633 E. Broadway, Suite 103 Glendale, CA 91206-4311 Tel. (818) 548-2140 Fax (818) 240-0392 glendaleca.gov

October 28, 2022

BENNY ARIAS 3111 FRAZIER STREET BALDWIN PARK, CA 91706

RE: 628 THOMPSON AVENUE
ADMINISTRATIVE DESIGN REVIEW CASE NO. PDR2119410

Dear Applicant:

The Director of Community Development will render a final decision on or after **November 7**, **2022** for the following project:

PROJECT DESCRIPTION: To construct a new two-story, 7,531 square-foot commercial building (warehouse) with a roof deck (735 square feet) and a single-level subterranean parking garage with eight (8) parking spaces on an 8,353 square-foot lot in the IND (Industrial) zone, currently developed with two residential dwellings (built in 1930 and 1953) and a detached garage, which are proposed to be demolished.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

Alley

For more information or to submit comments, please contact the case planner, Aileen Babakhani, at 818-937-8331 or ababakhani@glendaleca.gov.

Comments must be received prior to **November 7, 2022**, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: http://www.glendaleca.gov/planning/decisions

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 103, Glendale, CA 91206.

Sincerely,

Aileen Babakhani Planner



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT - COMMERCIAL / INDUSTRIAL / MIXED USE

November 7, 2022 628 THOMPSON AVENUE

Decision Date Address

Administrative Design Review (ADR) 5624-026-003

Review Type APN

PDR 2119410 BENNY ARIAS

Case Number Applicant

Aileen Babakhani, Planner JOSE R. REYES

Case Planner Owner

Project Summary

The applicant is proposing to construct a new two-story, 7,531 square-foot commercial building (warehouse) with a roof deck (735 square feet) and a single-level subterranean parking garage with eight (8) parking spaces on an 8,353 square-foot lot in the IND (Industrial) zone, currently developed with two residential dwellings (built in 1930 and 1953) and a detached garage, which are proposed to be demolished.

Environmental Review

The project is exempt from CEQA review as a Class 3 "New Construction and Conversion of Small Structures", exemption pursuant to Section 15303 (c) of the State CEQA Guidelines, because the proposed project is to construct a new commercial building, located in urbanized area and does not exceed 10,000 square feet in area; and is not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

Existing Property/Background

The project site is an interior lot with frontage on Thompson Avenue (south of Thompson Avenue), which is developed with two residential dwellings (built in 1930 and 1953) and a detached garage. All existing buildings on the site are proposed to be demolished. The existing buildings do not appear to meet any criteria for designation at the local, state, or national level and is therefore not considered a historic resource under CEQA. The site with the flat topography is similar to the surrounding properties developed with two- and three-story multi-family and commercial buildings. The two buildings on the property do not appear eligible for historic designation at the federal, state, or local level and the property is therefore not considered a historic resource under the California Environmental Quality Act (CEQA).

Approve with Conditions	
Last Date Reviewed / Dec First time submittal for final	
Zone: IND - Industrial	Height District: N/A
	does not convey final zoning approval, the project has been ith the applicable Codes and no inconsistencies have been
Active/Pending Permits a None.	nd Approvals
Site Slope and Grading Less than 50% current aver (cut and/or fill); no additional	rage slope and less than 1500 cubic yards of earth movement al review required.
DESIGN ANALYSIS	
Site Planning Are the following items satisarea?	sfactory and compatible with the project site and surrounding
Building Location ⊠ yes ☐ n/a ☐ n	0
If "no" select from below ☐ Located at or near ☐ Conforms to preva ☐ Maintains appropr	r front property line ailing setbacks on the street
Usable Open Space ⊠ yes ☐ n/a ☐ n	o
☐ Integrated with de	v and explain: oor pedestrian space sign and overall context onship with adjoining properties

Access and Parking ☐ yes ☐ n/a ☒ no

If "no" select from below and explain:

 $\hfill\square$ Parking location is appropriate to the site and its neighborhood context

 □ Appropriate pedestrian and vehicle access points □ Appropriate service and loading locations □ Landscape screening for street-facing parking □ Techniques employed to reduce stormwater runoff ⋈ Decorative or colored paving to delineate pedestrian areas
The new driveway access and loading space are appropriate to the site and its neighborhood context. A condition of approval is added for the project to delineate and separate the pedestrian access at the front of the building from the proposed adjacent loading space.
Landscape Design ⊠ yes ☐ n/a ☐ no
If "no" select from below and explain: ☐ Complementary to building design ☐ Appropriately sized and located
Walls, Fences, and Retaining Walls ⊠ yes ☐ n/a ☐ no
If "no" select from below and explain: ☐ Minimize use whenever possible ☐ Use decorative material to complement building and/or landscape design ☐ Provide landscaping to minimize visual impact
Screening ⊠ yes ☐ n/a ☐ no
If "no" select from below and explain: ☐ Mechanical equipment appropriately screened ☐ Trash bins appropriately located and screened

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The site planning is appropriate to the site and its neighboring properties, because it conforms to the prevailing setbacks along Thompson Avenue and provides appropriate and step backs.
- The existing vehicle access (driveway) from Thompson Avenue will be enlarged to
 provide access to the project's new subterranean parking garage and a new loading
 space (surface parking). The new driveway access is appropriate to the site and its
 neighborhood context.
- Adequate new landscaping is provided at the street front setback, which is complementary to the building design and includes drought tolerant landscaping.

- The project provides pedestrian access from the side of the new building (north) which is clearly delineated with decorative pavers; however, a condition of approval is added for the project to delineate and separate the pedestrian access at the front of the building from the proposed adjacent loading space.
- The project preserves the two existing street trees located on the public right-of-way. adjacent to the building street frontage.
- The proposed rooftop equipment is appropriately integrated into the design and adequately screened from public view.
- The trash bins and recycling containers are located at the front of the building, facing the street; however, they are appropriately screened and new landscaping minimizes the visual impact.

are

e the following items satisfactory and compatible with the project site and surrounding ea?
Building Relates to its Surrounding Context ☑ yes ☐ n/a ☐ no
 If "no" select from below and explain: □ Appropriate proportions and transitions □ Articulation, solid/void balance, and open space relate to predominant pattern
Building Relates to Existing Topography ⊠ yes □ n/a □ no
If "no" select from below and explain: ☐ Form and profile follow topography ☐ Alteration of existing land form minimized ☐ Retaining walls terrace with slope to minimize height
Consistent Architectural Concept ☑ yes ☐ n/a ☐ no
If "no" select from below and explain: ☐ Concept governs massing and height
Scale and Proportion ☑ yes ☐ n/a ☐ no
If "no" select from below and explain: ☐ Articulation avoids overbearing forms ☐ Appropriate solid/void relationships

☐ Entry and major features well located

Massing ⊠ yes □ n/a □ no
 If "no" select from below and explain: □ Larger masses broken into separate volumes □ Long, unbroken street walls avoided □ Visual impact of larger building minimized
Determination of Compatibility: Mass and Scale The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:
 The mass and scale of the proposed two-story commercial building are appropriate and relate to its surrounding context. The building design represents appropriate proportions, recessed building forms with multiple finishes and colors help to avoid overbearing forms. The project has an overall height of 38'-5", which is lower than the maximum height limit of 50 feet in IND zone. The building's primary entrance is well located and will be accessed from Thompson Avenue. A roll-up door for vehicle access for loading purposes is located adjacent to the primary entrance.
Design and Detailing Are the following items satisfactory and compatible with the project site and surrounding area?
Overall Design and Detailing ⊠ yes □ n/a □ no
<pre>If "no" select from below and explain:</pre>
 If "no" select from below and explain: □ Well integrated into design □ Location promotes pedestrian activity □ Design provides appropriate focal point
Storefronts and Windows ⊠ yes □ n/a □ no
If "no" select from below and explain: ☐ Maximize transparency at ground floor

 □ 12-15' floor-to-floor height at ground-floor is encouraged □ Coordinate design with overall style of building □ Use durable materials for windows, such as aluminum or steel □ Locate security gates/grilles inside commercial spaces, preferably set back from storefront
Awnings and Canopies ⊠ yes □ n/a □ no
 If "no" select from below and explain: ☐ Integrate awnings and canopies into overall building design ☐ Avoid long treatments spanning multiple openings ☐ Back-lit awnings are not allowed
Lighting ⊠ yes ☐ n/a ☐ no
 If "no" select from below and explain: ☐ Light fixtures are appropriate to the building design ☐ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme ☐ Utilize shielded fixtures to avoid light spillover onto adjacent properties
Finish Materials and Color ☐ yes ☐ n/a ⊠ no
If "no" select from below and explain: ☐ Textures and colors reinforce design ☐ High-quality, durable materials used, especially facing the street ☐ Materials appropriately enhance articulation and façade hierarchies ☐ Wrap corners and terminate cladding appropriately ☐ Cladding is well detailed, especially at junctions between materials ☐ Foam trim, finished on site, is prohibited
The proposed architectural style and details reinforce the proposed contemporary architectural style and are consistent with the surrounding neighborhood's varied architectural styles. However, conditions of approval are requiring that the project to clarify the color of the windows, compatible with the proposed architecture, colors, and details.
Paving Materials ⊠ yes
If "no" select from below and explain: ☐ Decorative material at entries/driveways ☐ Permeable paving when possible ☐ Material and color related to design

Roof Forms ☑ yes ☐ n/a	□ no
If "no" select from b	pelow and explain:
□ Configure roo	ofline to provide visual interest and deemphasize mass
☐ Roof forms a	re consistent with overall design
☐ Continue roo	fs and parapets around building or terminate in logical manner

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed architectural style, details, and combination of materials including vertical metal siding, vertical cement boards/panels, CMU walls, railing (for roof deck and driveway), fiberglass doors, and aluminum windows reinforce the proposed contemporary architectural style and are consistent with the surrounding neighborhood's varied architectural styles. A condition of approval is requiring that the project to clarify the color of the windows, compatible with the proposed architecture, colors, and details.
- The project is proposing a new 6-foot high CMU boundary wall on the sides and rear of the new building.
- The location of the recessed primary entryway is well integrated into the design.
- The windows are compatible with the proposed architectural style and overall design. The windows will be recessed aluminum windows with fixed operations.
- The location and details of the proposed light fixtures are appropriate to the building design.
- Decorative turf-stone permeable pavers are proposed for the walkway and surface loading space; however, the driveway leading to the subterranean parking garage will have concrete finish.
- The proposed flat roof, which features a 735 square-foot roof deck with roof parapet and railings, is appropriate to the context and reinforces the proposed architectural design concept.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions.** This determination is based on the implementation of the following recommended conditions:

Conditions

- 1. Revise plans to delineate and separate the pedestrian access at the front of the building from the proposed adjacent loading space.
- 2. Update plans to clarify the color of the windows, compatible with the proposed colors and details.

Attachments

- 1. Reduced Plans
- 2. Photographic Survey
- 3. Neighborhood Photo Survey
- 4. Location Map

REYES ELECTRIC

628 THOMPSON AVE, GLENDALE, CA 91201

CONTRACTOR TO VERIFY ALL DIMENSION WITH DESIGNER PRIOR TO COMMENCING WORK, DESIGNER WILL NOT BE LIABLE FOR ANY MISTAKES DONE ON SITE WITHOUT VERIFYING WITH DESIGNER. DRAWINGS SHOULD NOT BE SCALED AS THEY MAY DIFFER DUE TO REPROGRAPHICAL ERRORS.

THESE DRAWINGS ARE PREPARED UNDER CALIFORNIA BUSINESS & PROFESSIONS CODE 5537

JURISDICTION DEEMS THAT AN UNDUE RISK TO THE PUBLIC HEALTH, SAFETY, OR WELFARE IS INVOLVED.

APPROVE PLANS PURSUANT TO EXISTING LAW AND IS ONLY INTENDED TO CLARIFY THE INTENT OF CHAPTER 405 OF THE STATUTES

FOOTINGS ARE PLACED, TO CONFIRM THAT THE LOCATION OF FOOTINGS COMPLY WITH THE APPROVED SITE DRAWINGS. THIS SHALL BE DONE BY THE SITE CIVIL ENGINEER AT THE CONTRACTORS EXPENSE. ANY DISCREPANCIES FROM THE APPROVED BUILDING LOCATION WILL BE REMOVED AT THE CONTRACTORS EXPENSE.

