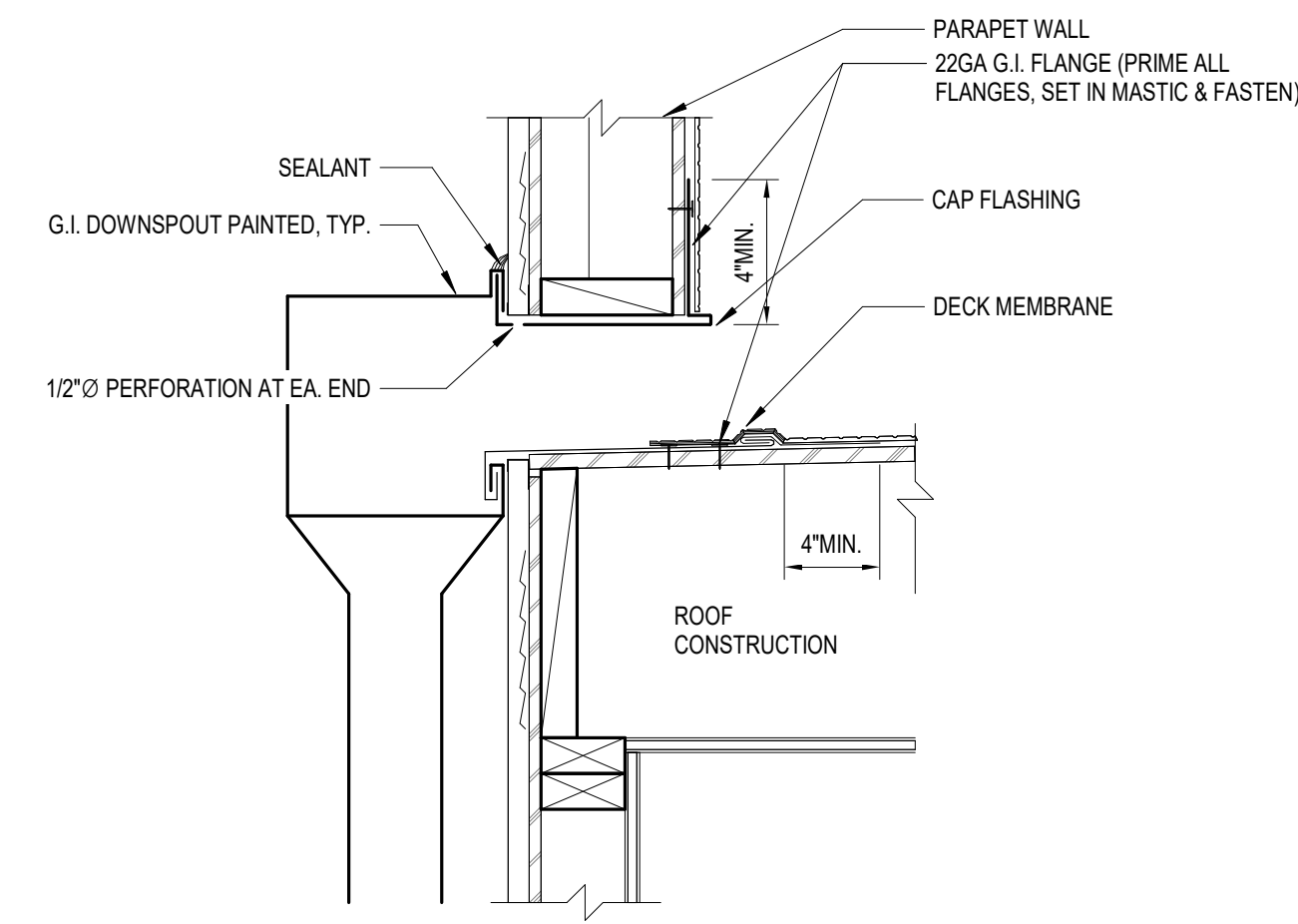
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DRAWN BY:	Author
CHECKED BY:	Designer
DATE:	10/11/2022 4:34:44 PM

SHEET DESCRIPTION:
EXTERIOR ELEVATIONS, SECTIONS

SHEET NUMBER:
A201

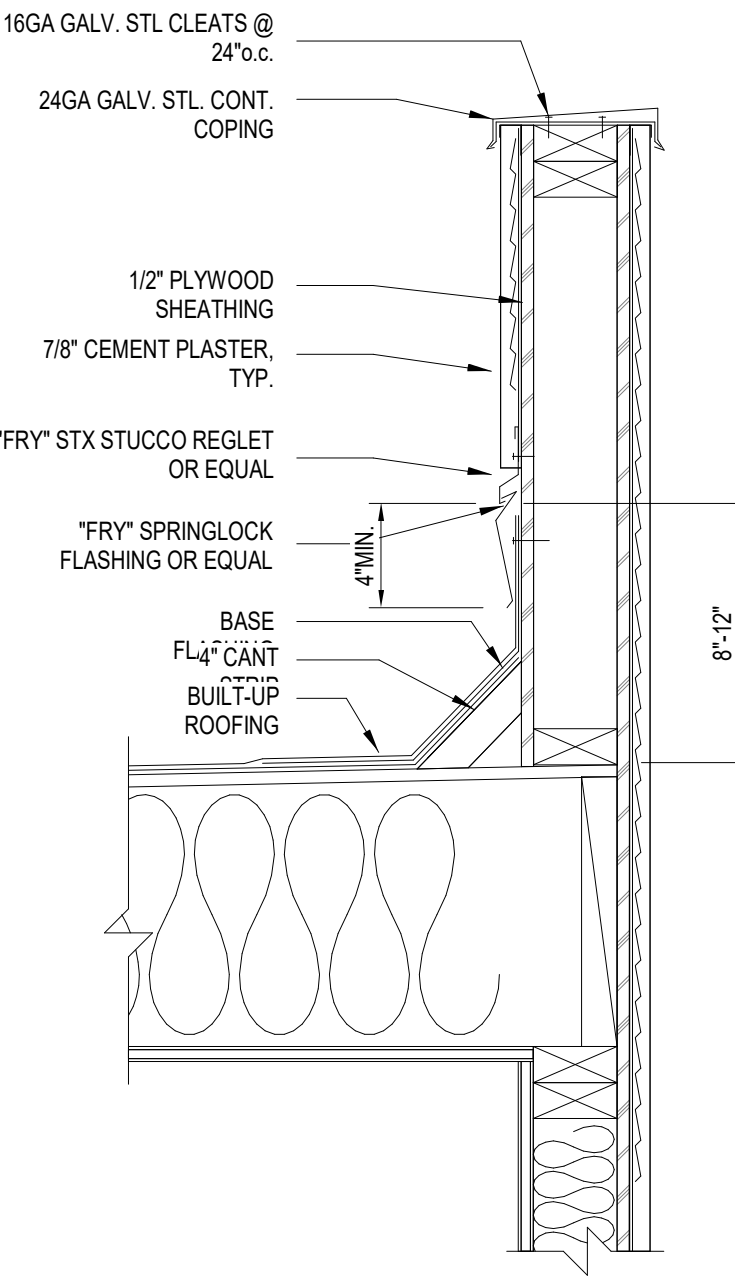
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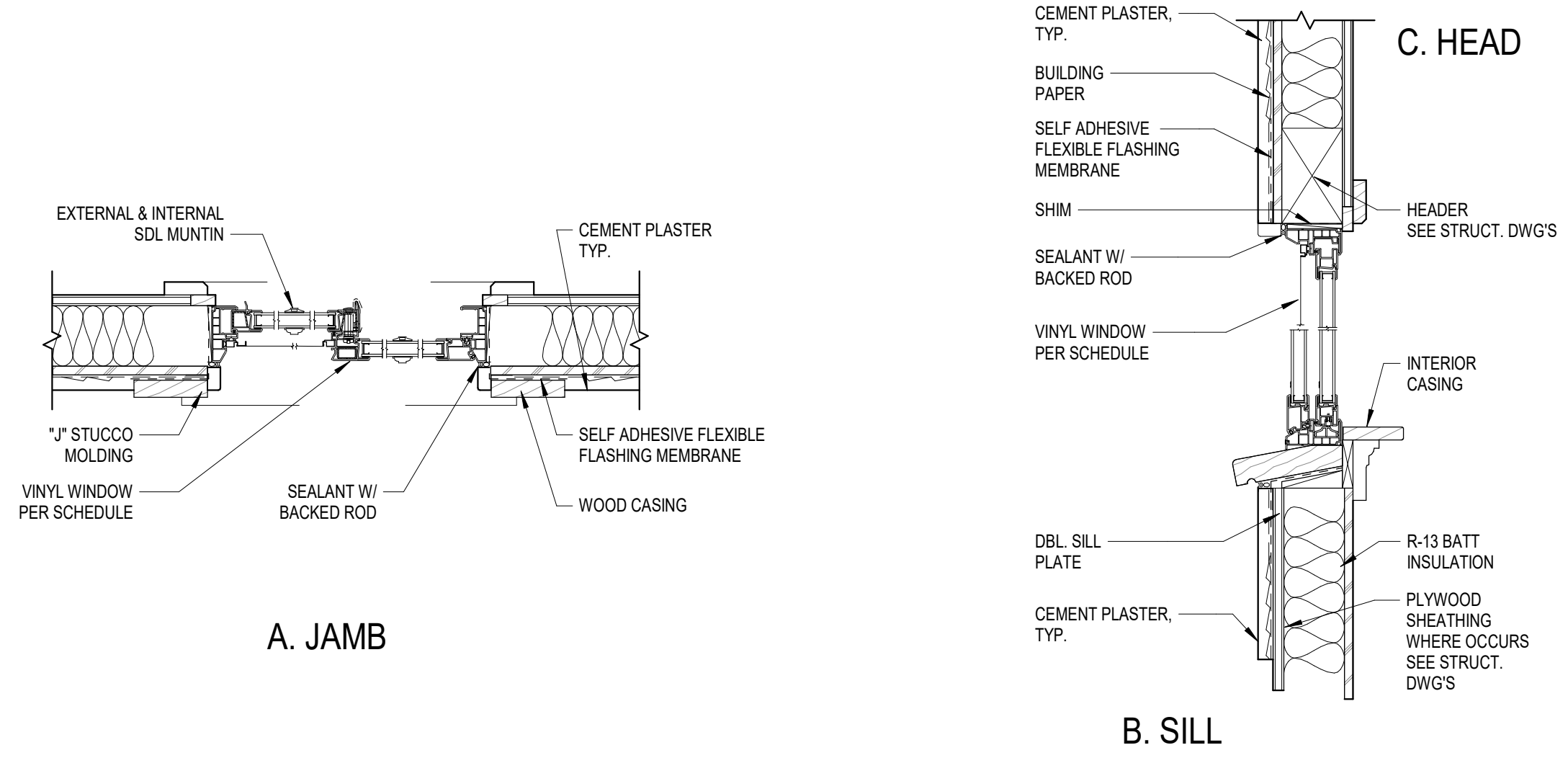


