



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

October 28, 2022

BENNY ARIAS
3111 FRAZIER STREET
BALDWIN PARK, CA 91706

**RE: 628 THOMPSON AVENUE
ADMINISTRATIVE DESIGN REVIEW CASE NO. PDR2119410**

Dear Applicant:

The Director of Community Development will render a final decision on or after **November 7, 2022** for the following project:

PROJECT DESCRIPTION: To construct a new two-story, 7,531 square-foot commercial building (warehouse) with a roof deck (735 square feet) and a single-level subterranean parking garage with eight (8) parking spaces on an 8,353 square-foot lot in the IND (Industrial) zone, currently developed with two residential dwellings (built in 1930 and 1953) and a detached garage, which are proposed to be demolished.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

For more information or to submit comments, please contact the case planner, Aileen Babakhani, at 818-937-8331 or ababakhani@glendaleca.gov.

Comments must be received prior to **November 7, 2022**, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 103, Glendale, CA 91206.

Sincerely,

A handwritten signature in black ink, appearing to read "Aileen", written in a cursive style.

Aileen Babakhani
Planner



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – COMMERCIAL / INDUSTRIAL / MIXED USE

November 7, 2022 <i>Decision Date</i>	628 THOMPSON AVENUE <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5624-026-003 <i>APN</i>
PDR 2119410 <i>Case Number</i>	BENNY ARIAS <i>Applicant</i>
Aileen Babakhani, Planner <i>Case Planner</i>	JOSE R. REYES <i>Owner</i>

Project Summary

The applicant is proposing to construct a new two-story, 7,531 square-foot commercial building (warehouse) with a roof deck (735 square feet) and a single-level subterranean parking garage with eight (8) parking spaces on an 8,353 square-foot lot in the IND (Industrial) zone, currently developed with two residential dwellings (built in 1930 and 1953) and a detached garage, which are proposed to be demolished.

Environmental Review

The project is exempt from CEQA review as a Class 3 “New Construction and Conversion of Small Structures”, exemption pursuant to Section 15303 (c) of the State CEQA Guidelines, because the proposed project is to construct a new commercial building, located in urbanized area and does not exceed 10,000 square feet in area; and is not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

Existing Property/Background

The project site is an interior lot with frontage on Thompson Avenue (south of Thompson Avenue), which is developed with two residential dwellings (built in 1930 and 1953) and a detached garage. All existing buildings on the site are proposed to be demolished. The existing buildings do not appear to meet any criteria for designation at the local, state, or national level and is therefore not considered a historic resource under CEQA. The site with the flat topography is similar to the surrounding properties developed with two- and three-story multi-family and commercial buildings. The two buildings on the property do not appear eligible for historic designation at the federal, state, or local level and the property is therefore not considered a historic resource under the California Environmental Quality Act (CEQA).

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: IND - Industrial

Height District: N/A

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Located at or near front property line
- Conforms to prevailing setbacks on the street
- Maintains appropriate sidewalk width

Usable Open Space

yes **n/a** **no**

If "no" select from below and explain:

- Incorporates outdoor pedestrian space
- Integrated with design and overall context
- Appropriate relationship with adjoining properties

Access and Parking

yes **n/a** **no**

If "no" select from below and explain:

- Parking location is appropriate to the site and its neighborhood context

- Appropriate pedestrian and vehicle access points
- Appropriate service and loading locations
- Landscape screening for street-facing parking
- Techniques employed to reduce stormwater runoff
- Decorative or colored paving to delineate pedestrian areas

The new driveway access and loading space are appropriate to the site and its neighborhood context. A condition of approval is added for the project to delineate and separate the pedestrian access at the front of the building from the proposed adjacent loading space.

Landscape Design

- yes** **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Appropriately sized and located

Walls, Fences, and Retaining Walls

- yes** **n/a** **no**

If “no” select from below and explain:

- Minimize use whenever possible
- Use decorative material to complement building and/or landscape design
- Provide landscaping to minimize visual impact

Screening

- yes** **n/a** **no**

If “no” select from below and explain:

- Mechanical equipment appropriately screened
- Trash bins appropriately located and screened

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The site planning is appropriate to the site and its neighboring properties, because it conforms to the prevailing setbacks along Thompson Avenue and provides appropriate and step backs.
- The existing vehicle access (driveway) from Thompson Avenue will be enlarged to provide access to the project’s new subterranean parking garage and a new loading space (surface parking). The new driveway access is appropriate to the site and its neighborhood context.
- Adequate new landscaping is provided at the street front setback, which is complementary to the building design and includes drought tolerant landscaping.

- The project provides pedestrian access from the side of the new building (north) which is clearly delineated with decorative pavers; however, a condition of approval is added for the project to delineate and separate the pedestrian access at the front of the building from the proposed adjacent loading space.
- The project preserves the two existing street trees located on the public right-of-way, adjacent to the building street frontage.
- The proposed rooftop equipment is appropriately integrated into the design and adequately screened from public view.
- The trash bins and recycling containers are located at the front of the building, facing the street; however, they are appropriately screened and new landscaping minimizes the visual impact.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate proportions and transitions
- Articulation, solid/void balance, and open space relate to predominant pattern

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope to minimize height

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located

Massing **yes** **n/a** **no**

If “no” select from below and explain:

- Larger masses broken into separate volumes
- Long, unbroken street walls avoided
- Visual impact of larger building minimized

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The mass and scale of the proposed two-story commercial building are appropriate and relate to its surrounding context. The building design represents appropriate proportions, recessed building forms with multiple finishes and colors help to avoid overbearing forms.
- The project has an overall height of 38’-5”, which is lower than the maximum height limit of 50 feet in IND zone.
- The building’s primary entrance is well located and will be accessed from Thompson Avenue. A roll-up door for vehicle access for loading purposes is located adjacent to the primary entrance.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing **yes** **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway **yes** **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Location promotes pedestrian activity
- Design provides appropriate focal point

Storefronts and Windows **yes** **n/a** **no**

If “no” select from below and explain:

- Maximize transparency at ground floor

- 12-15' floor-to-floor height at ground-floor is encouraged
- Coordinate design with overall style of building
- Use durable materials for windows, such as aluminum or steel
- Locate security gates/grilles inside commercial spaces, preferably set back from storefront

Awnings and Canopies

yes **n/a** **no**

If "no" select from below and explain:

- Integrate awnings and canopies into overall building design
- Avoid long treatments spanning multiple openings
- Back-lit awnings are not allowed

Lighting

yes **n/a** **no**

If "no" select from below and explain:

- Light fixtures are appropriate to the building design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

Finish Materials and Color

yes **n/a** **no**

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, durable materials used, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate cladding appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

The proposed architectural style and details reinforce the proposed contemporary architectural style and are consistent with the surrounding neighborhood's varied architectural styles. However, conditions of approval are requiring that the project to clarify the color of the windows, compatible with the proposed architecture, colors, and details.

Paving Materials

yes **n/a** **no**

If "no" select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Roof Forms

yes n/a no

If “no” select from below and explain:

- Configure roofline to provide visual interest and deemphasize mass
- Roof forms are consistent with overall design
- Continue roofs and parapets around building or terminate in logical manner

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed architectural style, details, and combination of materials including vertical metal siding, vertical cement boards/panels, CMU walls, railing (for roof deck and driveway), fiberglass doors, and aluminum windows reinforce the proposed contemporary architectural style and are consistent with the surrounding neighborhood’s varied architectural styles. A condition of approval is requiring that the project to clarify the color of the windows, compatible with the proposed architecture, colors, and details.
- The project is proposing a new 6-foot high CMU boundary wall on the sides and rear of the new building.
- The location of the recessed primary entryway is well integrated into the design.
- The windows are compatible with the proposed architectural style and overall design. The windows will be recessed aluminum windows with fixed operations.
- The location and details of the proposed light fixtures are appropriate to the building design.
- Decorative turf-stone permeable pavers are proposed for the walkway and surface loading space; however, the driveway leading to the subterranean parking garage will have concrete finish.
- The proposed flat roof, which features a 735 square-foot roof deck with roof parapet and railings, is appropriate to the context and reinforces the proposed architectural design concept.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. Revise plans to delineate and separate the pedestrian access at the front of the building from the proposed adjacent loading space.
2. Update plans to clarify the color of the windows, compatible with the proposed colors and details.

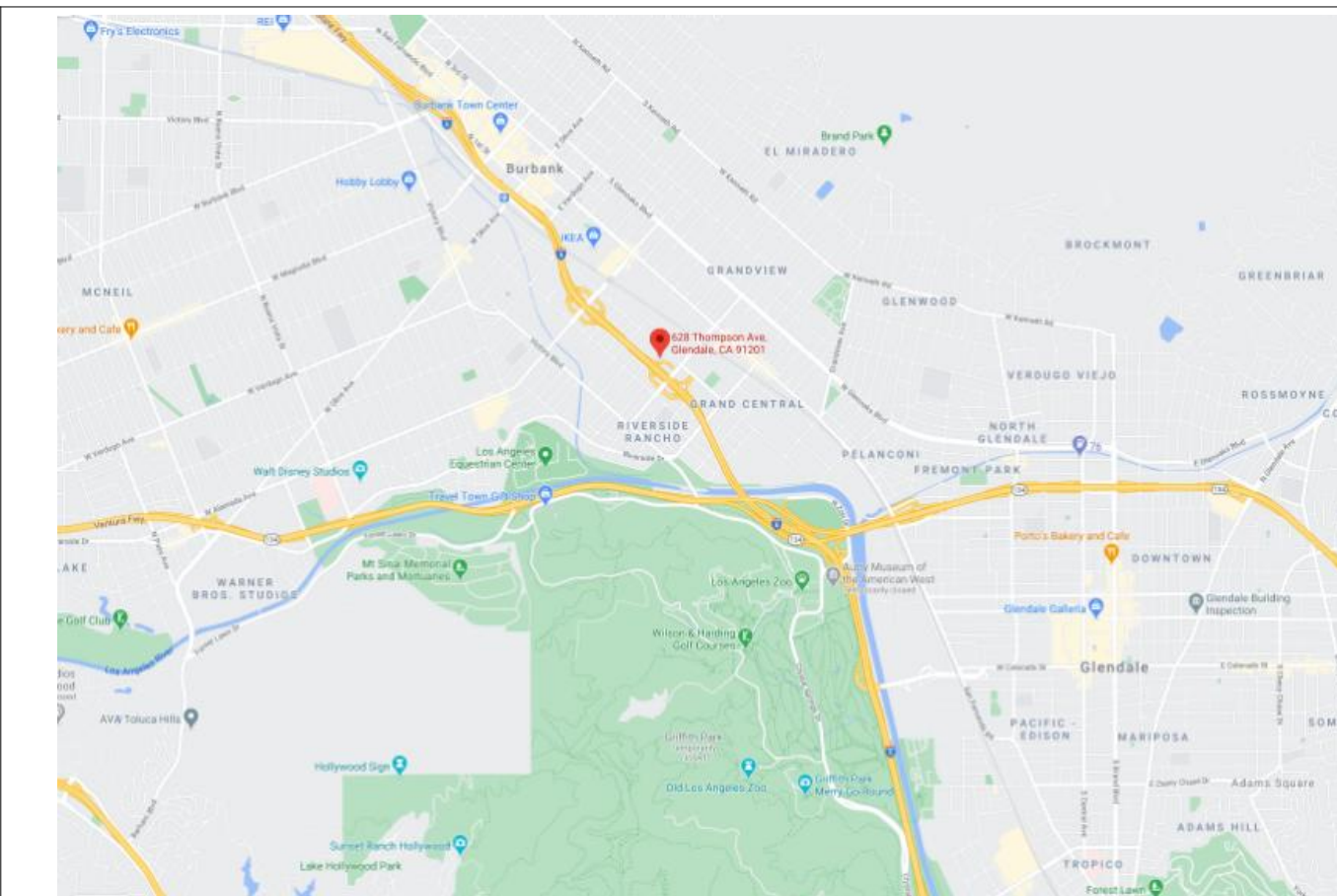
Attachments

1. Reduced Plans
2. Photographic Survey
3. Neighborhood Photo Survey
4. Location Map

REYES ELECTRIC

628 THOMPSON AVE, GLENDALE, CA 91201

CONTRACTOR TO VERIFY ALL DIMENSION WITH DESIGNER PRIOR TO COMMENCING WORK, DESIGNER WILL NOT BE LIABLE FOR ANY MISTAKES DONE ON SITE WITHOUT VERIFYING WITH DESIGNER. DRAWINGS SHOULD NOT BE SCALED AS THEY MAY DIFFER DUE TO REPROGRAPHICAL ERRORS.



VICINITY MAP

[design group name]

1610 W. 7TH ST, LOS ANGELES, CA 90017
benny@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
91201

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS THE PROPERTY OF THE DRAFTER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNER'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DRAFTER'S NAME. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWINGS ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE DRAFTER.

THESE DRAWINGS ARE PREPARED UNDER CALIFORNIA BUSINESS & PROFESSIONS CODE 5537;
A. THIS CHAPTER DOES NOT PROHIBIT ANY PERSON FROM PREPARING PLANS, DRAWINGS, OR SPECIFICATIONS FOR ANY OF THE FOLLOWING:
1.1. SINGLE-FAMILY DWELLINGS OF WOODFRAME CONSTRUCTION NOT MORE THAN TWO STORIES AND BASEMENT IN HEIGHT.
1.2. MULTIPLE DWELLINGS CONTAINING NO MORE THAN FOUR DWELLING UNITS OF WOODFRAME CONSTRUCTION NOT MORE THAN TWO STORIES AND BASEMENT IN HEIGHT. HOWEVER, THIS PARAGRAPH SHALL NOT BE CONSTRUED AS ALLOWING AN UNLICENSED PERSON TO DESIGN MULTIPLE CLUSTERS OF UP TO FOUR DWELLING UNITS EACH TO FORM APARTMENT OR CONDOMINIUM COMPLEXES WHERE THE TOTAL EXCEEDS FOUR UNITS ON ANY LAWFULLY DIVIDED LOT.
1.3. GARAGES OR OTHER STRUCTURES APPURTENANT TO BUILDINGS DESCRIBED UNDER SUBDIVISION (A), OF WOODFRAME CONSTRUCTION NOT MORE THAN TWO STORIES AND BASEMENT IN HEIGHT
1.4. AGRICULTURAL AND RANCH BUILDINGS OF WOODFRAME CONSTRUCTION, UNLESS THE BUILDING OFFICIAL HAVING JURISDICTION DEEMS THAT AN UNDUE RISK TO THE PUBLIC HEALTH, SAFETY, OR WELFARE IS INVOLVED.
B. IF ANY PORTION OF ANY STRUCTURE EXEMPTED BY THIS SECTION DEVIATES FROM SUBSTANTIAL COMPLIANCE WITH CONVENTIONAL FRAMING REQUIREMENTS FOR WOODFRAME CONSTRUCTION FOUND IN THE MOST RECENT EDITION OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS OR TABLES OF LIMITATION FOR WOODFRAME CONSTRUCTION, AS DEFINED BY THE APPLICABLE BUILDING CODE DULY ADOPTED BY THE LOCAL JURISDICTION OR THE STATE, THE BUILDING OFFICIAL HAVING JURISDICTION SHALL REQUIRE THE PREPARATION OF PLANS, DRAWINGS, SPECIFICATIONS, OR CALCULATIONS FOR THAT PORTION BY OR UNDER THE RESPONSIBLE CONTROL OF A LICENSED ARCHITECT OR REGISTERED ENGINEER. THE DOCUMENTS FOR THAT PORTION SHALL BEAR THE STAMP AND SIGNATURE OF THE LICENSEE WHO IS RESPONSIBLE FOR THEIR PREPARATION. SUBSTANTIAL COMPLIANCE FOR PURPOSES OF THIS SECTION IS NOT INTENDED TO RESTRICT THE ABILITY OF THE BUILDING OFFICIALS TO APPROVE PLANS PURSUANT TO EXISTING LAW AND IS ONLY INTENDED TO CLARIFY THE INTENT OF CHAPTER 405 OF THE STATUTES OF 1985 (AMENDED BY STATS. 1996, CH. 184, SEC. 8, EFFECTIVE JANUARY 1, 1997.)

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS REQUIRED DUE TO HIS FAILURE TO DO SO. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING, AND SCHEDULING OF ALL INSPECTIONS AND TESTS INDICATED ON THE PLANS AND SPECIFICATIONS RECOMMENDED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENTAL AGENCY. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUDS TO THE BUILDING (S) AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER (S), GAS, AND ELECTRICAL), TO WITHIN 5'-0" OF THE BUILDING TO TERMINATION POINTS AS INDICATED ON THE PLANS READY FOR CONNECTION.

2. THE CONTRACTOR WILL PROVIDE THE OWNER WITH A LETTER OF CERTIFICATION PREPARED IMMEDIATELY AFTER FOOTINGS ARE PLACED, TO CONFIRM THAT THE LOCATION OF FOOTINGS COMPLY WITH THE APPROVED SITE DRAWINGS. THIS SHALL BE DONE BY THE SITE CIVIL ENGINEER AT THE CONTRACTORS EXPENSE. ANY DISCREPANCIES FROM THE APPROVED BUILDING LOCATION WILL BE REMOVED AT THE CONTRACTORS EXPENSE.

3. ALL REVISIONS TO THE DRAWINGS MUST PROCEED THROUGH NORMAL CHANNELS.

4. ALL WALL FRAMING SHALL BE 2 X 4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED. 2X6 WOOD STUDS SHALL BE USED FOR WALLS RECEIVING HEAVY PLUMBING, ELECTRICAL PANELS, OR CONCEALING PIPE COLUMNS. ALL STUDS OVER 14'-0" HEIGHT SHALL BE 2 X 6. SEE STRUCTURAL.

5. NO ADDITIONAL ROOF OPENINGS OR ROOF MOUNTED EQUIPMENT ARE ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER AND THE STRUCTURAL ENGINEER.

6. BUILDING PADS CONSTRUCTED PER SOILS ENGINEERS SPECIFICATIONS ARE ASSUMED TO BE AT + 0.10 FT. OF THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER OF ANY DISCREPANCIES UPON VERIFICATION.

7. COVER ALL CONCRETE SLAB SURFACES WITH CURING PAPER BEFORE STARTING ADJACENT CONCRETE SLABS. CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SPLASHING OF FRESH CONCRETE SEE SPECIFICATIONS.

8. PAVING SHALL BE ACCOMPLISHED ACCORDING TO THE SITE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE A.C. OR CONCRETE PAVING, ON AND OFF SITE. IF THE EXISTING PAVING FALLS SHORT OF THE BUILDING LINE, OR IF A PORTION OF THE EXISTING PAVING NEEDS TO BE REMOVED FOR CONSTRUCTION PURPOSES, THE BUILDING CONTRACTOR SHALL, AT THE APPROPRIATE TIME, REPLACE THE A.C. PAVING TO THE BUILDING LINE. THICKNESS OF THE A.C. PAVING BASE MATERIAL AND ALL OTHER ASPECTS SHALL MATCH EXISTING OTHER ASSOCIATED PERMANENT IMPROVEMENTS SUCH AS CONCRETE CURBS, WHEELSTOPS, PLANTING AND IRRIGATION OF DISTURBED OR DAMAGE DURING THE CONSTRUCTION PROCESS SHALL LIKEWISE BE REPLACED AND RESTORED INCLUDING PAVEMENT STRIPING. PER APWA STANDARD PLANS AND CITY STANDARDS.

9. ALL MATERIALS AND WORK SHALL CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS.

DEVELOPMENT STANDARDS: INDUSTRIAL
SETBACKS:
0'-0" FRONT YARD
0'-0" SIDE YARD
15'-0" REAR YARD
HEIGHT:
50'-0"
LOT COVERAGE:
MINIMUM LOT AREA PER DWELLING UNIT SHALL BE 5,000 SF.
LANDSCAPE (30.31)
NOT APPLICABLE

PARKING REQUIREMENTS:
OFFICE 1 SPACE PER 1,000 SF 2,745 / 1,000 : 2.75 3
INCIDENTAL USE TO WAREHOUSE
WAREHOUSE 1 SPACE PER 1,000 SF 4,786 / 1,000 : 4.79 5
TOTAL REQUIRED: 8
PARKING SPACES PROVIDED: 8 PARKING SPACES
PARKING DESIGN:
6 - 10'-0" x 18'-0"
1 - 9'-0" x 18'-0"
1 - 11'-6" x 18'-0"

SETBACKS & RESTRICTIONS

GROSS AREA SCHEDULE	
Name	Area
BASEMENT / GARAGE PLAN	
PARKING GARAGE	4527 SF
1ST FLOOR / GARAGE PLAN	
WAREHOUSE / STORAGE	3766 SF
2ND FLOOR PLAN	
OFFICE	2745 SF
WAREHOUSE / STORAGE	1020 SF
DECK / ROOF PLAN	
OPEN ROOF	3766 SF

TOTAL FLOOR AREA: 7,531 SF / 8353.5 SF
TOTAL LOT COVERAGE: 3,766 SF / 8353.5 SF

ABBREVIATIONS

ABV - Above A.B. - Anchor Bolt A/C - Air Conditioner A.D. - Access Door ADD. - Addition ADJ. - Adjust A.F.F. - Above Finished Floor A.F.G. - Above Finished Grade A.G. - Above Grade ALT. - Alternate APPD. - Approved ARCH. - Architect. ASPH. - Asphalt B.C. - Bookcase BD. - Board B.L. - Building Line BLDG. - Building BK. - Block BM. - Beam B.N. - Boundary nailing B.O. - Bottom of B.O.F. - Bottom of footing B.O.W. - Bottom of wall BRG. - Bearing B.U. - Built up BTM. - Bottom C CSMNT. - Casement CABT. - Cabinet B.K. - Black C.B. - Catch Basin C.D. - Construction document CEM. - Cement C.F.M. - Cubic Feet per Minute C.L. - Center Line C. - Channel C.I. - Cast Iron C.I.P. - Cast in Place CL. - Closet CLG. - Ceiling C.O. - Clean Out C.O. - Casse Opening COL. - Column CONT. - Continuous CONTR. - Contractor CONC. - Concrete C.T. - Ceramic Tile D D.S. - Down spout DW - Dishwasher DBL. - Double DEM.D. - Demolition DIA. - Diameter DIM. - Dimension D.L. - Dead Load DN. - Down DR. - Door E EA. - Each E.F. - Exhaust fan E.J. - Expansion joint E.N. - End nailing ELEV. - Elevation ELECT. - Electric, electrical EQ. - Equal EQUIP. - Equipment EST. - Estimate E.W. - Each way EXH. - Exhaust EXIST. - Existing EXT. - Exterior	F F.A. - Fire alarm F.C.O. - Floor clean out F.D. - Floor drain F.E. - Fire extinguisher F.N. - Field nailing FAB. - Fabricate FDN. - Foundation FM. - Finish FLR. - Floor FLG. - Flooring FLUOR. - Fluorescent FURN. - Furnace G GA. - Gauge GALV. - Galvanized GAR. - Garage G.C. - General Contractor G.F.C.I. - Ground Fault Circuit Interrupt G.F.I. - Ground Fault Interrupt GL. - Glass G.M. - Grade mark GR. - Grille G.T. - Glazed tile GYP. - Gypsum H H.B. - Hose bib H.C. - Hollow core HDBD. - Hardboard HDW. - Hardware HGT. - Height HOR. - Horizontal HR. - Hour H.R. - Handrail HTR. - Heater HV.A.C. - Heating, Venting and Air Conditioning H.W. - Hot water I I.C.F. - Insulated Concrete Form CLG. - Ceiling I.F. - Inside Face INCL. - Inclusive, including INSUL. - Insulation INT. - Interior J J.Box - Junction box JCT. - Junction JST. - Joist K K.D. - Knock Down K.D. - Kirt dried K.O. - Knock out L L.F.T. - Linear feet LAM. - Laminate LAT. - Lateral LAV. - Lavatory LD. - Lead LIN. - Linear LINO. - Linoleum LT. - Light LTG. - Lighting L.V.L. - Laminated Veneer Lumber M M.B. - Machine bolt M.O. - Masonry opening MAR. - Marble MAS. - Masonry MTL. - Material MAX. - Maximum MECH. - Mechanical MED. - Medium MFG. - Manufacturing MIN. - Minimum MOD. - Modular MTL. - Metal (steel) MUL. - Mullion	N N.T.S. - Not to scale N.I.S.W. - Not In Scope of Work N.F.C. - Not for construction NLR. - Nailer NO. - Number NOM. - Nominal O.C. - On center O.D. - Outside diameter O.R. - Outside radius O.H. - Overhead OPNG. - Opening P P. - Paint PART. - Partition PAV. - Pavement P.C. - Pre-Cast Concrete PERF. - Perforated PL. - Plaster PLT. - Plate P.L. - Property line PLAS. - Plastic P.L.V. - Plastic laminate veneer PLYWD. - Plywood PORC. - Porcelain P.S.F. - Pounds per square foot P.S.I. - Pounds per square inch P.V.C. - Polyvinyl chloride PWR. - Power Q Q.T. - Quarry tile QTY. - Quantity R RAD. - Radius R.D. - Roof drain R.D.L. - Roof drain leader R.O. - Rough Opening R.O.W. - Right of way REFG. - Refrigerator REF. - Reference REINF. - Reinforced RET. - Return INV. - Invert RM. - Room RMV. - Remove S SAN. - Sanitary S.C. - Solid core S.C. - Self-Closing SCHED. - Schedule S.D. - Smoke detector SECT. - Section SHT. - Sheet SHTG. - Sheathing SIM. - Similar SPEC.S. - Specifications SQ.FT. - Square feet SQ. IN. - Square inches STD. - Standard STL. - Steel S.Y. - Square yard SYS. - System T T&G. - Tongue and groove T.B. - Through bolt T.O. - Top of T.O.B. - Top of Beam T.O.C. - Top of curb T.O.F. - Top of footing T.O.J. - Top of joist T.O.M. - Top of masonry T.O.W. - Top of wall T.S. - Tube steel THR. - Threshold THR. - Threaded TYP. - Typical U UNF. - Unfinished	V V.B. - Vapor barrier V.I.F. - Verify in field VA. - Voltage VCT. - Vinyl composition tile W W.C. - Toilet (water closet) W.D.W. - Window WCT. - Wainscot WP. - Weatherproof WT. - Weight WTR. HTR. - Water Heater W.D. - Wood W.I. - Wrought Iron W.I.C. - Walk In Closet Y Y.D. - Yard
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GROUND UP WAREHOUSE W/ OPEN ROOF DECK

SCOPE OF WORK

OWNER
RAUL REYES
628 THOMPSON AVE.
GLENDALE CA 91201

MEP
MONITA

DESIGNER

[design group name]
BENNY ARIAS
1610 W. 7TH ST.
LOS ANGELES, CA 90017
(T) 626 485 2843

STRUCTURAL ENGINEER
KTW SOLUTIONS
TAEWON KIM, P.E.
24328 S VERMONT AVE STE 315
HARBOR CITY, CA 90710
(T) 310 986 2185
(E) KTWENGAL@GMAIL.COM

CONSULTANT LIST

SHEET INDEX

NUMBER	SHEET NAME
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T-3.8	SITE PHOTOGRAPHS
T-3.9	SITE PHOTOGRAPHS

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T-0.2	ATTACHMENTS
T-0.3	SPEC SHEETS
T-0.4	GWP ATTACHMENTS
T-1.0	CODE ANALYSIS
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T-1.3	ADA HANDOUTS
T-1.4	ADA HANDOUTS
T-2.0	NEIGHBORHOOD CONTEXT

ARCHITECTURAL

A-0.0	SITE PLAN - EXISTING
A-0.1	SITE PLAN - PROPOSED
A-1.0	ROOF PLAN / DRAINAGE
A-2.0	GARAGE BASEMENT
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A-6.0	WINDOW & DOOR SCHEDULE
LANDSCAPE	
LI-1	LANDSCAPE IRRIGATION PLAN
LP-2	LANDSCAPE PLANING PLAN

GENERAL NOTES

ZONE:	IND - INDUSTRIAL
APN:	224-9017-003
LOT AREA:	8,353.5 SF
BUILDING OCCUPANCY GROUP:	R3 / U
CONSTRUCTION TYPE:	TYPE V-B
SPRINKLER SYSTEM:	YES
BUILDING HEIGHT:	12'-8"
HIGH FIRE SEVERITY ZONE:	NO
PROJECTIONS:	N/A
LEGAL DESCRIPTION:	TRACT NO 9024 LOT 7

BUILDING & SITE DATA

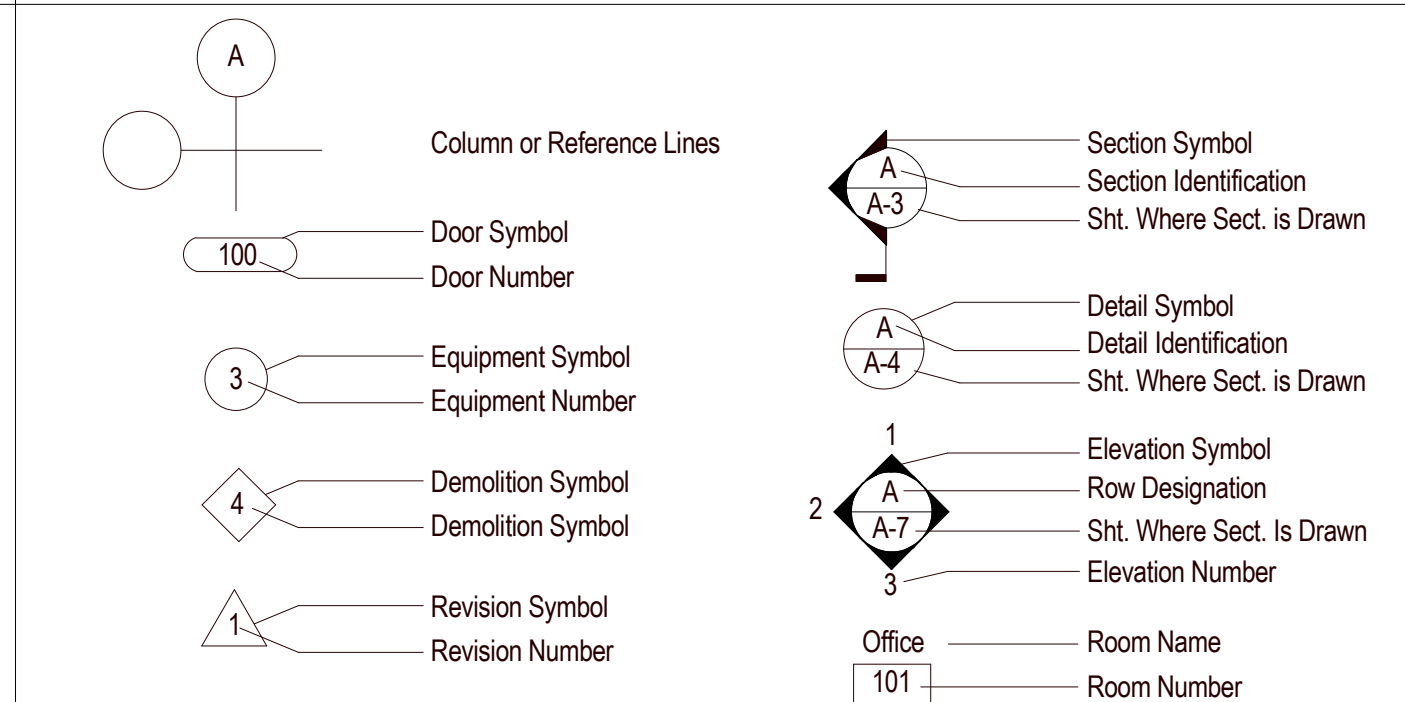
FLOOR AREA BREAKDOWN

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES TO INCLUDE LOCAL AMENDMENTS*

2019 CALIFORNIA RESIDENTIAL CODE, PART 2.5
2019 CALIFORNIA BUILDING CODE, PART 2.8 & 10
2019 CALIFORNIA ELECTRICAL CODE PART 3
2019 CALIFORNIA MECHANICAL CODE PART 4
2019 CALIFORNIA PLUMBING CODE, PART 5
2019 CALIFORNIA ENERGY CODE PART 6
2019 CALIFORNIA FIRE CODE, PART 9

APPLICABLE CODES

ABBREVIATIONS



SYMBOL DEFINITIONS

APPROVALS:

No.	Description	Date
1	PLANNING CORRECTIONS #1	4/24/22

SHEET TITLE.

COVER SHEET

JOB NO.	SCALE
[DGN-2005]	AS NOTED
SHEET NO.	

T-0.0

SHEET INDEX



Bristol Blue

BERRIDGE BRISTOL BLUE
BS-6 PANEL



i.e. WALL TO ROOF CONDITION



HARDIE PANEL VERTICAL SIDING - TIMBER BARK



i.e. CMU WALL CONSTRUCTION



i.e. TURFSTONE PERMEABLE PAVERS

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
benny@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
91201

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#	DESCRIPTION
1	BERRIDGE BS-6 PANEL - BRISTOL BLUE
2	ELEVATOR STRUCTURE
3	EXPOSED BRICK FACADE
4	36" RAIL
5	LIGHTING - SEE SPEC ON T-4.0
6	ROLL UP DOOR
7	(E) POWER POLE
8	TRASH ENCLOSURE - EXTERIOR FINISH IN BERRIDGE BS-6 PANEL
9	2x FURROUT
10	42" RAIL
11	HARDIE PANEL EXTERIOR FINISH - TIMBER BARK



LEFT SIDE PERSPECTIVE



LEFT SIDE PERSPECTIVE

APPROVALS:

No.	Description	Date

SHEET TITLE:

MATERIAL BOARD

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

T-0.1



Front Elevation - Colored
SCALE 1/4" = 1'-0"

Berridge B-6 Panel

WALL, SOFFIT, CEILING AND FASCIA PANEL SYSTEM



The Berridge B-6 Panel is a corrugated, maintenance free, prefinished and extremely strong 6" wide panel with an extruded vee-groove appearance. This versatile panel is well-suited for wall, soffit, ceiling and fascia and can be installed over open framing or solid sheathing providing an extruded vee-groove pattern.