ALL REVISIONS TO THE DRAWINGS MUST PROCEED THROUGH NORMAL CHANNELS

ALL WALL FRAMING SHALL BE 2 X 4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED. 2X6 WOOD STUDS SHALL BE USED FOR WALLS RECEIVING HEAVY PLUMBING, ELECTRICAL PANELS, OR CONCEALING PIPE COLUMNS. ALL STUDS OVER 14"-0" HEIGHT SHALL BE 2 X 6. SEE STRUCTURAL

NO ADDITIONAL ROOF OPENINGS OR ROOF MOUNTED EQUIPMENT ARE ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER AND THE STRUCTURAL ENGINEER.

BUILDING PADS CONSTRUCTED PER SOILS ENGINEERS SPECIFICATIONS ARE ASSUMED TO BE AT + 0.10 FT. OF THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER OF ANY DISCREPANCIES UPON

COVER ALL CONCRETE SLAB SURFACES WITH CURING PAPER BEFORE STARTING ADJACENT CONCRETE SLABS. CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SPLASHING OF FRESH CONCRETE SEE SPECIFICATIONS.

PAVING SHALL BE ACCOMPLISHED ACCORDING TO THE SITE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE A.C. OR CONCRETE PAVING, ON AND OFF SITE. IF THE EXISTING PAVING FALLS SHORT OF THE BUILDING LINE, OR IF A PORTION OR SECTION OF THE EXISTING PAVING NEEDS TO BE REMOVED FOR CONSTRUCTION PURPOSE. THE BUILDING CONTRACTOR SHALL, AT THE APPROPRIATE TIME, REPLACE THE A.C. PAVING TO THE BUILDING LINE. THICKNESS OF THE A.C. PAVING BASE MATERIAL AND ALL OTHER ASPECTS SHALL MATCH EXISTING OTHER ASSOCIATED PERMANENT IMPROVEMENTS SUCH AS CONCRETE CURBS, WHEELSTOPS, PLANTING AND IRRIGATION OF DISTURBED OR DAMAGE DURING THE CONSTRUCTION PROCESS SHALL LIKEWISE BE REPLACED AND RESTORED INCLUDING PAVEMENT STRIPING. PER APWA STANDARD PLANS AND CITY

GENERAL NOTES

ALL MATERIALS AND WORK SHALL CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS.

IND - INDUSTRIAL

224-9017-003

8,353.5 SF

R3 / U

TYPE V-B

TRACT NO 9024 LOT 7

BUILDING OCCUPANCY GROUP

CONSTRUCTION TYPE

SPRINKLER SYSTEM:

HIGH FIRE SEVERITY ZONE:

BUILDING HEIGHT:

PROJECTIONS:

LEGAL DESCRIPTION:



F.A. - Fire alarm

F.D. - Floor drain

F.N. - Field nailing

FAB. - Fabricate

FLR. - Floor

GA. - Gauge

GAR. - Garage

G.M. - Grade mark

GR. - Grille

G.T. - Glazed tile GYP. - Gypsum

H.C. - Hollow core

HDBD. - Hardboard

H.R. - Handrail

I.D. - Inside diameter

I.F. - Inside Face

INSUL. - Insulation

J-Box - Junction box

K.-D. - Knock Down

K.D. - Kiln dried

K.O. - Knock out

LFT. - Linear feet

LAM. - Laminate

LAT. - Lateral

LD. - Lead

LIN. - Linear

LT. - Light

LINO. - Linoleum

LTG. - Lighting

MAR. - Marble

MAS. - Masonry

MTL. - Material

MAX. - Maximum

MED. - Medium

MIN. - Minimum

MOD. - Modular

MECH. - Mechanical

MFG. - Manufacturing

M.B. - Machine bolt

M.O. - Masonry opening

L.V.L. - Laminated Veneer Lumber

JCT. - Junction

JST. - Joist

INV. - Invert

INT. - Interior

INCL. - Inclusive, including

FLG. - Flooring

FLUOR. - Fluorescer

GALV. - Galvanized

G.C. - General Contractor

G.F.I. - Ground Fault Interrupt

G.F.C.I. - Ground Fault Circuit Interrupt

FURN. - Furnace

F.C.O. - Floor clean out

F.E. - Fire extinguisher

<u>DEVELOPMENT STANDARDS:</u> INDUSTRIAL SETBACKS: 0'-0" FRONT YARD **PARKING REQUIREMENTS:** 0'-0" SIDE YARD 1 SPACE PER 1,000 SF 2,745 / 1,000 : 2.75 3 15-0" REAR YARD INCIDENTAL USE TO WAREHOUSE TOTAL REQUIRED:

MINIMUM LOT AREA PER DWELLING UNIT SHALL BE PARKING SPACES PROVIDED: 8 PARKING SPACES PARKING DESIGN:

6 - 10'-0" x 18'-0" 1 - 9'-0" x 18'-0" 1 - 11'-6" x 18'-0"

SETBACKS & RESTRICTIONS

GROSS AREA SCHEDULE Name Area BASEMENT / GARAGE PLAN 4527 SF PARKING GARAGE 1ST FLOOR / GROUND PLAN 3766 SF WAREHOUSE / STORAGE 2ND FLOOR PLAN OFFICE 2745 SF WAREHOUSE / STORAGE 1020 SF

3766 SF

FLOOR AREA BREAKDOWN

3,766 SF / 8353.5 SF

7,531 SF / 8353.5 SF **TOTAL FLOOR AREA:**

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES TO INCLUDE LOCAL AMENDMENTS"

DECK / ROOF PLAN

TOTAL LOT COVERAGE:

2019 CALIFORNIA RESIDENTIAL CODE, PART 2.5

2019 CALIFORNIA BUILDING CODE, PART 2,8 & 10

2019 CALIFORNIA ELECTRICAL CODE PART 3

2019 CALIFORNIA MECHANICAL CODE PART 4

2019 CALIFORNIA PLUMBING CODE, PART 5

2019 CALIFORNIA ENERGY CODE PART 6

2019 CALIFORNIA FIRE CODE, PART 9

OPEN ROOF

A.B. - Anchor Bolt A.D. - Access Door

A.F.F. - Above Finished Floor APP'D. - Approved Architectural

ASPH. - Asphalt B.C. - Bookcase BD. - Board B.L. - Building Line BLDG. - Building BLK. - Block

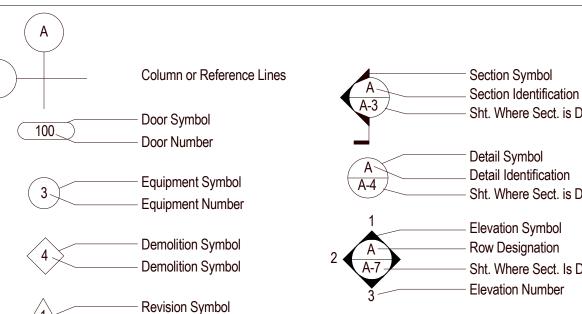
B.O.F. - Bottom of footin B.U. - Built up CSMNT. - Casemen CABT. - Cabinet C.B. - Catch Basin C.D. - Construction documer CEM. - Cement C.F.M. - Cubic Feet per Minu C.L. - Center Line

CH. - Channel C.I. - Cast Iron C.I.P. - Cast in Place CLG. - Ceiling C.O. - Clean Out C.O. - Cased Opening COL. - Column CONT. - Continuous CONTR. - Contractor CONC. - Concrete C.T. - Ceramic Tile

D.S. - Down spout D/W - Dishwasher DBL. - Double DEMO. - Demolition DIA. - Diameter DIM. - Dimension D.L. - Dead Load

DR. - Door EA. - Each E.F. - Exhaust fan E.J. - Expansion joint E.N. - End nailing ELEV. - Elevation ELECT. - Electric, electrica EQ. - Equal EQUIP. - Equipment EST. - Estimate E.W. - Each way EXH. - Exhaust EXIST. - Existing

> MTL. - Metal (steel) **ABBREVIATIONS**



V.B. - Vapor barrier V.I.F. - Verify in field GROUND UP WAREHOUSE W/ OPEN ROOF DECK VA. - Voltage VCT. - Vinyl composition tile

RAUL REYES

628 THOMPSON AVE

GLENDALE CA. 9120

W.C. - Toilet (water closet) WDW. - Window WP. - Weatherproof WT. - Weight WTR. HTR. - Water Heater WD. - Wood W.I. - Wrought Iron

YD. - Yard

P.L.V. - Plastic laminate veneer <u>DESIGNER</u> P.S.F. - Pounds per square foo P.S.I. - Pounds per square inch P.V.C. - Polyvinyl chloride (T) 626.485.2843

Q.T. - Quarry tile QTY. - Quantity RAD. - Radius R.D. - Roof drain R.D.L. - Roof drain leader R.O.W. - Right of way REFG. - Refrigerator REF. - Reference REINF. - Reinforced RET. - Return

N.T.S. - Not to scale

NLR. - Nailer

NO. - Number

NOM. - Nominal

O.C. - On center O.D. - Outside diameter

O.R. - Outside radius

O.H. - Overhead

OPNG. - Opening

PART. - Partition

PAV. - Pavement

PERF. - Perforated

PL. - Plaster

PLT. - Plate

P.L. - Property line

PLAS. - Plastic

P.C. - Pre-Cast Concrete

N.i.S.W. - Not In Scope of Work

N.F.C. - Not for construction

RM. - Room RMV. - Remove SAN. - Sanitary S.C. - Solid core S.C. - Self-Closing SCHED. - Schedule S.D. - Smoke detector SECT. - Section SHT. - Sheet SHT'G. - Sheathing SIM. - Similar SPECS. - Specifications SQ.FT. - Square feet SQ. IN. - Square inches

STD. - Standard STL. - Steel S.Y. - Square yard SYS. - System T&G - Tongue and groove T.B. - Through bolt T.O. - Top of T.O.B. - Top of Beam T.O.C. - Top of curb T.O.F. - Top of footing

T.O.J. - Top of joist T.O.M. - Top of masonry T.O.W. - Top of wall T.S. - Tube steel TH. - Threshold THR. - Threaded TYP. - Typical

Section Symbol

- Sht. Where Sect. is Drawn Detail Symbol Detail Identification Sht. Where Sect. is Drawn Elevation Symbol

- Row Designation Sht. Where Sect. Is Drawn Elevation Number Room Name

Room Number

SHEET INDEX

1610 W. 7TH ST. LOS ANGELES, CA. 90017 benny@designgroupname.com marino@designgroupname.com

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APPROVALS:

[design group name] KTW SOLUTIONS 24328 S VERMONT AVE STE 315 HARBOR CIY, CA 90710 LOS ANGELES, CA. 90017

CONSULTANT LIST

(E) KTWENGCAL@GMAIL.COM

SCOPE OF WORK

VICINITY MAP

SHEET INDEX NUMBER SITE PHOTOGRAPHS SITE PHOTOGRAPHS SITE PHOTOGRAPHS COVER SHEET T-0.0 MATERIAL BOARD T-0.2 **ATTACHMENTS** T-0.3 SPEC SHEETS GWP ATTATCHMENTS **CODE ANALYSIS** CAL GREEN MEASURES / STREET TREE T-1.2 ADA HANDOUTS T-1.3 ADA HANDOUTS ADA HANDOUTS T-2.0 NEIGHBORHOOD CONTEXT ARCHITECTURAL SITE PLAN - EXISTING SITE PLAN - PROPOSED ROOF PLAN / DRAINAGE GARAGE BASEMENT 1ST FLOOR 2ND FLOOR ROOF DECK **ELEVATIONS** COLORED ELEVATIONS A-5.0 SECTIONS A-6.0 WINDOW & DOOR SCHEDULE LANDSCAPE LANDSCAPE IRRIGATION PLAN LANDSCAPE PLANING PLAN

PLANNING CORRECTIONS #1 SHEET TITLE.

COVER SHEET

SCALE JOB NO. [DGN-2005] AS NOTED SHEET NO.