NOTES: 1. TAPER INSULATION AREAS AROUND SCUPPER OPENING TO ENSURE POSITIVE DRAINAGE.
 2. ALL METAL COMPONENTS SHOULD BE FABRICATED ACCORDING TO THE CURRENT RECOMMENDATIONS OF THE NRCA AND SMACNA.
 3. PA-1021 PLASTIC CEMENT AND PA-1125 PRIMER ARE REQUIRED WHERE MASTIC AND PRIMER ARE INDICATED.
 4. DISSIMILAR METALS SUBJECT TO ELECTROLYTIC REACTION SHOULD BE PHYSICALLY SEPARATED.

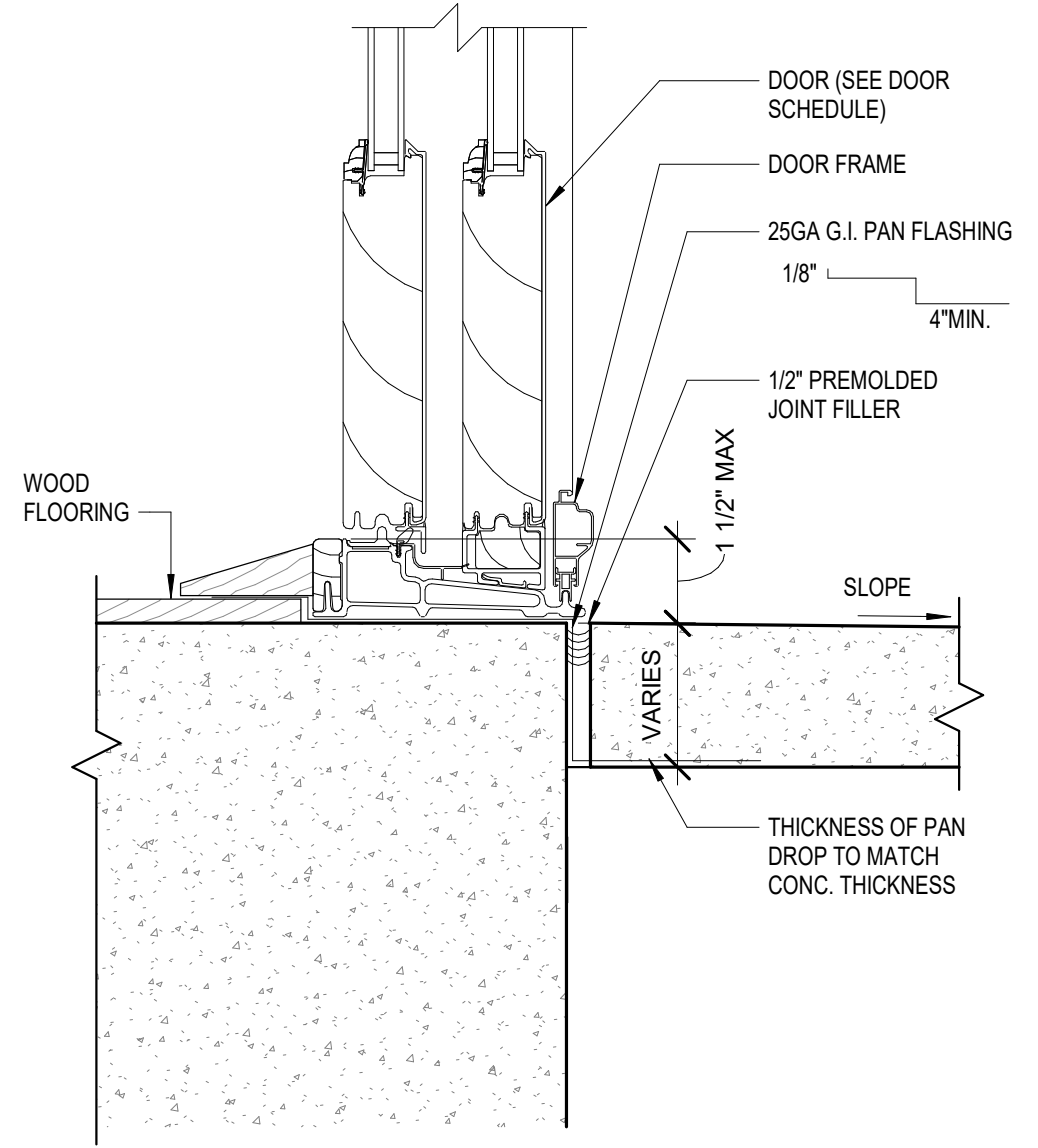
4 SCUPPER W/ DOWNSPOUT
1 1/2" = 1'-0"