Materials

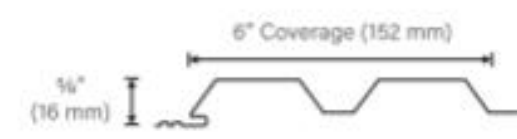
24 Gauge Steel

Specifications

Uses: Wall, Soffit, Ceiling, Fascia, Screen Wall, Berridge Fencing System
 Coverage: 6"
 Finishes: Smooth
 Fasteners: Concealed
 Applications: Vertical over open framing or solid sheathing
 Pattern: Extruded vee-groove

Installation

- Panel is available from the factory in continuous lengths to a maximum of 40'
- Panel may be used on curved walls but the panel itself does not curve.



Pictured Above
Project: Post & Lambs
Architect: LDK Architects
General Contractor: Rampart Construction
Installing Contractor: Greater Dallas Roofing, LLC
Color: Terra-Cotta

Pictured Right
Interior Installation Example

All information subject to change without notice. See website for details, specifications and WaterTightness Warranty requirements.
 © Berridge Manufacturing Company 2018 • 800-669-0009 • www.berridge.com

BERRIDGE ROOFING PANEL SYSTEM

1. REFERENCE BERRIDGE'S WEB SITE FOR APPROVED UNDERLAYMENT AND CAULK TYPES. CONSULT BERRIDGE MANUFACTURING'S ENGINEERING DEPARTMENT REGARDING FASTENER TYPE & SPACING.

2. SOLID SHEATHING & OR FRAMING MEMBERS, TO MEET ENGINEERING AND ARCHITECTURAL SPECIFICATIONS IN STRENGTH FOR HOLDING POWER OF FASTENERS.

3. REFERENCE INSTALLATION INSTRUCTIONS FOR MINIMUM REQUIREMENTS.

DIMENSION - A

5/8" = FLUSH SEAM
 3/4" = B-6
 1/2" = VEE-PANEL
 1 5/8" = FW-12, FW-10.25
 1/2" = THIN-LINE
 1 1/8" = L-PANEL

F = FINISH SIDE

CHANNEL CLOSURE

BERRIDGE <small>Right of Distribution</small>	EAVE DETAIL	DATE: 08-05-16
	SOLID SHEATHING	PAGE/FILE
	Fascia / Wall Panel / Soffit	FWS-20

100 SERIES Windows

A BETTER CHOICE

Whether you're replacing, remodeling or building new, Andersen® 100 Series products offer many advantages over vinyl at a good value. They're made of our innovative Fibrex® composite material that's 2X stronger than vinyl, environmentally smart, energy efficient and offers superior strength and performance making them a better choice for your home.



- Fibrex material construction provides long-lasting performance
- Weatherstrip is designed to be an energy-efficient barrier against wind, water and dust
- Virtually seamless corners offer a cleaner, more contemporary look
- Premium matte finish never needs painting and won't fade, flake, blister or peel
- 100 Series products have a 12X thicker finish than that of painted vinyl windows* resulting in superior scratch resistance

PRODUCT TYPES

- Casement windows
- Awning windows
- Single-hung windows
- Gliding windows
- Picture windows
- Transom windows
- Specialty Windows



*Visit andersenwindows.com/warranty for details.
 **When 100 Series products were tested against the leading competitor, painted vinyl window products.

100 SERIES Windows

GLASS OPTIONS

- Low-E glass
- Low-E glass with HeatLock® technology
- Low-E Sun glass
- Low-E SmartSun® glass
- Low-E SmartSun glass with HeatLock technology

Tempered glass, sound reducing glass and patterned glass is available. Contact your Andersen supplier for availability.

PRODUCT OPTIONS

FRAME OPTIONS

1 3/4" flange setback, 1" flange setback with stucco key or replacement configurations with or without an accessory keel available.

EXTERIOR COLORS

White | Sandstone | Terracotta | Dark Bronze | Black

INTERIOR COLORS

White | Sandstone | Dark Bronze | Black

*Products with Sandstone, dark bronze, and black interior have matching exteriors.

HARDWARE OPTIONS**

SINGLE-HUNG & GLIDING

Standard

lock

Optional Lift/Full

lock automatically engages when window is closed. Hardware color matches the window's interior. Shown in white.

Bold name denotes finish shown.

Optional Slim Line Metal Hardware

lock

Antique Brass | Black | Dark Bronze
 Sandstone | Satin Nickel | White

CASEMENT & AWNING

Standard Folding

Antique Brass | Black | Dark Bronze
 Sandstone | Satin Nickel | White

Folding handle avoids interference with window treatments.

ACCESSORIES

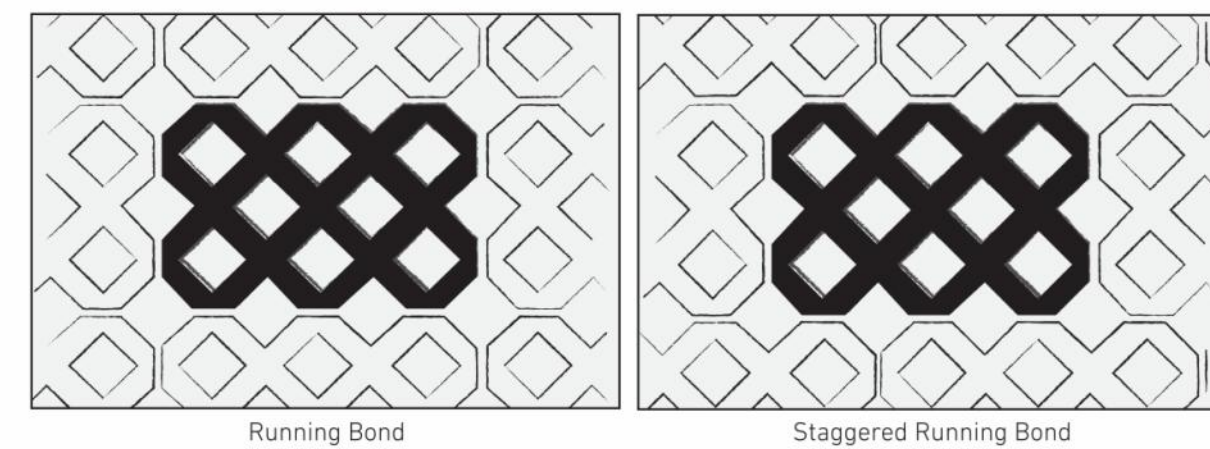
- Wireless Open/Closed Sensor**
Indicates if windows are open or closed† for peace of mind and feature a sleek, compact design for a clean appearance.
- Grilles**
Variety of grille options available including *Freeflight®* grilles between-the-glass for convenient cleaning and full divided light grilles for an authentic look.
- Insect Screens**
Optional *Insecto™* insect screens for windows provide 50% more clarity than our conventional insect screens, letting in more air and sunlight.

ANDERSEN
WINDOWS & DOORS

For more information, visit andersenwindows.com/100series

**Hardware is sold separately, except standard hardware.
 †When properly configured and equipped with a professionally installed security system and/or self-monitoring system compatible with Honeywell® SMO controls. Pricing limitations prevent exact replication of color and finish. See your Andersen supplier for actual color and finish samples.
 ‡ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency.
 *Andersen® and all other marks where denoted are trademarks of Andersen Corporation ©2020 Andersen Corporation. All rights reserved. 02/20

TURFSTONE®



TC-470 SERIES

TC-470 SERIES THERMAL/IMPACT

2 1/4" X 4 1/2" WINDOW WALL SYSTEM

MULTIPLE CONFIGURATIONS AVAILABLE

VISIT OUR WEBSITE AT WWW.ARCADIANIC.COM FOR THE FOLLOWING:
 Product Specifications (PDF) • Installation & Panel Details (PDF) • Thermal Product Warranty Information (PDF) • Maintenance & Cleaning Guidelines (PDF) • Product Installation Manuals (PDF)

TC-470 SERIES

TC-470 SERIES FEATURES AND OPTIONS

- Can be made to meet impact rated hurricane codes - optional
- Tested performance for hurricane impact resistant - ASTM 1886/1996
- Low air & water infiltration performance
- 2 1/4" x 4 1/2" depth frame - versatile window wall system
- 4 1/2" square 2-pc snap in tube available for mulling sections together in line and at 90 degree angles
- Set up for interior glazing - can accommodate 1", 1 1/4" or 1 1/2" insulated glass
- Unlimited configuration options to accommodate any combination of fixed & operable windows
- Male-Female Jamb members to accommodate sections of window wall being mullied together
- Extruded - custom designed sub sills available to accommodate this system
- Ideal for slab to slab installations - high structural & water performance
- Installation videos available on [YouTube](https://www.youtube.com) - search under "Arcadia Door"
- Stock finishes - dark bronze or satin clear anodized - class 1 - standard
- Duramar or Valispar finish or other anodized finish - optional
- Can be made to meet impact rated hurricane codes - optional

VERTICAL

HORIZONTAL

FEATURES

[design group name]

1810 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

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APPROVALS:

No.	Description	Date

SHEET TITLE:

ATTACHMENTS

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

T-0.2

BLADE 24 OUTDOOR WALL



BLADE 24 OUTDOOR WALL



The contemporary aesthetic of the Blade 24 outdoor wall sconce is sized to match architectural scale as it creates soft indirect, reduced-glare illumination by aiming light back against the wall for accenting architecture as well as for wayfinding. Available in two sizes, 18" and 24" and two finishes.

- **Selectable CCT (2700K/3000K)**
- **Universal 120V-277V**
- **Outstanding protection against the elements:**
 - Wet Listed IP65 Rated
 - Stainless Steel Mounting Hardware
 - Powder Coat Finishes

SPECIFICATIONS

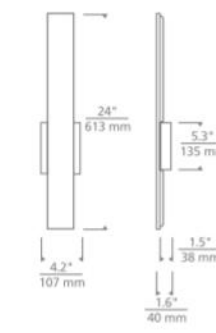
DELIVERED LUMENS	1587
WATTS	28.6
VOLTAGE	Universal 120V-277V
DIMMING	Dimmable with most LED compatible ELV & TRIAC dimmers < 0-10V
LIGHT DISTRIBUTION	Symmetric
OPTICS	not applicable
MOUNTING OPTIONS	Wall
CCT	2700K/3000K Selectable
CRI	90+
COLOR BINNING	3 Step
BUG RATING	80-US-G0
DARK SKY	Non Compliant
WET LISTED	IP65
GENERAL LISTING	ETL, ADA
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70: >60,000 Hours
WARRANTY*	5 Years
WEIGHT	2 lbs.

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

PRODUCT	CRI/CCT	LENGTH	FINISH	VOLTAGE
7000WLD	92730	24 24"	BLACK BRONZE	UNV 120V-277V

techlighting.com



Blade 24 Outdoor Wall



BLADE 24 OUTDOOR WALL shown in black

BLADE 24 OUTDOOR WALL shown in bronze

PROJECT INFO

FIGURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

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techlighting.com



[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

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APPROVALS:

No.	Description	Date
1	PLANNING CORRECTIONS #1	4/24/22

SHEET TITLE.

SPEC SHEETS

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

T-0.3

Job Name _____ Contractor _____
 Job Location _____ Approval _____
 Engineer _____ Contractor's P.O. No. _____
 Approval _____ Representative _____

Series 400B
 Reduced Pressure Zone Assemblies
 Sizes: 1/2" - 2" (15 - 50mm)

Series 400B Reduced Pressure Zone Assemblies are designed to protect drinking water supplies from dangerous cross-connections in accordance with national plumbing codes and water authority requirements for health hazard non-potable service applications such as irrigation, fire line, or industrial processing. This series features two in-line, independent check valves, captured springs and replaceable check seats with an intermediate relief valve. Its compact modular design facilitates easy maintenance and assembly access. Sizes 1/2" - 1" (15-25mm) shutoffs have tee handles.

- Features**
- Single access cover and modular check construction for ease of maintenance
 - Top entry - all internals immediately accessible
 - Captured springs for safe maintenance
 - Internal relief valve for reduced installation clearances
 - Replaceable seats for economical repair
 - Bronze body construction for durability - 1/2" to 2" (15-50mm)
 - Ball valve test cocks - screwdriver slotted - 1/2" to 2" (15-50mm)
 - Large body passages provides low pressure drop
 - Compact, space saving design
 - No special tools required for servicing

Specifications
 A Reduced Pressure Zone Assembly shall be installed at each potential health hazard location to prevent backflow due to back-siphonage and/or backpressure. The assembly shall consist of an internal pressure differential relief valve located in a zone between two positive seating check modules with captured springs and silicone seat discs. Seats and seat discs shall be replaceable in both check modules and the relief valve. There shall be no threads or screws in the waterway exposed to line fluids. Service of all internal components shall be through a single access cover secured with stainless steel bolts. The assembly shall also include two resilient seated isolation valves, four resilient seated test cocks and an air gap drain fitting. The assembly shall meet the requirements of LSC Manual (in California): ASSS Std 1013; AWWA Std. C511; CSA B64.4. The assembly shall be an Ames Fire & Waterworks Series 400B.



NOTICE
 The information contained herein is not intended to replace the full product installation and safety information available or the experience of a trained product installer. You are required to thoroughly read all installation instructions and product safety information before beginning the installation of this product.



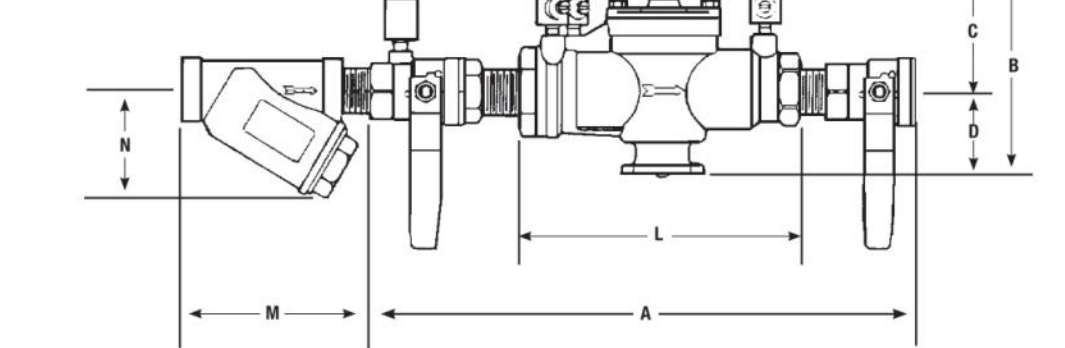
Materials
 Bronze body construction, silicone rubber disc material in the first and second check plus the relief valve. Replaceable polymer check seats for first and second checks. Removable stainless steel relief valve seat. Stainless steel cover bolts.
 Standardly furnished with NPT body connections. For optional bronze union inlet and outlet connections, specify prefix U (1/2" - 2" (15-50mm). Series 400B furnished with quarter turn, full port, resilient seated, bronze ball valve shutoffs.

Standards
 AWWA C511-02, USC Manual 8th Edition, IAPMO File No. 1503

Approvals
 Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.

Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.

Weights - Dimensions



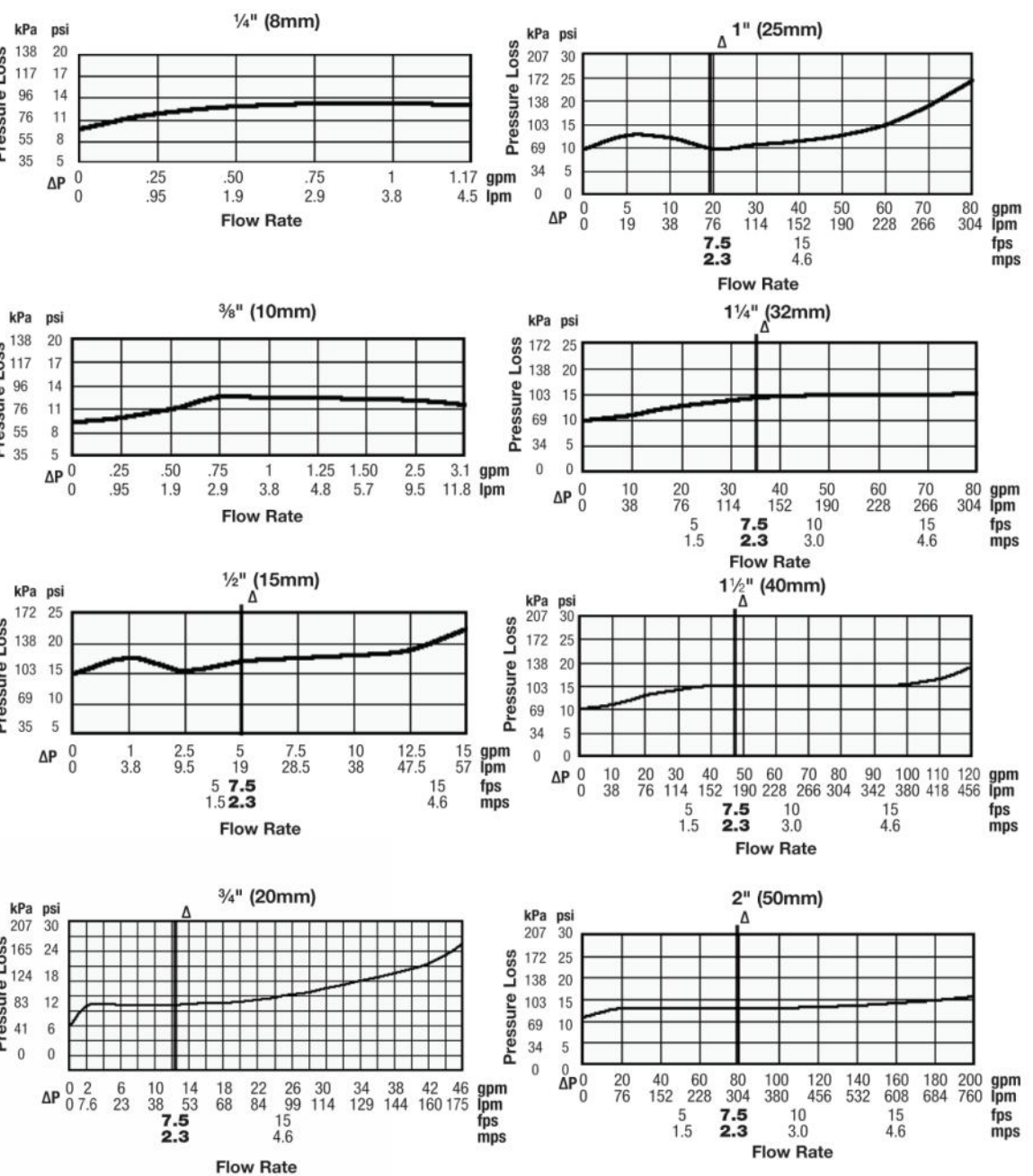
Suffix HC - Fire Hydrant Fittings dimension "A" = 25 1/8 (637mm)

MODEL	SIZE (DN)	DIMENSIONS										STRAINER DIMENSIONS		WEIGHT				
		A	B	C	D	L	M	N	W	H								
400B**	1/2	15	10	250	4%	117	3%	88	11%	32	5%	140	3	78	2%	51	4.50	2.3
400B**	3/4	20	10%	273	5	127	3%	89	11%	38	6%	171	3%	84	2%	59	5.75	2.6
400B**	1	25	14%	308	5%	140	3	78	2%	64	9%	241	4%	114	2%	59	12.25	5.6
400B**	1 1/2	32	17%	441	6	150	3%	89	2%	64	11%	289	5%	130	3%	79	14.62	6.5
400B**	2	40	17%	454	6	150	3%	89	2%	64	11%	283	5%	149	3%	95	16.32	7.4
400B**	2 1/2	50	21%	543	7%	197	4%	114	3%	83	13%	343	6%	157	4%	124	30.00	13.5

Strainer sold separately.

**Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.

Capacity
 Performance as established by an independent testing laboratory. Atypical maximum system flow rate (7.5 feet/sec., 2.3 meters/sec.)



**Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.

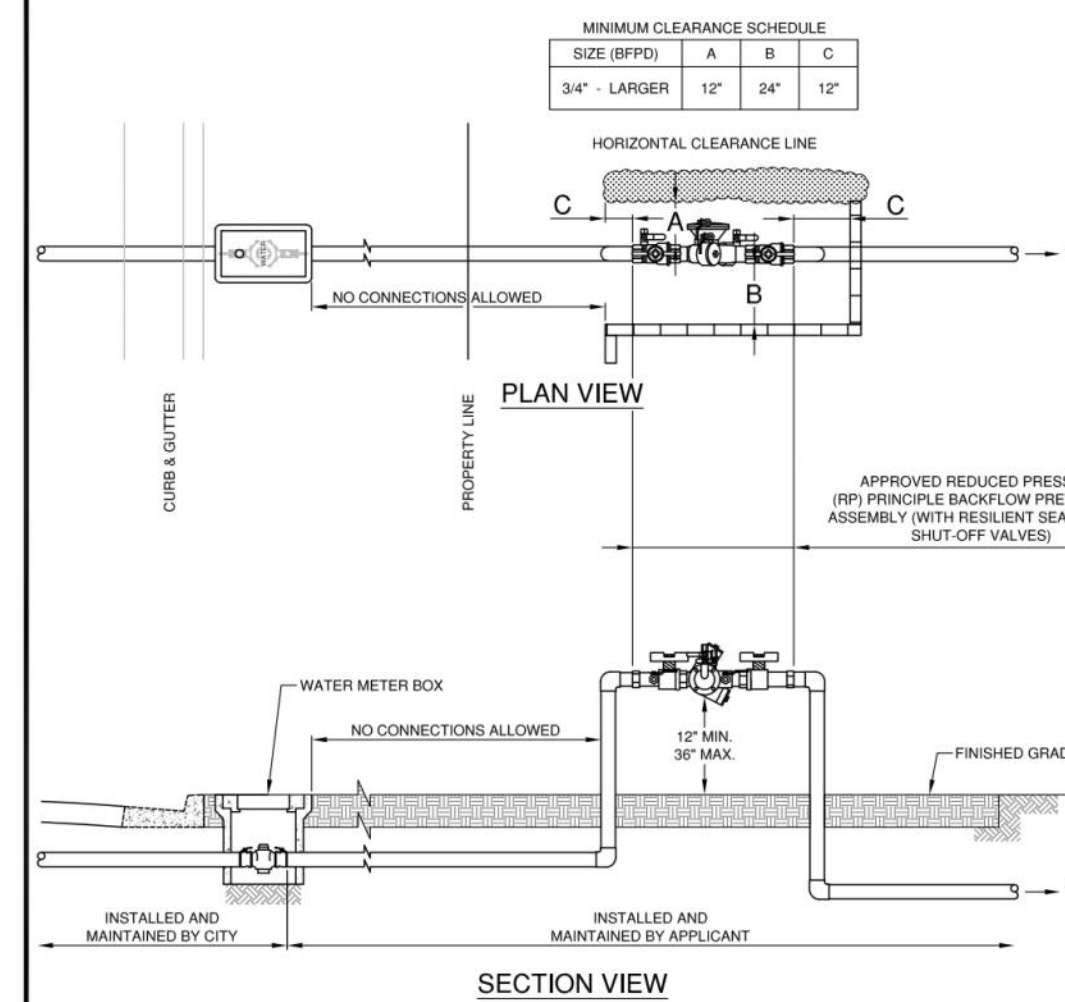
INSTALLATION REQUIREMENTS

1. ALL INSTALLATIONS MUST BE COORDINATED WITH GLENDALE WATER & POWER (GWP). ANY UNAUTHORIZED CONNECTION TO, OR OPERATION OF, A GWP FACILITY MAY BE GROUNDS FOR DENIAL OF WATER SERVICE.
2. BACKFLOW PREVENTION ASSEMBLY (BFP) MUST BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AT THE UNIVERSITY OF SOUTHERN CALIFORNIA AND MUST BE INSTALLED IN THEIR ORIGINAL (UNALTERED) MANUFACTURED FORM.
3. THE ASSEMBLY SHALL BE INSTALLED AS CLOSE TO THE METER OR TO THE RIGHT-OF-WAY LINE AS PRACTICAL (SEE STANDARD DRAWING No. 6528-A & 6561-A).
4. THE BFP MUST BE TESTED BY A GWP-AUTHORIZED TESTER PRIOR TO ACTUAL SERVICE (SEE GWP'S APPROVED TESTER LIST).
5. ANY UNAUTHORIZED CONNECTION TO A BFP WILL RESULT IN DISCONNECTION OF SAID CONNECTIONS AND POSSIBLE SHUT OFF OF WATER SERVICE.
6. PLEASE CONTACT (818) 937-8948 FOR APPROVAL OF BFP INSTALLATION LOCATION PER CA CODE OF REGULATIONS, TITLE 17 & CITY OF GLENDALE ORD. No. 5678.
7. FOR A LIST OF APPROVED BFP, PLEASE CONTACT (818) 937-8948. NEW DEVICES MUST BE INSPECTED BY GWP AND TESTED BY LOS ANGELES COUNTY DEPARTMENT OF PUBLIC HEALTH CERTIFIED BACKFLOW TESTER IMMEDIATELY UPON INSTALLATION BEFORE WATER SERVICE IS APPROVED.
8. ACCORDING TO CALIFORNIA AND GLENDALE CITY CODE AND REGULATIONS, ALL COMMERCIAL FIRE SERVICES AND IRRIGATION SERVICES WILL REQUIRE SOME FORM OF BACKFLOW PREVENTION SYSTEM TO PROTECT THE POTABLE WATER SYSTEM. PLEASE BE SURE TO THOROUGHLY REVIEW GWP STANDARD DRAWINGS. (SEE STANDARD DRAWINGS 6528-A & 6561-A)
9. ALL BFP SHALL BE LOCATED AS CLOSE AS PRACTICAL TO THE USER'S CONNECTION. THEY WILL BE INSTALLED A MINIMUM OF TWELVE INCHES (12") AND NOT MORE THAN THIRTY SIX INCHES (36") ABOVE FINISHED STREET GRADE MEASURED FROM THE BOTTOM OF THE DEVICE. A MINIMUM OF TWELVE INCHES (12") SIDE CLEARANCE, AND TWENTY-FOUR INCHES (24") FRONT CLEARANCE, LOCATED WHERE IT IS READILY ACCESSIBLE FOR INSPECTION, TESTING AND MAINTENANCE.

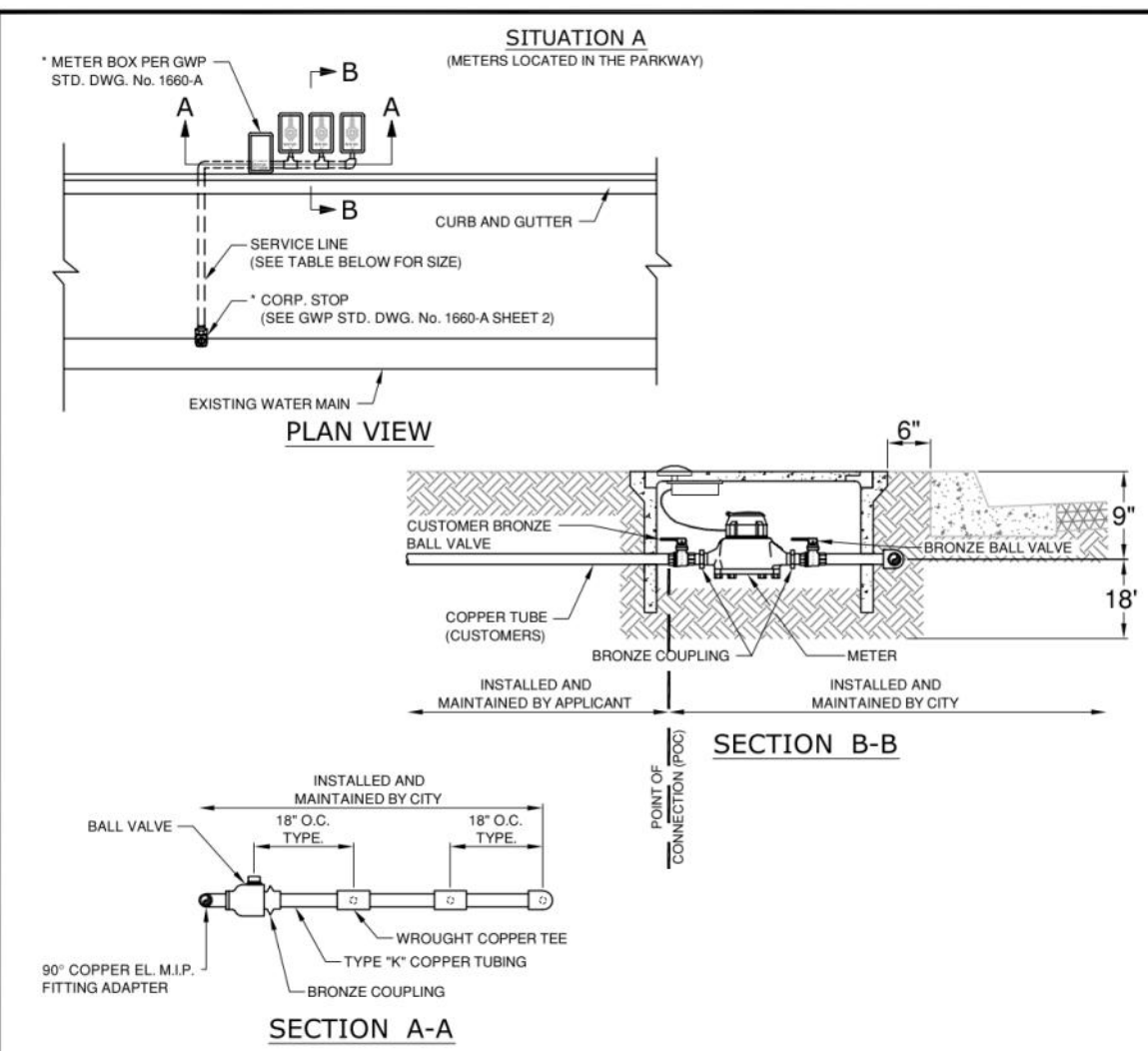
GLENDALE WATER & POWER
 CITY OF GLENDALE
 CALIFORNIA

INSTALLATION REQUIREMENTS FOR
 BACKFLOW PREVENTION
 ASSEMBLY DEVICE (BFP)

APPROVED: *[Signature]* 07/14/2015
 DES: LB D: GR/PN SCALE: NONE SHEET No. 1 OF 1
 GERALD TOM, SENIOR CIVIL ENGINEER, R.C.E. No. C51209 DATE: 07/14/15
 GLENDALE WATER AND POWER - WATER DEPARTMENT APP: 6762-A



APPROVED: *[Signature]* 07/14/2015
 DES: R/DLB SCALE: NONE SHEET No. 1 OF 1
 GERALD TOM, SENIOR CIVIL ENGINEER, R.C.E. No. C51209 DATE: 07/14/15
 GLENDALE WATER AND POWER - WATER DEPARTMENT APP: 6528-A



NOTES

1. FOR ADDITIONAL NOTES AND DETAILS SEE GWP STD. DWG. No. 1660-A SHEET 2.
2. ALL PIPING TO BE TYPE "K" COPPER TUBING.
3. WATER LINES SHALL BE PLUMBED IN A NUMERICAL OR ALPHABETICAL SEQUENCE WHICH CORRESPONDS TO DWELLING UNIT SEQUENCE. THE METER SHALL BE LABELED TO INDICATE CONDOMINIUM UNIT NUMBER.
4. MAXIMUM OF 4 METER BOXES ARE ALLOWED IN THE PARKWAY.