T-0.0

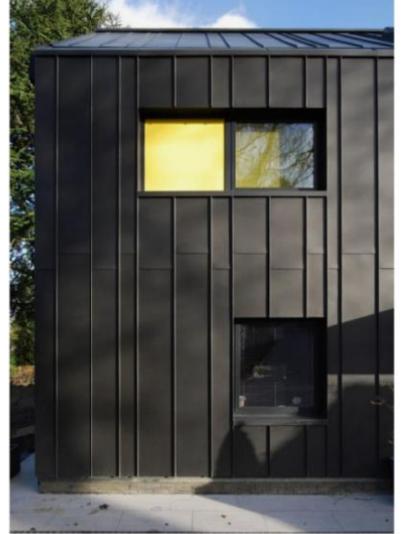
BUILDING & SITE DATA

APPLICABLE CODES

SYMBOL DEFINITIONS

Bristol Blue

BERRIDGE BRISTOL BLUE BS-6 PANEL



i.e. WALL TO ROOF CONDITION



HARDIE PANEL VERTICAL SIDING - TIMBER BARK



i.e. CMU WALL CONSTRUCTION

DESCRIPTION

8 TRASH ENCLOSURE - EXTERIOR FINISH IN BERRIDGE BS-6 PANEL

11 HARDIE PANEL EXTERIOR FINISH - TIMBER BARK

1 BERRIDGE BS-6 PANEL - BRISTOL BLUE

2 ELEVATOR STRUCTURE 3 EXPOSED BRICK FACADE

Front Elevation - Colored | SCALE | 1

5 LIGHTING - SEE SPEC ON T-4.0

4 36" RAIL

6 ROLL UP DOOR 7 (E) POWER POLE

9 2x FUROUT 10 42" RAIL



i.e. TURFTSTONE PERMEABLE PAVERS



EFT SIDE PERSPECTIVE



LEFT SIDE PERSPECTIVE



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REYES ELECTRIC 628 THOMPSON AVE, GLENDALE, CA 91201

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APPROVALS:

No.	Description	Date

SHEET TITLE.

MATERIAL BOARD

JOB NO.	SCALE
[DGN-2005]	AS NOTED

T-0.1

Berridge B-6 Panel

WALL, SOFFIT, CEILING AND FASCIA PANEL SYSTEM



Materials

24 Gauge Steel

Specifications

Uses: Wall, Soffit, Ceiling, Fascia, Screen Wall,

Berridge Fencing System Coverage: 6" Finishes: Smooth

Fasteners: Concealed Applications: Vertical over open framing or solid sheathing Pattern: Extruded vee-groove

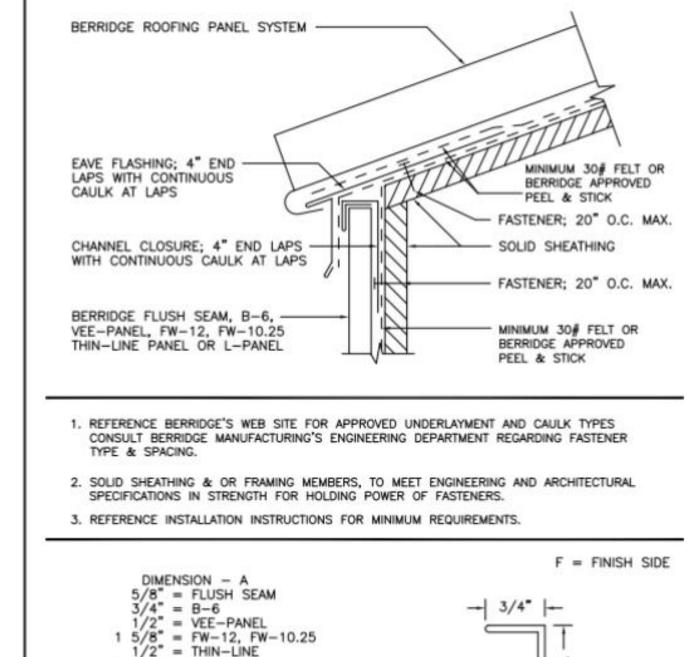
· Panel is available from the factory in continuous lengths to a maximum of 40°

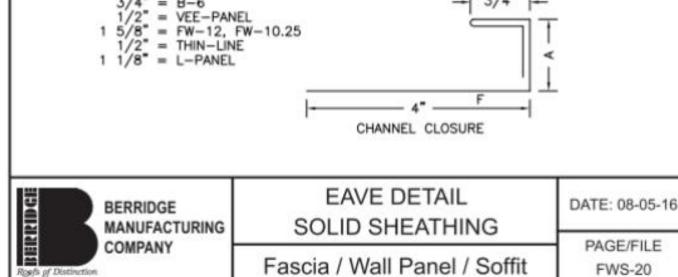
 Panel may be used on curved walls but the panel itself does not curve.

Project: Post S. Lamar Architect: LRK Architects General Contractor: Rampart Construction Installing Contractor: Greater Dallas Roofing, LLC

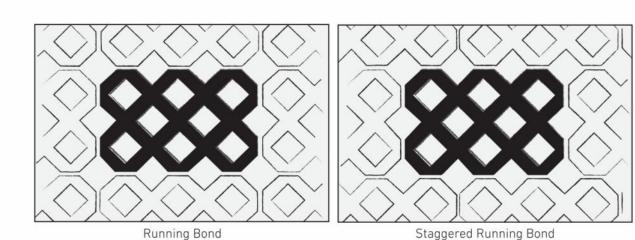


All information subject to change without notice. See website for details, specifications and Waterlightness Warranty requirements. Berridge Manufacturing Company 2018 • 800-669-0009 • www.berridge.com





TURFSTONE®



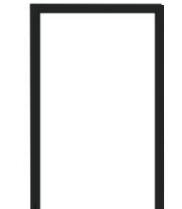


100 SERIES Windows



A BETTER CHOICE

Whether you're replacing, remodeling or building new, Andersen* 100 Series products offer many advantages over vinyl at a good value. They're made of our innovative Fibrex" composite material that's 2X stronger than vinyl, environmentally smart, energy efficient and offers superior strength and performance making them a better choice



- Fibrex material construction provides long-lasting performance
- Weatherstrip is designed to be an energy-efficient barrier against wind, water and dust
- Virtually seamless corners offer a cleaner, more
- contemporary look
- · Premium matte finish never needs painting and won't fade,
- 100 Series products have a 12X thicker finish than that of painted vinyl windows" resulting in superior scratch resistance

PRODUCT TYPES

- Casement windows Awning windows
- Single-hung windows Transom windows
- Gliding windows Picture windows
- Specialty Windows

TC-470 SERIES THERMAL/IMPACT

2 1/4" X 4 1/2" WINDOW WALL SYSTEM



**When 100 Series products were tested against five leading competitors' painted viryl window products

100 SERIES Windows

GLASS OPTIONS

- Low-E glass
- Low-E Sun glass

tock

Bold name denotes finish shown

Low-E SmartSun™ glass

Low-E glass with HeatLock* technology

Low-E SmartSun glass with HeatLock technology

Tempered glass, sound reducing glass and patterned glass is available. Contact your Andersen supplier

for availability. ASK ABOUT ENERGY STAR

EXTERIOR COLORS

FRAME OPTIONS

kerf available.

INTERIOR COLORS

1 3/8" flange setback, 1" flange setback with stucco key or

replacement configurations with or without an accessory

*Products with Sandtone, dark bronze, and black interiors have matching exteriors.

PRODUCT OPTIONS

HARDWARE OPTIONS" SINGLE-HUNG & GLIDING



Optional Lift/Pull Lock automatically engages when window is closed. Hardware color matches the window's interior. Shown in white.

Antique Brass | Black | Dark Bronze Sandtone | Satin Nickel | White

Antique Brass | Black | Dark Bronze Sandtone | Satin Nickel | White Folding handle avoids interference with window treatments.

CASEMENT & AWNING

Standard Folding

ACCESSORIES

Wireless Open/Closed Sensor

Indicates if windows are open or closed† for peace Variety of grille options available including of mind and feature a sleek, compact design for a Finelight" grilles-between-the-glass for convenient provide 50% more clarity than our conventional cleaning and full divided light grilles for an

 Insect Screens Optional TruScene" insect screens for windows insect screens, letting in more air and sunlight.

ANDERSEN

For more information, visit andersenwindows.com/100series

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples. "ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.
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TC-470 SERIES

FEATURES AND OPTIONS

· Can be made to meet impact rated hurricane codes - optional

 Tested performances for hurricane impact resistant - ASTM 1886/1996 · Low air & water infiltration performance

• 2 1/4" x 4 1/2" depth frame - versatile window wall system

• 4 %" square 2-pc snap in tube available for mulling sections together in line and at

90 degree angles

• Set up for interior glazing - can accommodate 1", 1 % or 1 %" insulated glass • Unlimited configuration options to accommodate any combination of fixed & operable windows

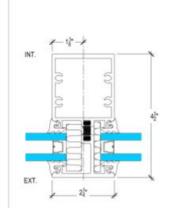
· Male-Female Jamb members to accommodate sections of window wall being mulled together • Extruded - custom designed sub sills available to accommodate this system

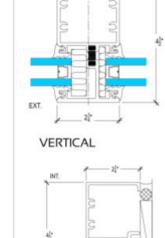
• Ideal for slab to slab installations - high structural & water performance

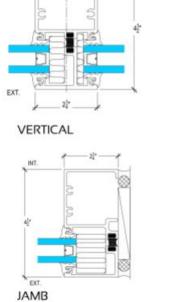
• Installation videos available on You Tibe search under "Arcadia Door"

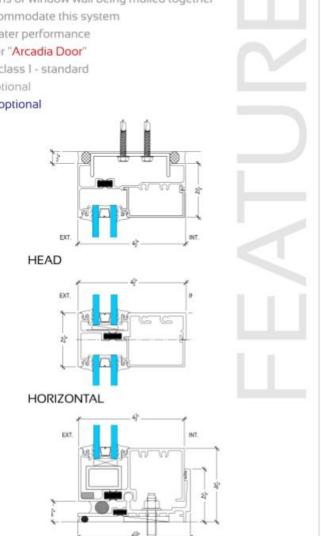
Stock finishes - dark bronze or satin clear anodized - class 1 - standard

· Duranar or Valspar finish or other anodized finish - optional Gan be made to meet impact rated hurricane codes - optional









1610 W. 7TH ST. LOS ANGELES, CA. 90017 benny@designgroupname.com marino@designgroupname.com

628 THOMPSON AVE, GLENDALE, CA

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APPROVALS:

SHEET TITLE.

SHEET NO.

ATTACHMENTS

JOB NO. SCALE [DGN-2005] AS NOTED

T-0.2

BLADE 24 outdoor wall

TECH LIGHTING

BLADE 24 OUTDOOR WALL

TECH LIGHTING

The contemporary aesthetic of the Blade 24 outdoor wall sconce is sized to match architectural scale as it creates soft indirect, reduced-glare illumination by aiming light back against the wall for accenting architecture as well as for wayfinding. Available in two sizes, 18" and 24" and two finishes.

Selectable CCT (2700K/3000K)

Universal 120V-227V

Outstanding protection against the elements: - Wet Listed IP65 Rated - Stainless Steel Mounting Hardware - Powder Coat Finishes

DELIVERED LUMENS	1587
WATTS	28.6
VOLTAGE	Universal 120V-277V
DIMMING	Dimmable with most LED compatible ELV & TRIAC dimmers + 0-10V
LIGHT DISTRIBUTION	Symmetric
OPTICS	not applicable
MOUNTING OPTIONS	Wall
CCT	2700K/3000K Selectable
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B0-U3-G0
DARK SKY	Non Compliant
WET LISTED	IP65
GENERAL LISTING	ETL, ADA
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 2 Part 6 for outdoor use. Registration with CE Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	2 lbs.

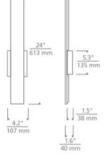


ORDERING INFORMATION

 PRODUCT
 CRI/CCT
 LENGTH
 FINISH
 VOLTAGE

 7000WBLD
 92730
 90 CRI 2700K/3000K
 24 24*
 B BLACK Z BRONZE
 UNV 120V-277V

techlighting.com



Blade 24 Outdoor Wall

PROJECT INFO

FIXTURE TYPE & QUANTITY JOB NAME & INFO

NOTES

TECH LIGHTING

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VISUAL COMFORT & CO. 7400 Linder Avenue, Skokie, Illinois 60077 T 847.410.4400

techlighting.com

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REYES ELECTRIC 628 THOMPSON AVE, GLENDALE, CA 91201

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APPROVALS:

o. Description
PLANNING CORRECTIONS #1

SHEET TITLE.

SPEC SHEETS

[DGN-2005] AS NOTED

SHEET NO.