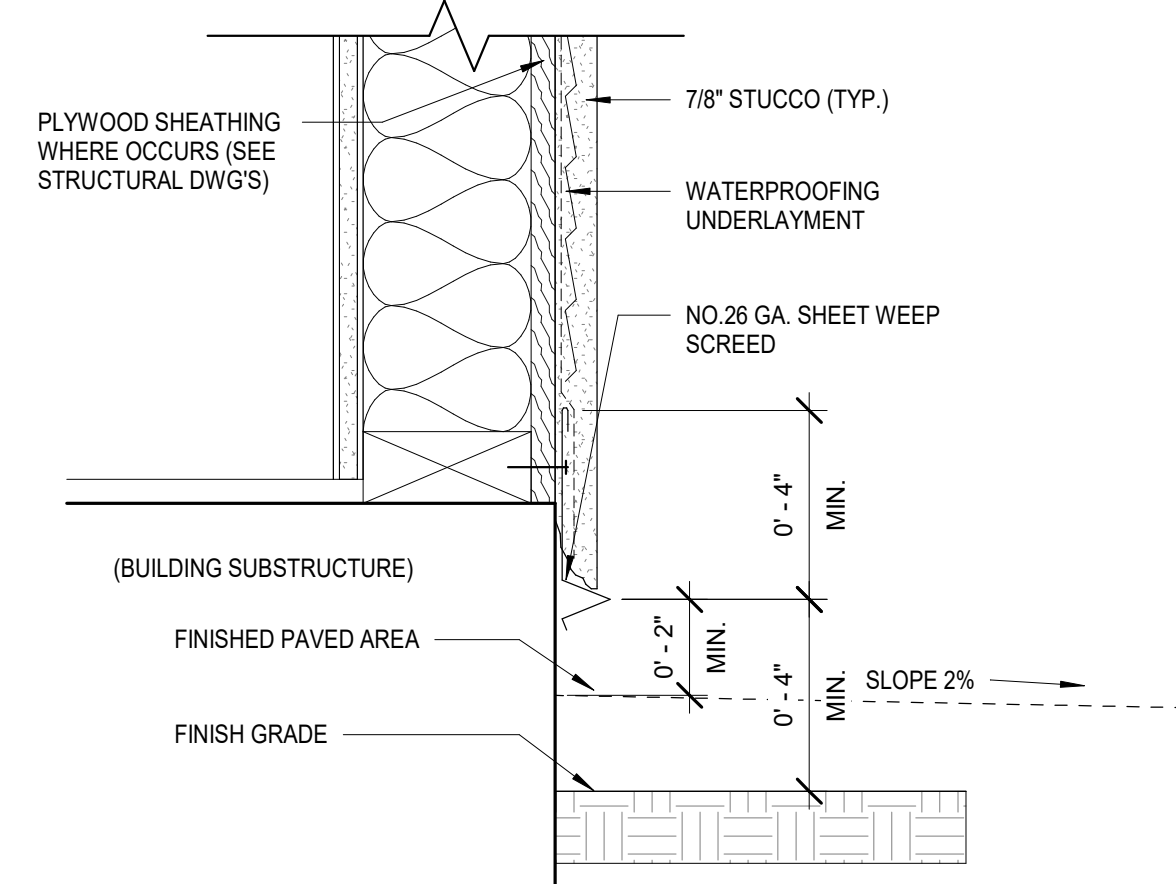
1 PARAPET DETAIL
1 1/2" = 1'-0"



5 WINDOW JAMB, HEAD, AND SILL
1 1/2" = 1'-0"



2 DOOR SILL
3" = 1'-0"



3 WEEP SCREEN DETAIL
3" = 1'-0"

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REV. NO.	REVISION	DATE

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ADDITION TO HOME

JOB ADDRESS :
500 FISCHER ST
GLENDALE CA, 91205

OWNER :
ARMEN AMBARACHYAN

JOB NO.:	
DRAWN BY:	Author
CHECKED BY:	Designer
DATE:	10/11/2022 4:35:08 PM

SHEET DESCRIPTION :
DETAILS

SHEET NUMBER :