NUMBER OF 1" METERS	SERVICE LINE SIZE
1	1"
2	1-1/2"
3-5	2"

GLENDALE WATER & POWER
 CITY OF GLENDALE
 CALIFORNIA
 MANIFOLD WATER SERVICE
 TYPE - A (IN THE PARKWAY)

APPROVED: *[Signature]* 12/04/2014
 DES: LB/AR SCALE: NONE SHEET No. 1 OF 3
 GERALD TOM, SENIOR CIVIL ENGINEER, R.C.E. No. C51209 DATE: 09/19/13
 GLENDALE WATER AND POWER - WATER DEPARTMENT APP: 4397-A

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

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APPROVALS:

No.	Description	Date
1	PLANNING CORRECTIONS #1	4/24/22

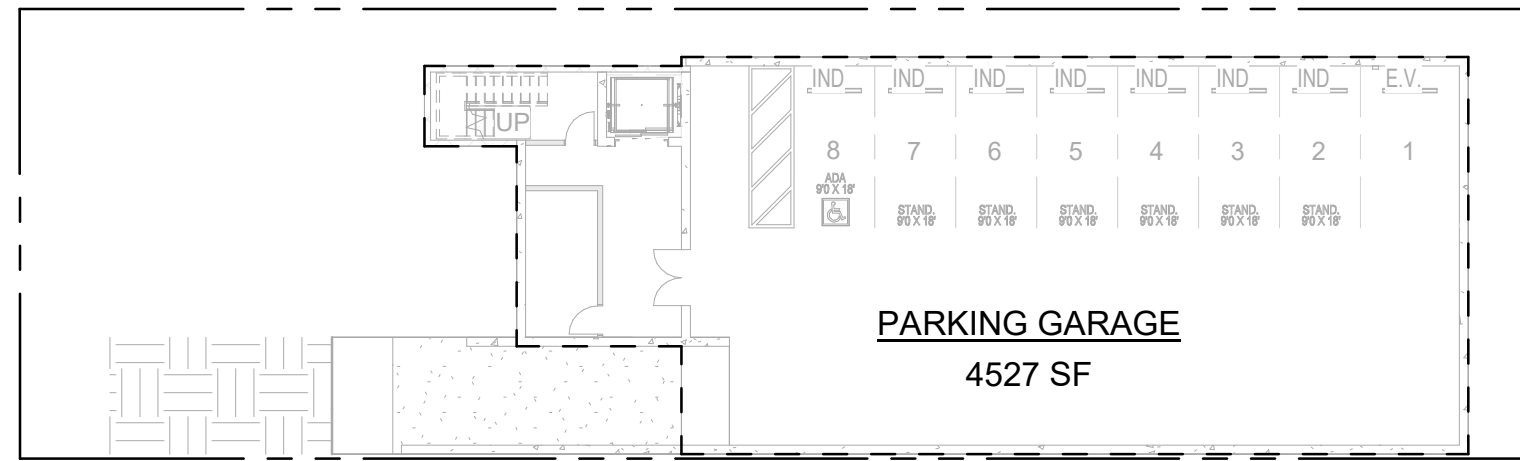
SHEET TITLE:

GWP ATTACHMENTS

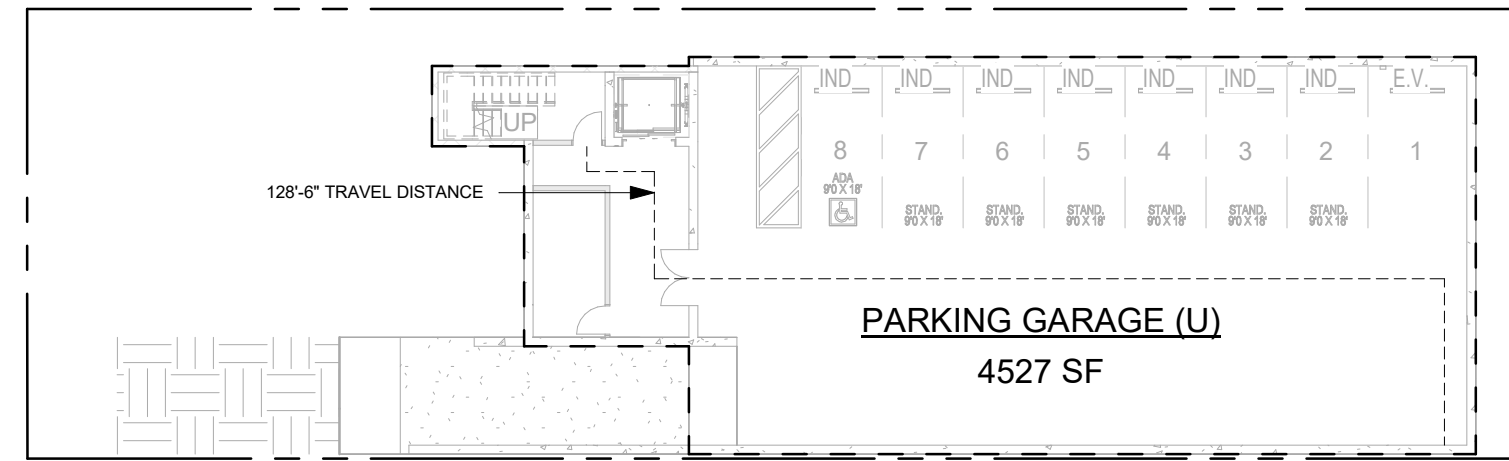
JOB NO. _____ SCALE _____
 [DGN-2005] AS NOTED

SHEET NO. _____

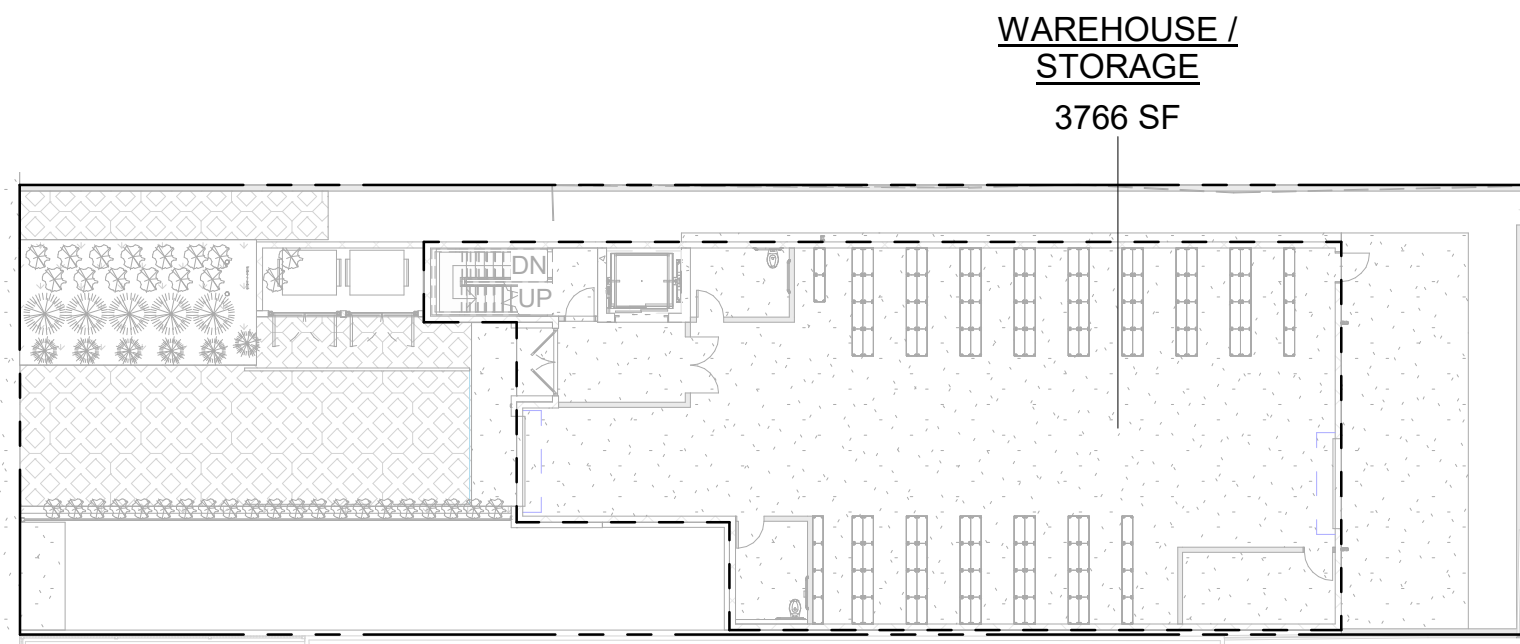
T-0.4



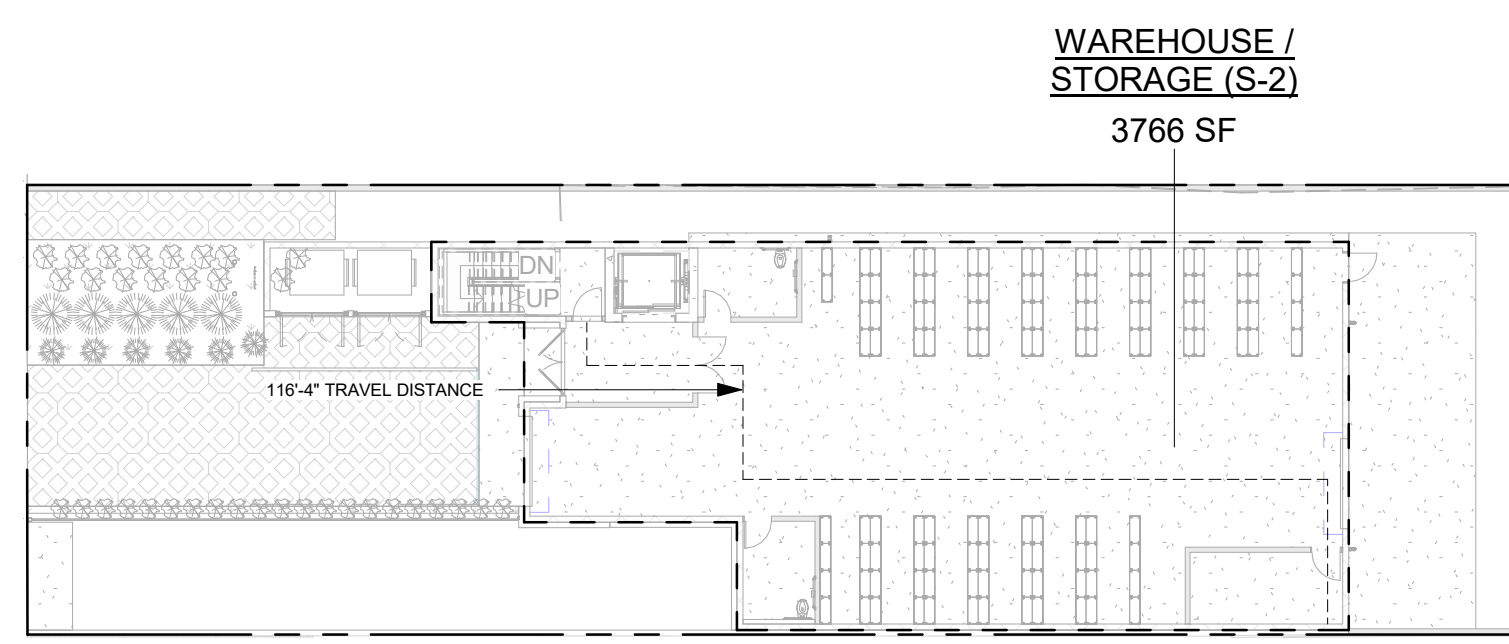
BASEMENT / GARAGE PLAN SCALE 3/64" = 1'-0" 1



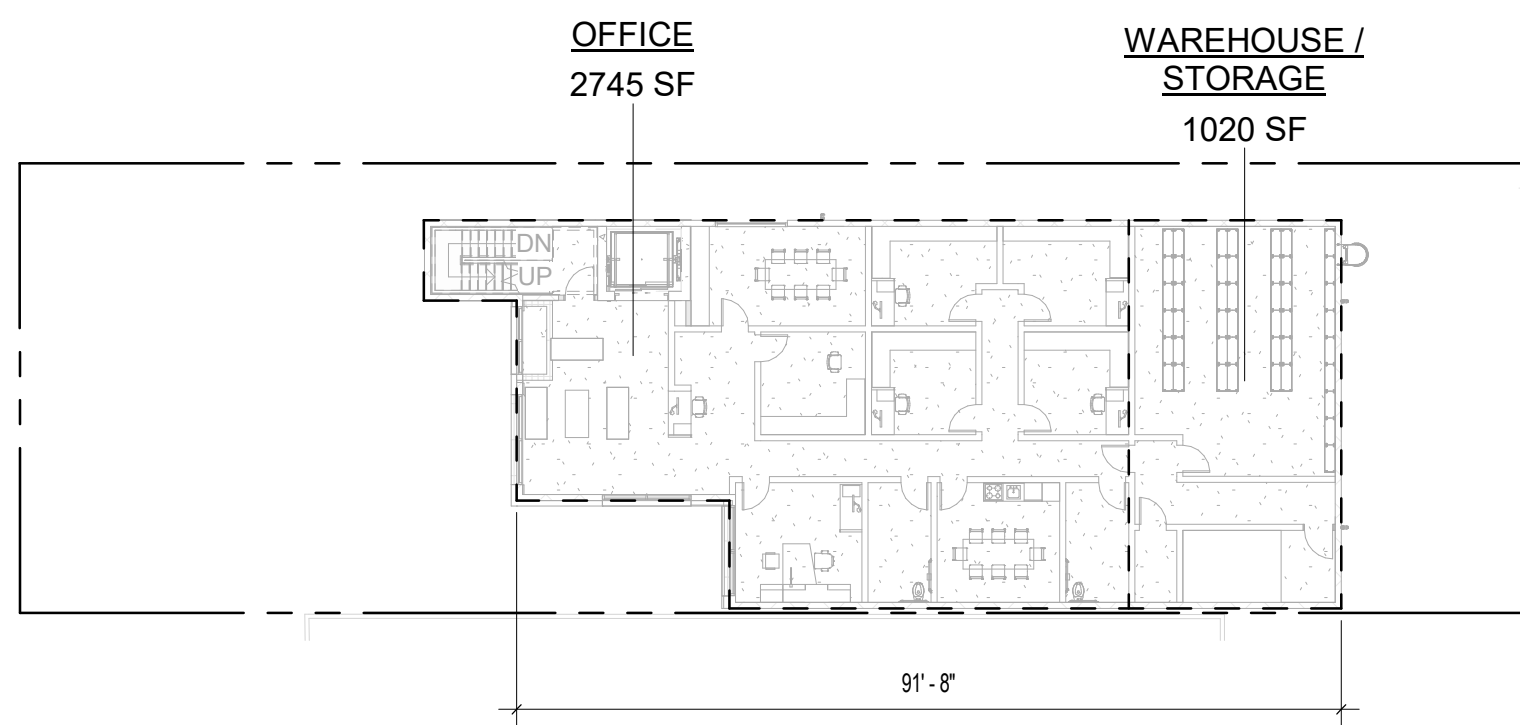
BASEMENT / GARAGE PLAN SCALE 3/64" = 1'-0" 4



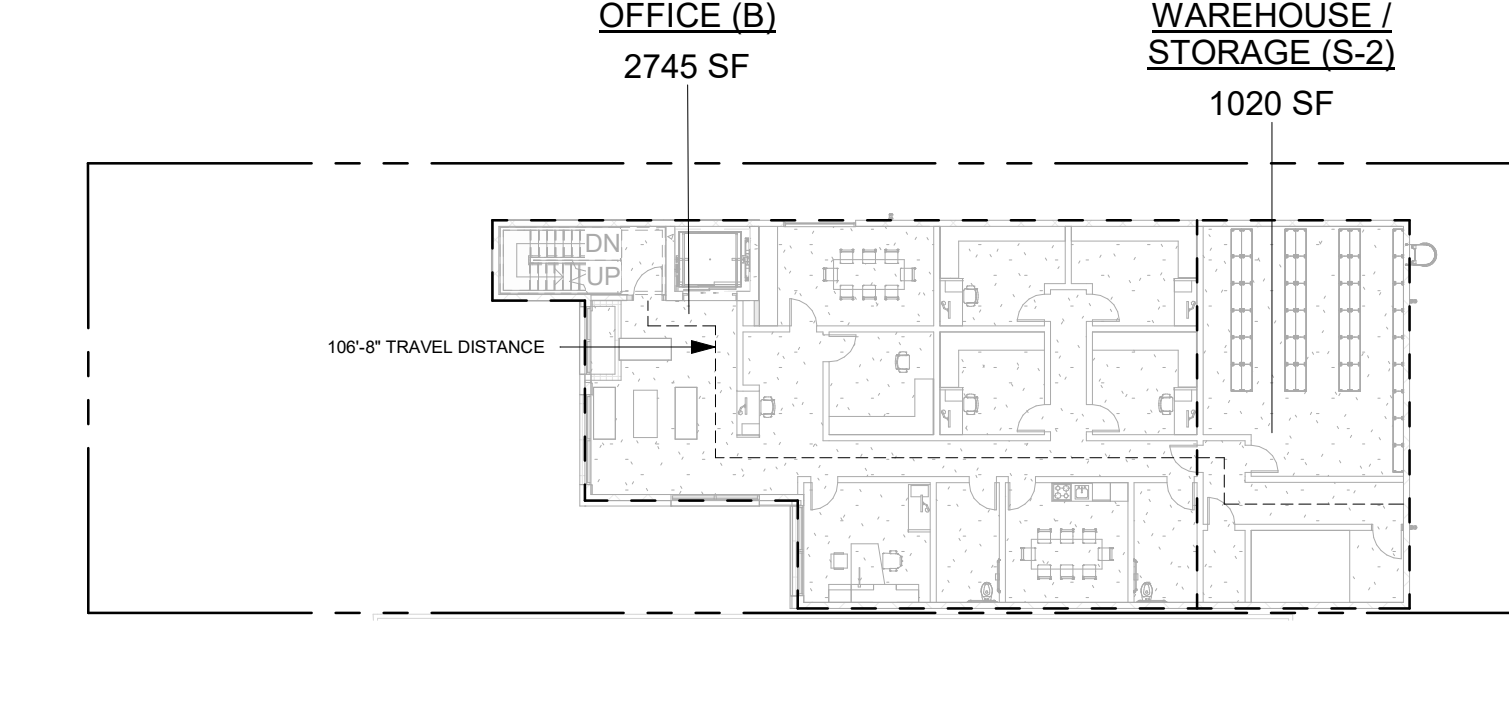
1ST FLOOR / GROUND PLAN SCALE 3/64" = 1'-0" 2



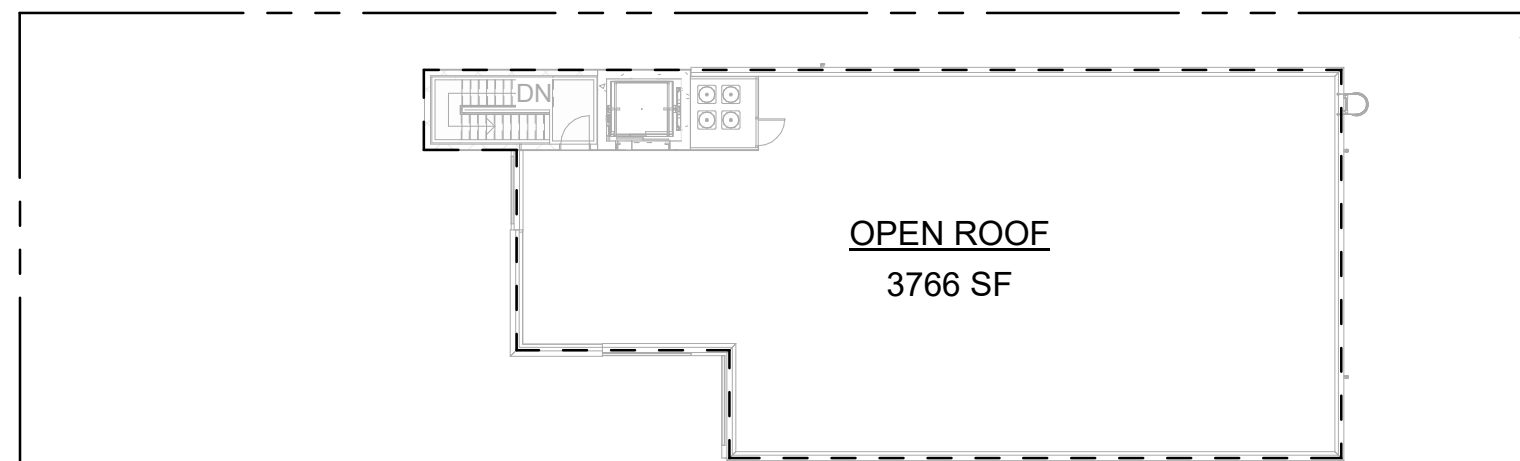
1ST FLOOR / GROUND PLAN SCALE 3/64" = 1'-0" 5



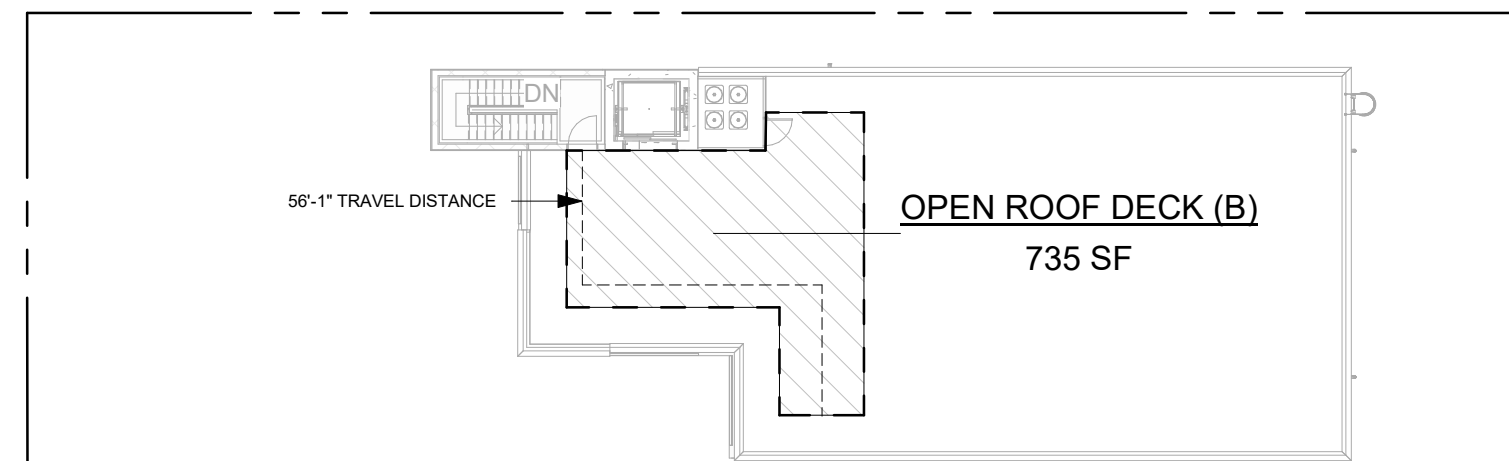
2ND FLOOR PLAN SCALE 3/64" = 1'-0" 3



2ND FLOOR PLAN SCALE 3/64" = 1'-0" 6



DECK / ROOF PLAN SCALE 3/64" = 1'-0" 8



DECK / ROOF PLAN SCALE 3/64" = 1'-0" 7

GROSS AREA SCHEDULE	
Name	Area
BASEMENT / GARAGE PLAN	
PARKING GARAGE	4527 SF
1ST FLOOR / GROUND PLAN	
WAREHOUSE / STORAGE	3766 SF
2ND FLOOR PLAN	
OFFICE	2745 SF
WAREHOUSE / STORAGE	1020 SF
DECK / ROOF PLAN	
OPEN ROOF	3766 SF

OCCUPANCY AREA SCHEDULE	
Name	Area
BASEMENT / GARAGE PLAN	
PARKING GARAGE (U)	4527 SF
1ST FLOOR / GROUND PLAN	
WAREHOUSE / STORAGE (S-2)	3766 SF
2ND FLOOR PLAN	
OFFICE (B)	2745 SF
WAREHOUSE / STORAGE (S-2)	1020 SF
DECK / ROOF PLAN	
OPEN ROOF DECK (B)	735 SF

PARKING REQUIREMENTS (GLENDALE 30.32) :
 OFFICE 1 SPACE PER 1,000 SF 2,745 / 1,000 : 2.74 3
 WAREHOUSE 1 SPACE PER 1,000 SF 4,786 / 1,000 : 4.78 5
 TOTAL REQUIRED: 8

OFF-STREET LOADING REQUIREMENTS (GLENDALE 30.32.150) :
 1

CONSTRUCTION TYPE:
 III-B

PROPOSED NET AREA BREAKDOWN :

OCCUPANCY :

S-2 4,786 SF
 B 2,745 SF
 B (ROOF DECK) 750 SF
 U 4,527 SF

TOTAL: 12,808 SF

PROPOSED BUILDING OCCUPANCY:
 S-2 - LOW HAZARD STORAGE
 B - BUSINESS OFFICE
 U - OCCUPANCY

BUILDING HEIGHT (PER CBC TABLE 504.3):
 PER TABLE 504.3: 75'-0"
 ACTUAL BUILDING HEIGHT: 38'-5" MAX

NUMBER OF STORIES ALLOWED (PER CBC TABLE 504.4):
 ACTUAL NUMBER OF STORIES: 4
 3 (2 ABOVE + 1 BELOW)

ALLOWED BUILDING AREA (PER CBC TABLE 506.2) :
 S-2 = 78,000 SF
 B = 57,000 SF
 U = 25,500 SF

SPRINKLERS (903):
 YES

OCCUPANT LOAD (PER CBC TABLE 1004.1.2):

WAREHOUSE: 500 GROSS 4,786 / 500 = 9.57 = 10
 OFFICE AREAS: 150 GROSS 2,745 / 150 = 18.3 = 19
 PARKING GARAGE: 200 GROSS 4,527 / 200 = 22.63 = 23
 OPEN ROOF DECK: 15 NET 735 / 150 = 4.9 = 5

TOTAL OCC. LOAD : 37

NUMBER OF EXITS REQUIRED (1006.3.3(2)):
 PER TABLE 1006.3.3(2) = 1

U OCCUPANCY ON BASEMENT STORY = 23 ≤ 49
 S-2 OCCUPANCY ON 1ST STORY = 8 ≤ 29
 B OCCUPANCY ON 2ND STORY = 19 ≤ 49

EXIT ACCESS TRAVEL DISTANCE (1017.2):
 PER TABLE 1017.2 S-2 OCCUPANCY : 400'
 PER TABLE 1017.2 B OCCUPANCY : 300'
 PER TABLE 1017.2 U OCCUPANCY : 400'

EXIT WIDTH REQUIRED (TABLE 1020.2) :
 MINIMUM CORRIDOR WIDTH = 44"

MINIMUM CORRIDOR FIRE RESISTANCE (1020.1) :
 PER TABLE 1020.1 0 HOUR

OCCUPANT LOAD (PER CPC TABLE 422.1) :

OFFICE: 200 GROSS 2,745 / 200 = 13.7 14
 STORAGE: RATIO 5,000 4,786 / 5,000 = .95 1

TOTAL CPC OCC. LOAD = 15

MINIMUM PLUMBING FIXTURES REQUIRED (PER CPC TABLE 422.1) :

OFFICE PLUMBING FIXTURES:	MALE	FEMALE
WATER CLOSET	1	1
URINALS	1	0
LAVATORIES	1	1
DRINKING FOUNTAIN	1 (TOTAL)	
SERVICE SINK	1 (TOTAL)	
SHOWERS	-	-

STORAGE PLUMBING FIXTURES:	MALE	FEMALE
WATER CLOSET	1	1
URINALS	0	0
LAVATORIES	1	1
DRINKING FOUNTAIN	1 (TOTAL)	
SERVICE SINK	1 (TOTAL)	
SHOWERS	-	-

TOTAL PLUMBING FIXTURES:	MALE	FEMALE
WATER CLOSET	2	2
URINALS	1	0
LAVATORIES	2	2
DRINKING FOUNTAIN	2 (TOTAL)	
SERVICE SINK	2 (TOTAL)	
SHOWERS	-	-

PARKING REQUIREMENTS (GLENDALE 30.32) :
 OFFICE 1 SPACE PER 1,000 SF 2,745 / 1,000 : 2.74 3
 WAREHOUSE 1 SPACE PER 1,000 SF 4,786 / 1,000 : 4.78 5
 TOTAL REQUIRED: 8

ELECTRIC VEHICLE CHARGING SPACES 1

OFF-STREET LOADING REQUIREMENTS (GLENDALE 30.32.150) :
 1

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

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APPROVALS:

No.	Description	Date

SHEET TITLE:

CODE ANALYSIS

JOB NO. SCALE
 [DGN-2005] AS NOTED

SHEET NO.

T-1.0

[design group name]

1610 W. 7TH ST, LOS ANGELES, CA 90017
benny@designgroupname.com
marino@designgroupname.com

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628 THOMPSON AVE, GLENDALE, CA
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2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 2 - ADMINISTRATION. 101.3.1 Storm water drainage and retention during construction. 102.3 Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of compliance.

Page 1 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4 - RESIDENTIAL MANDATORY MEASURES. Division 4.1 - PLANNING AND DESIGN. 4.106.2 Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.

Page 2 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4 - RESIDENTIAL MANDATORY MEASURES. Division 4.2 - EV CHARGING. 4.106.1 EV charging: 1- & 2-family dwellings/townhouses with attached private garages. 4.106.4.1 Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE".

Page 3 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4 - RESIDENTIAL MANDATORY MEASURES. Division 4.3 - EV CHARGING SPACE (EV SPACE) LOCATIONS. 4.106.4.1.1 When EV chargers are installed, EV spaces (required by Section 4.106.4.2.2, Item 3), shall comply with at least 1 of the following options.

Page 4 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4 - RESIDENTIAL MANDATORY MEASURES. Division 4.3 - EV CHARGING SPACE (EV SPACE) LOCATIONS. 4.106.4.2.3 Single EV space required. 4.106.4.2.4 Multiple EV spaces required.

Page 5 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4 - RESIDENTIAL MANDATORY MEASURES. Division 4.3 - EV CHARGING SPACE (EV SPACE) LOCATIONS. 4.106.4.3 EV charging for hotels and motels. 4.106.4.3.1 Table 4.106.4.3.1 shows the number of required EV spaces based on the total number of parking spaces provided for all types of parking facilities.

Page 6 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4 - RESIDENTIAL MANDATORY MEASURES. Division 4.3 - EV CHARGING SPACE (EV SPACE) LOCATIONS. 4.106.4.3.5 Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE".

Page 7 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 6 - WATER EFFICIENCY AND CONSERVATION. 6.106.4.1 Water conserving plumbing fixtures and fittings. 6.106.4.2 Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code.

Page 8 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.068 - CONSTRUCTION WASTE MANAGEMENT. 4.068.1 Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.068.2, 4.068.3 or 4.068.4.

Page 9 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.068 - CONSTRUCTION WASTE MANAGEMENT. 4.068.4.1 Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area.

Page 10 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.504 - PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. 4.504.1 At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered.

Page 11 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.504 - PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. 4.504.2 Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply.

Page 12 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.504 - PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. 4.504.3 Resilient flooring systems. 4.504.4 Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers."

Page 13 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.505 - CONCRETE SLAB FOUNDATIONS. 4.505.2 Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.

Page 14 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 4.506 - BATHROOM EXHAUST FANS. 4.506.1 Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

Page 15 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020. Section 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS. 701.1 Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program.

Page 16 of 16

APPROVALS:

Table with 3 columns: No., Description, Date. Empty rows for signature and date.

SHEET TITLE:

CAL GREEN MEASURES / STREET TREE

JOB NO. SCALE

[DGN-2005] AS NOTED

SHEET NO.