T-0.3

		ES-A-4000B
Job Name	Contractor	
Job Location	Approval	
Engineer	Contractor's P.O. No.	
Approval	Representative	

Series 4000B

Reduced Pressure Zone Assemblies Sizes: 1/2" - 2" (15 - 50mm)

Series 4000B Reduced Pressure Zone Assemblies are designed to protect drinking water supplies from dangerous cross-connections in accordance with national plumbing codes and water authority requirements for health-hazard non-potable service applications such as irrigation, fire line, or industrial processing. This series features two in-line, independent check valves, captured springs and replaceable check seats with an intermediate relief valve. Its compact modular design facilitates easy maintenance and assembly access. Sizes 1/2" - 1" (15-25mm) shutoffs have tee handles.

Features

- Single access cover and modular check construction for
- ease of maintenance Top entry — all internals immediately accessible
- Captured springs for safe maintenance Internal relief valve for reduced installation clearances
- · Replaceable seats for economical repair
- Bronze body construction for durability ½" to 2" Ball valve test cocks — screwdriver slotted — ½" to 2"
- Large body passages provides low pressure drop
- Compact, space saving design

No special tools required for servicing

Ames Fire & Waterworks Series 4000B.

Specifications A Reduced Pressure Zone Assembly shall be installed at each potential health hazard location to prevent backflow due to back-siphonage and/or backpressure. The assembly shall consist of an internal pressure differential relief valve located in a zone between two positive seating check modules with captured springs and silicone seat discs. Seats and seat discs shall be laceable in both check modules and the relief valve. There shall be no threads or screws in the waterway exposed to line fluids. Service of all internal components shall be through a single access cover secured with stainless steel bolts. The assembly

shall also include two resilient seated isolation valves, four resilient seated test cocks and an air gap drain fitting. The assembly shall meet the requirements of: USC Manual 8th Edition†; ASSE Std. 1013; AWWA Std. C511; CSA B64.4. The assembly shall be an



The information contained herein is not intended to replace the full product installation and safety information available or the thoroughly read all installation instructions and product safety information before beginning the installation of this product.



Ames Fire & Waterworks product specifications in U.S. customary units and metric are approximate and are provided for reference only. For precise measurements, please contact Ames Fire & Waterworks Technical Service. Ames Fire & Waterworks reserves the right to change or modify product design, construction, specifications, or materials without prior notice and without incurring any obligation to make such changes and modifications on Ames Fire & Waterworks products

INSTALLATION REQUIREMENTS

- I. ALL INSTALLATIONS MUST BE COORDINATED WITH GLENDALE WATER & POWER (GWP). ANY UNAUTHORIZED CONNECTION TO, OR OPERATION OF, A GWP FACILITY MAY BE GROUNDS FOR DENIAL OF WATER SERVICE.
- 2. BACKFLOW PREVENTION ASSEMBLY (BFP) MUST BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AT THE UNIVERSITY OF SOUTHERN CALIFORNIA AND MUST BE INSTALLED IN THEIR ORIGINAL (UNALTERED) MANUFACTURED FORM.
- 3. THE ASSEMBLY SHALL BE INSTALLED AS CLOSE TO THE METER OR TO THE RIGHT-OF-WAY LINE AS PRACTICAL (SEE STANDARD DRAWING No. 6528-A & 6561-A).
- 4. THE BFP MUST BE TESTED BY A GWP-AUTHORIZED TESTER PRIOR TO ACTUAL SERVICE (SEE GWP'S APPROVED TESTER LIST).
- ANY LINALITHORIZED CONNECTION TO A BFP WILL RESULT IN DISCONNECTION OF SAID

CONNECTIONS AND POSSIBLE SHUT OFF OF WATER SERVICE.

- 6. PLEASE CONTACT (818) 937-8948 FOR APPROVAL OF BFP INSTALLATION LOCATION PER CA CODE OF REGULATIONS, TITLE 17 & CITY OF GLENDALE ORD. No. 5678.
- 7. FOR A LIST OF APPROVED BFP, PLEASE CONTACT (818) 937-8948. NEW DEVICES MUST BE INSPECTED BY GWP AND TESTED BY LOS ANGELES COUNTY DEPARTMENT OF PUBLIC HEALTH CERTIFIED BACKFLOW TESTER IMMEDIATELY UPON INSTALLATION BEFORE WATER SERVICE IS
- 8. ACCORDING TO CALIFORNIA AND GLENDALE CITY CODE AND REGULATIONS, ALL COMMERCIAL FIRE SERVICES AND IRRIGATION SERVICES WILL REQUIRE SOME FORM OF BACKFLOW PREVENTION SYSTEM TO PROTECT THE POTABLE WATER SYSTEM. PLEASE BE SURE TO THOROUGHLY REVIEW GWP STANDARD DRAWINGS. (SEE STANDARD DRAWINGS 6528-A & 6561-A)
- 9. ALL BFP SHALL BE LOCATED AS CLOSE AS PRACTICAL TO THE USER'S CONNECTION. THEY WILL BE INSTALLED A MINIMUM OF TWELVE INCHES (12") AND NOT MORE THAN THIRTY SIX INCHES (36") ABOVE FINISHED STREET GRADE MEASURED FROM THE BOTTOM OF THE DEVICE. A MINIMUM OF TWELVE INCHES (12") SIDE CLEARANCE, AND TWENTY-FOUR INCHES (24") FRONT CLEARANCE, LOCATED WHERE IT IS READILY ACCESSIBLE FOR INSPECTION, TESTING AND

	GLENDALE WAT CITY OF GL CALIFOR	ENDALE
-0	INSTALLATION REQUES ASSEMBLY DE	EVENTION
PPROVED 07/14/2015	DES: LB SCALE: NONE D: GR/PN	SHEET No. 1 OF 1
GERALD TOM, SENIOR CIVIL ENGINEER, R.C.E. No. C51209 DATE GLENDALE WATER AND POWER - WATER DEPARTMENT	DATE: 07/14/15 C: APP:	6762-A

Bronze body construction, silicone rubber disc material in the first and second check plus the relief valve. Replaceable polymer check seats for first and second checks. Removable stainless steel relief valve seat. Stainless steel cover bolts. Standardly furnished with NPT body connections. For optional bronze union inlet and outlet connections, specify prefix U (½" - 2")(15-50mm). Series 4000B furnished with quarter turn,

Standards AWWA C511-92, USC Manual 8th Edition, IAPMO File No. 1563



Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California. Approval models QT, U.

Pressure - Temperature

Suitable for supply pressures up to 175 psi (12.06 bar) and water temperature to 180°F (75°C) continuous.

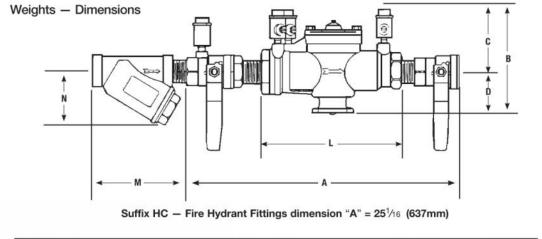
Available Models

- B quarter-turn ball valves full port, resilient seated, bronze ball valve shutoffs. LBV - less ball valves
 - SH stainless steel ball valve handles HC - 2½" inlet/outlet fire hydrant fitting (2" valve) S — bronze strainer

U — union connections

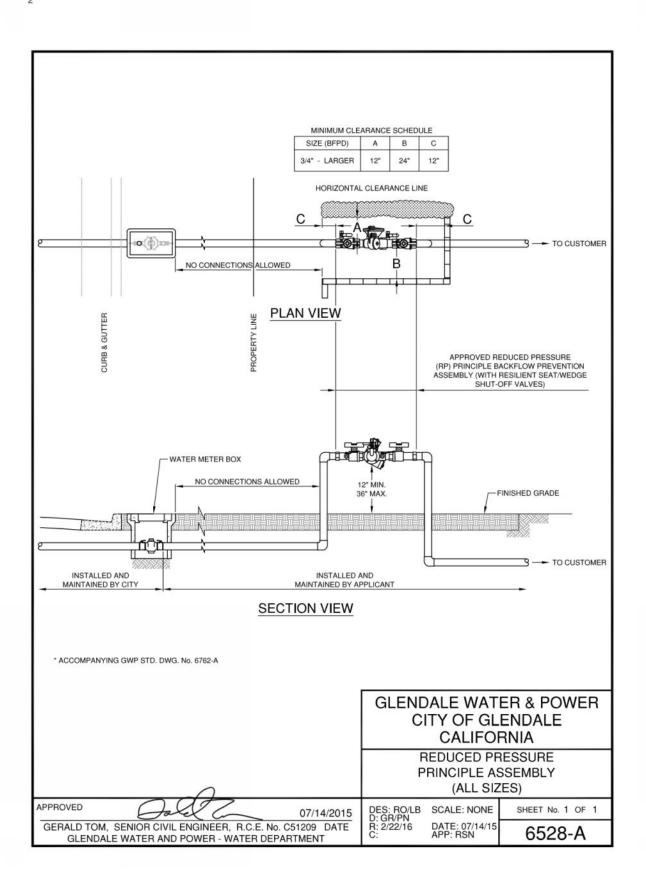
nquire with governing authorities for local installation





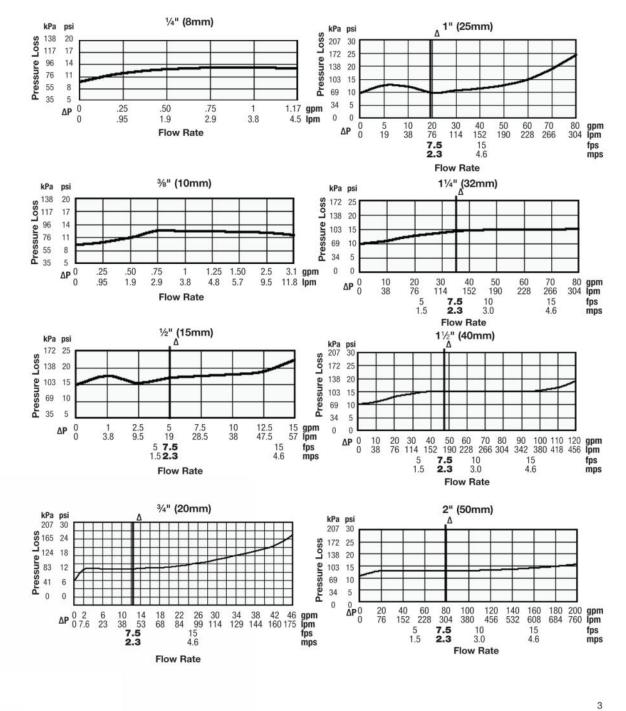
MODEL.	SIZE	(DN)	DIMENSIONS					- 3	STRAINER DIMENSIONS			WEIGHT						
				A		В		С		D		L	1	W		N		
	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	lbs.	kg.
4000B**	1/2	15	10	250	45/8	117	3¾	86	11/4	32	51/2	140	3	76	2	51	4.50	2.0
4000B M3**	3/4	20	10¾	273	5	127	31/2	89	11/2	38	63/4	171	35/16	84	25/16	59	5.75	2.6
4000B M2**	1	25	141/2	368	51/2	140	3	76	21/2	64	91/2	241	41/2	114	25/16	59	12.25	5.6
4000B**	11/4	32	17%	441	6	150	31/2	89	21/2	64	11%	289	51/8	130	31/8	79	14.62	6.6
4000B**	11/2	40	171/8	454	6	150	31/2	89	21/2	64	111/8	283	51/8	149	3¾	95	16.32	7.4
4000B**	2	50	21%	543	73/4	197	41/2	114	31/4	83	131/2	343	63/16	157	47/8	124	30.00	13.6

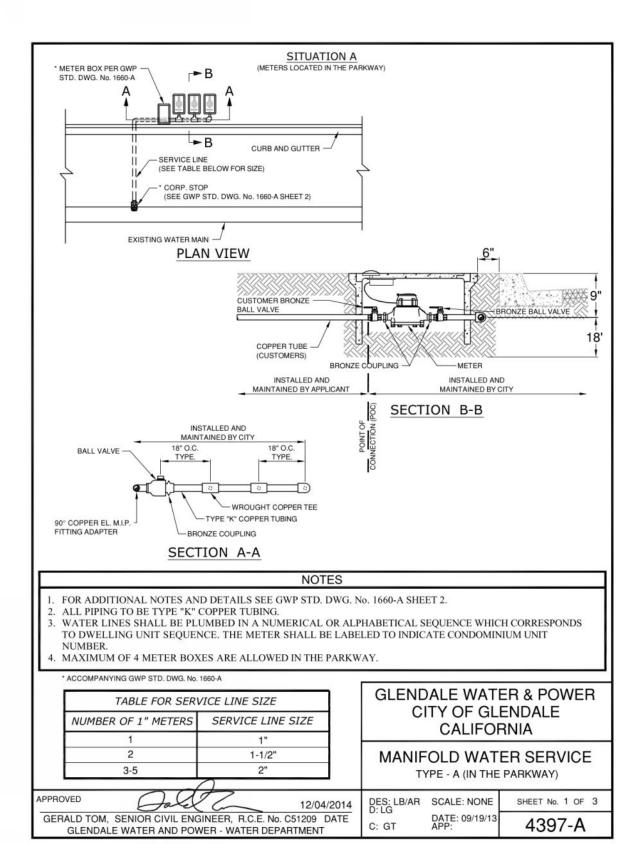
**Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.