A401

SHEETS OF

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PHOTO A



PHOTO B



PHOTO C



PHOTO D

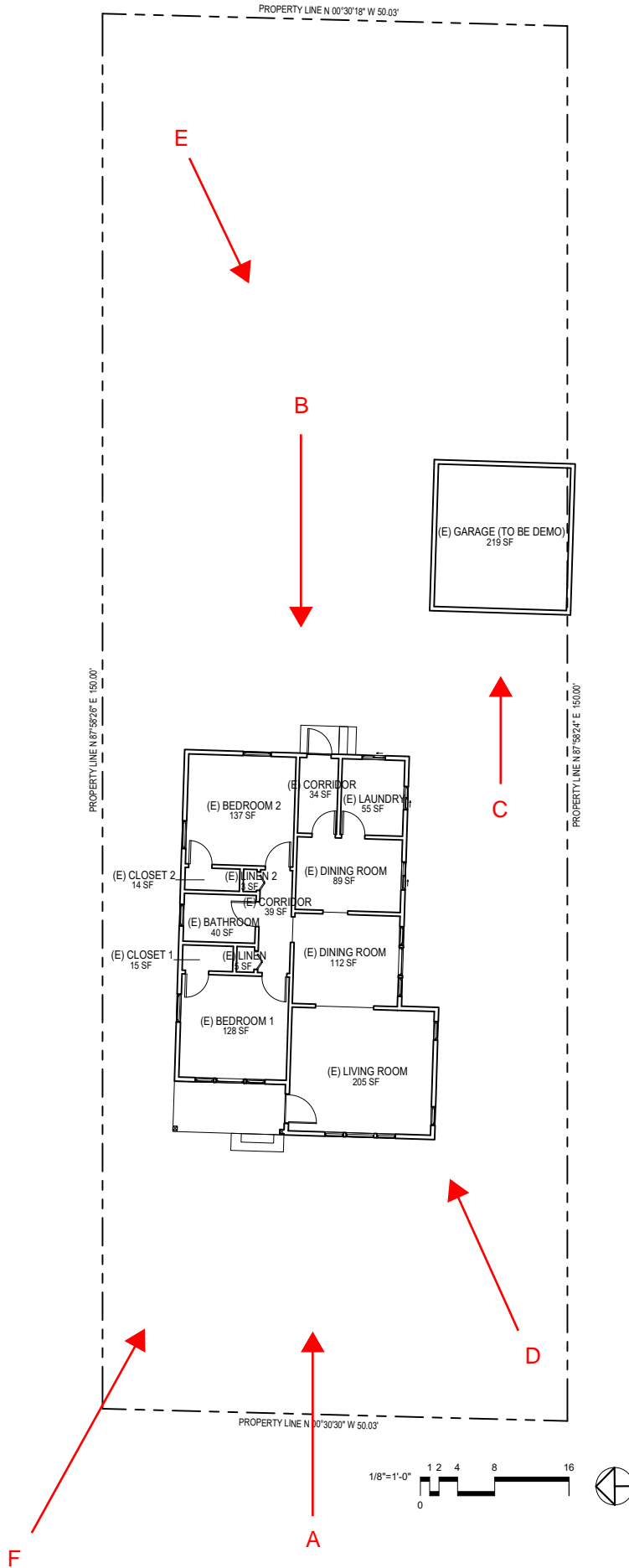


PHOTO E



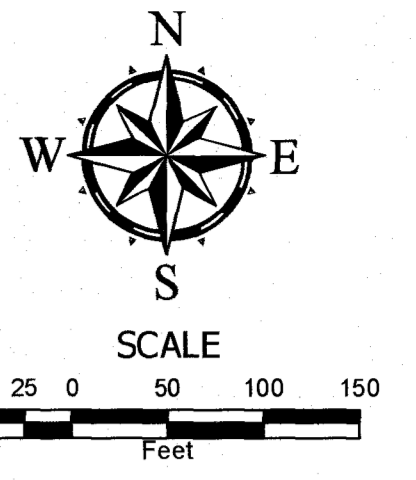
PHOTO F

KEY PLAN



CITY OF GLENDALE BASEMAP ATLAS SHEET

1517



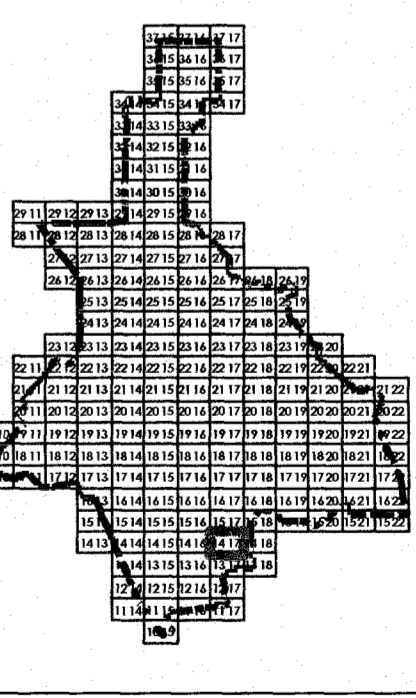
- Legend**
- Property Basemaps**
 - City Boundary
 - ROW-Tract Lines
 - Lot Lines
 - City Lot Split Lines
 - Other
 - County Lot Split Lines
 - Future Streets
- Parcels in Adjacent Cities**
 - LSM-Lot Split Map Boundaries
 - Street Centerline
- City-Owned Properties (Not Visible on Xerox'd Copies)**
 - City of Glendale
 - City-State Joint Ownership
 - City-Private Joint Ownership
 - Glendale Redevelopment Agency
 - Glendale Housing Authority
- Planimetric Features**
 - Paved Streets & Alleys
 - Unpaved Roadways
 - Sidewalks
 - Road Bridges
 - Unpaved Alleys
 - Building Footprints

Disclaimer:
This Drawing is neither a legally recorded map nor a survey, and is not intended to be used as such. The information displayed is a compilation of records, information and data obtained from various sources, including the City of Glendale.



Public Works Department
Engineering Division
Mapping & Real Property
W.F. Ahearn, GIS Analyst
28 September 2021

Locator Map



GLENDALE
EDITION OF 2021
Preliminary
Map
1417
September 28, 2021

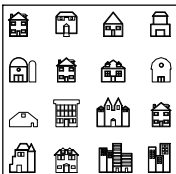




1. 404 FISCHER ST.



2. 405 FISCHER ST.

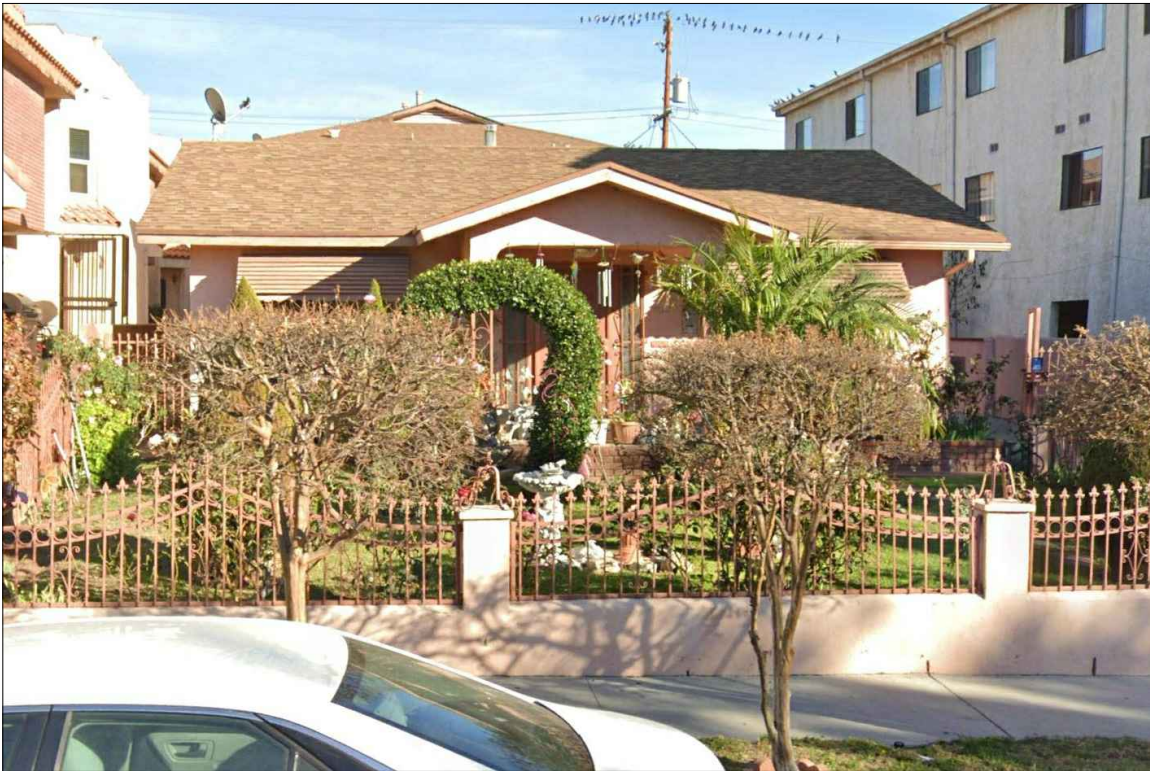


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PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



3. 409 FISCHER ST.



4. 410 FISCHER ST.



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PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



5. 412 FISCHER ST.



6. 415 FISCHER ST.

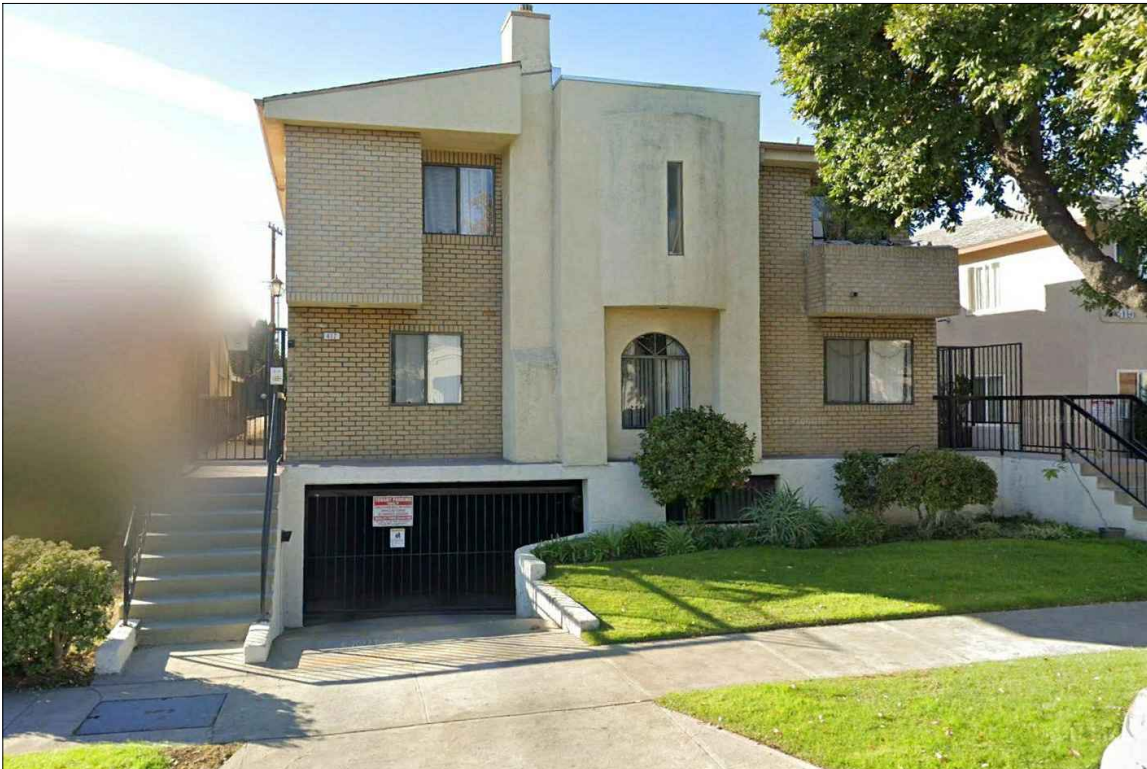


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PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



7. 416 FISCHER ST.



8. 417 FISCHER ST.