T-1.1

6/29/2022 2:27:12 PM

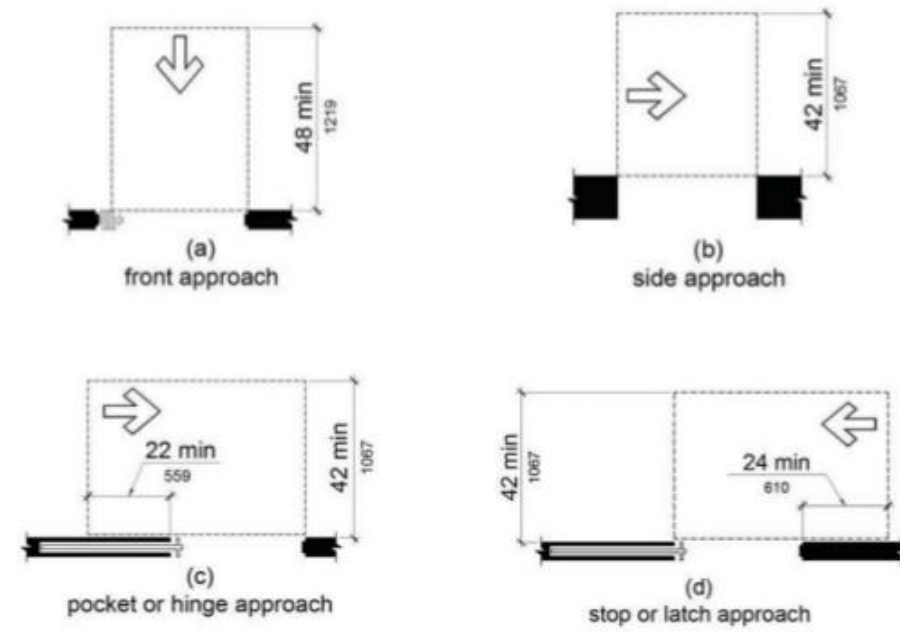


FIGURE 11B-404.2.2 MANEUVERING CLEARANCES AT DOORWAYS WITHOUT DOORS, SLIDING DOORS, GATES, AND FOLDING DOORS

TABLE 11B-404.2.2 MANEUVERING CLEARANCES AT DOORWAYS WITHOUT DOORS OR GATES MANUAL SLIDING DOORS AND MANUAL FOLDING DOORS

Approach direction	Perpendicular to doorway	Parallel to doorway (beyond stop/latch side unless noted)
From Front	48 inches	8 inches
From Side ¹	42 inches	8 inches
From pocket/hinge side	42 inches	22 inches
From stop/latch side	42 inches	24 inches

1. Doorway with no door only.
 2. Beyond pocket/hinge side.

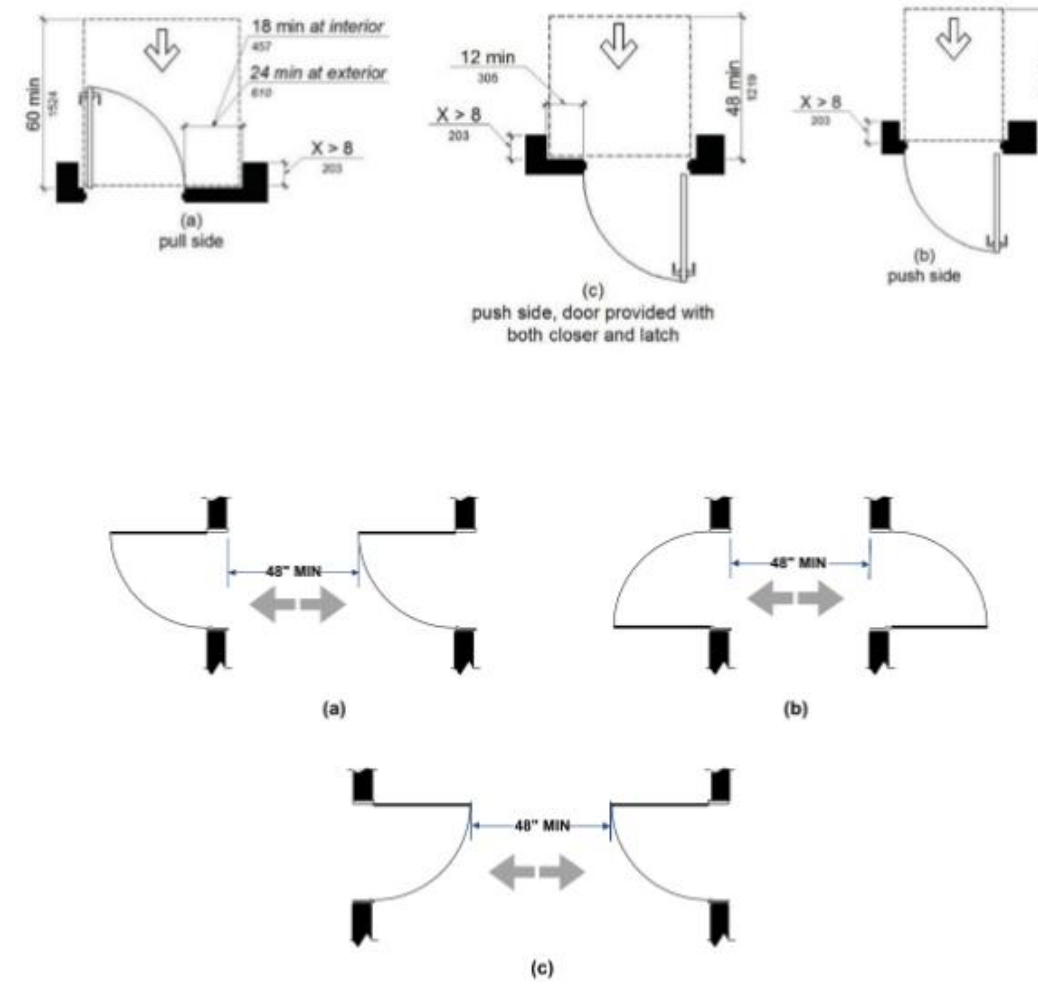
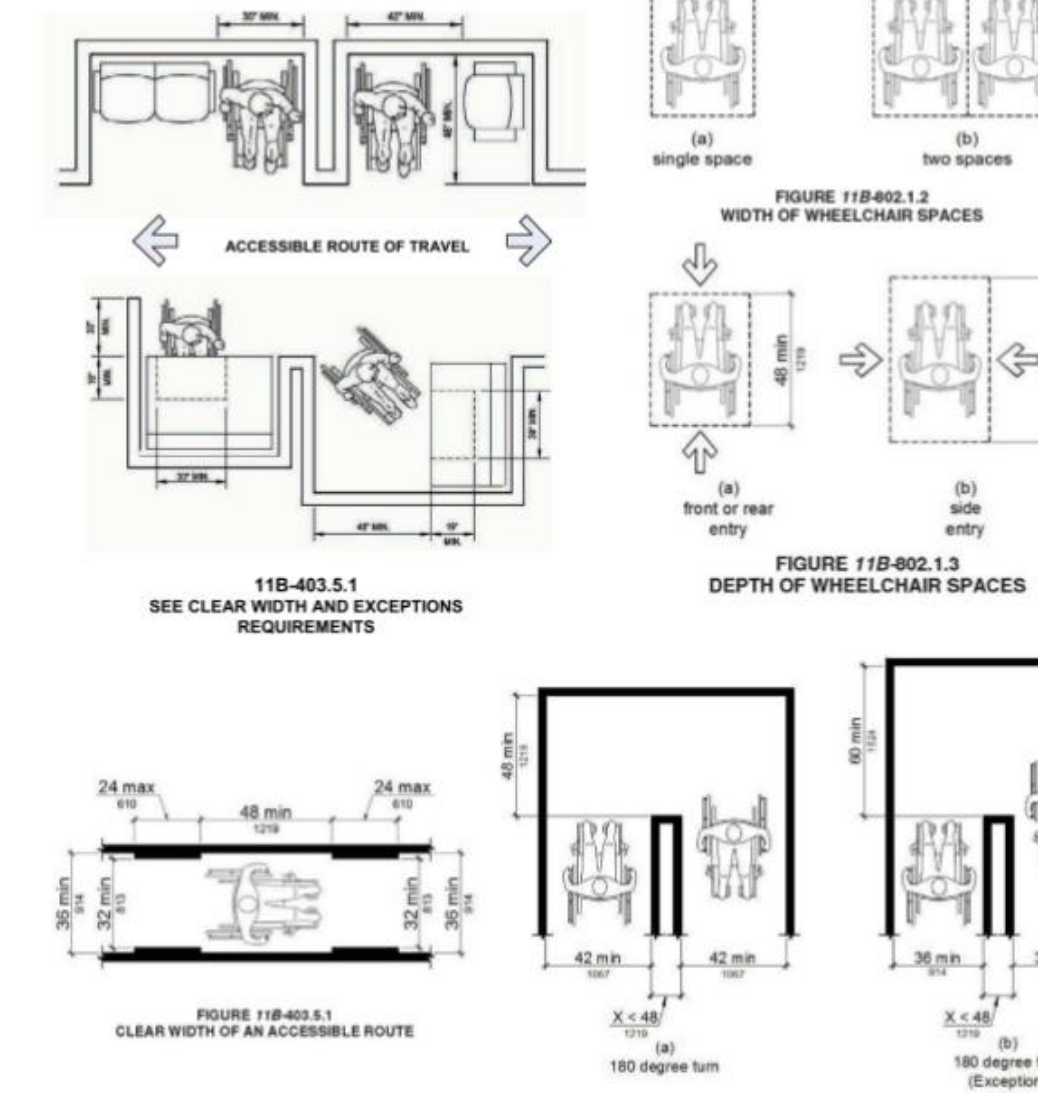
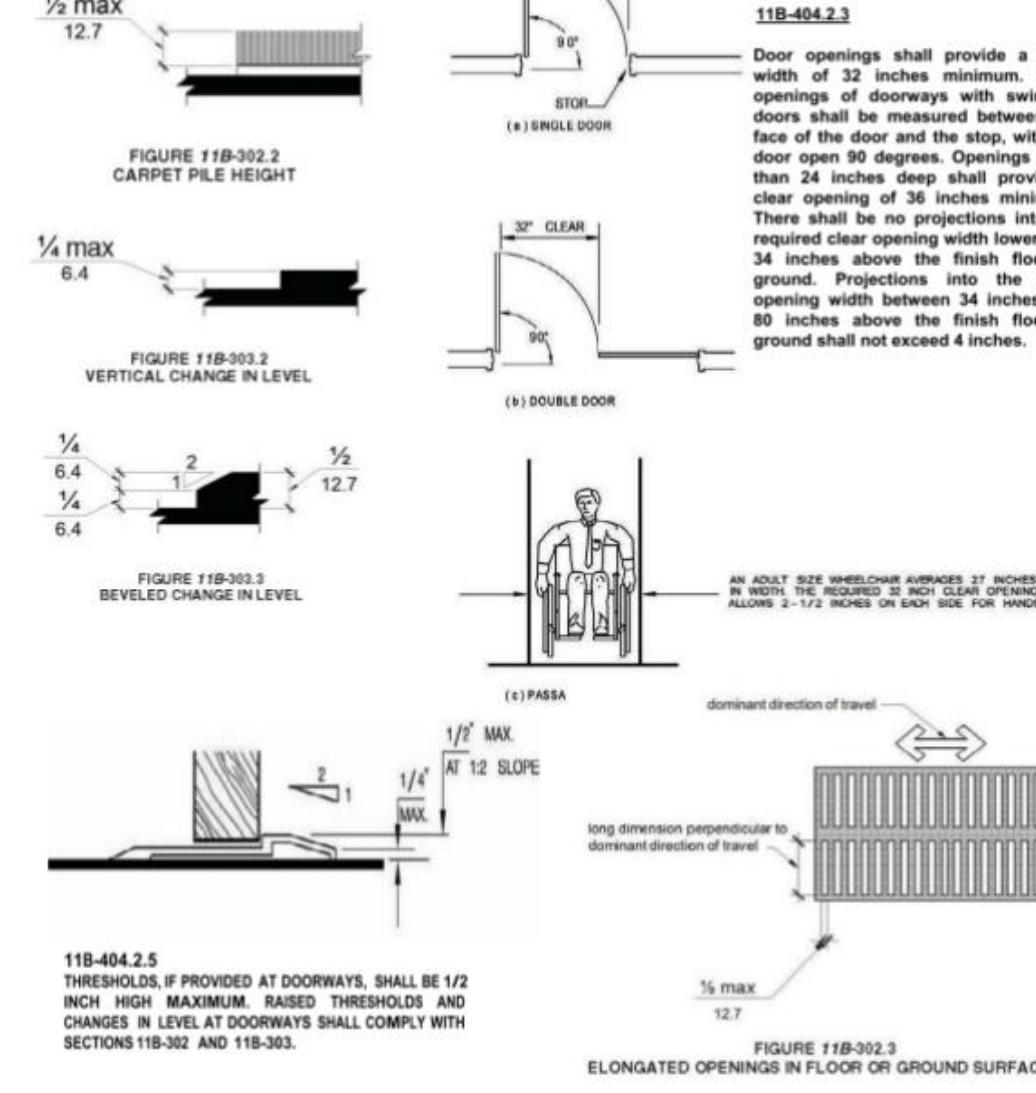


FIGURE 11B-404.2.6 DOORS IN SERIES AND GATES IN SERIES



ACCESSIBILITY DETAILS FOR RESTROOMS AND DRINKING FOUNTAINS

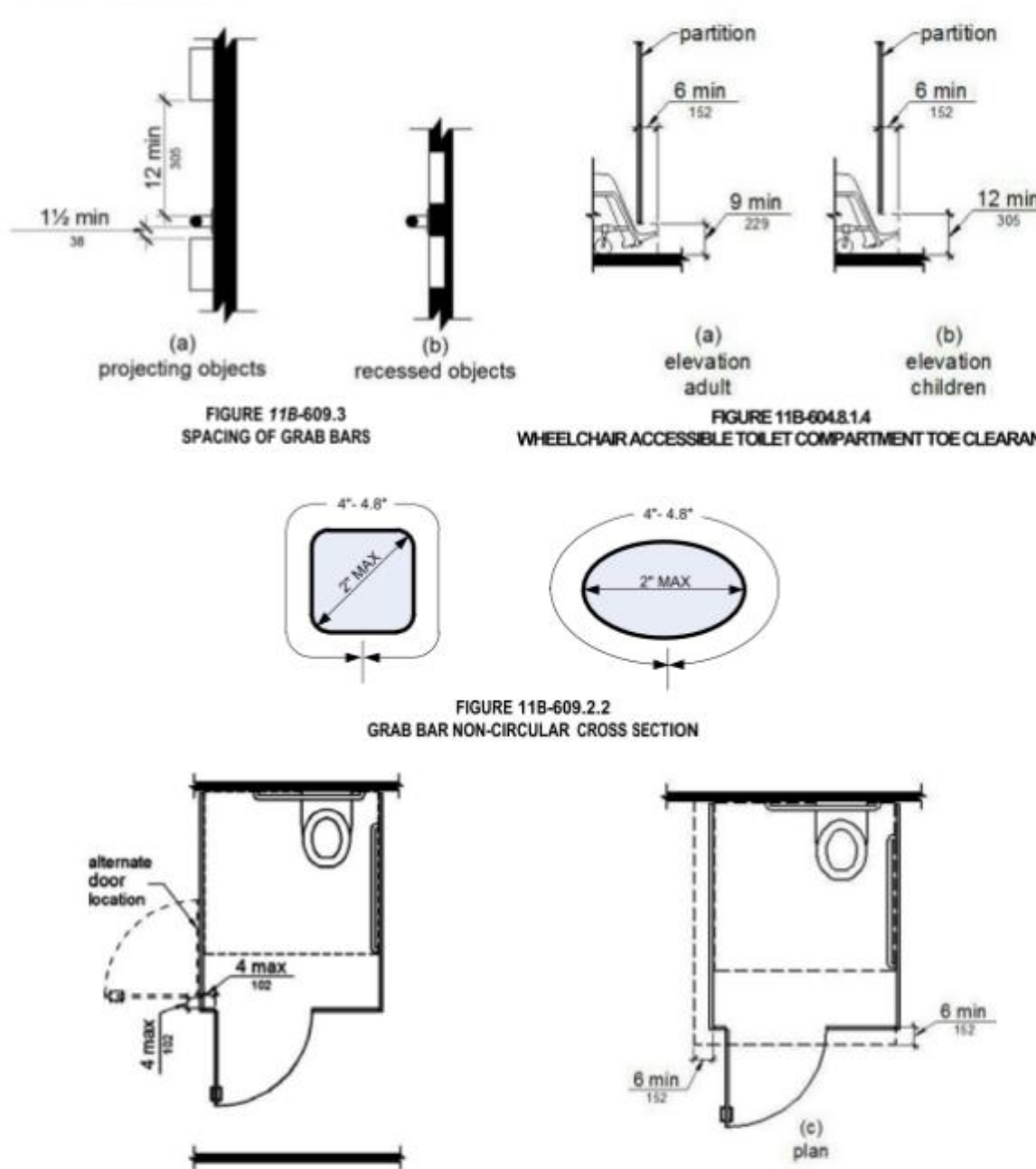
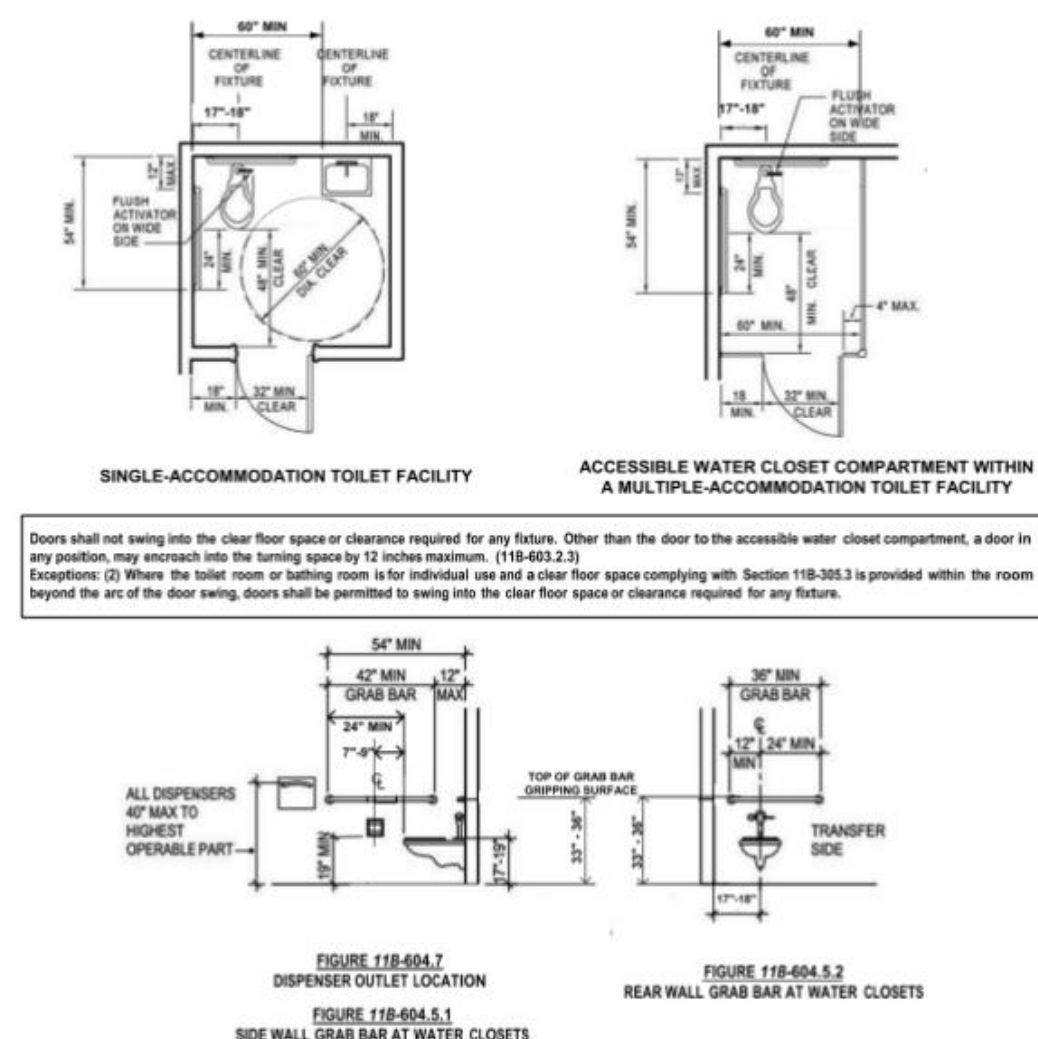


FIGURE 11B-604.1.2 WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT DOORS

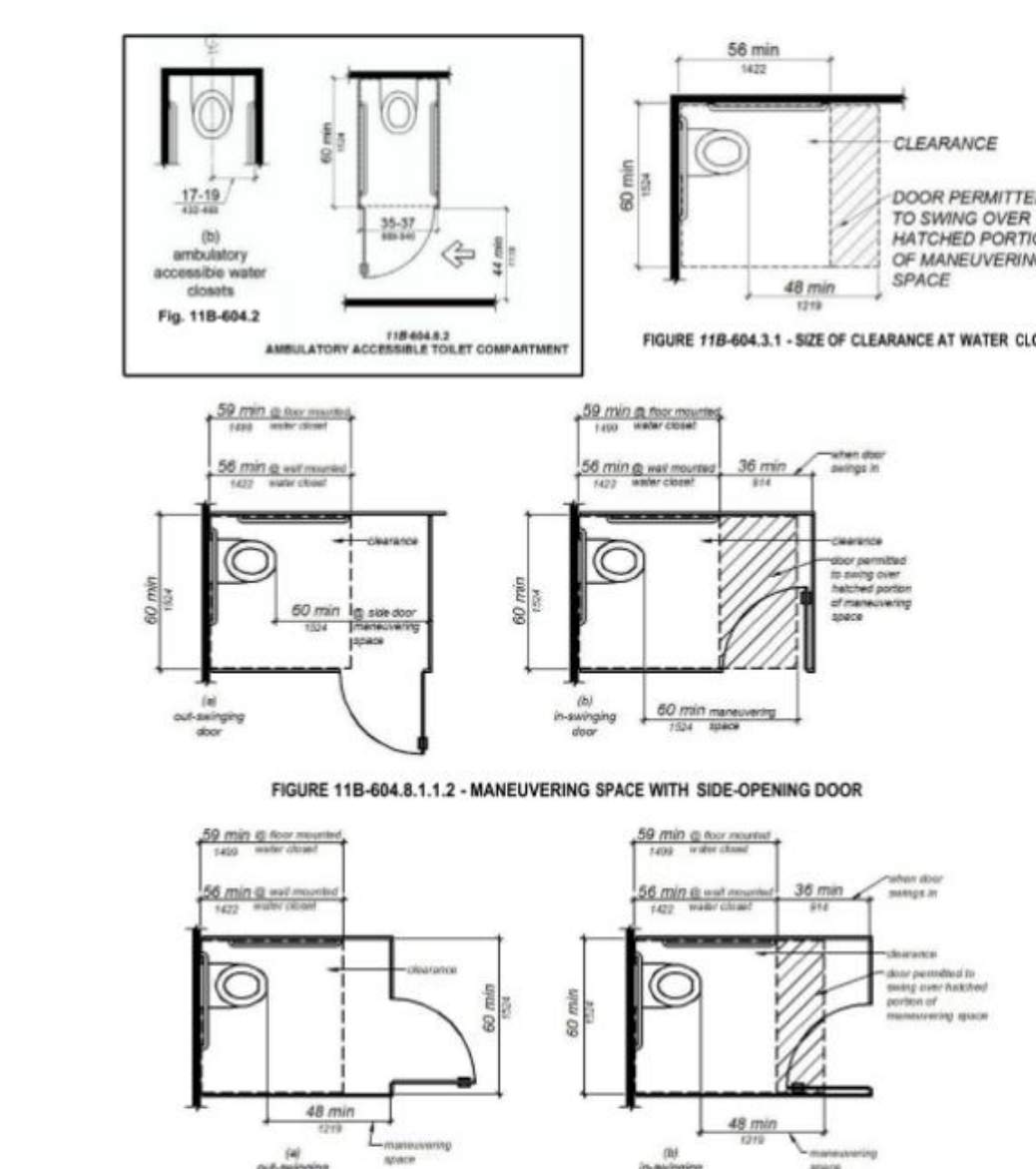


FIGURE 11B-604.1.1.1 MANEUVERING SPACE WITH SIDE-OPENING DOOR

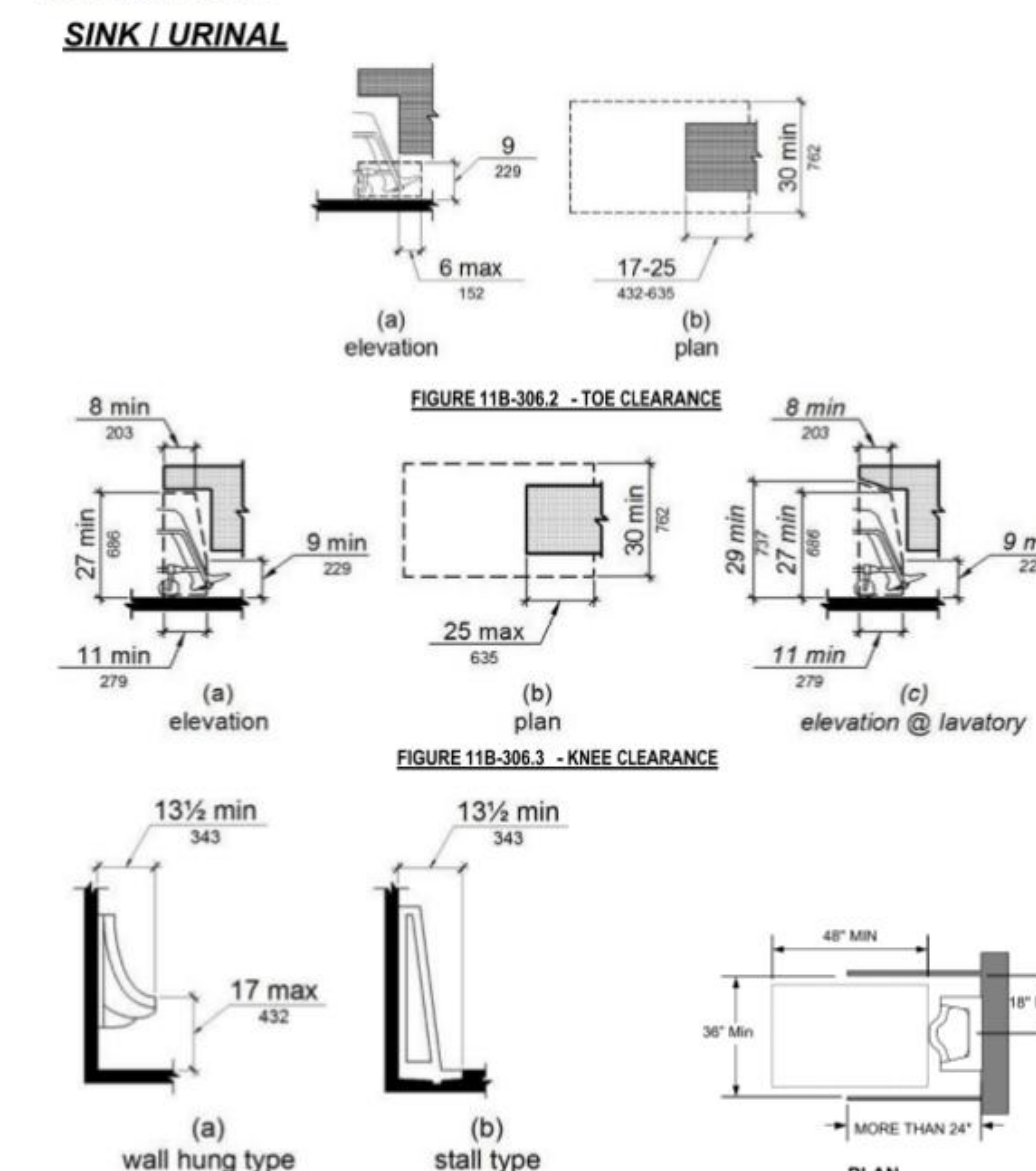


FIGURE 11B-604.2.1 HEIGHT AND DEPTH OF URINALS

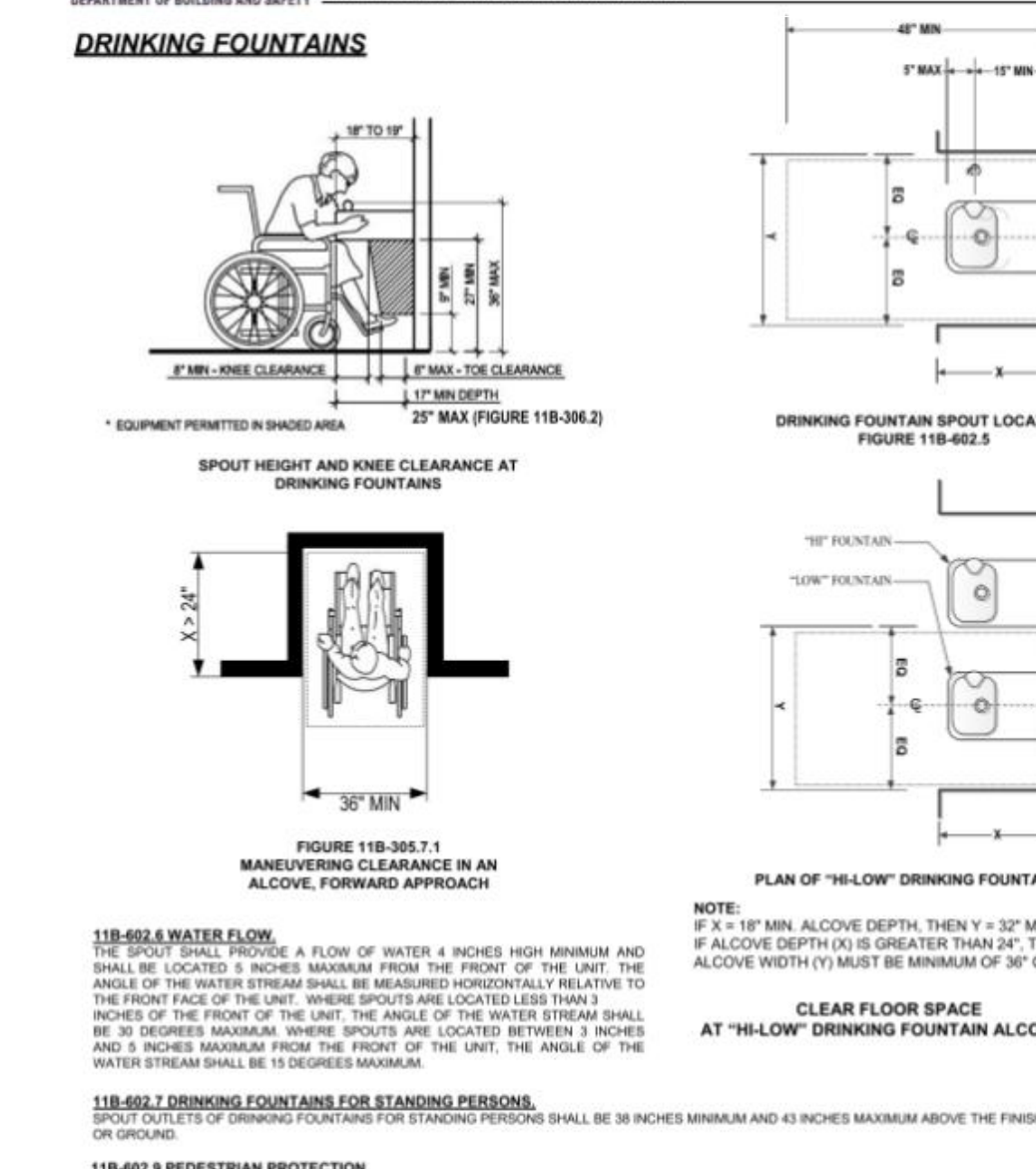


FIGURE 11B-703.2.1 MANEUVERING CLEARANCE IN AN ALCOVE, FORWARD APPROACH

ACCESSIBILITY DETAILS FOR SIGNS

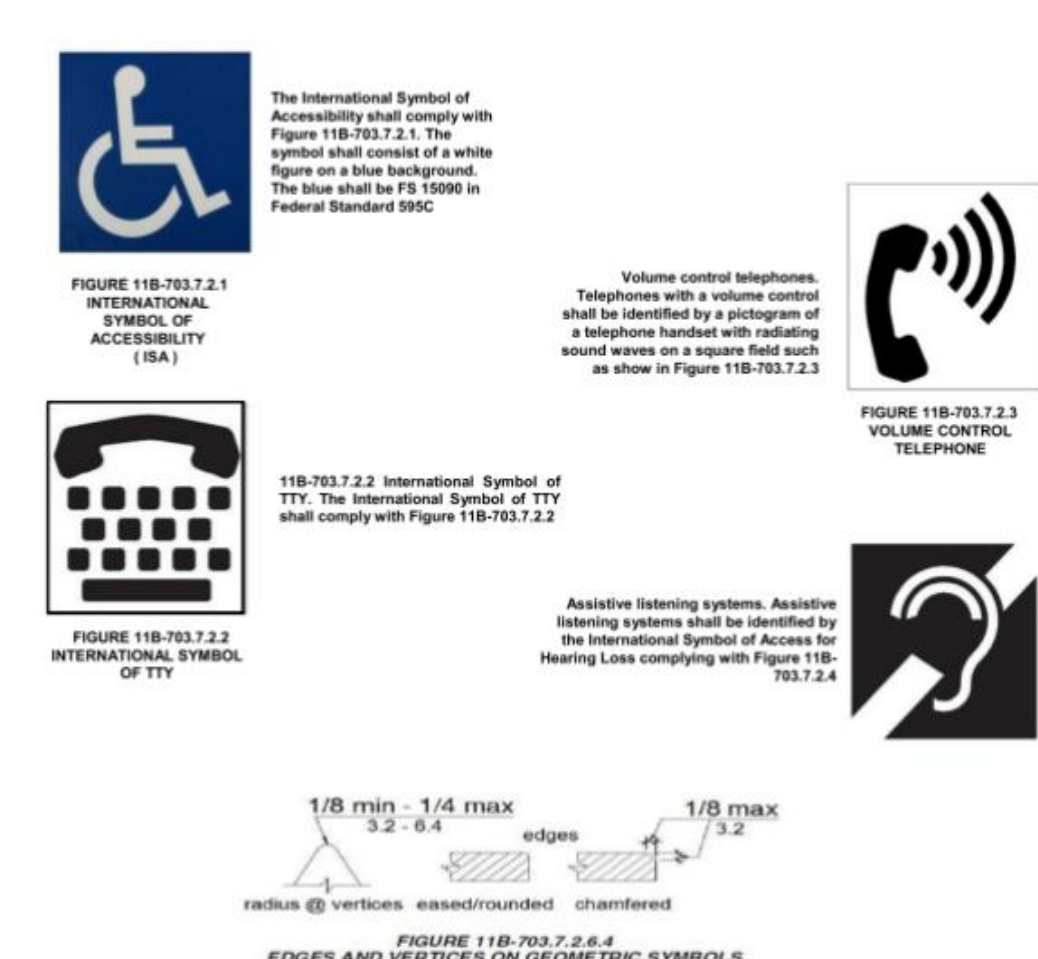


FIGURE 11B-703.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA)