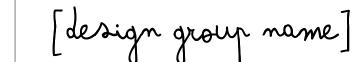


Capacity

Performance as established by an independent testing laboratory. ΔTypical maximum system flow rate (7.5 feet/sec., 2.3 meters/sec.)







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APPROVALS:

No.	Description	Date
	PLANNING CORRECTIONS #1	4/24/22

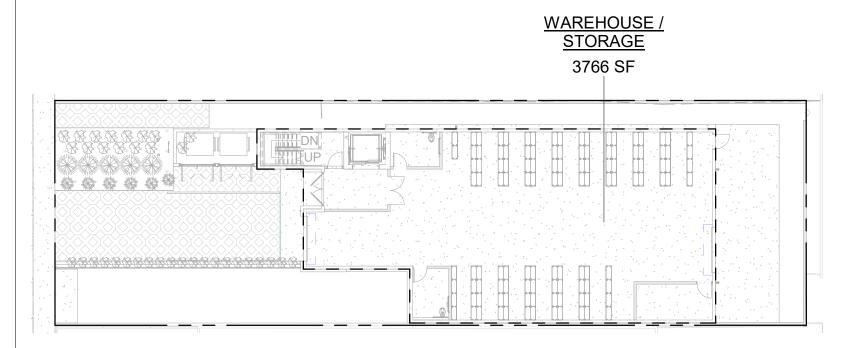
GWP ATTATCHMENTS

SHEET TITLE.

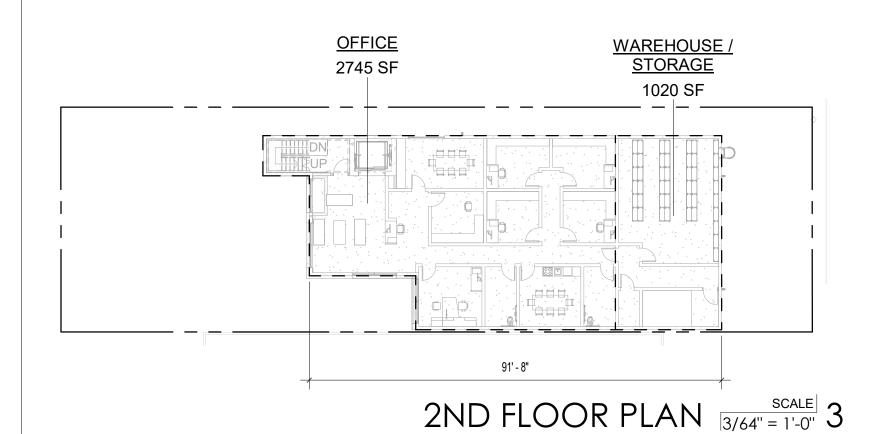
SHEET NO.

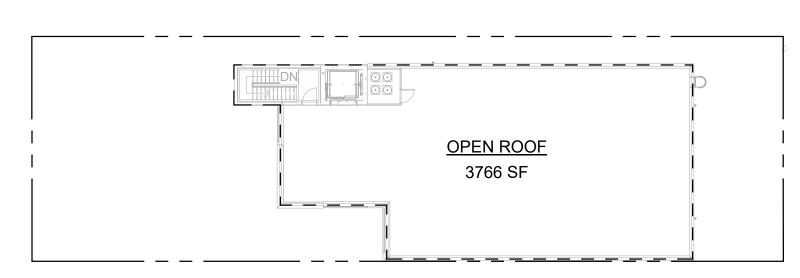
SCALE JOB NO. [DGN-2005] AS NOTED

BASEMENT / GARAGE PLAN SCALE 1 1 3/64" = 1'-0"



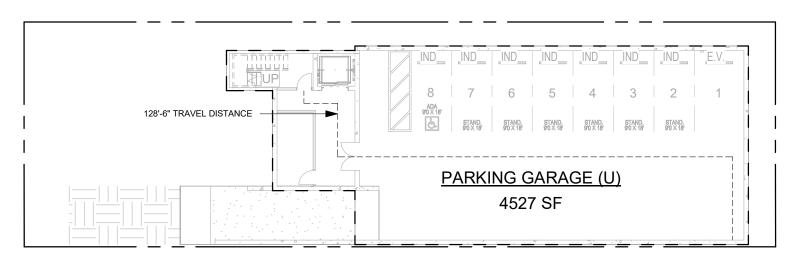
1ST FLOOR / GROUND PLAN SCALE 2



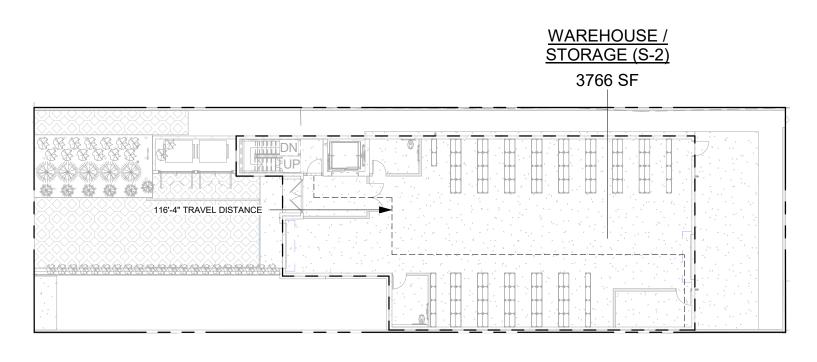


DECK / ROOF PLAN SCALE | 8

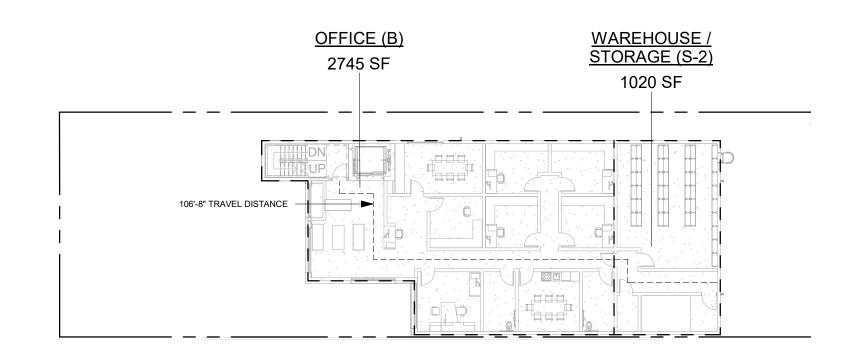
GR	OSS AREA SCHEDULE
Name	Area
BASEMENT / GARAGE PLAN	
PARKING GARAGE	4527 SF
1ST FLOOR / GROUND PLAN	
WAREHOUSE / STORAGE	3766 SF
2ND FLOOR PLAN	,
OFFICE	2745 SF
WAREHOUSE / STORAGE	1020 SF
DECK / ROOF PLAN	
OPEN ROOF	3766 SF



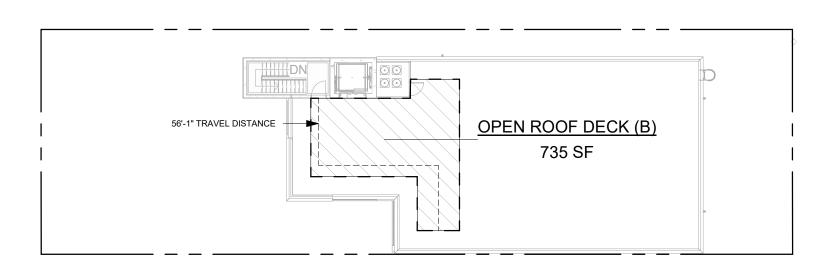
BASEMENT / GARAGE PLAN 3/64" = 1'-0" 4



1ST FLOOR / GROUND PLAN $\frac{\text{SCALE}}{3/64'' = 1'-0''}$ 5



2ND FLOOR PLAN SCALE 6



DECK / ROOF PLAN SCALE 7

OCCUPANCY AREA SCHEDULE					
Name	Area				
BASEMENT / GARAGE PLAN					
PARKING GARAGE (U)	4527 SF				
1ST FLOOR / GROUND PLAN					
WAREHOUSE / STORAGE (S-2)	3766 SF				
2ND FLOOR PLAN					
OFFICE (B)	2745 SF				
WAREHOUSE / STORAGE (S-2)	1020 SF				
DECK / ROOF PLAN					
OPEN ROOF DECK (B)	735 SF				

RKING REQUIREMENTS (GLENDALE 30.32) :						
FICE	1 SPACE PER 1,000 SF 2,745 / 1,000 : 2.74					
REHOUSE	1 SPACE PER 1,000 SF 4,786 / 1,000 : 4.78					
TAL REQUIRED:						

OFF-STREET LOADING REQUIREMENTS (GLENDALE 30.32.150):

CONS	TRUC1	TION T	YPE:

PROPOSED NET AREA BREAKDOWN:

OCCUPANCY	<u>:</u>
S-2	4,786 SF
В	2,745 SF
B (ROOF DECK)	750 SF
U	4,527 SF

PROPOSED BUILDING OCCUPANCY: S-2 - LOW HAZARD STORAGE

B - BUSINESS OFFICE U - OCCUPANCY

BUILDING	HEIGHT	(PER	CBC 7	TABLI	E 504	4.31

75'-0" 38'-5" MAX PER TABLE 504.3: **ACTUAL BUILDING HEIGHT:**

NUMBER OF STORIES ALLOWED (PER CBC TABLE 504.4): ACTUAL NUMBER OF STORIES:

3 (2 ABOVE + 1 BELOW)

ALLOWED BUILDING AREA (PER CBC TABLE 506.2) : S-2 = 78,000 SF

OCCUPANT LOAD (PER CBC TABLE 1004.1.2):

B = 57,000 SFU = 25,500 SF

SPRINKLERS (903): YES

WAREHOUSE: 500 GROSS	4,786 / 500 = 9.57 =
OFFICE AREAS: 150 GROSS	2,745 / 150 = 18.3 =
PARKING GARAGE: 200 GROSS	4,527 / 200 = 22.63 =
OPEN ROOF DECK: 15 NET	735 / 150 = 4.9 =

TOTAL OCC. LOAD:

NUMBER OF EXITS REQUIRED (1006.3.3(2)): PER TABLE 1006.3.3(2) =

U OCCUPANCY ON BASEMENT STORY = 23 ≤ 49 S-2 OCCUPANCY ON 1ST STORY = 8 ≤ 29 B OCCUPANCY ON 2ND STORY = 19 ≤ 49

EXIT ACCESS TRAVEL DISTANCE (1017.2):

PER TABLE 1017.2	S-2 OCCUPANCY :	400'
PER TABLE 1017.2	B OCCUPANCY:	300
PER TABLE 1017.2	U OCCUPANCY:	400'

EXIT WIDTH REQUIRED (TABLE 1020.2):

MINIMUM CORRIDOR FIRE RESISTANCE (1020.1): PER TABLE 1020.1 0 HOUR

OCCUPANT LOAD (PER CPC TABLE 422.1):

OFFICE: 200 GROSS	2,745 / 200 = 13.7	1 ₄
STORAGE: RATIO 5,000	4,786 / 5,000 = .95	1
TOTAL CPC OCC LOAD =		

MINIMUM PLUMBING FIXTURES REQUIRED (PER CPC TABLE 422.1):

OFFICE PLUMBING FIXTURES:	MALE	FEMALE
WATER CLOSET	1	1
URINALS	1	0
LAVATORIES	1	1
DRINKING FOUNTAIN	1 (TOTAL)	
SERVICE SINK	1 (TOTAL)	
SHOWERS	- '	-
STORAGE PLUMBING FIXTURES:	MALE	FEMALE
WATER CLOSET	1	1
LIDINIALO	^	0

WATER CLOSET 1	1
	I
URINALS 0)
LAVATORIES 1	1
DRINKING FOUNTAIN 1 (TOTAL)	
SERVICE SINK 1 (TOTAL)	
SHOWERS - ` ·	-

TOTAL PLUMBING F	FIXTURES:	MALE	FEMALE
WATER CLOSET		2	2
URINALS		1	0
LAVATORIES		2	2
DRINKING FOUNTA	IN	2 (TOTAL)	
SERVICE SINK		2 (TOTAL)	
		,	

PARKING REQUIREMENTS (GLENDALE 30.32): OFFICE 1 SPACE PER 1.000 SF 2.745 / 1.000 : 2.74 3

ELECTRIC VEHICLE CHARGING SPACES

OFFICE	1 SPACE PER 1,000 SF 2,745 / 1,000 . 2.74	3
WAREHOUSE	1 SPACE PER 1,000 SF 4,786 / 1,000 : 4.78	5
TOTAL REQUIRED:		8

OFF-STREET LOADING REQUIREMENTS (GLENDALE 30.32.150):

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REYES ELECTRIC 628 THOMPSON AVE, GLENDALE, CA 91201

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APPROVALS:

SHEET TITLE.