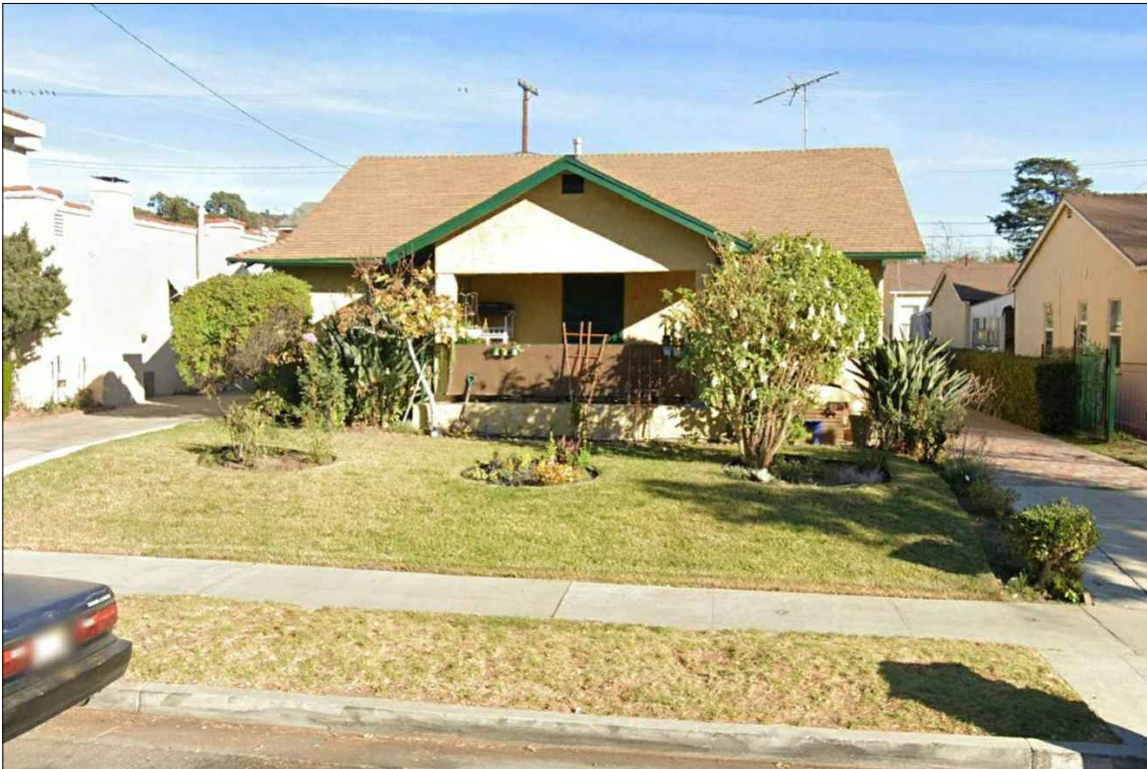


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JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205
PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



9. 419 FISCHER ST.

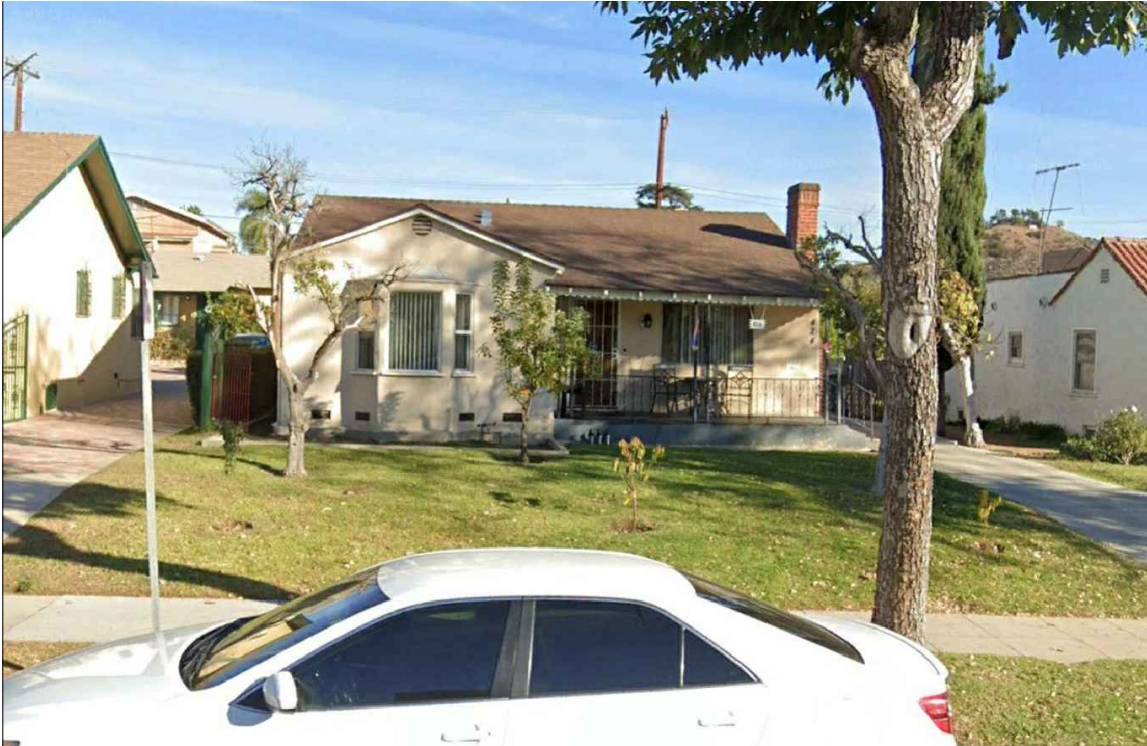


10. 422 FISCHER ST.

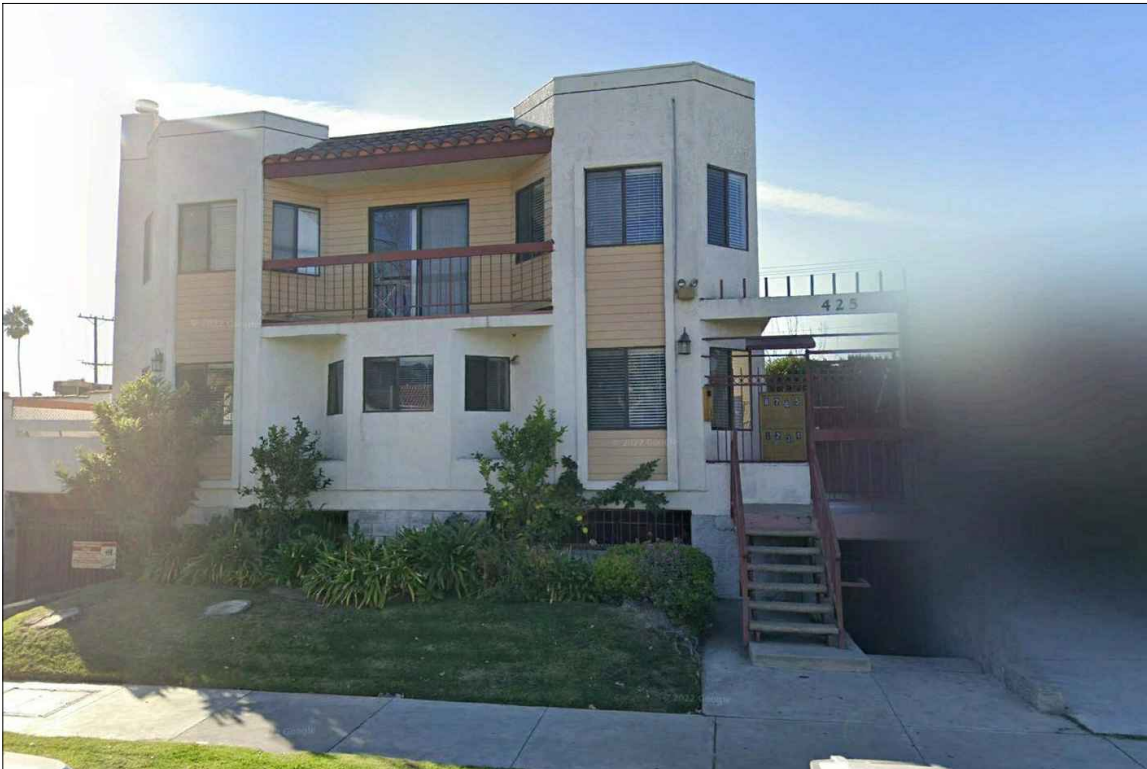


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JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205
PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



11. 424 FISCHER ST.