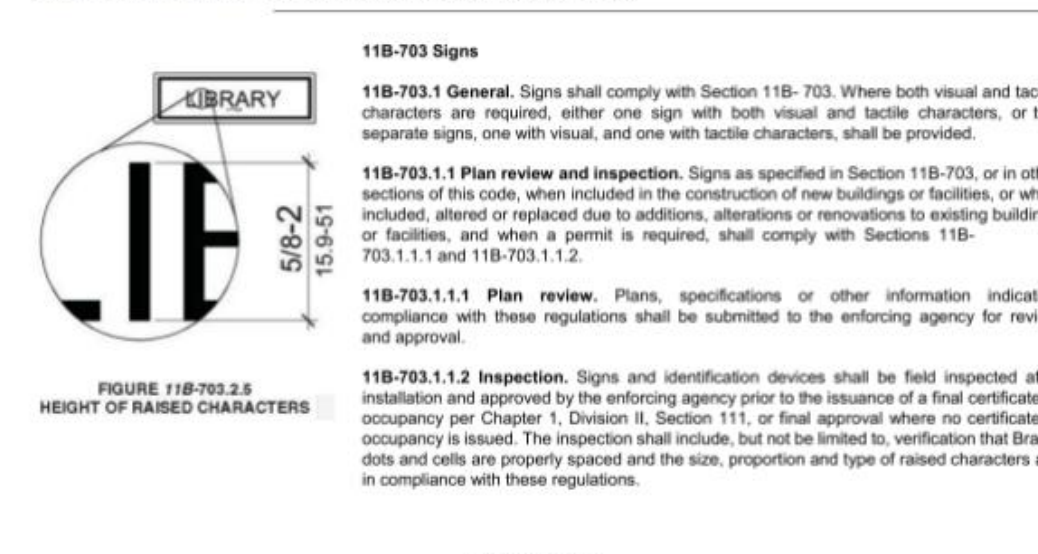


FIGURE 11B-703.2.3 POSITION OF BRAILLE

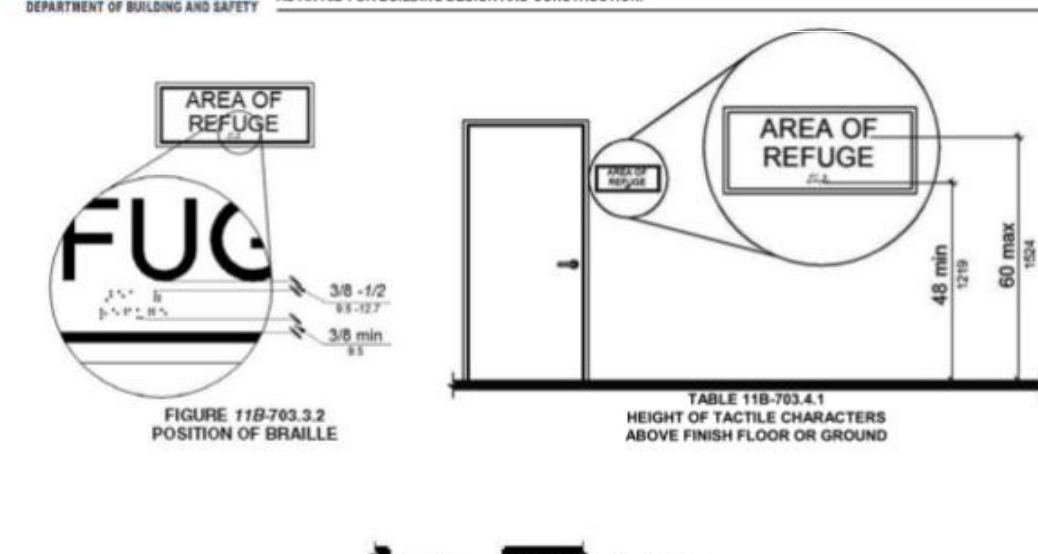


FIGURE 11B-703.2.4 EDGES AND VERTICES ON GEOMETRIC SYMBOLS

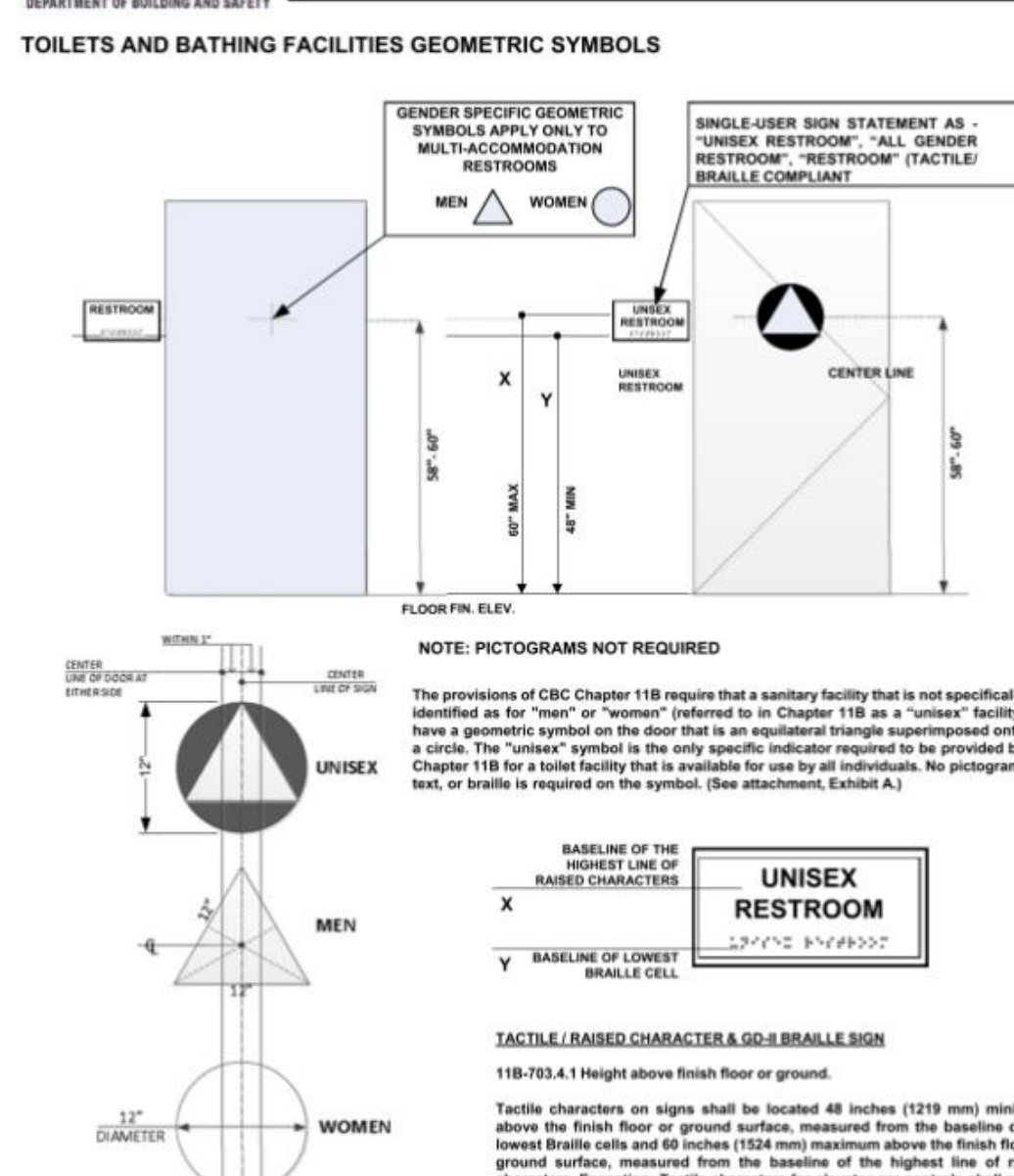


FIGURE 11B-703.4.1 TACTILE/RAISED CHARACTER & DOT BRAILLE SIGN

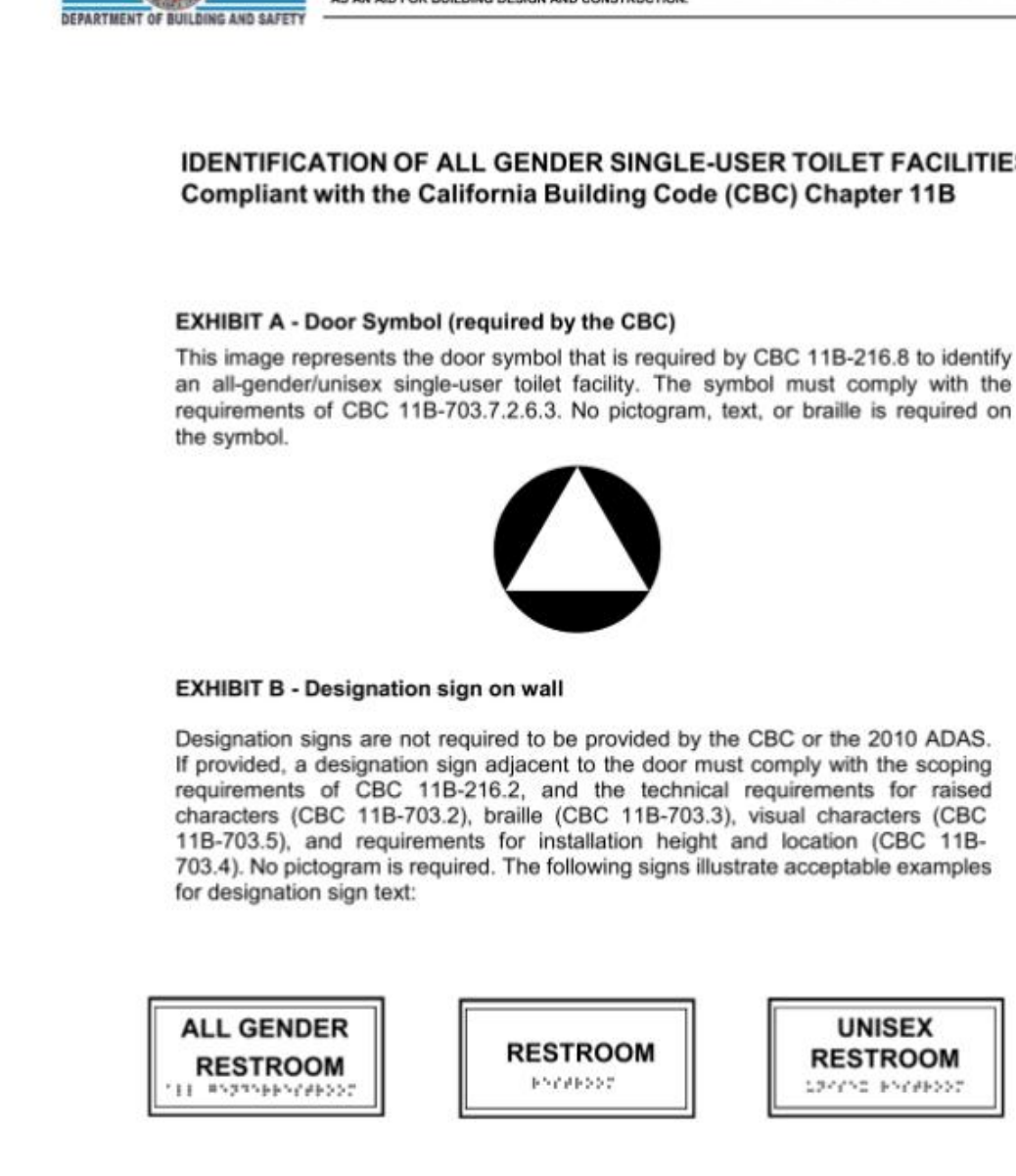


FIGURE 11B-703.4.1 TACTILE/RAISED CHARACTER & DOT BRAILLE SIGN

[design group name]
 1610 W. 7TH ST. LOS ANGELES, CA 90017
 benny@designgroupname.com
 marino@designgroupname.com

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 628 THOMPSON AVE, GLENDALE, CA 91201

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APPROVALS:

No.	Description	Date

ADA HANDOUTS

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO. T-1.3

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
benny@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
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APPROVALS:

No.	Description	Date

SHEET TITLE:

NEIGHBORHOOD CONTEXT

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

T-2.0



1 FRONT OF PROPERTY



2 FRONT OF PROPERTY



3 SIDE OF PROPERTY



4 SIDE OF PROPERTY



5 632 THOMPSON AVE



6 640 THOMPSON AVE



7 1756 FLOWER ST



8 1800 FLOWER ST



9 639 THOMPSON AVE



10 629 THOMPSON AVE



11 625 THOMPSON AVE



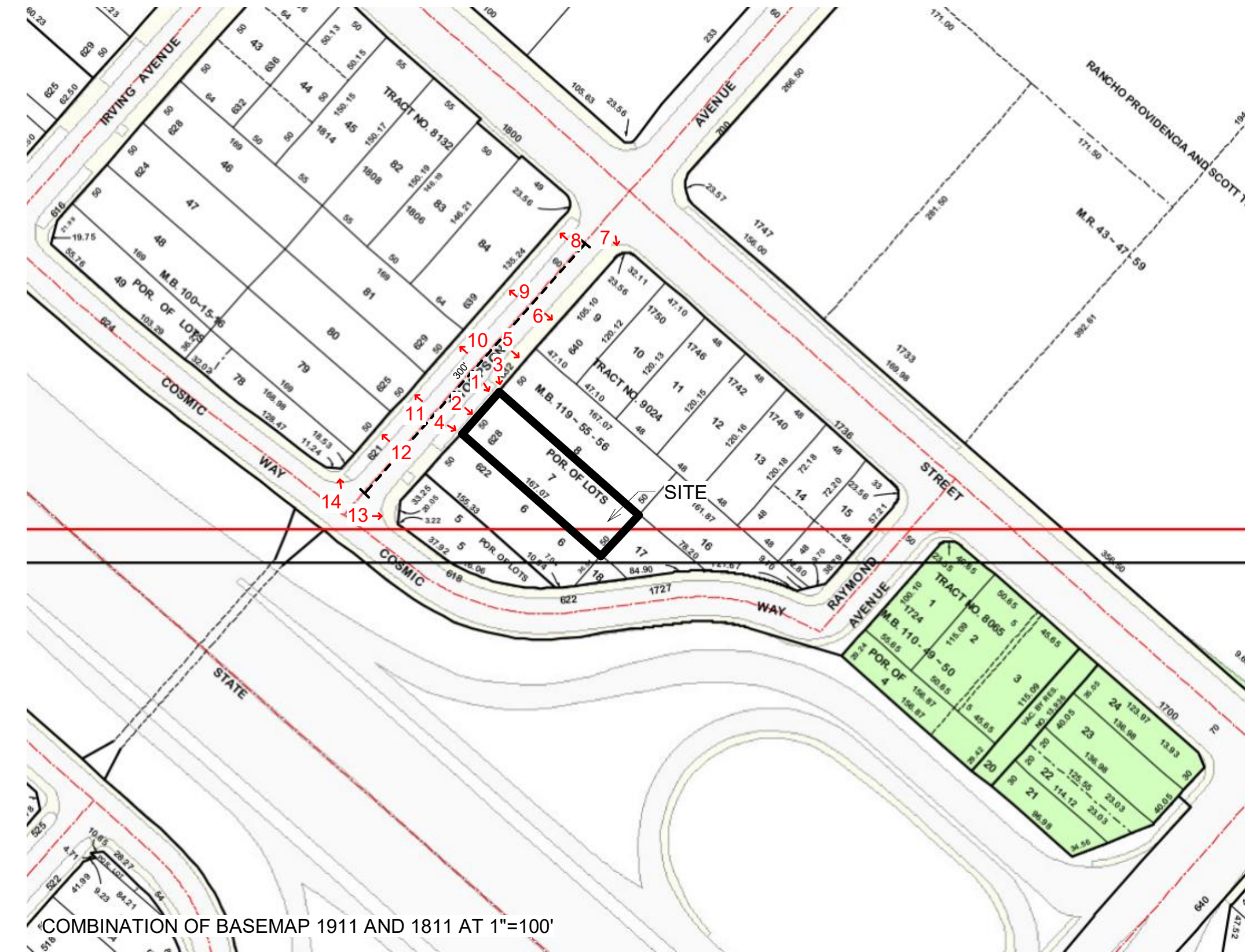
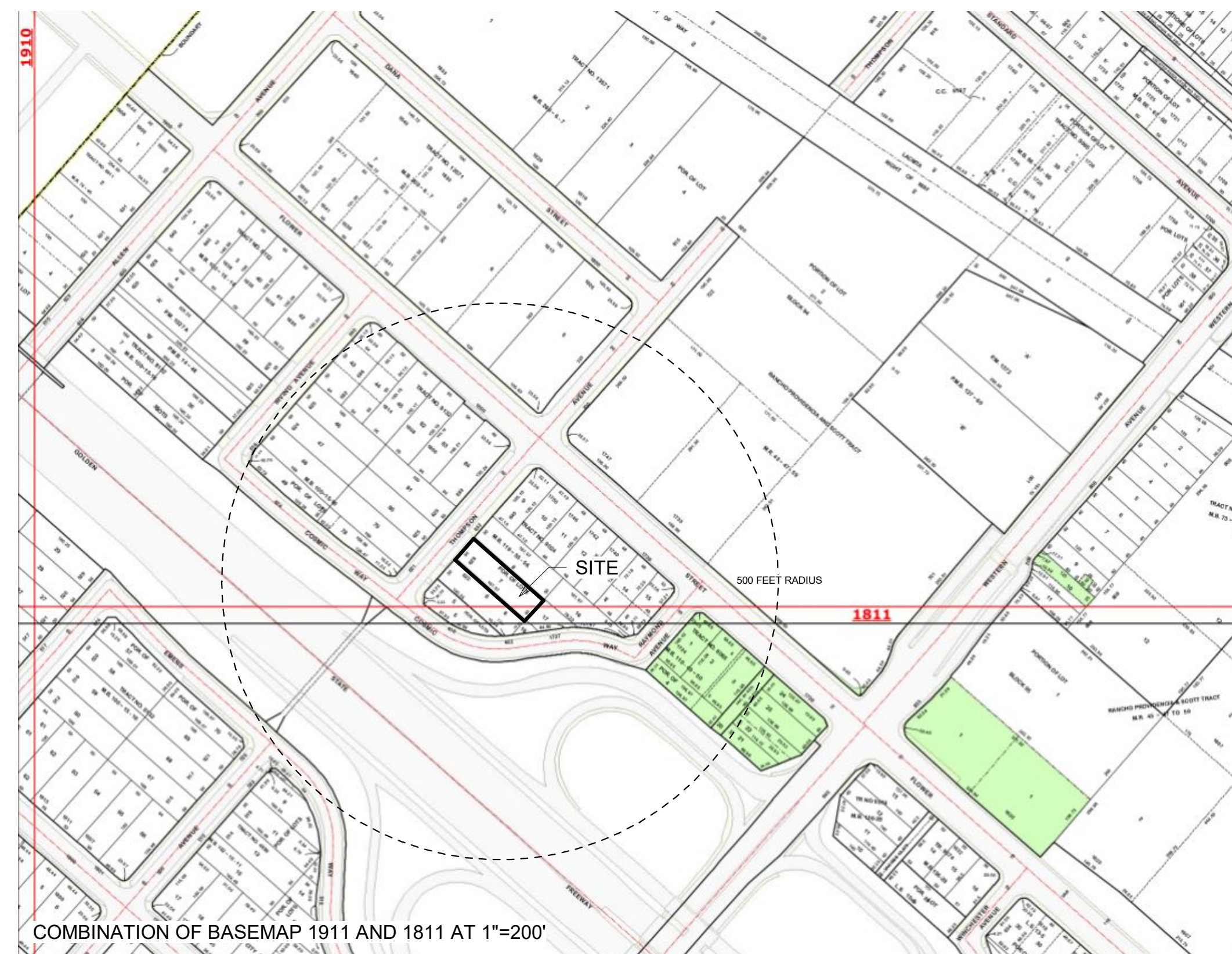
12 621 THOMPSON AVE



13 1761 COSMIC WAY



14 CORNER OF COSMIC WAY & THOMPSON AVE



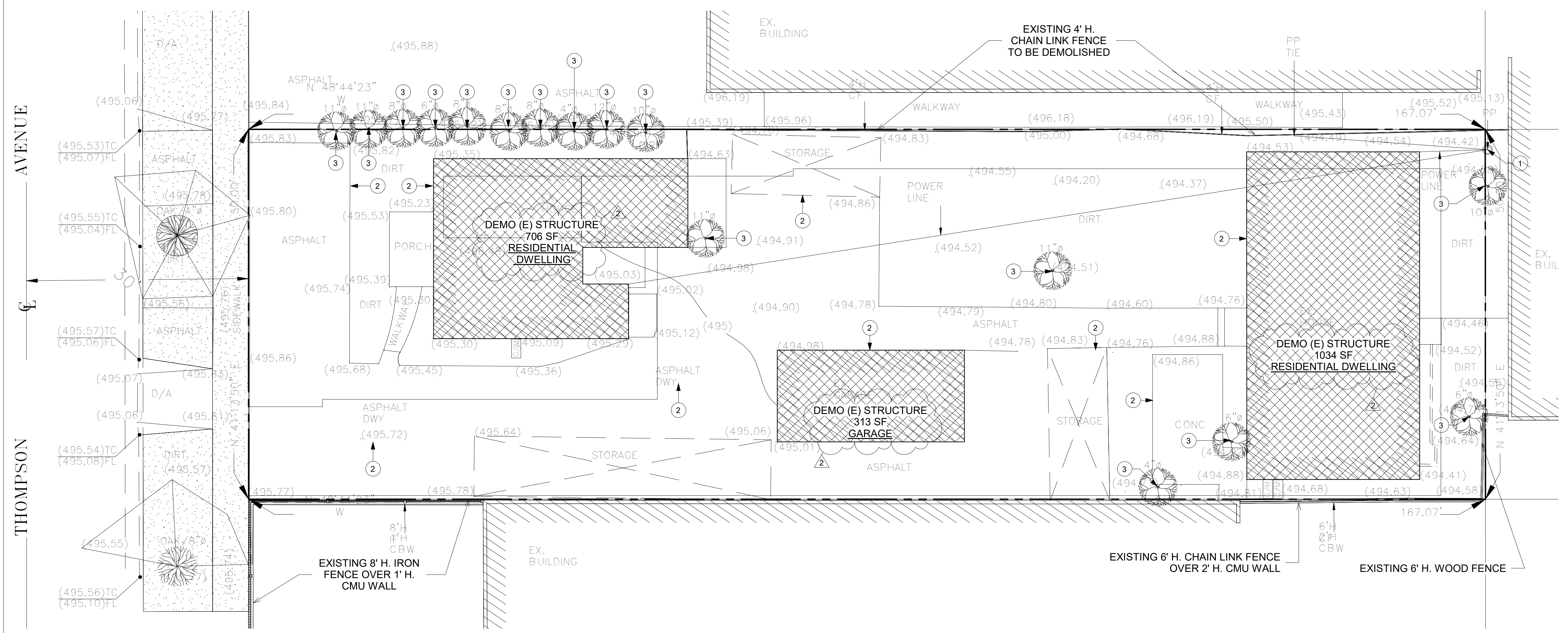
#	DESCRIPTION
1	(E) POWER POLE
2	(E) TO BE DEMOD
3	(E) TREE TO BE DEMOD

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

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KEYNOTES

APPROVALS:

No.	Description	Date
1	PLANNING CORRECTIONS #1	4/24/22
2	PLANNING CORRECTIONS #2	6/17/22

SHEET TITLE:

SITE PLAN - EXISTING

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO. A-0.0

- SITE DRAINAGE 2%
- ROOF DRAINAGE AS PER ANNOTATION
- SCOPE OF WORK
- PROPERTY LINE
- SETBACK
- FOOTPRINT

SITE PLAN - EXISTING SCALE 1/8" = 1'-0"

LEGEND

STREET TREE PROTECTION MEASURES
628 Thompson Avenue - 12/3/2021

PLANNING PHASE

1. All project plans, including grading, site improvements, utility locations, and landscaping shall indicate the exact trunk location of all street trees(s), as well as the specific intent for each tree, such as removal or retention. Construction is to be completed without negative direct impact(s) on protected street tree(s) adjacent to the subject site. Prior to any site disturbance, including grubbing, demolition and mobilization, obtain a Street Tree Permit from the Public Works Department for any site that is adjacent to and impacting City street trees.

2. All utility improvements with installation of hook-up boxes, including but not limited to water, sewer, electrical, cable and phone lines are to be located outside the tree protected zone (TPZ), i.e., the tree's canopy plus one (1) foot. Utility lines shall be routed outside of the protected zone of street trees, unless otherwise approved by the Director of Public Works.

3. All site development plans, including grading, planting and irrigation and their installation are subject to approval by the Public Works Department.

PRE-CONSTRUCTION PHASE

4. Prior to any site disturbance, including demolition or mobilization, install protective fencing around each street tree. Fencing should enclose the tree and its canopy. One tree protection sign should be installed on each separate fencing. Alternatively, if fencing is placed on the private property and sidewalk boundary, no protective fencing will be required.

5. Inspection of the temporary fencing installation is required prior to any site disturbance, including grubbing, demolition and mobilization. Contact Forestry at (818) 548-3950 for inspection and approval.

CONSTRUCTION PHASE

6. The approved Street Tree Permit shall be maintained on the project site at all times and be presented on request to any City official.

7. Any temporary fencing installation shall be maintained until completion of the project.

8. No tools, equipment, materials, vehicles, debris, paint, concrete, mortar, cement, stucco, paint, solvent, excess soil or other materials shall be placed within the TPZ of any protected tree at any time, except as authorized by the Director of Public Works.

9. No changes in grade shall be made within the TPZ of any protected tree, except as authorized by the Director of Public Works.

10. Any approved excavation within the protected zone of any protected tree shall be performed with hand tools only under the direct observation of a project arborist.

11. All approved pruning or cutting of roots shall be performed under the supervision of an International Society of Arboriculture Certified Arborist or licensed landscape contractor in accordance with the relevant standards of the International Society of Arboriculture and per GMC 5.08.540 and GMC 12.40.

12. In general, take such steps as necessary to protect roots, bark, trunk, branches and leaves from injury during construction.

13. Monitor protected trees for drought stress throughout construction and irrigate as needed to maintain health.

14. Gently spray tree canopy with water to remove construction dust build-up as needed throughout construction.

15. No herbicides shall be used within one hundred feet (100') of any street tree unless approval is provided in writing by the Director of Public Works.

16. Excavate and tunnel beneath roots one-inch (1") in diameter and greater where feasible. Roots to be removed shall be pruned with a sharp pruning tool at the edge of the excavation. Cover temporarily exposed roots with moist burlap until backfill occurs.

17. Contact the Urban Forester upon completion of work for Final Inspection and card sign-off.

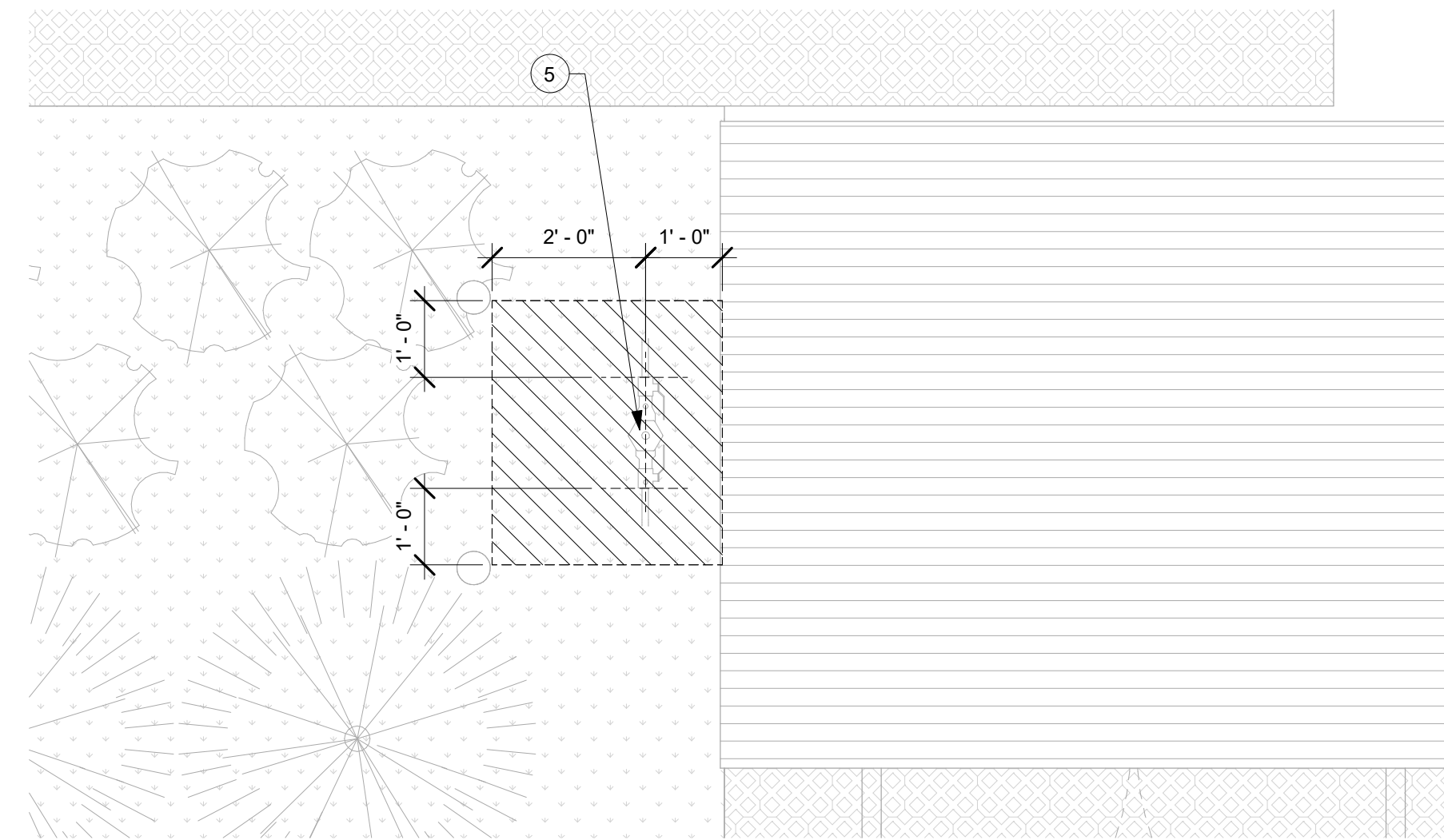
18. Failure to comply with these mitigation measures may result in work stoppage, and/or fees and restitution per GMC 12.40. Work shall resume only when the City of Glendale deems reparations satisfactory.

19. Questions should be directed to the Urban Forester at 818-550-3416.

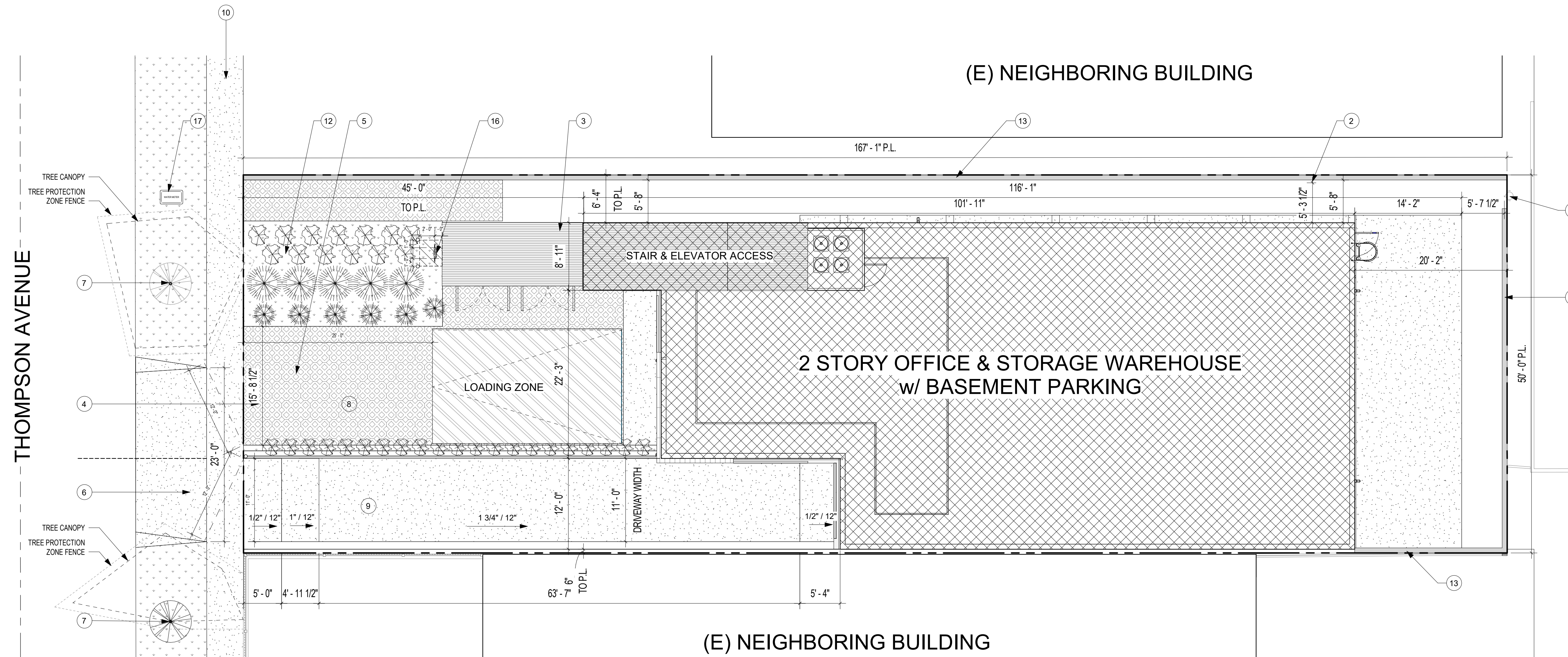
Owner / Agent name **BENNY ARIAS**

Owner / Agent signature 

Date **04/28/22**



BACKFLOW DEVICE CLEARANCES SCALE 1/2" = 1'-0" 2



#	DESCRIPTION
1	(E) POWER POLE
2	(E) POWER POLE ANCHORS
3	(N) TRASH ENCLOSURE - SEE - / A-5.0
4	(N) TURFSTONE - SEE - / T-3.0
5	(N) LOADING SPACE - 15'-0" x 25'-0" w/ STRIPES AND LABEL
6	(N) DRIVEWAY APRON - AS PER GLENDALE STANDARDS
7	(E) OAK TREE - TO REMAIN
8	(N) TURFSTONE DRIVEWAY - SEE T-1.0 - AS PER GLENDALE STANDARDS 30.32.040
9	(N) CONCRETE DRIVEWAY - AS PER GLENDALE STANDARDS 30.32.130
10	(E) SIDEWALK TO REMAIN
11	(N) DOWNSPOUT
12	(N) LANDSCAPE AS PER CONSULTANT DRAWINGS
13	(N) 6" H. CMU WALL
14	(N) AC UNITS
15	(N) MECHANICAL ENCLOSURE
16	(N) REDUCED PRESSURE BACKFLOW ASSEMBLY
17	(N) WATER METER

[design group name]

1610 W. 7TH ST, LOS ANGELES, CA. 90017
benny@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
91201

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KEYNOTES

APPROVALS:

No.	Description	Date
1	PLANNING CORRECTIONS #1	4/24/22
2	PLANNING CORRECTIONS #2	6/17/22

SHEET TITLE:



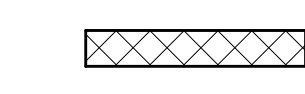


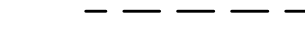
SITE PLAN - PROPOSED

JOB NO. [DGN-2005] SCALE AS NOTED
SHEET NO.