CODE ANALYSIS

JOB NO.	SCALE
[DGN-2005]	AS NOTED
SHEET NO	

T-1.0

4.504.5.1

Definition of Composite Wood Products: Composite wood products include

structural composite lumber, oriented strand board, glued laminated timber,

prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).

hardwood plywood, particleboard, and medium density fiberboard. "Composite

wood products" do not include hardboard, structural plywood, structural panels,

1.2. Verification that meeting requirements will alter the local utility infrastructure 10% of the total number of parking spaces provided for all types of parking facilities, but in no case less than 1, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall design requirements on the utility side of the meter increasing costs to the Accessory structures and accessory occupancies serving residential building homeowner/developer by more than \$400.00 per dwelling unit. be rounded up to the nearest whole number. 2. Accessory Dwelling Units and Junior Accessory Dwelling Units without Live/work units complying with the California Building Code Section 419 shall additional parking facilities. Note: Construction documents are intended to demonstrate the project's capability not be considered a mixed occupancy. Live/work units are required to comply and capacity for facilitating future EV charging. There is no requirement for EV spaces Note: For definitions of Accessory Dwelling Units and Junior Accessory Units, see to be constructed or available until EV chargers are installed for use. CALGreen Chapter 2. CAL Green CAL Green. CAL Green. 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2020 EFFECTIVE JANUARY 1, 2020 EFFECTIVE JANUARY 1, 2020** 2019 CALGREEN CODE 2019 CALGREEN CODE SECTION REQUIREMENTS SECTION REQUIREMENTS Single EV space required EV charging for hotels and motels Multiple EV spaces required (similar to 4.106.4.2.4) Construction documents shall indicate the raceway termination point and proposed Install a listed raceway capable of accommodating a 208/240-volt dedicated branch Applies to all newly constructed hotels and motels. location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring 4.106.4.3 • Construction documents shall identify the location of EV spaces. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). schematics and electrical load calculations to verify electrical panel service capacity Note: Construction documents are intended to demonstrate the project's capability d electrical system, including any on-site distribution to and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. Raceway shall originate at the main service or subpanel and shall terminate into a 4.106.4.3.4 sufficient capacity to simultaneously charge all EVs at all required EV spaces at the listed cabinet, box or enclosure in close proximity to the proposed location of the EV full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Number of required EV spaces 4.106.4.3.1 Table 4.106.4.3.1 shows the number of required EV spaces based on the total number Required raceways and related components planned to be installed underground. . Service panel and/or subpanel shall provide capacity to install a 40-ampere of parking spaces provided for all types of parking facilities enclosed, inaccessible or, in concealed areas and spaces shall be installed at the minimum dedicated branch circuit and space(s) reserved to permit installation of a EV charging space (EV space) dimensions Identification (similar to 4.106.4.2.5) Multiple EV spaces required EV spaces shall be designed to comply with the following: 4.106.4.3.2 4.106.4.3.5 Service panel or subpanel circuit directory shall identify the overcurrent protective . Minimum length of each EV space shall be 18 feet. . Construction documents shall indicate the raceway termination point and proposed device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring . Minimum width of each EV space shall be 9 feet. schematics, and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer Single EV space required (similar to 4.106.4.2.3) 4.106.4.3.6 In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and have sufficient capacity to simultaneously charge all EVs at all required EV spaces Install a listed raceway capable of accommodating a 208/240-volt dedicated branch stations in the California Building Code, Chapter 11B. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Required raceways and related components planned to be installed underground Raceway shall originate at the main service or subpanel and shall terminate into a enclosed, inaccessible or in concealed areas and spaces shall be installed at the 4.106.4.3.3 listed cabinet, box or enclosure in close proximity to the proposed location of the EV Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and Construction documents shall identify the raceway termination point. nonresidential chapters of CALGreen. 5.201.1 Service panel and/or subpanel shall provide capacity to install a 40-ampere Standards for residential buildings do not require compliance with levels of device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. minimum energy efficiency beyond those required by the 2019 California Energy Page 6 of 16 Page 7 of 16 CALGreen. CAL Green.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2020

SECTION REQUIREMENTS

SECTION REQUIREMENTS

4.505.2

4.505.3

enclosure.

Section 4.408.1.

organic waste portion of this section.

ced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

Waste stream reduction alternative [LR]

rea shall meet the minimum 65% construction waste reduction requirement in

area, shall meet the minimum 65% construction waste reduction requirement in

Operation and maintenance manual

Recycling by occupants

depositing, storage and collection of nonhazardous materials for recycling, including

Exception: Rural jurisdictions that meet and apply for the exemption in Public

tandards (NSPS) emission limits as applicable, and shall have a permanent labe

CAL Green.

Concrete slab foundations

Concrete slab foundations or concrete slab-on-ground floors required to have a vapor

retarder by the California Building Code, Chapter 19, or the California Residential

A capillary break shall be installed in compliance with at least 1 of the following:

1. A 4-inch thick base of 1/2 inch or larger clean aggregate shall be provided with a

will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.

vapor retarder in direct contact with concrete and a concrete mix design, which

Moisture content of building materials

Building materials with visible signs of water damage shall not be installed. Wall and

Moisture content shall be determined with either a probe-type or a contact-type

moisture meter. Equivalent moisture verification methods may be approved by

3. At least 3 random moisture readings shall be performed on wall and floor framing

with documentation acceptable to the enforcing agency provided at the time of

floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following:

. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade

Insulation products which are visibly wet or have a high moisture content shall be

replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers'

Page 14 of 16

drying recommendations shall be followed for wet-applied insulation products prior to

the enforcing agency and shall satisfy requirements in Section 101.8.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

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Code, Chapter 5, respectively, shall also comply with this section.

2. Other equivalent methods approved by the enforcing agency.

3. A slab design specified by a licensed design professional.

approval to enclose the wall and floor framing.

or meet a lawfully enacted local recycling ordinance, if more restrictive.

4.503.1 woodstove or pellet stove shall comply with U.S. EPA New Source Performance

fireplaces shall also comply with all applicable local ordinances.

CAL Green.

Storm water drainage and retention during construction

Grading and paving

Construction plans shall indicate how the site grading or drainage system will manage

Electric vehicle (EV) charging for new construction

Comply with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 for future installation and use

Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

. On a case-by-case basis where the local enforcing agency has determined EV

charging and infrastructure are not feasible based upon 1 of the following:

Exception: Additions and alterations which do not alter the existing drainage path

Projects which disturb less than 1 acre of soil and are not part of a larger common plan

of development shall manage storm water drainage during construction

all surface water flows to keep water from entering buildings.

1.1. Where there is no commercial power supply.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2020

See specific referenced sections for complete details on CALGreen man 2019 CALGREEN CODE

apter 4 - RESIDENTIAL MANDATORY MEASURES

on 4.1 - PLANNING AND DESIGN

of EV chargers.

4.106.3

CAL Green. 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2020** enced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE SECTION REQUIREMENTS Protection of mechanical equipment during construction At the time of rough installation, during storage on the construction site and until final Projects that generate a total combined weight of construction and demolition waste startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, 4.504.1 disposed in landfills, which do not exceed 3.4 pounds per square foot of the building sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used. Projects that generate a total combined weight of construction and demolition waste Adhesives, sealants and caulks disposed in landfills, which do not exceed 2 pounds per square foot of the building Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air At the time of final inspection, a manual, compact disc, web-based reference or other quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall media acceptable to the enforcing agency which covers 10 specific subject areas shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. Where 5 or more multifamily dwelling units are constructed on a building site, provide 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking readily accessible area(s) that serves all buildings on the site and is identified for the compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the Paints and coatings Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and apply.

CALGreen.

EV charging: 1- & 2-family dwellings/townhouses with attached private garage

Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).

Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for

Raceway shall originate at the main service or subpanel and terminate into a listed

cabinet, box or other enclosure in close proximity to the proposed location of an EV

EV charging for multifamily dwellings

ections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

SECTION REQUIREMENTS

4.106.4.1

each dwelling unit.

areas and spaces.

branch circuit overcurrent protective device

EFFECTIVE JANUARY 1, 2020

statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507. Architectural paints and coatings shall comply with VOC limits in Table 1 of the 4.504.3.1 Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, 4.504.3.2 and 4.37 of the 2007 California Air Resources Board, Suppested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall CALGreen. 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2020** 2019 CALGREEN CODE SECTION REQUIREMENTS HAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATION Bathroom exhaust fans Each bathroom shall be mechanically ventilated and shall comply with the following: . Fans shall be ENERGY STAR compliant and be ducted to terminate outside the 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control 4,506.1 a. Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroo Heating and air-conditioning system design 702.2 When required by the enforcing agency, special inspectors must be qualified and able feating and air-conditioning systems shall be sized, designed and equipment selected sing the following methods . The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 703.1 documents, plans, specifications, builder or installer certification, inspection reports, or 4.507.2 Duct systems are sized according to ANSI/ACCA 1 Manual D - 2016 Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

2. The minimum width of each EV space shall be 9 feet 4.106.4.2.2 3. 1 in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. a. Surface slope for this EV space and aisle shall not exceed 1 unit vertical Page 4 of 16 CAL Green. 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2020** 2019 CALGREEN CODE Water conserving plumbing fixtures and fittings Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 - Water closets: ≤ 1.28 gal/flush. 4.303.1.2 - Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 4.303.1.3.1 - Single showerheads: ≤ 1.8 gpm @ 80 psi. 4.303.1.3.2 — Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or 4.303.1 only 1 shower outlet is to be in operation at a time. 4.303.1.4.1 - Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi. 4.303.1.4.2 - Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi. 4.303.1.4.3 - Metering faucets: ≤ 0.2 gallons per cycle. 4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm. Standards for plumbing fixtures and fittings Plumbing fixtures and fittings shall be installed in accordance with the California 4.303.2 Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the y provisions for EV charging Outdoor potable water use in landscape areas New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. Rodent proofing Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of

When EV chargers are installed, EV spaces (required by Section 4.106.4.2.2, Item 3,) shall comply with at least 1 of the following options: Raceways are required to be continuous at enclosed, inaccessible, or concealed The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of Service panel and/or subpanel shall provide capacity to install a 40-ampere 1.106.4.2.1.1 the EV charger from the accessible parking space. minimum dedicated branch circuit and space(s) reserved to permit installation of a 2. The EV space shall be located on an accessible route to the building, as defined Exception: EVCS designed and constructed in compliance with the California Building Code Chapter 11B are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3. 4.106.4.1.1 Service panel or subpanel circuit directory shall identify the overcurrent protective evice space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE EV charging space (EV space) dimensions EV spaces shall be designed to comply with the following: Applies to all multifamily dwelling units with parking facilities on the site. 1. The minimum length of each EV space shall be 18 feet.

CAL Green.

sections for complete details on CALGreen mandatory requirements.

EV charging space (EV space) locations

common use parking is provided at least 1 EV space shall be located in the common

EV charging stations (EVCS)

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2020

2019 CALGREEN CODE

4.106.4.2.1 | Construction documents shall indicate the location of proposed EV spaces. Where

use parking areas and shall be available for use by all residents.