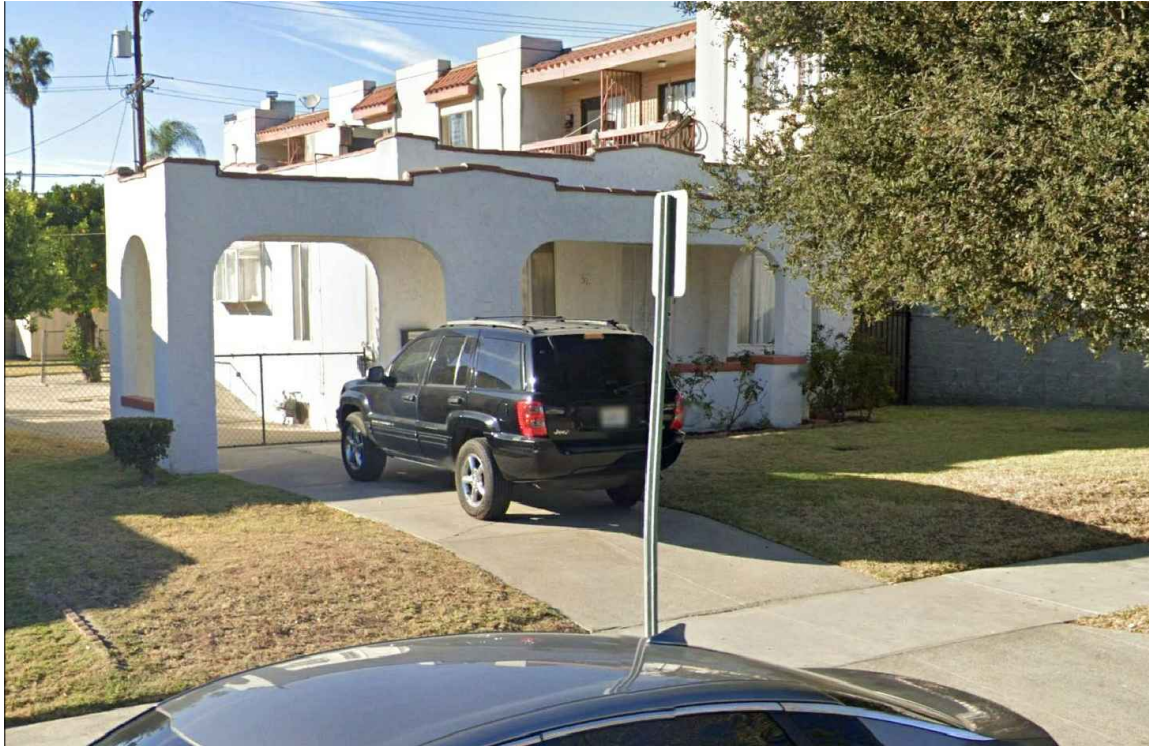


12. 425 FISCHER ST.



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JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205
PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



13. 501 FISCHER ST.



14. 504 FISCHER ST.

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		PROJECT TITLE:		
		SHEET TITLE:		
		SCALE:		



15. 506 FISCHER ST.

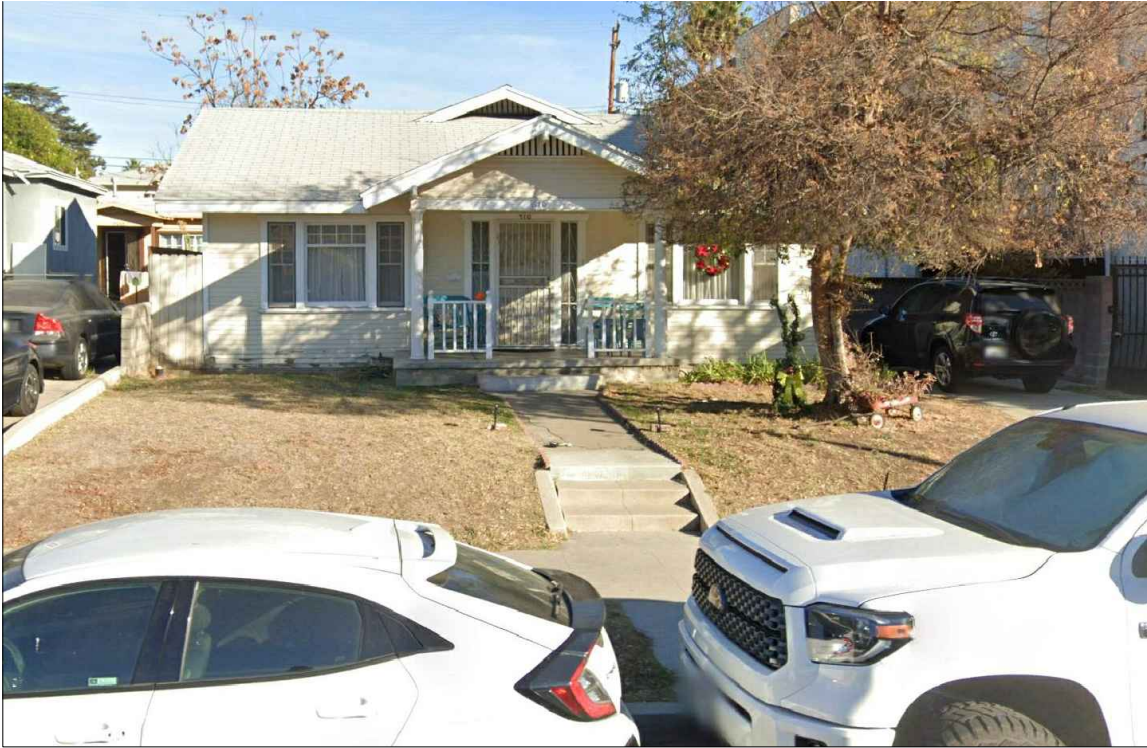


16. 509 FISCHER ST.



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JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205
PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



17. 510 FISCHER ST.



18. 511 FISCHER ST.