A-0.1

SITE PLAN - PROPOSED SCALE 1/8" = 1'-0" 1

LEGEND

-  SITE DRAINAGE 3%
-  ROOF DRAINAGE AS PER ANNOTATION
-  SCOPE OF WORK
-  PROPERTY LINE
-  SETBACK
-  FOOTPRINT

#	DESCRIPTION
1	(E) POWER POLE
2	(E) POWER POLE ANCHORS
3	(N) TRASH ENCLOSURE - SEE - / A-5.0
4	(N) TURFSTONE - SEE - / T-3.0
5	(N) LOADING SPACE - 15'-0" x 25'-0" w/ STRIPES AND LABEL
6	(N) DRIVEWAY APRON - AS PER GLENDALE STANDARDS
7	(E) OAK TREE - TO REMAIN
8	(N) TURFSTONE DRIVEWAY - SEE T-1.0 - AS PER GLENDALE STANDARDS 30.32.040
9	(N) CONCRETE DRIVEWAY - AS PER GLENDALE STANDARDS 30.32.130
10	(E) SIDEWALK TO REMAIN
11	(N) DOWNSPOUT
12	(N) LANDSCAPE AS PER CONSULTANT DRAWINGS
13	(N) 6' H. CMU WALL
14	(N) AC UNITS
15	(N) MECHANICAL ENCLOSURE
16	(N) REDUCED PRESSURE BACKFLOW ASSEMBLY
17	(N) WATER METER

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

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 628 THOMPSON AVE, GLENDALE, CA
 91201

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KEYNOTES

APPROVALS:

No.	Description	Date

SHEET TITLE:

**ROOF PLAN /
DRAINAGE**

JOB NO. [DGN-2005] SCALE AS NOTED

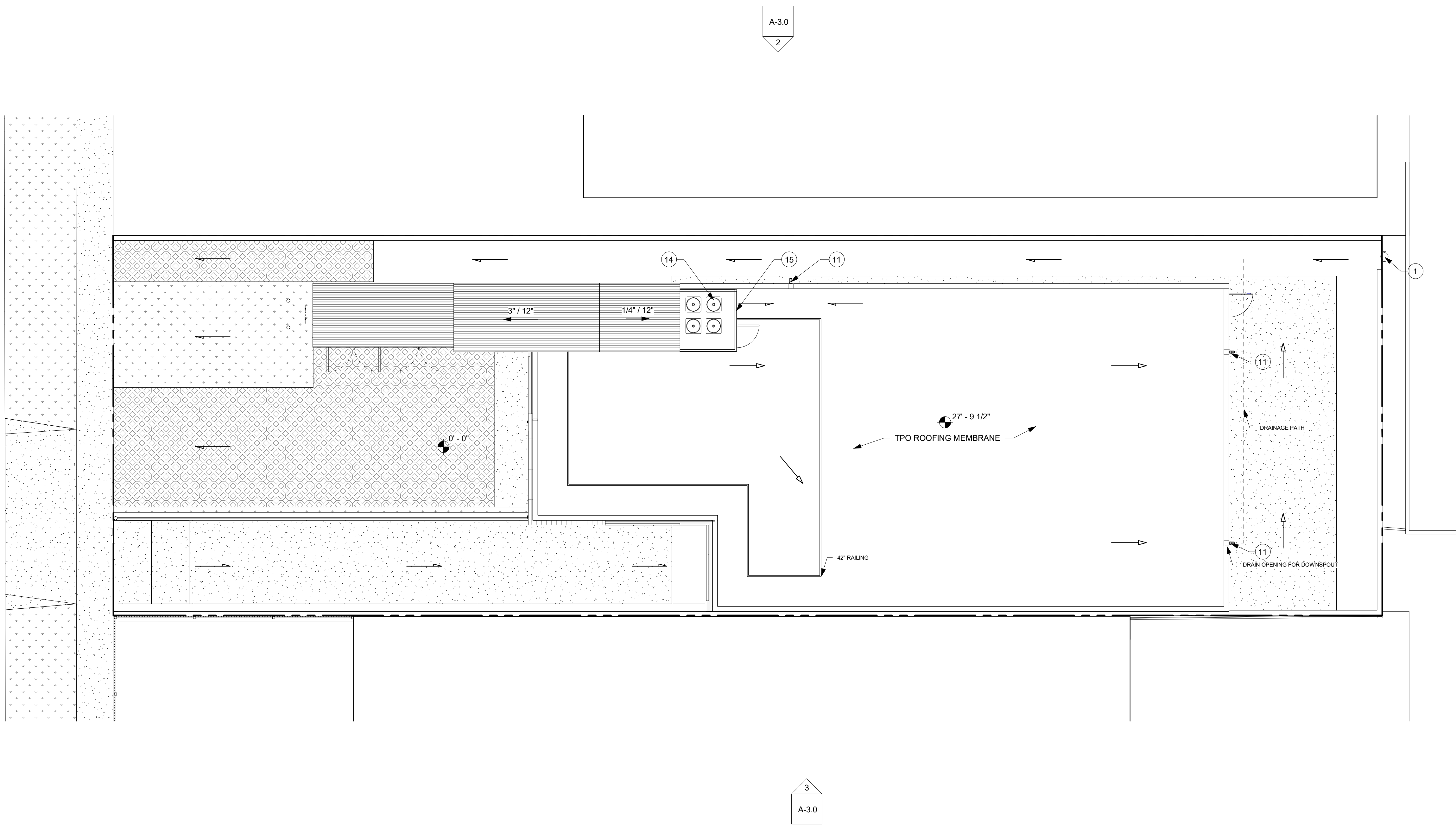
SHEET NO.

A-1.0

- SITE DRAINAGE 2%
- ROOF DRAINAGE AS PER ANNOTATION
- SCOPE OF WORK
- PROPERTY LINE
- SETBACK
- FOOTPRINT

LEGEND

ROOF PLAN - PROPOSED SCALE 1/8" = 1'-0"



#	DESCRIPTION
1	ELECTRIC VEHICLE CHARGING STATION

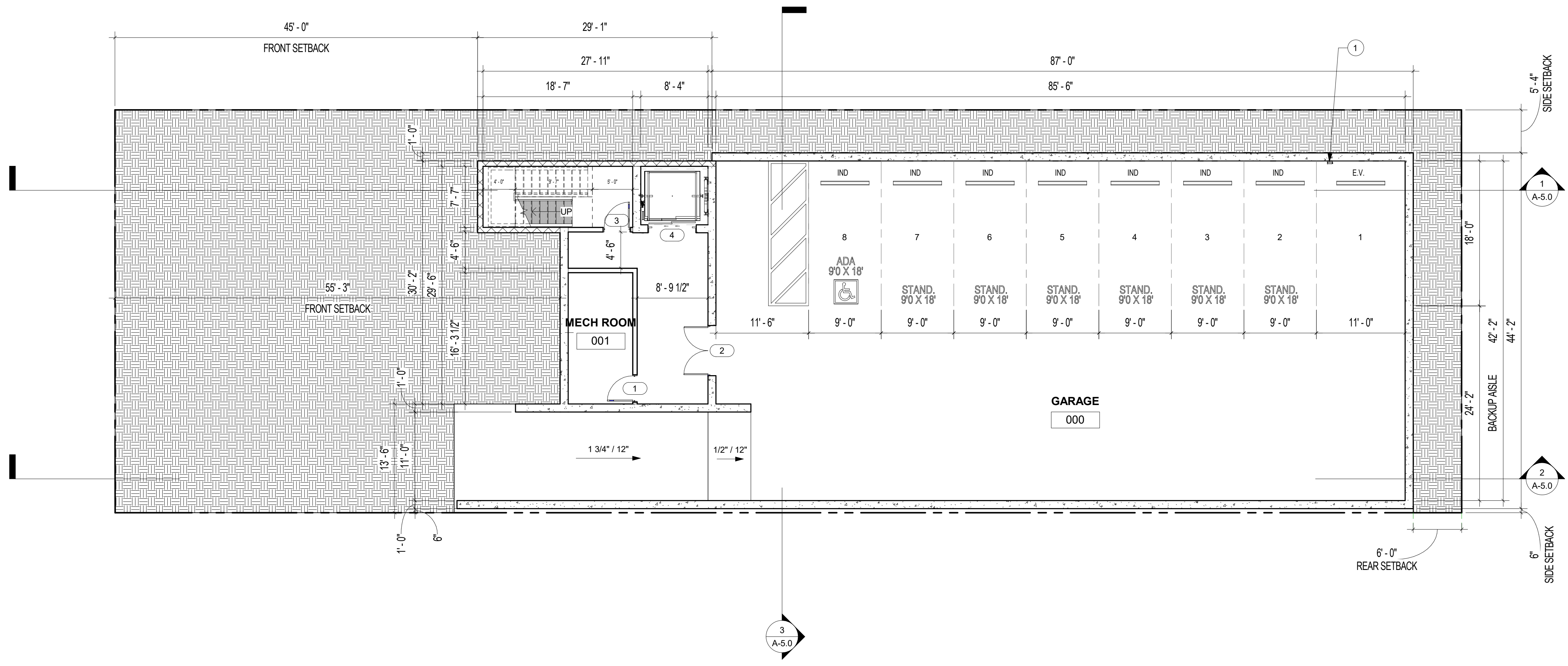
1. FOR ELECTRIC VEHICLE CHARGING STATIONS SEE CAL GREEN MEASURES (SHEET T-1.1) CODE SECTION: 4.106.4.3.3

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

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KEYNOTES

APPROVALS:

No.	Description	Date

LEGEND

	CMU WALL - SEE - / AD - 1.0
	CMU W/ STANDING SEAM - SEE - / AD - 1.0
	CIP CONCRETE WALL - SEE - / AD - 1.0
	INTERIOR WALL - SEE SHEET - / AD - 1.0
	TOILET CLEARANCE CLEARANCE IN FRONT OF TOILET SHALL BE 24" DEPTH & 30" WIDTH
	SLAB ELEVATION CHANGE REFER TO BUILDING ELEVATIONS & SITE PLAN FOR ADDTL INFORMATION
	SMOKE DETECTOR
	CO2 DETECTOR
	EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

SHEET TITLE:

GARAGE BASEMENT

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO. A-2.0

BASEMENT / GARAGE PLAN SCALE 1/8" = 1'-0" 1

[design group name]

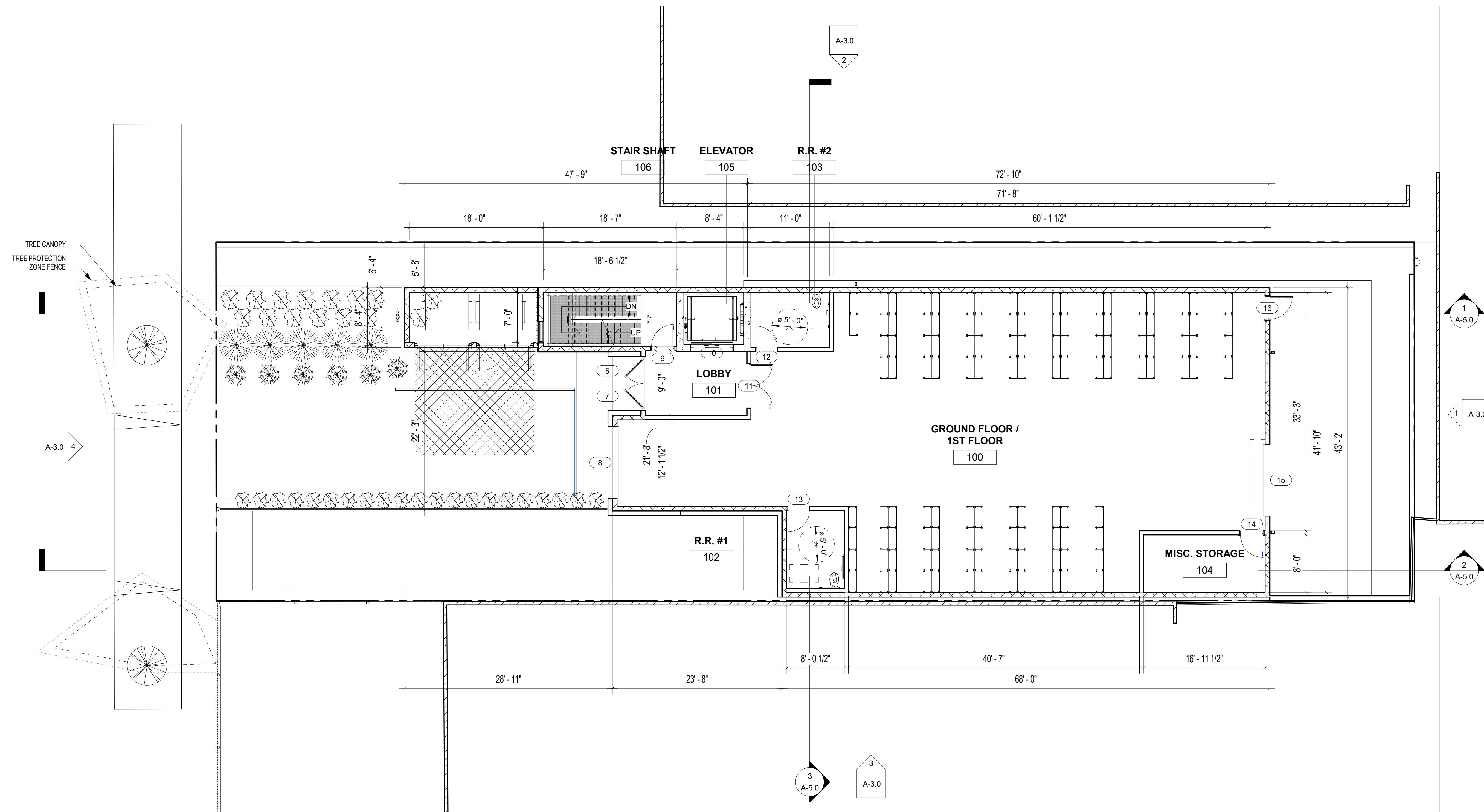
1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

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 628 THOMPSON AVE, GLENDALE, CA
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KEYNOTES

APPROVALS:



PLAN NOTES

- CMU WALL - SEE - / AD - 1.0
- CMU W/ STANDING SEAM - SEE - / AD - 1.0
- CIP CONCRETE WALL - SEE - / AD - 1.0
- INTERIOR WALL - SEE SHEET - / AD - 1.0

TOILET CLEARANCE
 CLEARANCE IN FRONT OF TOILET SHALL BE 24" DEPTH & 30" WIDTH



SLAB ELEVATION CHANGE
 REFER TO BUILDING ELEVATIONS & SITE PLAN FOR ADDTL INFORMATION

- SMOKE DETECTOR
- CO2 DETECTOR
- EXHAUST FAN
 FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND

1ST FLOOR / GROUND PLAN SCALE 1/8" = 1'-0" 1

1ST FLOOR

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO. **A-2.1**

[design group name]

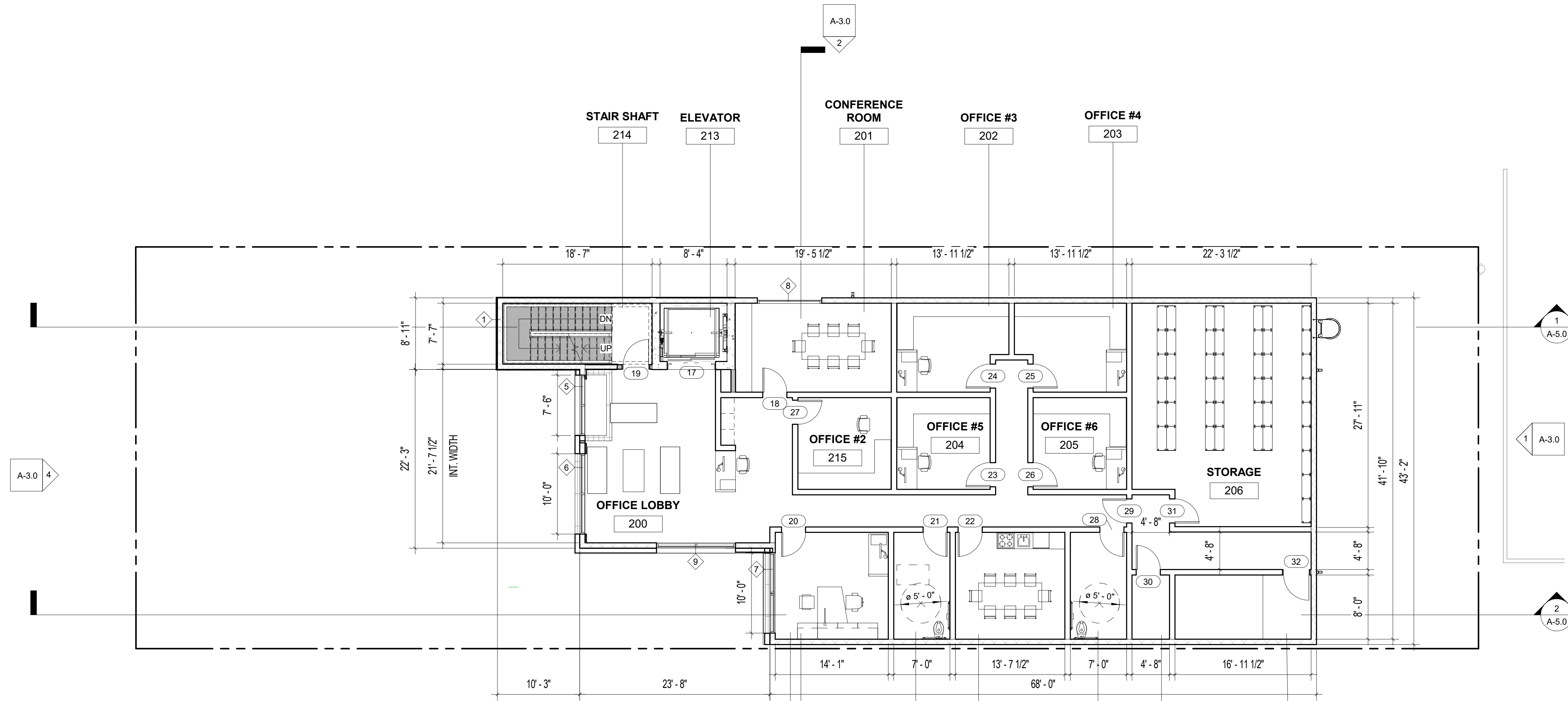
1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

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 628 THOMPSON AVE, GLENDALE, CA
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KEYNOTES

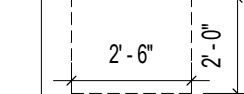
APPROVALS:



PLAN NOTES

- CMU WALL - SEE - / AD - 1.0
- CMU W/ STANDING SEAM - SEE - / AD - 1.0
- CIP CONCRETE WALL - SEE - / AD - 1.0
- INTERIOR WALL - SEE SHEET - / AD - 1.0

TOILET CLEARANCE
 CLEARANCE IN FRONT OF TOILET SHALL BE 24" DEPTH & 30" WIDTH



SLAB ELEVATION CHANGE
 REFER TO BUILDING ELEVATIONS & SITE PLAN FOR ADDTL INFORMATION

- SMOKE DETECTOR
- CO2 DETECTOR
- EXHAUST FAN
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

No.	Description	Date

SHEET TITLE:

2ND FLOOR

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

A-2.2

2ND FLOOR PLAN SCALE 1/8" = 1'-0" 1

LEGEND

#	DESCRIPTION
1	ELECTRIC VEHICLE CHARGING STATION

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benji@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

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KEYNOTES

APPROVALS:

PLAN NOTES

No.	Description	Date

SHEET TITLE:

ROOF DECK

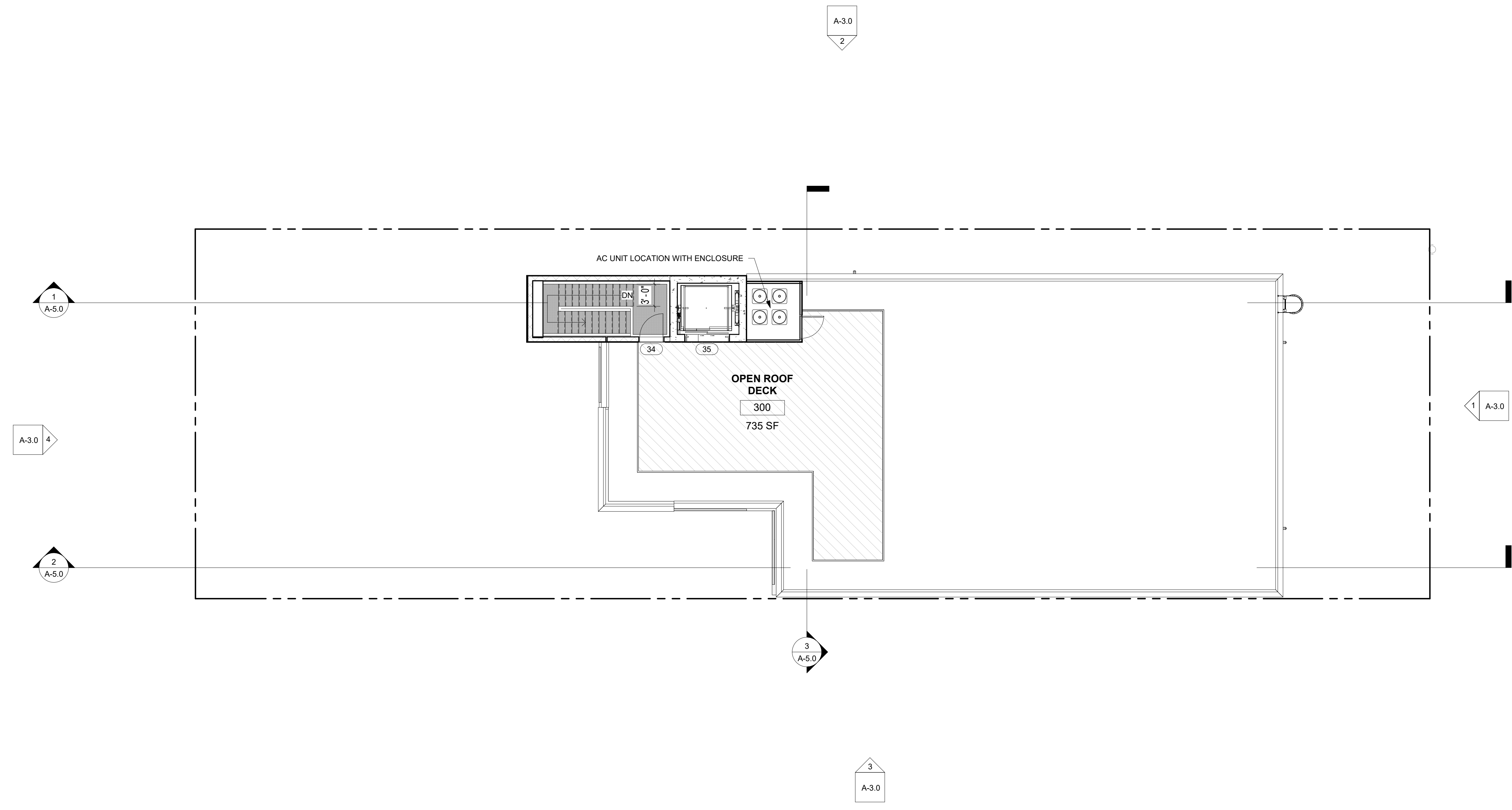
JOB NO. [DGN-2005] SCALE AS NOTED

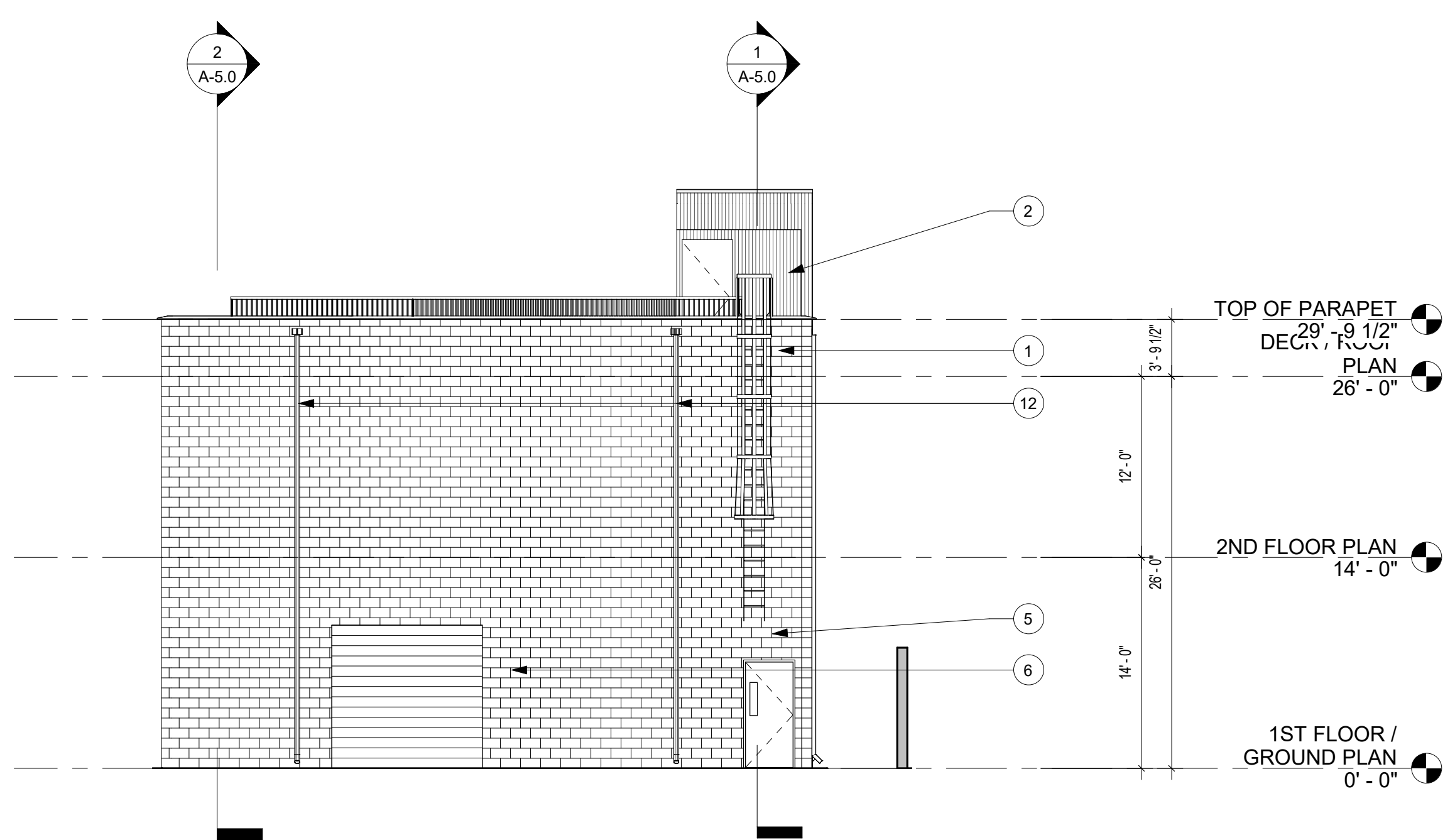
SHEET NO.

A-2.3

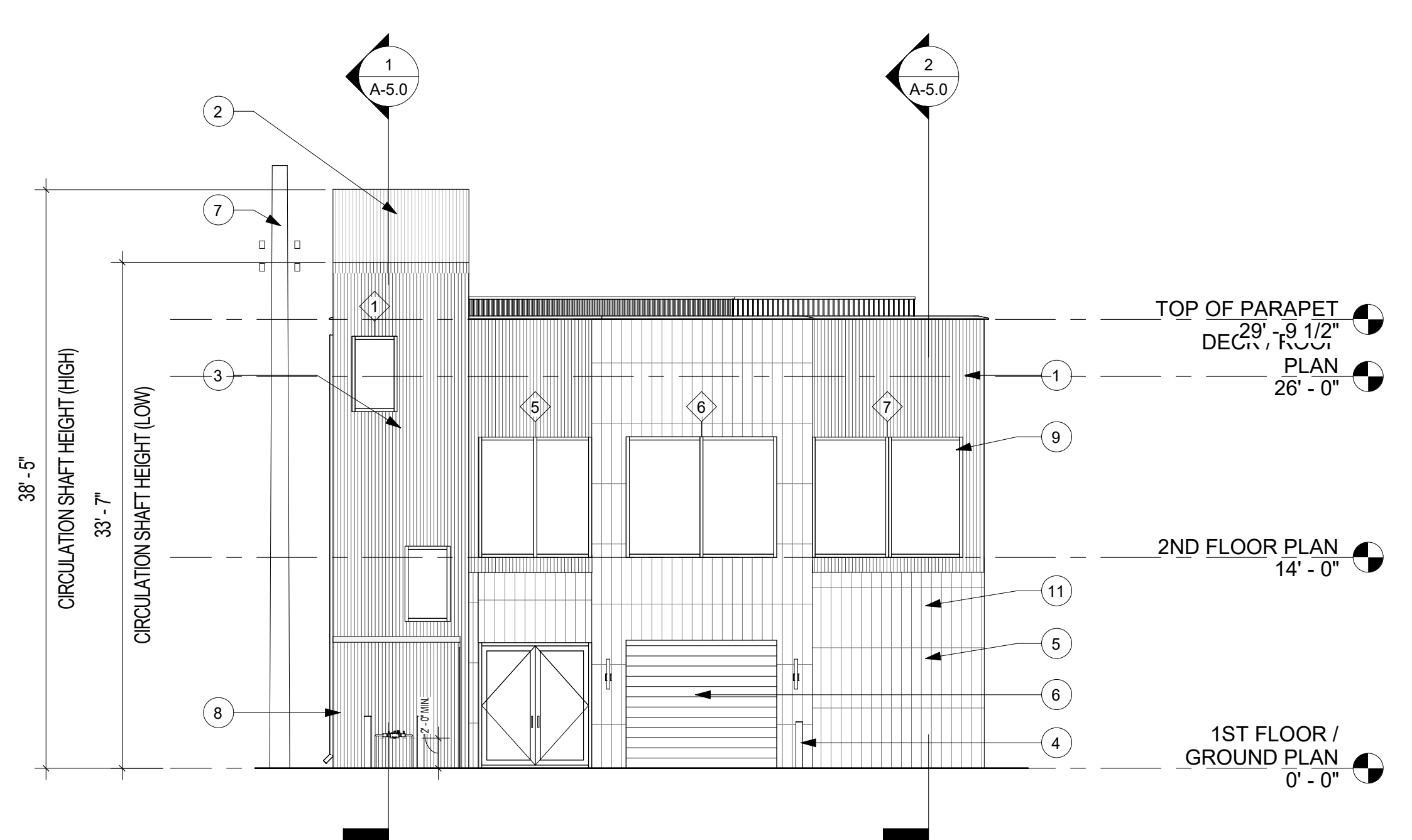
DECK / ROOF PLAN SCALE 1/8" = 1'-0"

LEGEND

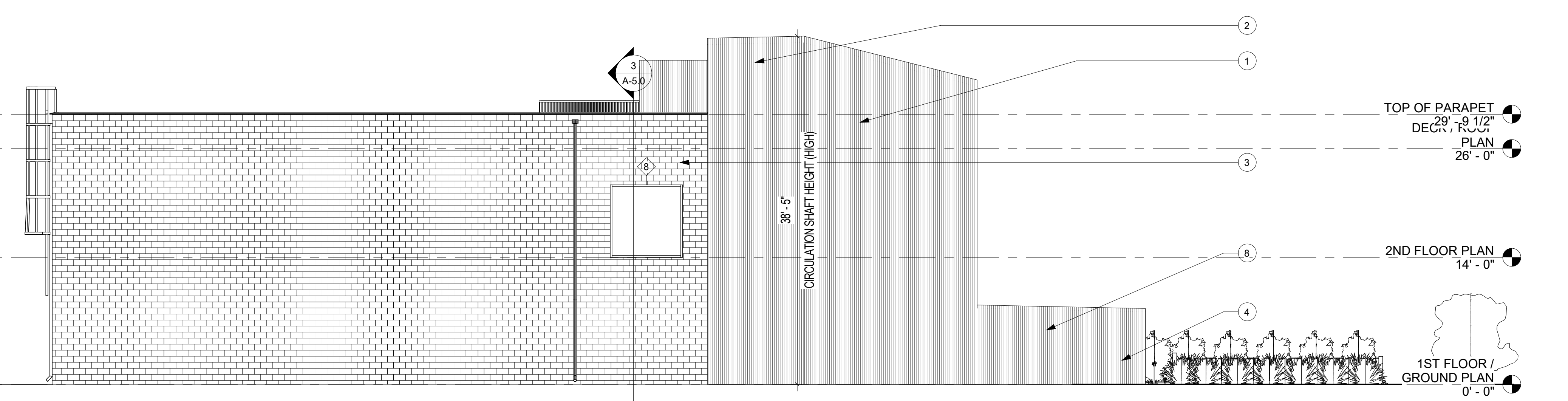




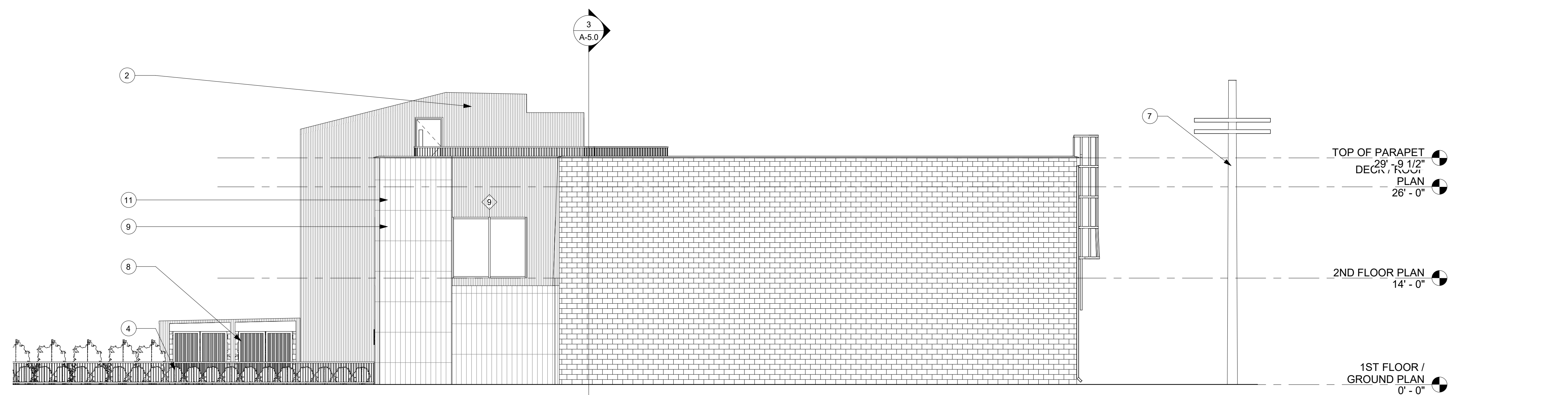
East SCALE 1/8" = 1'-0" 1



West SCALE 1/8" = 1'-0" 4



North SCALE 1/8" = 1'-0" 2



South SCALE 1/8" = 1'-0" 3

#	DESCRIPTION
1	BERRIDGE BS-6 PANEL - BRISTOL BLUE
2	ELEVATOR STRUCTURE
3	EXPOSED BRICK FACADE
4	36" RAIL
5	LIGHTING - SEE SPEC ON T.4.0
6	ROLL UP DOOR
7	(E) POWER POLE
8	TRASH ENCLOSURE - EXTERIOR FINISH IN BERRIDGE BS-6 PANEL
9	2x FUROUT
10	42" RAIL
11	HARDIE PANEL EXTERIOR FINISH - TIMBER BARK

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
beny@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
91201

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KEYNOTES

APPROVALS:

EGRESS NOTES

No.	Description	Date

SHEET TITLE:

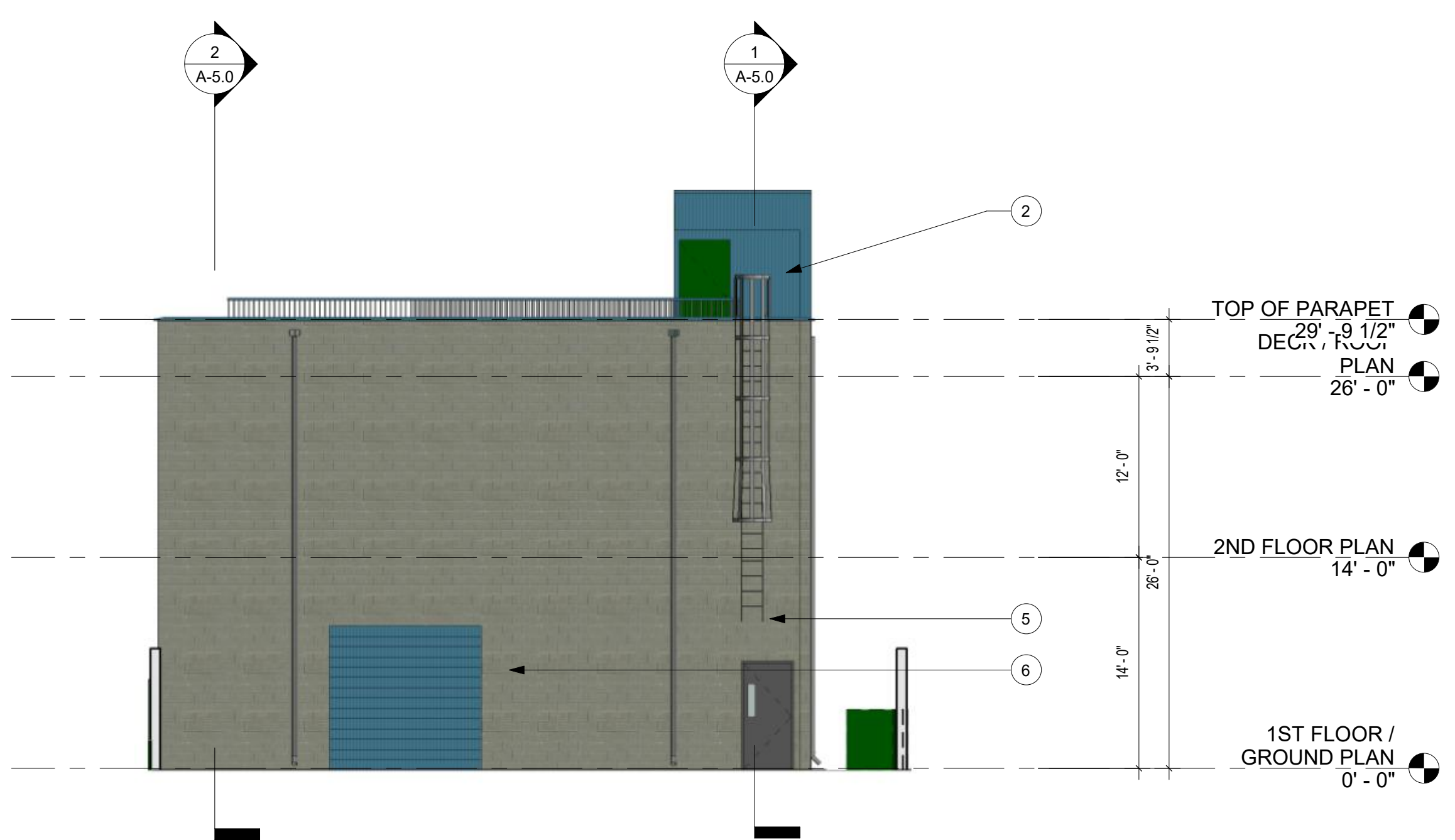
ELEVATIONS

JOB NO. [DGN-2005] SCALE AS NOTED

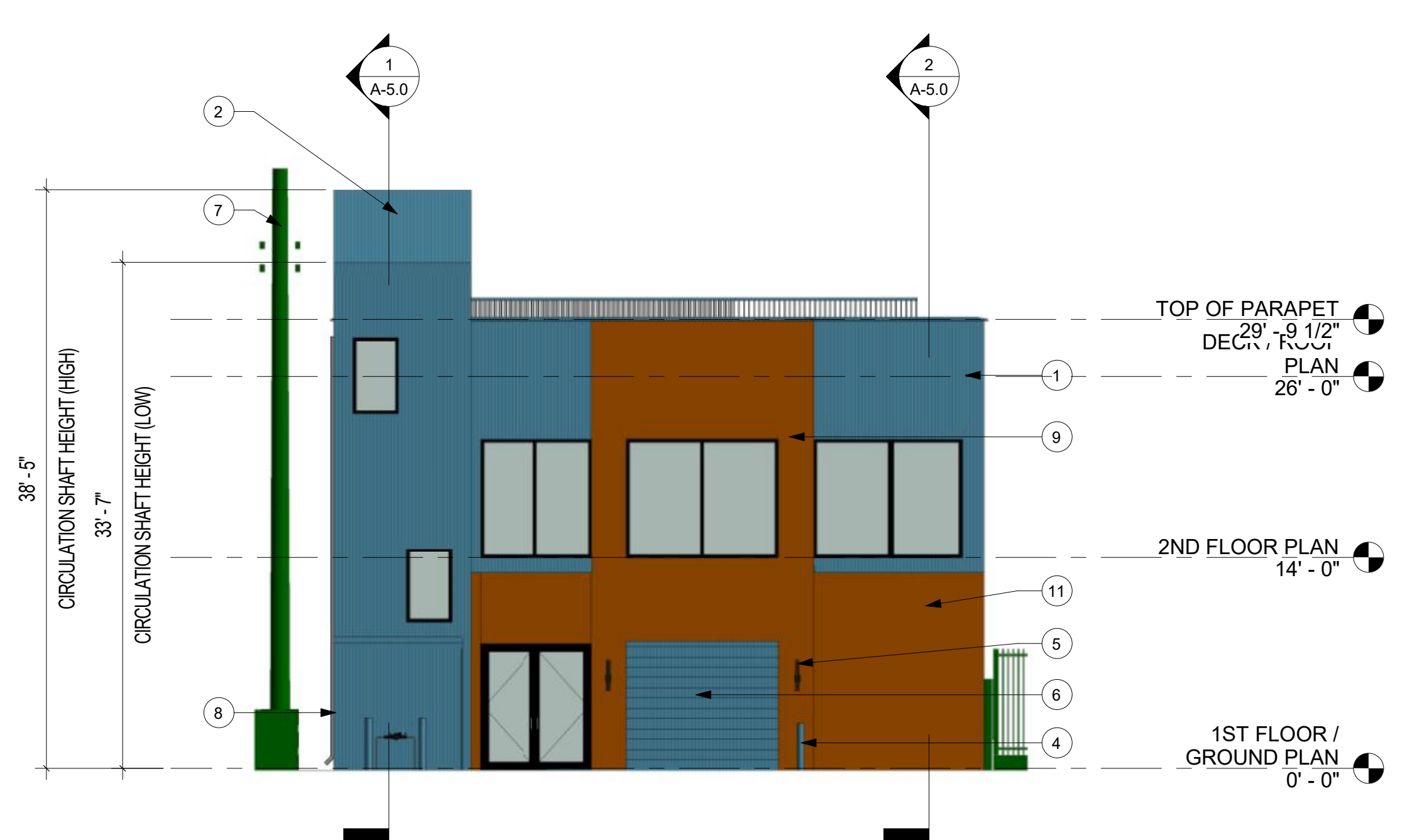
SHEET NO.

A-3.0

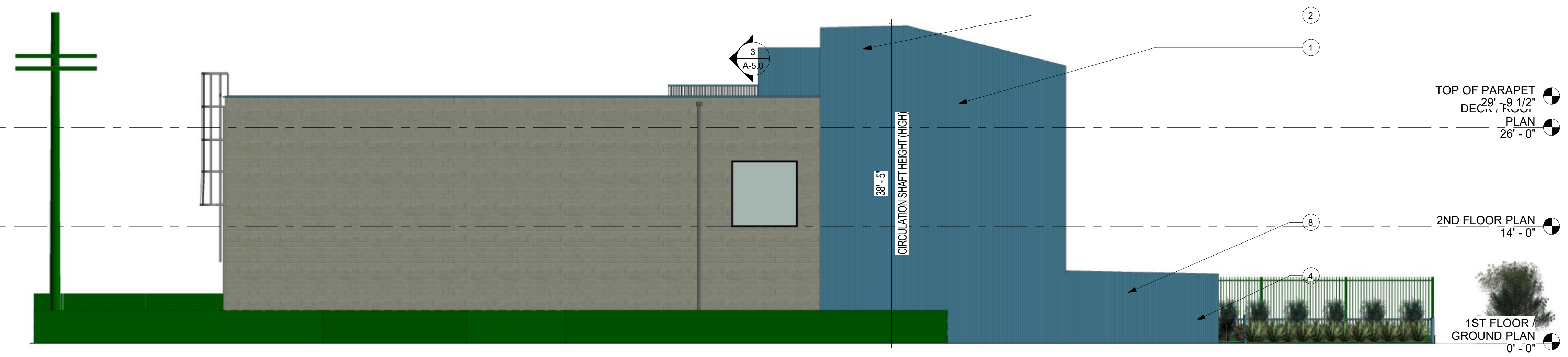
ELEVATION NOTES



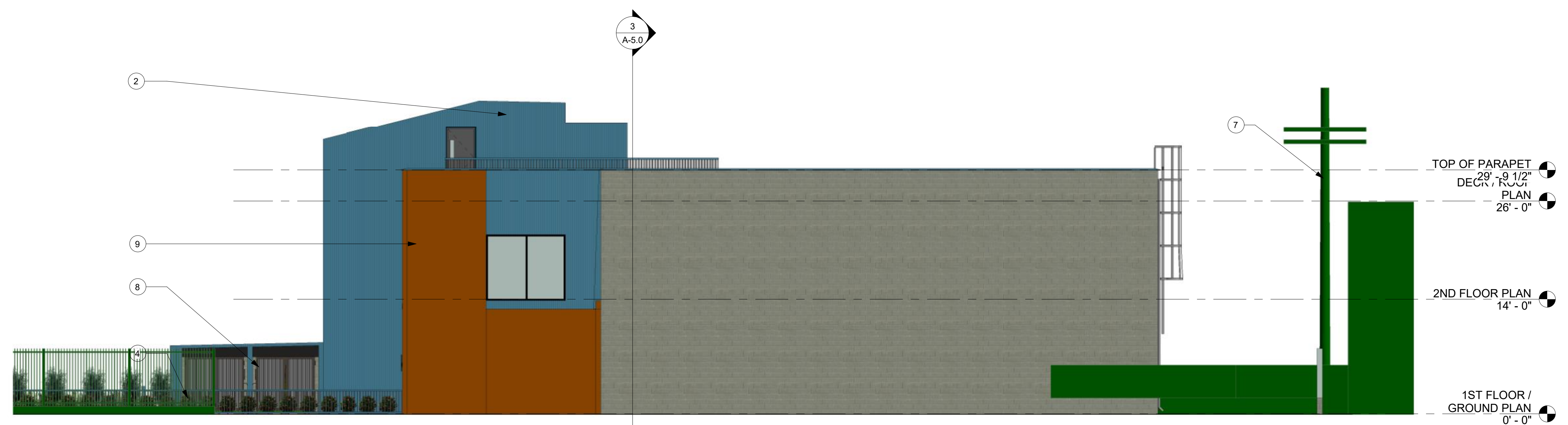
East - Colored SCALE
1/8" = 1'-0" 1



West - Colored SCALE
1/8" = 1'-0" 2



North - Colored SCALE
1/8" = 1'-0" 3



South - Colored SCALE
1/8" = 1'-0" 4

#	DESCRIPTION
1	BERRIDGE BS-6 PANEL - BRISTOL BLUE
2	ELEVATOR STRUCTURE
3	EXPOSED BRICK FACADE
4	36" RAIL
5	LIGHTING - SEE SPEC ON T-4.0
6	ROLL UP DOOR
7	(E) POWER POLE
8	TRASH ENCLOSURE - EXTERIOR FINISH IN BERRIDGE BS-6 PANEL
9	2x FUROUT
10	42" RAIL
11	HARDIE PANEL EXTERIOR FINISH - TIMBER BARK

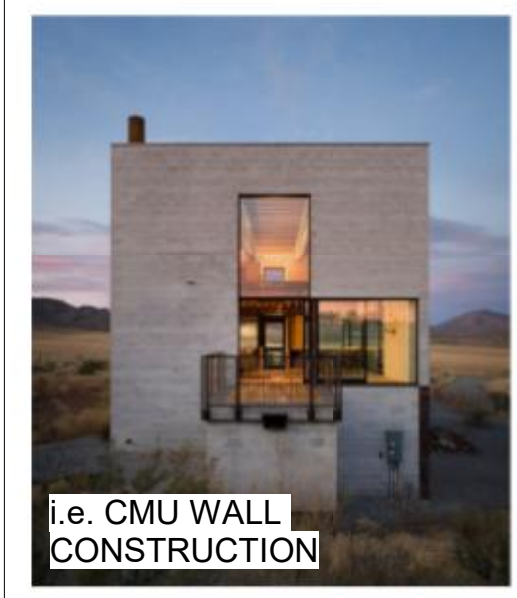
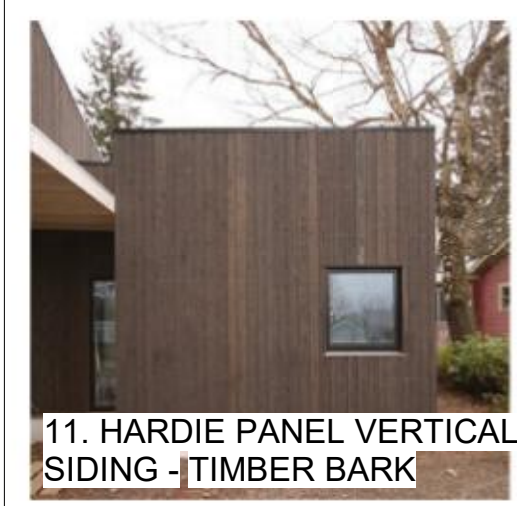
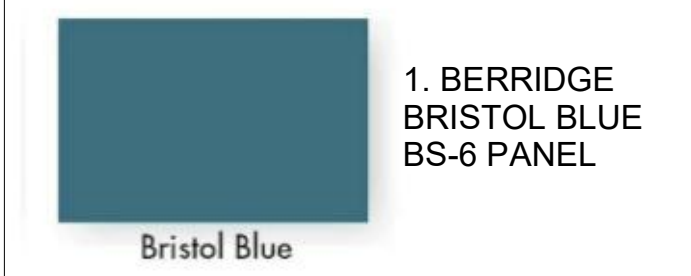
[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
beny@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
91201

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KEYNOTES



APPROVALS:

No.	Description	Date

SHEET TITLE:

COLORED ELEVATIONS

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

A-4.0

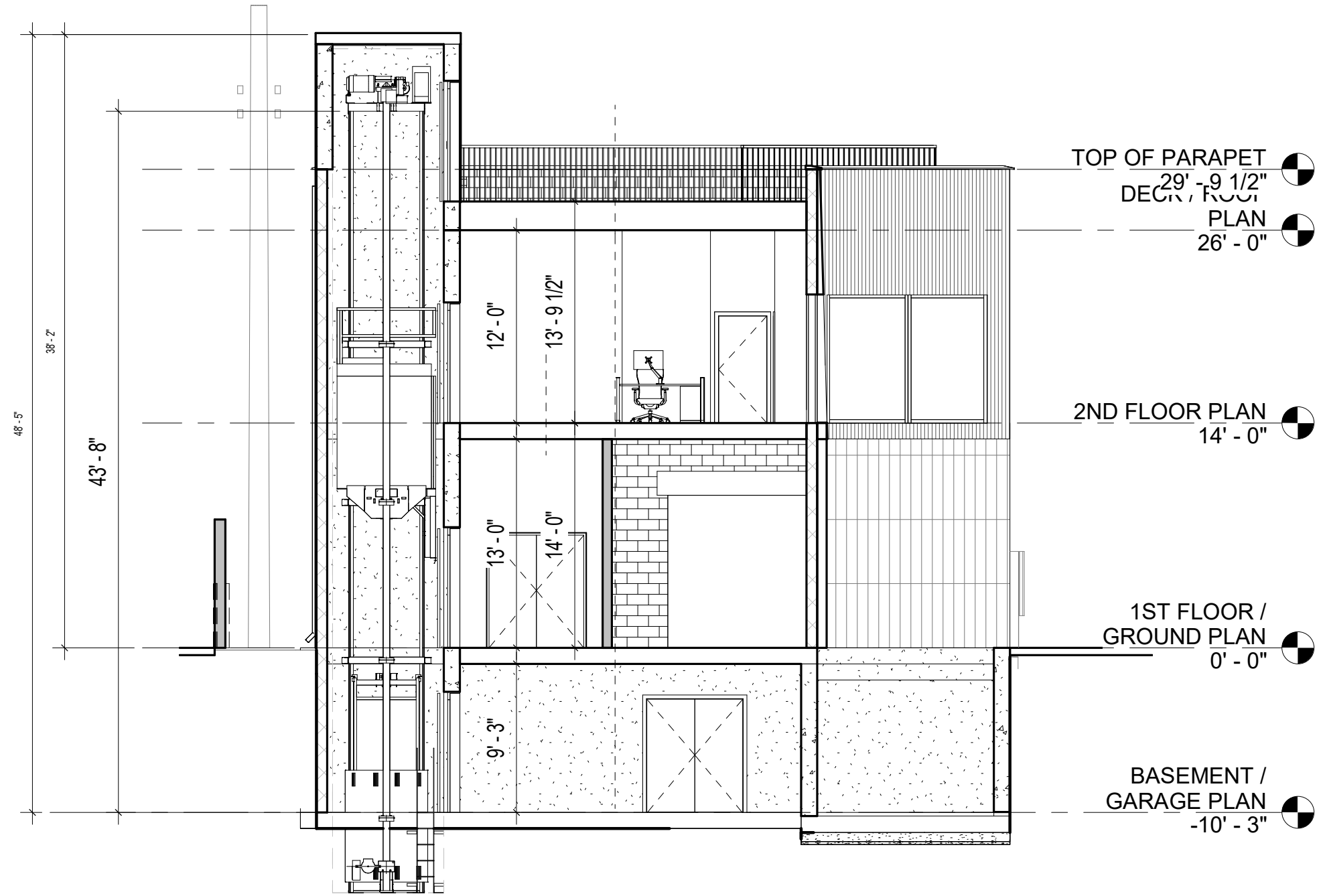
MATERIAL REF.

[design group name]

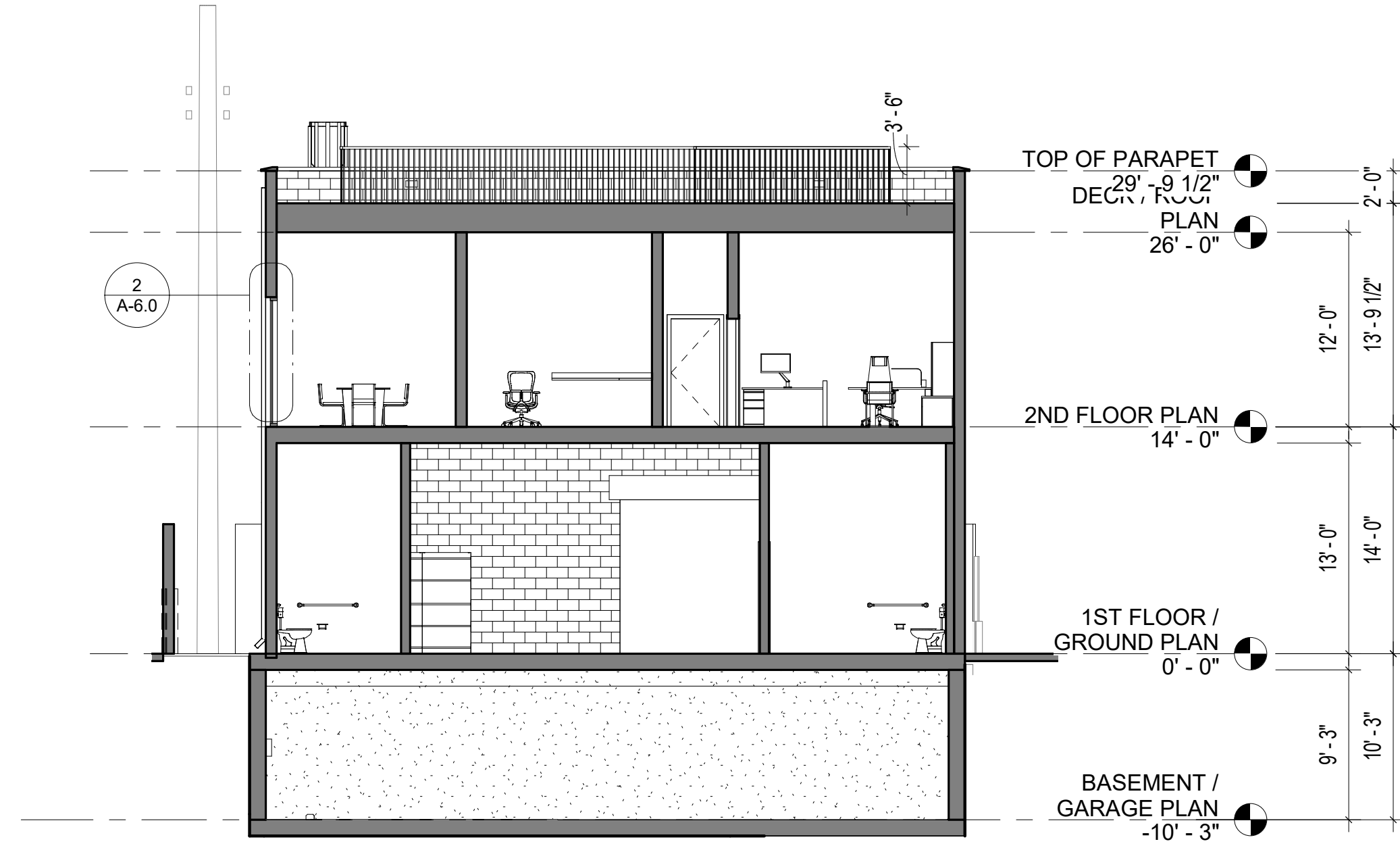
1610 W. 7TH ST. LOS ANGELES, CA. 90017
 benny@designgroupname.com
 marino@designgroupname.com

REYES ELECTRIC
 628 THOMPSON AVE, GLENDALE, CA
 91201

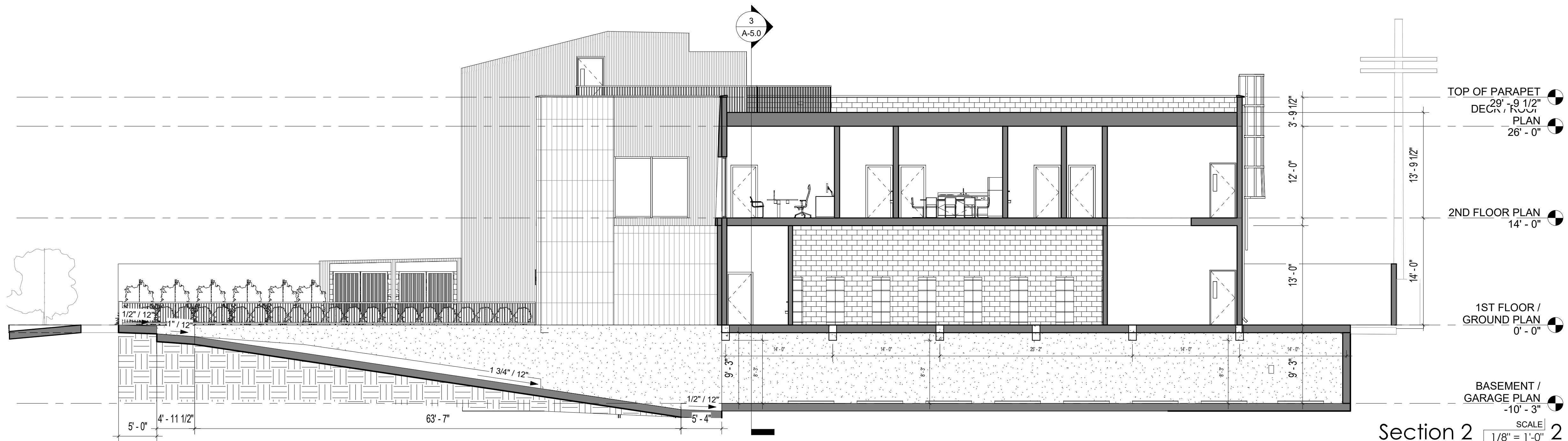
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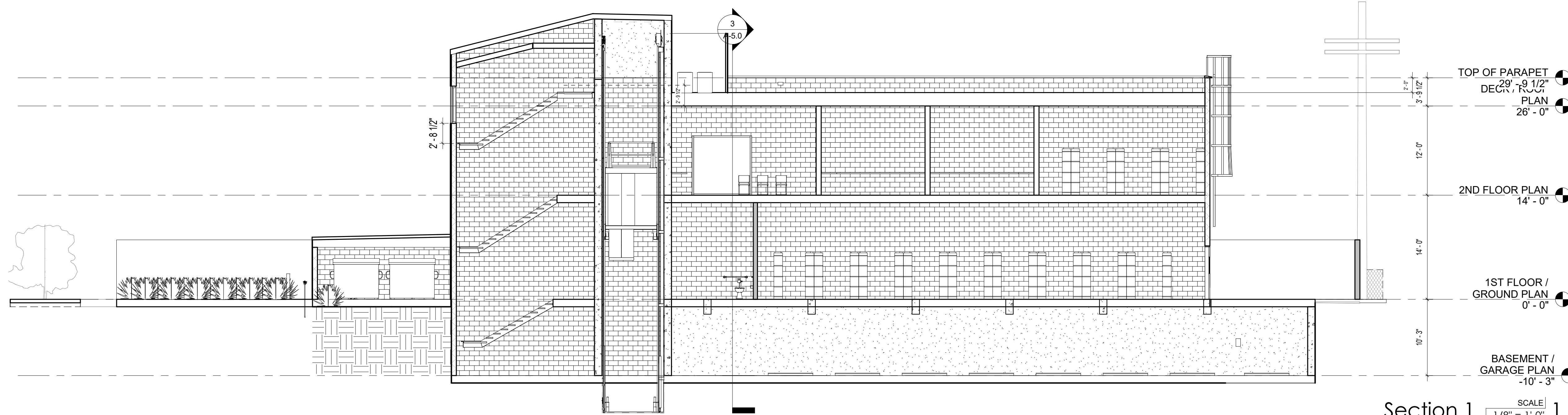
Section 4 SCALE 1/8" = 1'-0" 4



Section 3 SCALE 1/8" = 1'-0" 3



Section 2 SCALE 1/8" = 1'-0" 2



Section 1 SCALE 1/8" = 1'-0" 1

KEYNOTES

APPROVALS:

No.	Description	Date

SHEET TITLE:

SECTIONS

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

A-5.0

LEGEND

GLAZING SCHEDULE														
MARK	QUANTITY	WIDTH	HEIGHT	TYPE	VISIBLE FROM STREET?	MATERIAL	OPERATION	SPEC	FRAME TYPE	EDGE DETAIL	ENERGY EFFICIENT	TEMPERED GLASS	FIRE HAZARD ZONE	WITHIN 18" OF FLOOR OR 40" OF DOOR
1	1	3'-0"	5'-0"	A	YES	COMPOSITE	FIXED	ANDERSON 100S	NAIL IN	EXTERIOR L TRIM	YES	YES	NO	YES
5	1	9'-6"	8'-0"	B	YES	ALUMINUM	FIXED	ARCADIA TC-470	NAIL IN	NO TRIM	YES	YES	NO	YES
6	1	10'-0"	8'-0"	B	YES	ALUMINUM	FIXED	ARCADIA TC-470	NAIL IN	NO TRIM	YES	YES	NO	YES
7	1	10'-0"	8'-0"	B	YES	ALUMINUM	FIXED	ARCADIA TC-470	NAIL IN	NO TRIM	YES	YES	NO	YES
8	1	8'-0"	8'-0"	C	YES	ALUMINUM	FIXED	ARCADIA TC-470	NAIL IN	NO TRIM	YES	YES	NO	YES
9	1	9'-10"	8'-0"	C	YES	ALUMINUM	FIXED	ARCADIA TC-470	NAIL IN	NO TRIM	YES	YES	NO	YES

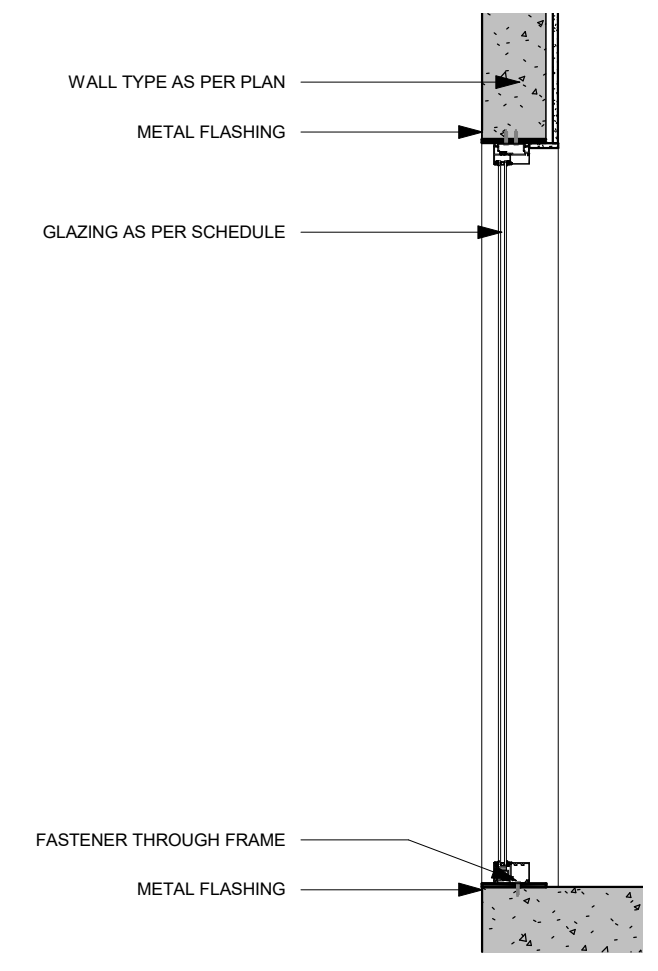
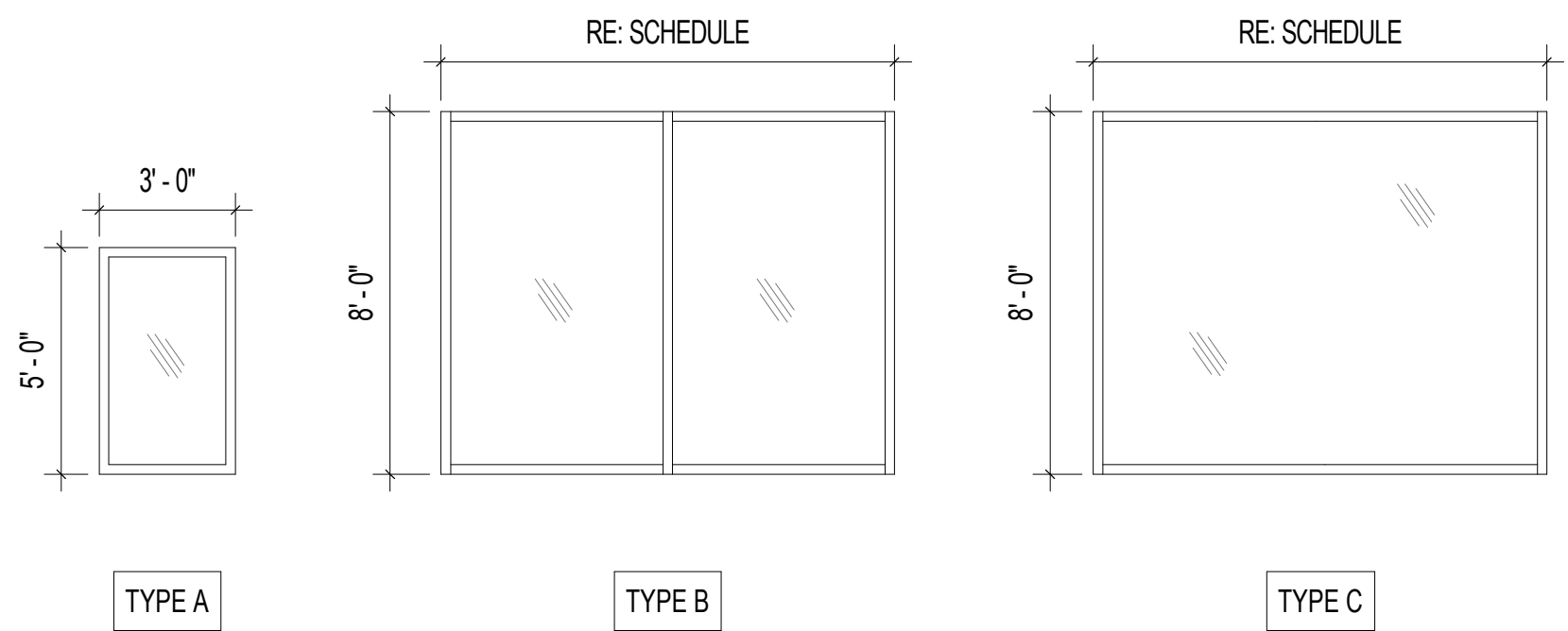
DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	TYPE	LEVEL	REMARKS	
BASEMENT / GARAGE PLAN						
1	3' - 1 3/4"	7' - 0"	B	BASEMENT / GARAGE PLAN		
2	5' - 10 3/4"	6' - 10"	C	BASEMENT / GARAGE PLAN		
3	3' - 1 3/4"	7' - 0"	B	BASEMENT / GARAGE PLAN		
4	5' - 0"	7' - 6 1/4"	E	BASEMENT / GARAGE PLAN		
1ST FLOOR / GROUND PLAN						
6	3' - 6 1/2"	7' - 11"	F	1ST FLOOR / GROUND PLAN		
7	3' - 6 1/2"	7' - 11"	F	1ST FLOOR / GROUND PLAN		
8	10' - 0"	9' - 6"	H	1ST FLOOR / GROUND PLAN		
9	3' - 1 3/4"	7' - 0"	B	1ST FLOOR / GROUND PLAN		
10	5' - 0"	7' - 6 1/4"	E	1ST FLOOR / GROUND PLAN		
11	5' - 10 3/4"	6' - 10"	C	1ST FLOOR / GROUND PLAN		
12	3' - 0"	6' - 8"	A	1ST FLOOR / GROUND PLAN		
13	3' - 0"	6' - 8"	A	1ST FLOOR / GROUND PLAN		
14	3' - 1 3/4"	7' - 0"	B	1ST FLOOR / GROUND PLAN		
15	10' - 0"	9' - 6"	H	1ST FLOOR / GROUND PLAN		
16	3' - 1 3/4"	7' - 0"	B	1ST FLOOR / GROUND PLAN		
2ND FLOOR PLAN						
17	5' - 0"	7' - 6 1/4"	E	2ND FLOOR PLAN		
18	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
19	3' - 1 3/4"	7' - 0"	B	2ND FLOOR PLAN		
20	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
21	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
22	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
23	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
24	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
25	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
26	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
27	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
28	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
29	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
30	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
31	3' - 0"	6' - 8"	A	2ND FLOOR PLAN		
32	3' - 1 3/4"	7' - 0"	B	2ND FLOOR PLAN		
DECK / ROOF PLAN						
34	3' - 1 3/4"	7' - 0"	B	DECK / ROOF PLAN		
35	5' - 0"	7' - 6 1/4"	E	DECK / ROOF PLAN		
37	3' - 0"	7' - 0"	FENCE	DECK / ROOF PLAN		

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017
benry@designgroupname.com
marino@designgroupname.com

REYES ELECTRIC
628 THOMPSON AVE, GLENDALE, CA
91201

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2 GLAZING WALL SECTION
1/2" = 1'-0"

ALL WINDOW DIMENSIONS ARE NOMINAL
FIELD VERIFY DIMENSIONS PRIOR TO ORDERING
VERIFY SIZES WITH MANUFACTURER PRIOR TO CONSTRUCTION

Window Types

TYPE: A - ANDERSON 100S PICTURE WINDOW
TYPE: B - ARCADIA TC-470 W/ ONE MULLION
TYPE: C -ARCADIA TC-470 NO MULLION

Window Notes

1. EXTERIOR GLAZED OPENINGS IN WINDOWS AND DOORS, INCLUDING GARAGE DOORS, SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED (SAFETY GLAZED) PANE

Door Types

TYPE: A - HOLLOW CORE WOOD DOOR
TYPE: B - 90' RATED STEEL FIRE DOOR
TYPE: C - 90' RATED STEEL FRENCH DOOR
TYPE: D - POCKET DOOR
TYPE: E - ELEVATOR DOOR
TYPE: F - GLASS ENTRY DOOR
TYPE: G - SLIDING DOOR
TYPE: H - ROLL UP DOOR

NOTE: ALL GLASS ON DOORS TO BE (TG) TEMPERED GLASS.

REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION

Door Notes

- DOOR HEIGHT DIMENSIONS ARE FROM THE FLOOR LINE TO THE FRAME OPENING EXCLUSIVE OF THRESHOLDS AND CLEARANCE UNLESS NOTED OTHERWISE
- DOOR AND FRAME FINISHES SHALL BE AS INDICATED ON FINISH SCHEDULE.
- WOOD DOORS SHALL BE SOLID CORE WITH 3-PLY WOOD CROSS BANDING, FACED AND EDGE BAND PER DOOR SCHEDULE.
- PROVIDE FIRE RATED DOORS WHERE REQUIRED.
- FACTORY REFIT DOORS TO FRAME WHERE SPECIFIED.
- ALL GLASS ON DOORS TO BE (TG) TEMPERED GLASS

Abbreviations

AL - Aluminum	G - Glass	P-1 -Painted	TG - Tempered glass
AT1 - 2 X 4 Acoustic Tile/ T-Bar Grid	GLB - Glass Block	P-2 -Primer Ready For Finish	VCT -VCT- Armstrong Exceleon
C - Concrete	GB - Gypsum Board Taped	RB -Rubber Base	VT - Vinyl Topset
CPT- Carpet	MC - Modular Carpet	RT -Resilient Vinyl Comp. Tile	W - Wood
CB - Carpet Base	M - "Marlite" PVC Wainscot	SCW -Solid Core Door	WC -Wall Covering
CT - Ceramic Tile	MTL - Metal	SCV -Self Coved Vinyl Base	WDB -Wood Base
CV - Coved Sheet Vinyl Base	NWSF-New Wood Sub-Floor	SLT -Self-Leveling Topping	WGB -Water Resistant Gyp. Board
FF - Factory Finish	PL -Plastic	SV -Sheet Vinyl/Seamless	
FRP- Fiber Reinforced Plastic	PR -Pair of Doors	S -Stone	

No.	Description	Date
1	PLANNING CORRECTIONS #1	4/24/22
2	PLANNING CORRECTIONS #2	6/17/22

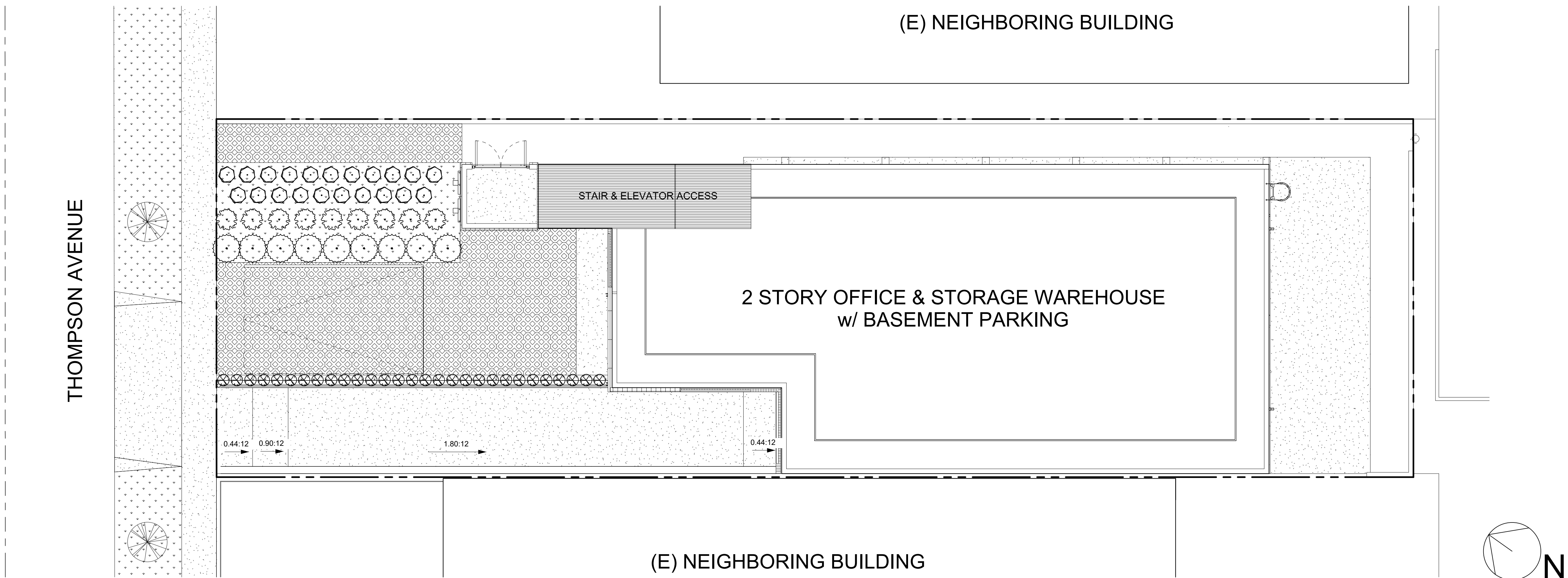
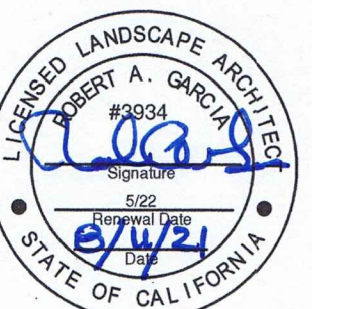
SHEET TITLE.

WINDOW & DOOR SCHEDULE

JOB NO. [DGN-2005] SCALE AS NOTED

SHEET NO.

A-6.0



LAURUS NOBILIS
SWEETBAY LAUREL



MUHLENBERGIA RIGENS
DEER GRASS



TRACHELOSPERMUM JASMINOIDES
JASMINE VINE



PHYLLOPODOPHYLLON
KURAPIA



PHORMIUM TENAX
NEW ZEALAND FLAX



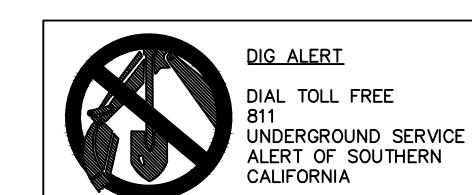
CALLISTEMON VIMINALIS 'LITTLE JOHN'
DWARF BOTTLEBRUSH

PLANTING PHOTOS

PLANTING LEGEND

	BOTANICAL NAME	COMMON NAME	WATER RISK WUCOLS REGION 1	QTY	SIZE
	PHORMIUM TENAX	NEW ZEALAND FLAX	L	21	1 gal
	LAURUS NOBILIS	SWEETBAY LAUREL	L	9	5 gal
	MUHLENBERGIA RIGENS	DEER GRASS	L	9	5 gal
	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	L	29	1 gal
	TRACHELOSPERMUM JASMINOIDES	JASMINE VINE	L	2	1 gal
	PHYLLOPODOPHYLLON IN TURFSTONE	KURAPIA	L	1050 SF	SOD

All Planting areas to include a min. of 3in of mulch shall be applied to all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers or direct seeding applications where mulch is contraindicated.



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(E) NEIGHBORING BUILDING

CONCEPTUAL
IRRIGATION PLAN



G.O.
DESIGNS

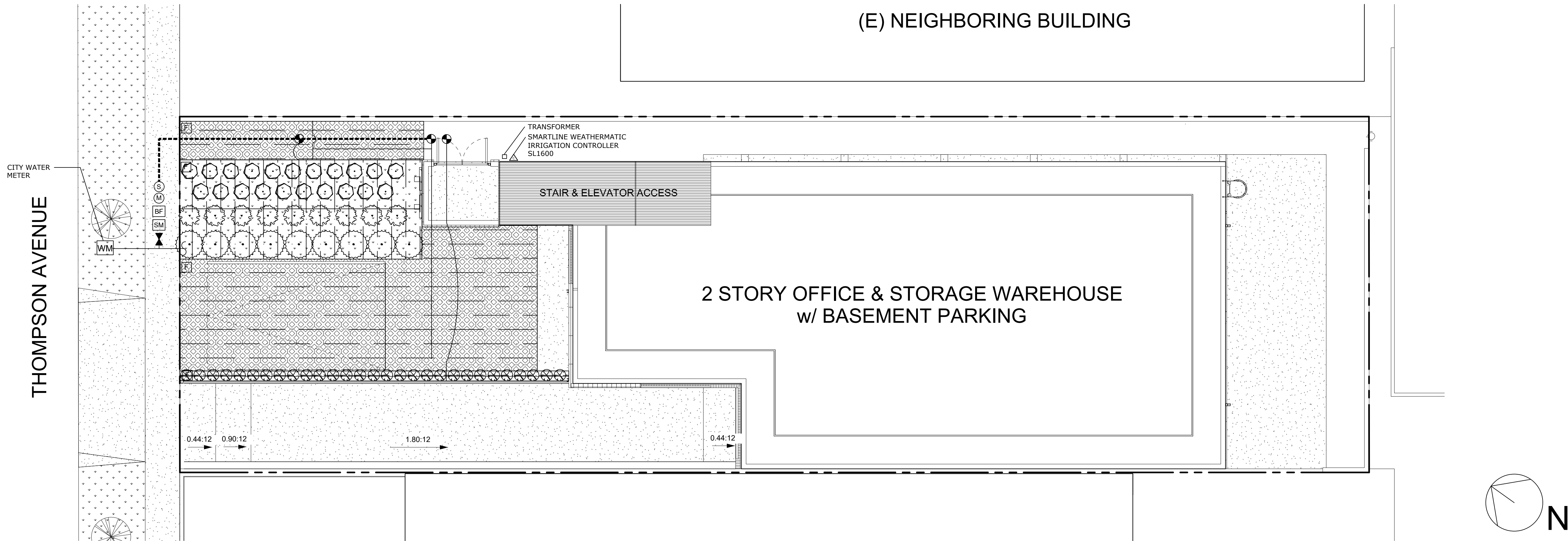
STEVE@GODS60@GMAIL.COM

Project:
REYES ELECTRIC
628 Thompson Avenue
Glendale, CA 90210

LI-1

Scale: 1/8" = 1'-0"
Date: 08/08/24

REV: -



IRRIGATION DETAIL NOTES

- DRIP**
- ALL PLANTED AREAS ARE DRIPPED WITH NETAFIM TLCV6-12 GRID. THE EMITTER SPACING IS 18" AND THE ROW SPACING FOR ALL ZONES IS 12".
 - ALL DRIP GRIDS HAVE BEEN POSITIONED TO BE SITUATED ON THE CONTOUR OF THE SLOPE. WHEN INSTALLING RIDS, ENSURE LINES OF THE GRID ARE PARALLEL TO THE SLOPE.
 - ENSURE THAT ALL PLANTS HAVE ONE EMITTER POSITIONED ON THE ROOTBALL. IF AN EMITTER DOES NOT FALL DIRECTLY ON TOP OF A ROOTBALL, USE THE NETAFIM MICRO TUBING ADAPTOR PLUGGED INTO A NEARBY NETAFIM INLINE EMITTER, AND RUN 1/4" DRIP TUBE ONTO ROOTBALL AND STAKE DOWN.
 - THE DRIP ZONES HAVE DASHED LINES DRAWN IN MARKING THE POSITIONS OF ALL THE DRIP TUBING.
 - ALL ZONES HAVE EITHER 1/2" PVC, 3/4" PVC OR 1/2" BLANK POLYETHYLENE TUBING RUNNING DIRECTLY FROM THE VALVE WHERE THE ZONE BEGINS. THESE INDIVIDUAL SIZES ARE CLEARLY MARKED ON THIS PLAN. BE SURE TO INSTALL THE CORRECT SIZE PIPE OR TUBING, AS THEY ARE DESIGNED TO HANDLE THE MAXIMUM FLOW OF EACH ZONE.
 - ON THE EDGES OF THE DRIP ZONES, START THE EMITTER LINE ROWS NO MORE THAN 4" FROM THE HARDSCAPING EDGE.
 - THE SUPPLY AND EXHAUST HEADERS FOR EACH SUB-GRID CONSIST OF 1/2" BLANK POLYETHYLENE TUBING.
 - DRIP GRIDS AND SUB-GRIDS HAVE A FLUSH POINT AT THE HYDRAULIC OPPOSITE END OF THE SUPPLY HEADER. INSTALL PER INSTALLATION DETAIL.
 - TEMPORARILY PLUG ANY EMITTER THAT WILL NOT BE NEEDED WITH NETAFIM PLUG. THIS PLUG CAN BE EASILY REMOVED LATER, WHEN THE ROOTS HAVE REACHED THAT AREA.

GENERAL IRRIGATION NOTES

- A DIAGRAM OF THE HYDROZONE PLAN SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- IRRIGATION WATER SUPPLY IS CITY SUPPLIED POTABLE WATER FROM THE EXISTING WATER METER LOCATED AT THE PARKWAY.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, SCHEDULE OF LANDSCAPE MAINTENANCE AND SCHEDULE OF IRRIGATION MAINTENANCE.

- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- MANUAL SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.

IRRIGATION MAINTENANCE SCHEDULE

DURING FIRST SIX WEEKS AFTER INSTALLATION:

- CHECK CONTROLLER AND LANDSCAPE EVERY TWO WEEKS TO ENSURE THAT THE AUTOMATIC PROGRAM IS FUNCTIONING WELL, AND THE PLANTS ARE THRIVING.

- CHECK WATERING HISTORY ON CONTROLLER
- CHECK THAT ALL DATA IN CONTROLLER ARE CURRENT AND CORRECT.
- TURN ON ALL ZONES AND WALK THROUGH TO ENSURE PROPER FUNCTION OF ALL COMPONENTS.

EVERY SIX MONTHS:

- FLUSH ALL DRIP ZONES TO REMOVE ANY DEBRIS FROM THE SYSTEM.
- FLUSH ALL DRIP FILTERS AT THE VALVES EVERY SIX MONTHS.
- TURN ON EACH ZONE, AND THROUGH TO ENSURE THAT ALL IS FUNCTIONING WELL. MAKE ANY REPAIRS OR ADJUSTMENTS NEEDED.

ANNUALLY:

- PERFORM AN ANNUAL FULL-SYSTEM IRRIGATION CHECK. MAKE ANY NEEDED REPAIR OR ADJUSTMENTS.

VALVES

- VALVES ARE 3/4" RAIN BIRD CONTROL ZONE KITS WITH PRE-INSTALLED FILTERS AND 30 PSI PRESSURE REGULATORS. THEY ARE TO BE INSTALLED PER INSTALLATION DETAIL.

- VALVE MAINFOLDS HAVE AN ISOLATION VALVE DIRECTLY UPSTREAM.

PIPES

- THE MAINLINE PIPE IS 1" SCHEDULE 40 PVC ALL THE WAY FROM THE WATER METER, THROUGH THE POINT OF CONNECTION AND ONWARD TO EACH VALVE MAINFOLD. CONNECT TO THE CITY WATER SUPPLY WHERE SHOWN ON PLAN.

CONTROLLER, WEATHER SENSOR AND IRRIGATION SUB-METER

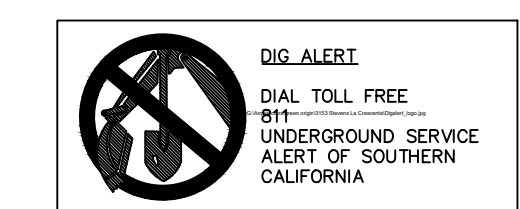
- THE IRRIGATION CONTROLLER IS A 16-STATION WEATHERMATIC SL1600 SMART CONTROLLER.

- WEATHERMATIC WEATHER SENSOR SLW10 INSTALLED ABOVE CONTROLLER, ON ROOF EAVE, WITH NO OBSTRUCTION FROM ABOVE. ENSURE THE WEATHER SENSOR IS IN A SUNNY SPOT, AND THAT NOTHING BLOCKS RAIN.

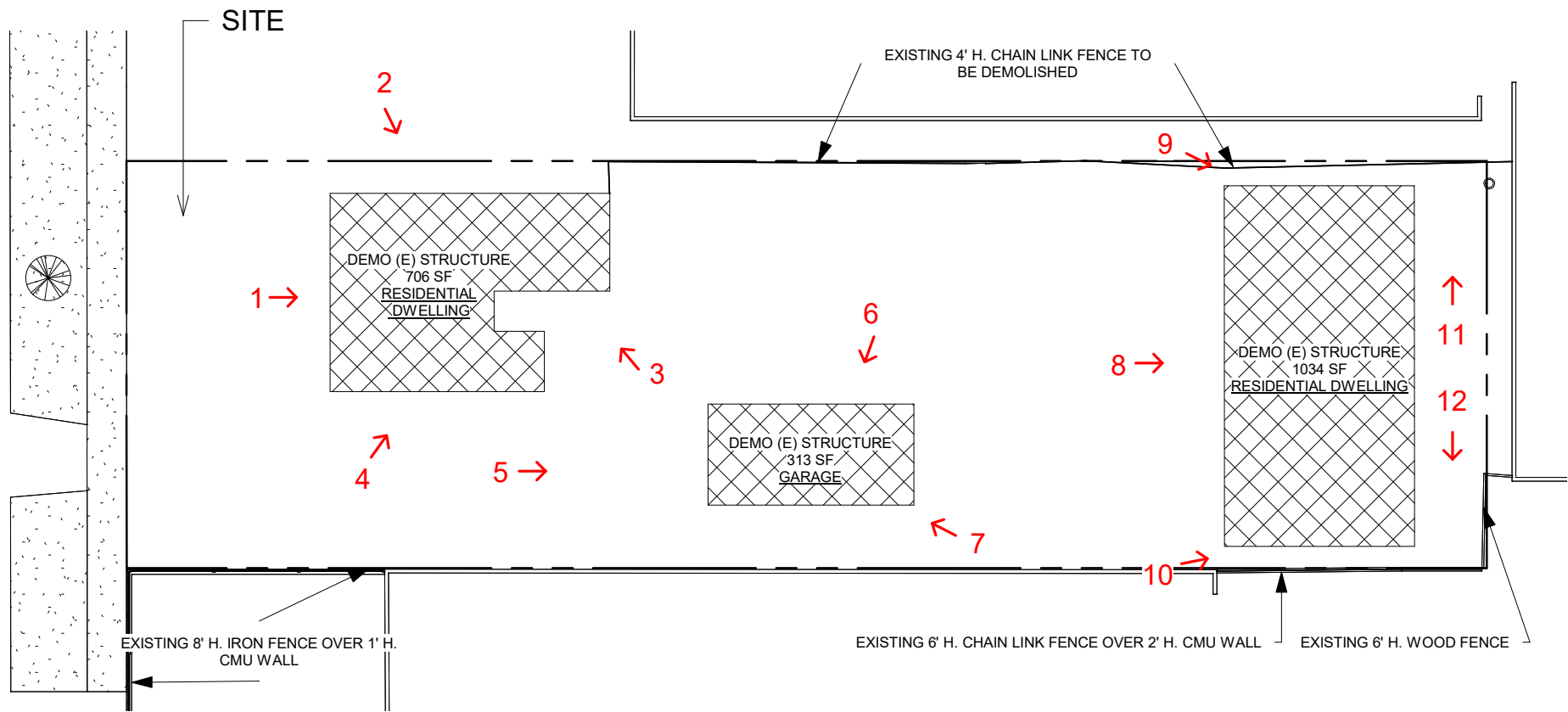
- THERE IS A MASTER VALVE DIRECTLY DOWNSTREAM OF THE IRRIGATION SUB-METER. BE SURE TO WIRE IT TO CONTROLLER.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION	PATTERN	RADIUS	GPM	PSI
F, H, Q, VAN						
	NETAFIM	DRIPLINE TURF @12"O.C.				
	NETAFIM	LATERAL LINE FEEDER CONNECTORS (NOT SHOWN ON PLAN)				
	NETAFIM	DRIP FLUSH VALVE AT END OF SYSTEM				
		DOMESTIC IRRIGATION WATER METER - EXISTING				
		1" LANDSCAPE DOMESTIC IRRIGATION SUB-WATER METER - NEW				
	WATTS	MODEL 813 (NORMALLY CLOSED)				
	CALSENSE	TEE MOUNTED SENSOR. PLACE IN RECTANGULAR VALVE CONNECT TO CONTROLLER.				
	RAINBIRD	MEDIUM FLOW CONTROL ZONE KIT WITH PR FILTER, FLOW CONTROL, SIZE PER PLAN, PLACE IN RECT. VALVE BOXES				
	RAINBIRD	PEB SERIES, PLACE IN RECTANGULAR VALVE BOXES				
		SEE CONTROLLER MODEL FOR MODEL TYPE.				
	RAINBIRD	ESP-LXME/F CONTROLLER, 8 STATION IN WALL MOUNTED CONTROL BOX.				
	NIBCO	T-113, PLACE IN 8" ROUND VALVE BOXES				
		SCHEDULE 40 - 1" OR SMALLER - CLASS 315 - 2" AND LARGER - MINIMUM 18" BURY				
		PVC SCHEDULE 40 - MINIMUM 12" BURY				
		PVC SCHEDULE 40 BROWNLINER ON-GRADE				
		PVC SCHEDULE 40				
		3 GALLONS PER MINUTE VALVE SIZE				



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SITE BUILDING PHOTOGRAPHS



1 FRONT OF RESIDENTIAL BUILDING #1



2 SIDE OF RESIDENTIAL BUILDING #1



3 REAR OF RESIDENTIAL BUILDING #1



4 SIDE OF RESIDENTIAL BUILDING #1



5 FRONT OF GARAGE



6 SIDE OF GARAGE



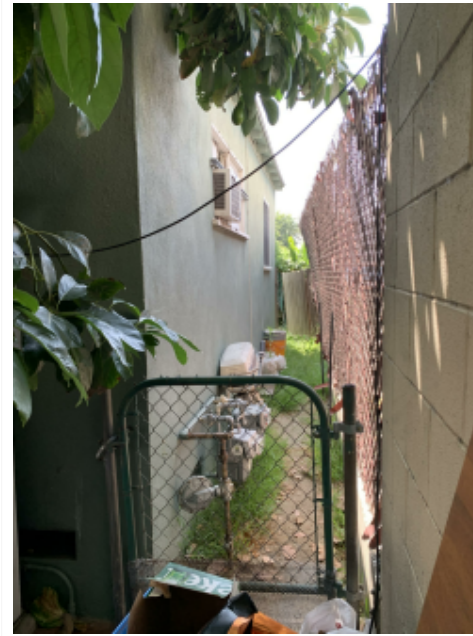
7 REAR CORNER OF GARAGE



8 FRONT OF RESIDENTIAL BUILDING #2



9 SIDE OF RESIDENTIAL BUILDING #2



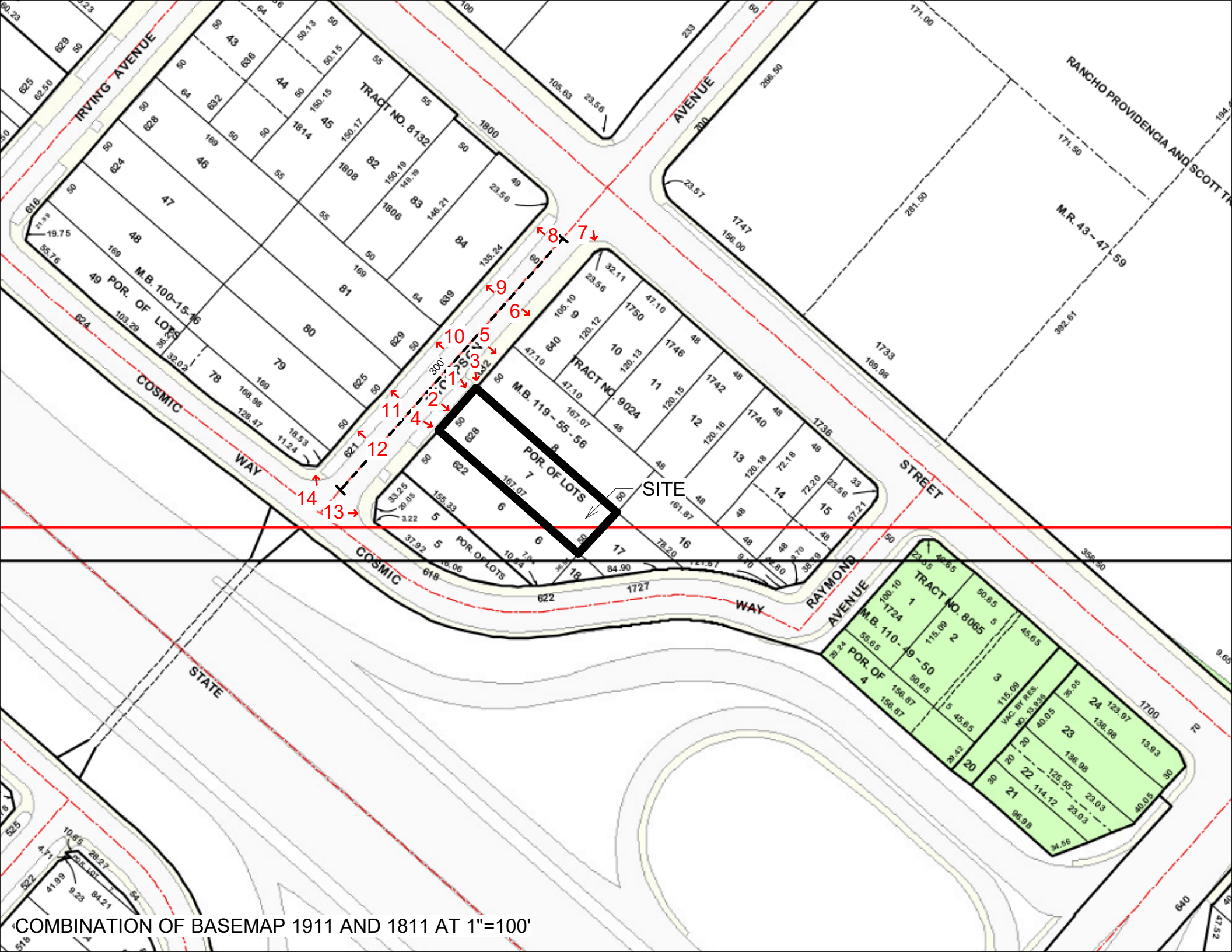
10 SIDE OF RESIDENTIAL BUILDING #2



11 REAR OF RESIDENTIAL BUILDING #2



12 REAR OF RESIDENTIAL BUILDING #2



COMBINATION OF BASEMAP 1911 AND 1811 AT 1"=100'



1 FRONT OF PROPERTY



2 FRONT OF PROPERTY



3 SIDE OF PROPERTY



4 SIDE OF PROPERTY



5 632 THOMPSON AVE



6 640 THOMPSON AVE



7 1756 FLOWER ST



8 1800 FLOWER ST



9 639 THOMPSON AVE



10 629 THOMPSON AVE



11 625 THOMPSON AVE



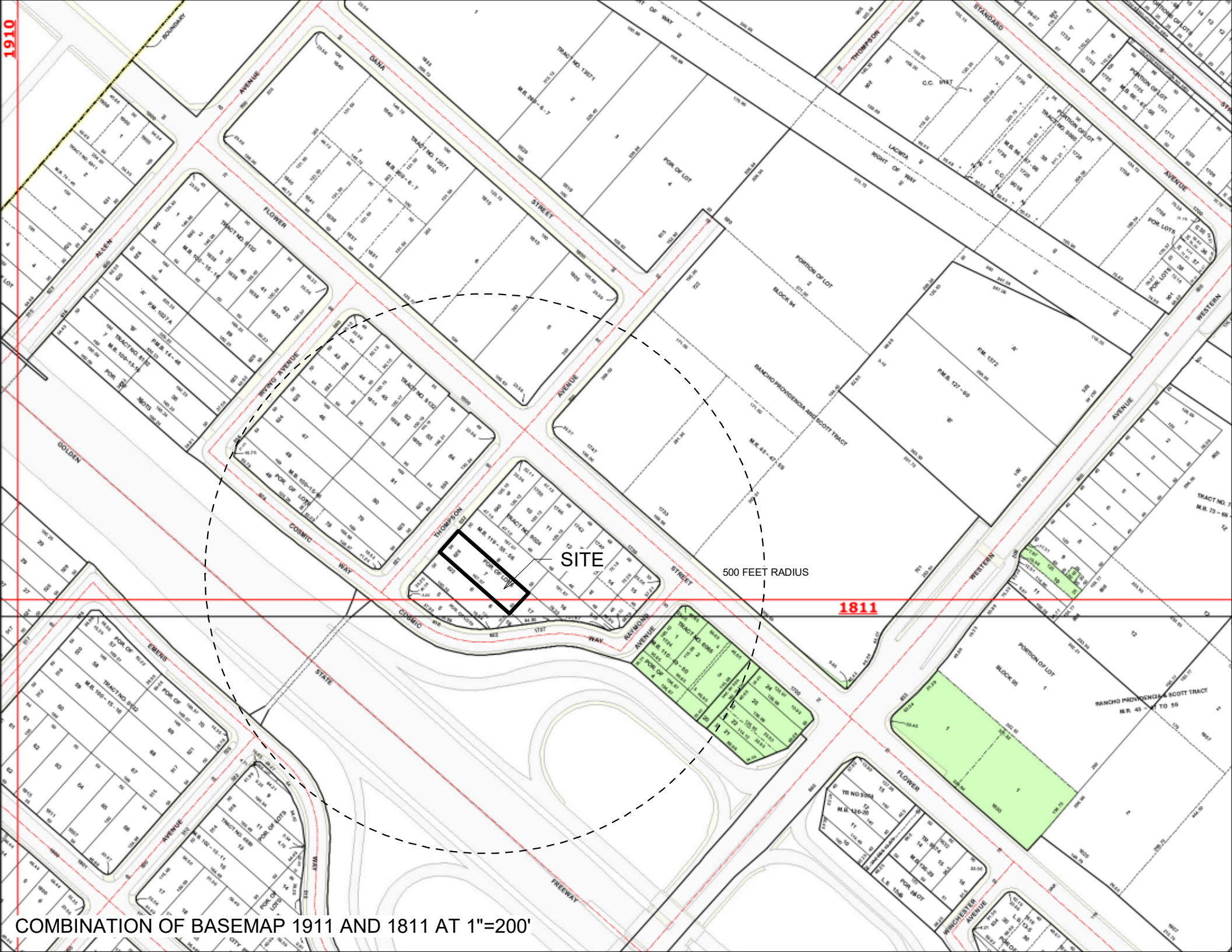
12 621 THOMPSON AVE



13 1761 COSMIC WAY



14 CORNER OF COSMIC WAY & THOMPSON AVE



1910

SITE

500 FEET RADIUS

1811

COMBINATION OF BASEMAP 1911 AND 1811 AT 1"=200'