APPROVALS: CAL Green 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2020** renced sections for complete details on CALGreen ma 2019 CALGREEN CODE SECTION REQUIREMENTS Aerosol paints and coatings Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain xic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Documentation is required per Section 4.504.2.4. Carpet systems arpet installed in the building interior shall meet the testing and product requiremen Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using nvironmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

Carpet adhesive

CALGreen.

Installer training

HVAC system installers shall be trained and certified in the proper installation of HVAC

systems and equipment by a recognized training or certification program. Examples of

acceptable HVAC training and certification programs include, but are not limited to, the

3. Training programs sponsored by trade, labor or statewide energy consulting or

Special inspection

to demonstrate competence to the enforcing agency in the discipline in which they are

other methods acceptable to the local enforcing agency. Other specific documentation

or special inspections necessary to verify compliance are specified in appropriate

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Documentation of compliance shall include, but is not limited to, construction

Documentation

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

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State certified apprenticeship programs.

4. Programs sponsored by manufacturing organizations.

5. Other programs acceptable to the enforcing agency

2. Public utility training programs.

verification organizations.

inspecting.

sections of CALGreen.

Carpet adhesives shall meet the requirements of Table 4.504.1

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No.	Description	Date
'		
HEET TIT		

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CAL GREEN

MEASURES / STREET TREE

JOB NO. [DGN-2005] SHEET NO.

AS NOTED

ACCESSIBILITY DETAILS FOR PARKING

WHERE ACCESSIBLE PARKING IS REQUIRED.

Where parking spaces are provided, parking spaces shall be provided in accordance with Section 118-208 Exception: Parking spaces used exclusively for buses, trucks, other delivery

vehicles, or vehicular impound shall not be required to comply with Section 118-208 provided that lots accessed by the public are provided with a passenger loading zone complying with Section 118-503. Minimum number. Parking spaces complying with Section 11B-502 shall be provided in accordance with Table 118-208.2 except as required by Sections 118-208.2.1, 118-208.2.2, and 118-208.2.3. Where more than one parking

Hospital outpatient facilities. Ten percent of patient and visitor parking spaces provided to serve hospital outpatient facilities, and free-standing roviding outpatient clinical services of a hospital, shall comply with

Rehabilitation facilities and outpatient physical therapy facilities. Twenty percent of patient and visitor parking spaces provided to serve rehabilitation facilities specializing in treating conditions that affect mobility and outpatient physical therapy facilities shall comply with Section 11B

Residential facilities. Parking spaces provided to serve residential facilities shall comply with Section 11B-208.2.3.

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

LABDBS

Electrical Vehicle Charging Stations

as required by Section 11B-228.3. Where vehicle spaces and access aisles are marked with lines, measurements shall be made from the centerline of Exception: 11B-812.1

MultiFamily Dwellings shall be on accessible route per 1113A and shall be in compliance with section 1138A reach range requirements Floor or ground surfaces. Vehicle spaces and access aisles serving then shall comply with Section 11B-302. Access aisles shall be at the same leve

vehicular routes serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum. Where provided, overhead cable management systems shall not obstruct required vertical clearance.

facility shall be located on an accessible route to an entrance complying with Section 118-206.4. Where EVCS do not serve a particular building or facility. EVCS complying with Section 118-812 shall be located on an accessible. route to an accessible pedestrian entrance of the EV charging facility.

charger which serves it.

Relationship to accessible routes. Vehicle spaces and access aisles shall be designed so that when the vehicle space is occupied the required clear width of adjacent accessible routes is not obstructed. A curb, wheel stop, bollards, or other barrier shall be provided if required to prevent encroachment of vehicles over the required clear width of adjacent accessible routes. Arrangement. Vehicle spaces and access aisles shall be designed so that

persons using them are not required to travel behind vehicle spaces or parking spaces other than the vehicle space in which their vehicle has been left to charge. Exceptions: 11B-812.5.4 Obstructions. EVCS shall be designed so accessible routes are not

obstructed by cables or other elements. Vehicle spaces. Vehicle spaces serving van accessible, standard accessible, ambulatory and drive-up EVCS shall be 216 inches (5486 mm ong minimum and shall com ply with Sections 11B-812.6.1 through 11B

812.6.4 as applicable. All vehicle spaces shall be marked to define their

Exceptions: 11B-812.6 Van accessible. Vehicle spaces serving van accessible EVCS shall be 144

inches (3656 mm) wide minimum and shall have an adjacent access aisle complying with Section 11B-812.7. Standard accessible. Vehicle spaces serving standard accessible EVCS shall be 108 inches (2743 mm) wide minimum and shall have an adjacent

Van parking spaces. For every six or fraction of six parking spaces equired by Section 11B-208.2 to comply with Section 11B-502, at least one shall be a van parking space complying with Section 11B-502. facility is provided on a site, the number of accessible spaces provided or the site shall be calculated according to the number of spaces required for

accessible pedestrian entrance of the parking facility.

Location. Parking facilities shall comply with Section 11B-208.3. General. Parking spaces complying with Section 118-502 that serve a particular building or facility shall be located on the shortest accessible route from parking to an entrance complying with Section 11B-206.4. Where parking serves more than one accessible entrance, parking spaces accessible route to the accessible entrances. In parking facilities that do not serve a particular building or facility, parking spaces complying with

Section 11B-502 shall be located on the shortest accessible route to an

Parking for guests, employees, and other non-residents. Where parking

spaces are provided for persons other than residents, parking shall be provided in accordance with Table 118-208.2.

Requests for accessible parking spaces. When assigned parking is provided, designated accessible parking for the adaptable residential

same terms and with the full range of choices (e.g., off-street parking, carport

1. All van parking spaces shall be permitted to be grouped on one level 2. Parking spaces shall be permitted to be located in different parking facilities if substantially equivalent or greater accessibility is provided in terms of

OTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

TABLE 11B-208.2 PARKING SPACES

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

Electric vehicle charging stations (EVCS) shall comply with Section 11B-812 Ambulatory. Vehicle spaces serving ambulatory EVCS shall be 120 inche (3048 mm) wide minimum and shall not be required to have an adjacent Drive-up, Vehicle spaces serving drive-up EVCS shall be 204 inches (5182

Operable parts shall comply with Section 11B-309. Future installation of Electric Vehicle (EV) Chargers serving Covered

for van accessible spaces which shall have access aisles located as the vehicle space they serve. Changes in level, slopes exceeding 1.48, and detectable warnings shall not be permitted in vehicle spaces and access on the passenger side of the vehicle spaces. borderline around their perimeter. The area within the borderlines shall be Vertical clearance. Vehicle spaces, access aisles serving them, and marked with hatched lines a maximum of 36 inches (914 mm) on center. The color of the borderlines, hatched lines, and letters shall contrast with that of

Accessible route to building or facility.

EVCS complying with Section 118-812 that serve a particular building or

Exception: 11B-812.5.1 Accessible route to EV charger. An accessible route complying with

> van accessible EVCS shall be identified by an ISA complying with Section 11B-703.7.2.1. The required standard accessible EVCS shall not be required to be identified with an ISA. Twenty-six or more. Where twenty-six or more total EVCS are provided, all

identified by an ISA complying with Section 11B-703.7.2.1. Ambulatory. Ambulatory EVCS shall not be required to be identified by an

Access aisle. Access aisles shall adjoin an accessible route. Two vehicle spaces shall be permitted to share a common access aisle. Access aisles shall be 60 inches (1524 mm) wide minimum and shall extend the full

Location. Access aisles at vehicle spaces shall not overlap the vehicular

way and may be placed on either side of the vehicle space they serve except

Lettering. The words "NO PARKING" shall be painted on the surface within

each access aisle in letters a minimum of 12 inches (305 mm) in height and

Identification signs. EVCS identification signs shall be provided in

Four or fewer. Where four or fewer total EVCS are provided, identification

Five to twenty-five. Where five to twenty-five total EVCS are provided, one

markings may extend beyond the minimum required length.

located to be visible from the adjacent vehicular way.

Drive-up. Drive-up EVCS shall not be required to be identified by an ISA. Finish and size, Identification signs shall be reflectorized with a minimum area of 70 square inches (45 161 mm2).

serves. Signs shall be permanently posted either immediately adjacent to the vehicle space or within the projected vehicle space width at the head end of the vehicle space. Signs identifying van accessible vehicle spaces shall contain the designation "van accessible." Signs shall be 60 inches (1625 mm) minimum above the finish floor or ground surface measured to the bottom of the sign. Signs located within an accessible route shall be 80

inches (2032 mm) minimum above the finish floor or ground surface ured to the bottom of the sign. Signs may also be permanently posted on a wall at the interior end of the vehicle space. he centerline of the text shall be a maximum of 6 inches (152 mm) from the

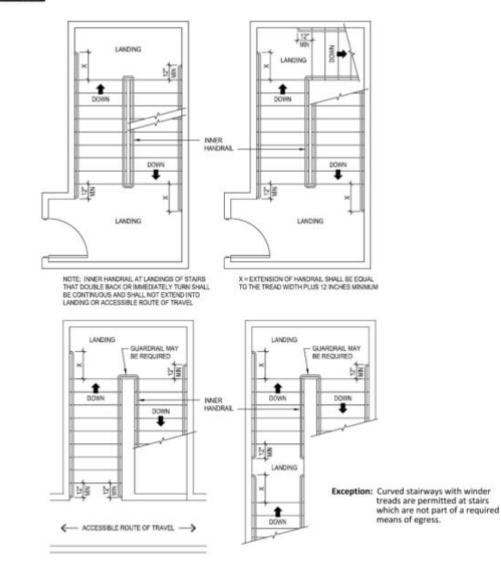
centerline of the vehicle space and its lower comer at, or lower side aligned

access aisle complying with Section 11B-812.7. with, the end of the parking space length. As covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

P/BC 2020-085 THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY

AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

STAIRWAYS



P/BC 2020-084 THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREM AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY

PASSENGER DROP-OFF AND LOADING ZONES

General. Passenger drop-off and loading zones shall comply with Section Vehicle pull-up space. Passenger drop-off and loading zones shall provide a

provide at least one passenger loading zone complying with Section 11B-503. The parking requirements of Section 11B-208.1 apply to facilities with valet parking. vehicular pull-up space 96 inches wide minimum and 20 feet long minimum. Mechanical access parking garages. Mechanical access parking garages shall provide at least one passenger loading zone complying with Section Access aisle. Passenger drop-off and loading zones shall provide access aisles complying with Section 11B-503 adjacent and parallel to the vehicle pull-11B-503 at vehicle drop-off and vehicle pick-up areas. up space. Access aisles shall adjoin an accessible route and shall not overlag

Valet parking. Parking facilities that provide valet parking services shall

FIGURE 11B-502.2 VEHICLE PARKING SPACES

PARKING SPACES General. Car and van parking spaces shall comply with Section 118-502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the Exception: Where parking spaces or access aisles are not adjacent to anothe arking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or access aisle.

FIGURE 11B-503.3 PASSENGER DROP-OFF AND LOADING ZONE ACCESS AISLE

Width. Access aisles serving vehicle pull-up spaces shall be 60 inches wide Length. Access aisles shall extend the full length of the vehicle pull-up spaces Marking. Access aisles shall be marked with a painted borderline around their

Floor and ground surfaces. Vehicle pull-up spaces and access aisles serving them shall comply with Section 118-302. Access aisles shall be at the same level as the vehicle pull-up space they serve. Changes in level are not Exception: Slopes not steeper than 1:48 shall be permitted.

perimeter. The area within the borderlines shall be marked with hatcher

lines a maximum of 36 inches on center in a color contrasting with that of the

the passenger loading zone to a vehicular exit shall provide a vertical Identification. Each passenger loading zone designated for persons with disabilities shall be identified with a reflectorized sign complying with Section 118-703.5. It shall be permanently posted immediately adjacent to and visible from the passenger loading zone stating "Passenger Loading Zone Only' and including the International Symbol of Accessibility complying with

Vertical clearance. Vehicle pull-up spaces, access aisles serving them, and

a vehicular route from an entrance to the passenger loading zone and from

Medical care and long-term care facilities. At least one passenger loading zone complying with Section 11B-503 shall be provided at an accessible

Section 11B-703.7.2.1 in white on a dark blue background.

entrance to licensed medical care and licensed long-term care facilities where the period of stay may exceed twenty-four hours.