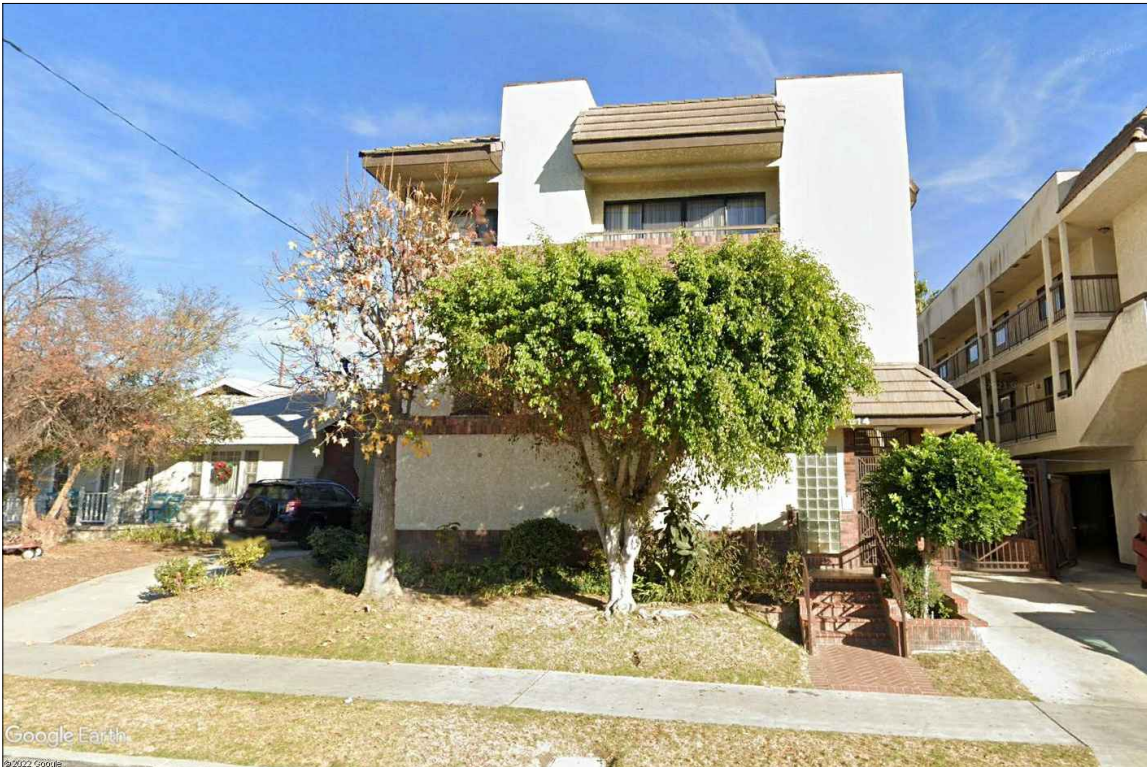


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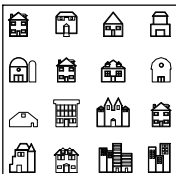
JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205
PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



19. 513 FISCHER ST.



20. 514 FISCHER ST.

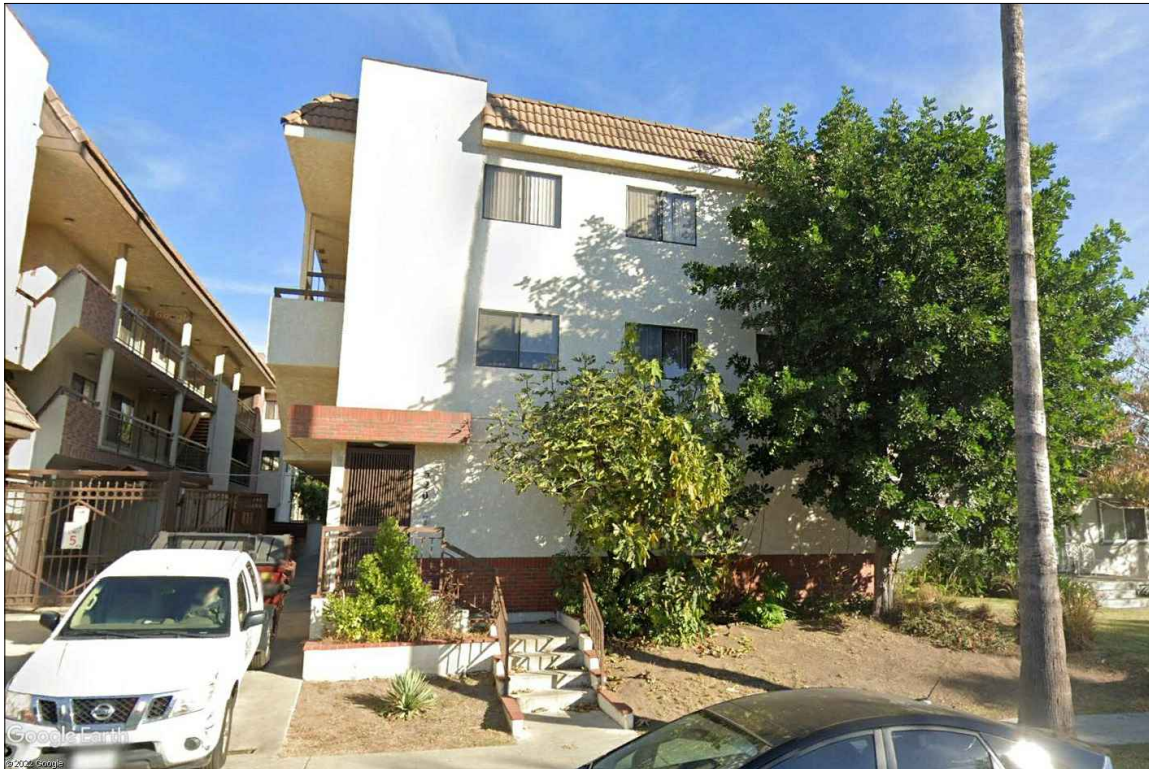


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JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205
PROJECT TITLE:	
SHEET TITLE:	
SCALE:	



21. 517 FISCHER ST.

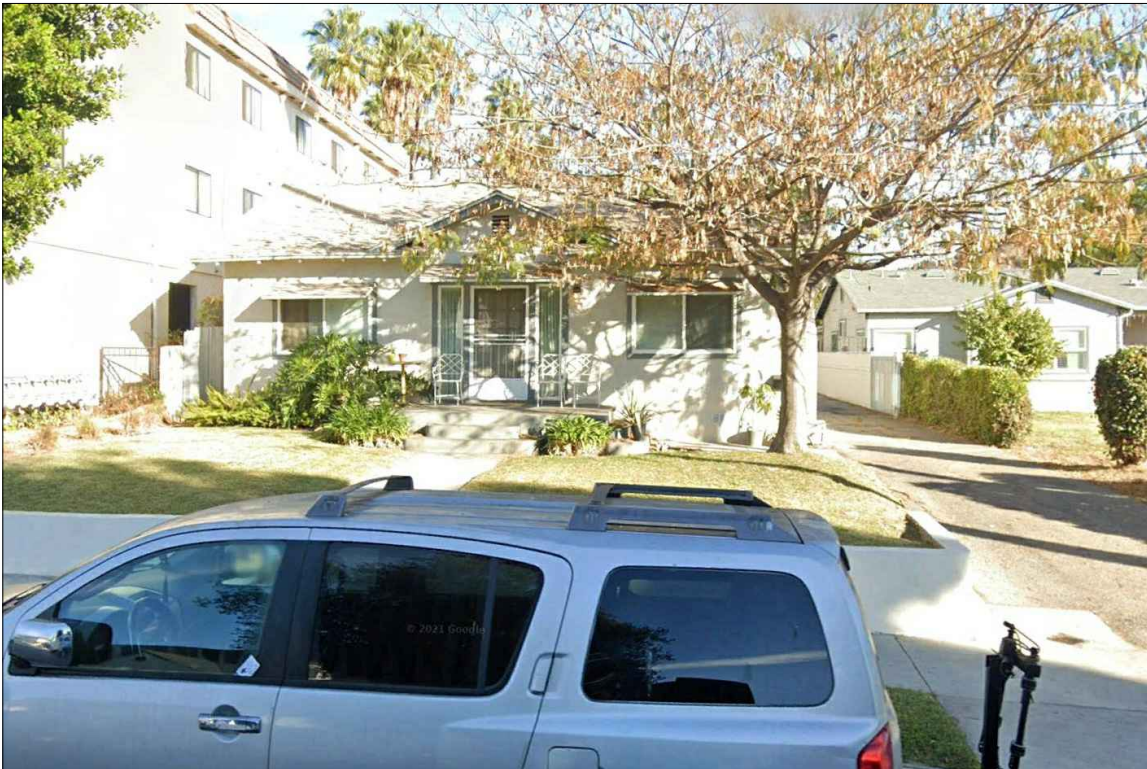


22. 520 FISCHER ST.

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	PROJECT TITLE:		
	SHEET TITLE:		
	SCALE:		



23. 521-523 FISCHER ST.



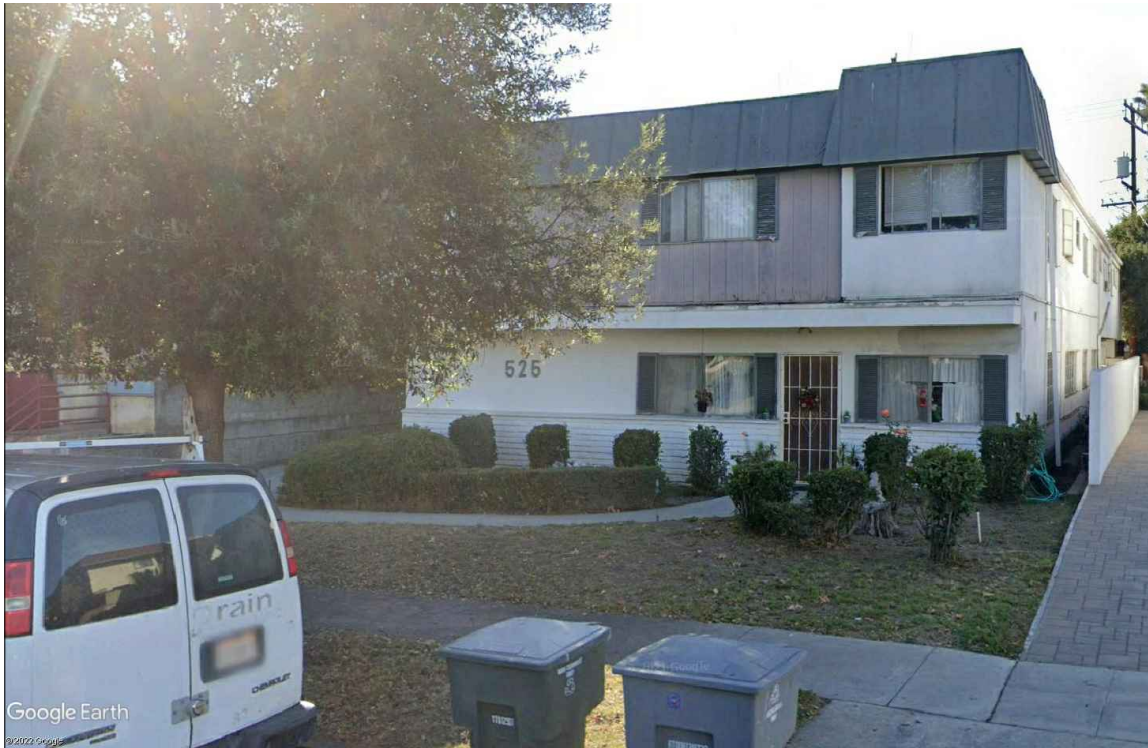
24. 524 FISCHER ST.



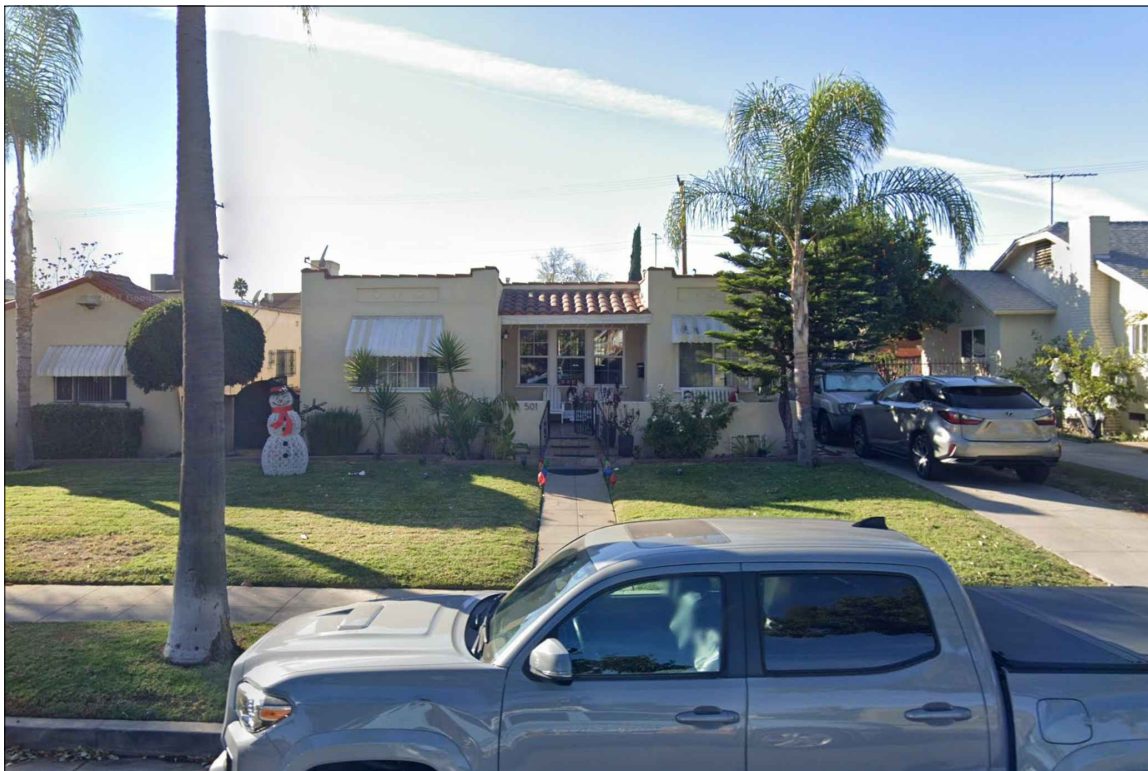
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JOB ADDRESS:	500 FISCHER ST. GLENDALE CA 91205	<h1>12</h1> <p>SHEET 12 OF 13</p>
PROJECT TITLE:		
SHEET TITLE:		
SCALE:		



25. 525 FISCHER ST.



26. 501 GRISWOLD ST

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		PROJECT TITLE:		
		SHEET TITLE:		
		SCALE:		

NEIGHBORHOOD SURVEY LIST

KEY	ADDRESS	LOT AREA	HOUSE AREA	FAR%	STORIES	SETBACK	ROOF
Subject	500 FISCHER ST	7,500	980	13.1	1	25	S.T.
1	404 FISCHER ST	7,500	5,285	70.5	2	26	F
2	405 FISCHER ST	7,500	1,816	24.2	1	34	S.T.
3	409 FISCHER ST	7,500	1,825	24.3	1	33	S.T.
4	410 FISCHER ST	7,500	3,695	49.3	1	20	COMP.
5	412 FISCHER ST	7,500	6,492	86.6	2	15	F
6	415 FISCHER ST	7,500	4,470	59.6	1	22	COMP.
7	416 FISCHER ST	7,500	2,371	31.6	1	23	F
8	417 FISCHER ST	7,500	8,458	112.8	2	16	COMP.
9	419 FISCHER ST	7,500	1,146	15.3	1	20	COMP.
10	422 FISCHER ST	7,500	2,989	39.9	1	22	COMP.
11	424 FISCHER ST	7,500	2,792	37.2	1	32	COMP.
12	425 FISCHER ST	7,500	9,179	122.4	2	11	F
13	501 FISCHER ST	7,500	1,454	19.4	1	22	F
14	504 FISCHER ST	7,500	6,102	81.4	2	22	F
15	506 FISCHER ST	7,500	3,030	40.4	1	25	COMP.
16	509 FISCHER ST	7,500	1,104	14.7	1	20	COMP.
17	510 FISCHER ST	7,500	1,330	17.7	1	20	COMP.
18	511 FISCHER ST	7,500	1,879	25.1	1	27	COMP.
19	513 FISCHER ST	7,500	1,228	16.4	1	21	COMP.
20	514 FISCHER ST	7,500	7,659	102.1	2	13	F
21	517 FISCHER ST	7,500	8,756	116.7	2	15	F
22	520 FISCHER ST	7,500	6,904	92.1	2	15	F
23	521-523 FISCHER ST	7,500	4,076	54.3	1	30	COMP.
24	524 FISCHER ST	7,500	2,180	29.1	1	27	COMP.
25	525 FISCHER ST	7,500	6,672	89.0	2	25	F
26	501 GRISWOLD ST	7,500	1,050	14.0	1	28	F
	Neighborhood Average	7,500	3,886	53.3	1	23	

ABBREVIATIONS:

COMP. - COMPOSITION SHINGLES

S.T. - SPANISH TILE

SHK - WOOD SHAKE

F - FLAT BUILD-UP ROOF