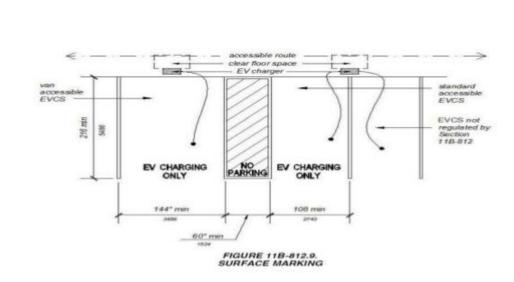
As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

P/BC 2020-084 HESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION

Point-of-sale devices. Where provided, point-of-sale devices shall comply EV chargers shall comply with Section 11B-812.10. Operable parts and with Sections 11B-707.2, 11B-707.3, 11B-707.7.2, and 11B-07.9. ocation. EV chargers shall be adjacent to, and within the projected width of, the vehicle space being served.

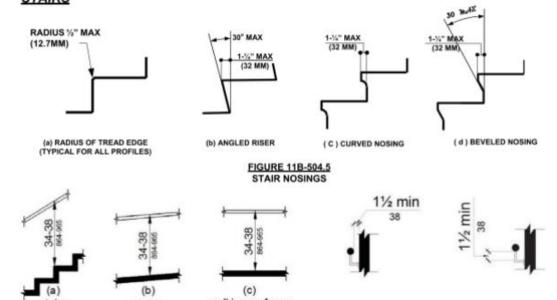
Exceptions:11B-812.10.4

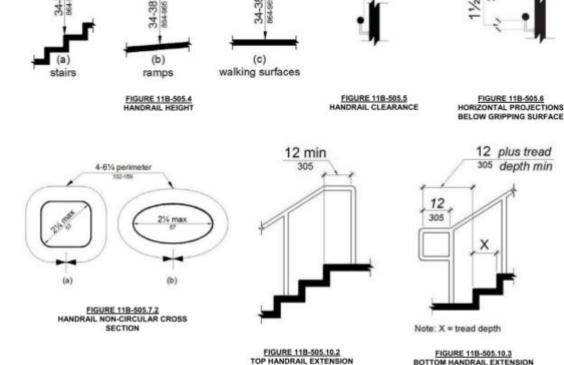
TOTAL NUMBER	MINMUM NUMBER (by	type) OF EVCS REQUIRED TO COMPLY	WITH SECTION 118-812
OF EVES AT A FACILITY	Van Accessible	Standard Accessible	Ambulatory
1 to 4	i	0	0
5 to 25	1	1	0
26 to 50	1	1	1
51 to 75	1	2	2
76 to 100	1	3	3
101 and over	1, plus 1 for each 300, or fraction thereof, over 100	3, plus 1 for each 60, or fraction thereof, over 100	3, plus 1 for each 50, or fraction thereof, over 10



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P/BC 2020-085 THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION. **EPARTMENT OF BUILDING AND SAFETY** <u>STAIRS</u>





P/BC 2020-084 THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION PIBC 2020-084 AN AID FOR BUILDING DESIGN AND CONSTRUCTION Vehicle spaces. Car and van parking spaces shall be 216 inches (18 feet) long minimum. Car parking spaces shall be 108 inches (9 feet) wid minimum and van parking spaces shall be 144 inches (12 feet) wide minimum, shall be marked to define the width, and shall have an adjacer ccess aisle complying with Section 11B-502.3. Exception: Van parking spaces shall be permitted to be 108 inches (9 feet) wide minimum where the access aisle is 96 inches (8 feet) wide sign Access aisle. Access aisles serving parking spaces shall comply with access Section 11B-502.3. Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle. aisle

parking spaces they serve.

Location. Access aisles shall not overlap the vehicular way. Access

aisles shall be permitted to be placed on either side of the parking

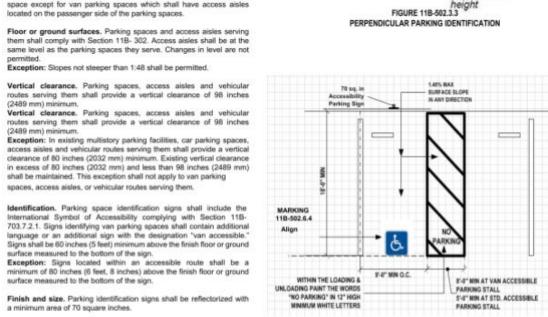
space except for van parking spaces which shall have access aisle

identification blue border Width. Access aisles serving car and van parking spaces shall be 60 -hatched line at 36 inches OF ACCESSIBILITY 36" BY 36" Length. Access aisles shall extend the full required length of the (914 mm) or (See Marking.11B-502.6.4 center max Marking. Access aisles shall be marked with a blue painted borderline around their perimeter. The area within the blue borderlines shall be marked with hatched lines a maximum of 36 inches (3 feet) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (1 foot) in height and located to be visible from the adjacent vehicular way. - white lettering, Access aisle markings may extend beyond the minimum required length.

perpendicular parking

12 inches

(305 mm) min

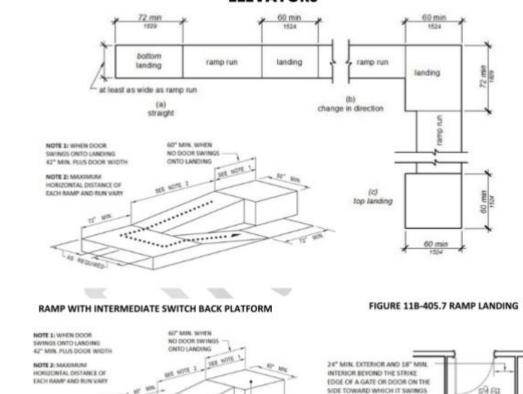


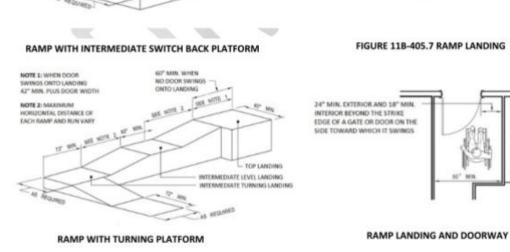
Minimum fine. Additional language or an additional sign below the VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (9 FEET) WID International Symbol of Accessibility shall state "Minimum Fine \$250." MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (8 FEET) WIDE MINIMUM. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide

INFORMATION BULLETIN / PUBLIC - BUILDING CODE REFERENCE NO.: LABC Sec.11B-403,404,405, 408,504,505,802 DOCUMENT NO.: P/BC 2020-085

Effective: 01/01/2020 Revised: 12/02/2019 Previously Issued As: P/BC 2017-085

ACCESSIBILITY DETAILS FOR RAMPS, STAIRS & **ELEVATORS**



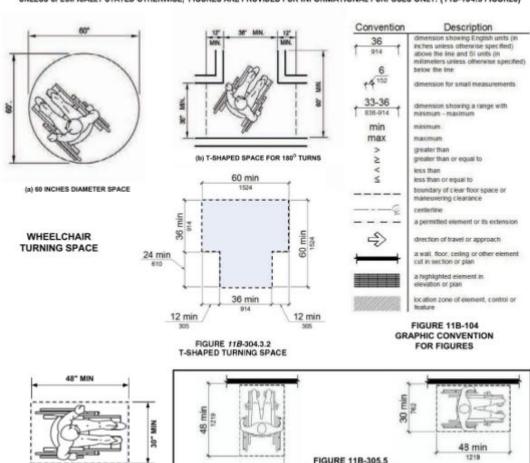


As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

INFORMATION BULLETIN / PUBLIC - BUILDING CODE REFERENCE NO.: LABC Sec. 11B-304,305,404 Effective: 01/01/2020 DOCUMENT NO.: P/BC 2020-086

Previously Issued As: P/BC 2017-086 ACCESSIBILITY DETAILS

FOR DOORS, MANEUVERING SPACES & ROUTES UNLESS SPECIFICALLY STATED OTHERWISE, FIGURES ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. (118-104.3 FIGURES)



HINGE APPROACH, PULL SIDE HINGE APPROACH, PUSH SIDE HINGE APPROACH, PUSH SIDE, DOOR ROVIDED WITH BOTH CLOSER AND LATCH FIGURE 11B-404.2.4.1 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

FRONT APPROACH

PIBC 2020-084

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION PEDESTRIAN ROUTE 5% MAX SLOPE (1.48% CROSS SLOPE MAX) ACCESSIBILITY SIGN -PER SECTION 11298.4 PREFERABLY BLUE OR WHITE PAINT THE WORDS "NO PARKING" IN 12" HIGH MINIMUM WHITE LETTERS 5'-0" MIN. AT TYPICAL ACCESSIBLE 8'-9" MIN. AT VAN ACCESSIBLE PARKING STALL FIGURE 11B-502.3.3

P/BC 2020-084

PARKING

ONLY

FINE \$250

GROUND SURFACE FINISH LINE T

36" MIN

11B-502.7.1 Arrangement. Parking spaces and access aisles shall be Location. A parking space identification sign shall be visible from each spaces other than to pass behind the parking space in which they parked. at the head end of the parking space. Signs may also be permanently 11B-502.7.2 Wheel stops. A curb or wheel stop shall be provided if required to prevent encroachment of vehicles over the required clear width of adjacent accessible routes. Marking. Each accessible car and van space shall have surface identification complying with either Sections 118-502.6.4.1 or 118-502.6.4.2. 11B-502.8 Additional signage. An additional sign shall be posted

1) In a conspicuous place at each entrance to an off-street

118-502,8.1 Size. The additional sign shall not be less than 17 inches

11B-502.8.2 Lettering. The additional sign shall clearly state in letters

with a minimum height of 1 inch the following: "Unauthorized vehicles parked in designated accessible spaces not

displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner's expense. Towed vehicles maybe reclaimed at:

part of the sign. (NOTE: Towing Co.'s Name and Telephone Number must

from each parking space.

be noted on the detail sheet's on the plans

parking facility or
2) Immediately adjacent to on-site accessible parking and visible

The parking space shall be marked with an International Symbol of background a minimum 36 inches wide by 36 inches high. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space length.

The parking space shall be outlined or painted blue and shall be marked with an international Symbol of Accessibility complying with Section 11B-703.7.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the Interni-Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower comer at, or lower side aligned with, the end

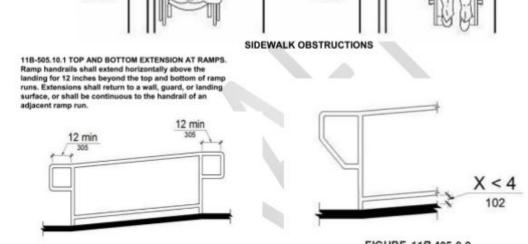
Relationship to accessible routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.

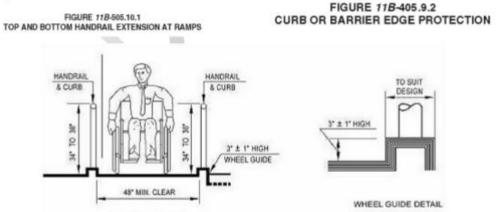
STREET

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide

P/BC 2020-085 THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION. <u>RAMPS</u> CURB -

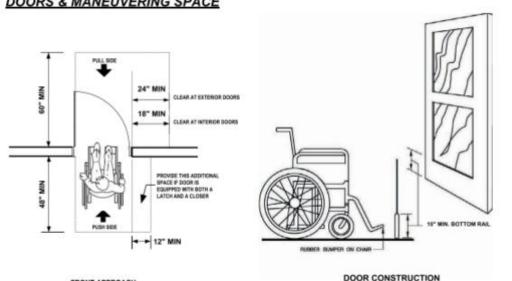
STREET

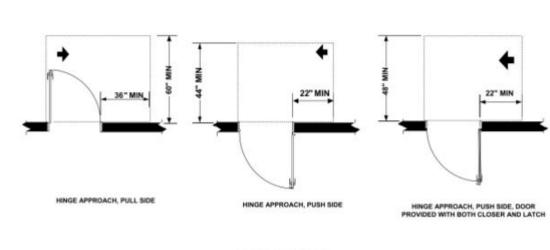




(c) WHEEL GUIDE RAMPS AND HANDRAILS

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE RECUIREMENTS OF THE PROPERTY OF T PIBC 2020-086 THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE **DOORS & MANEUVERING SPACE**





PIBC 2020-084 PIBC 2020-084

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY
AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION design group name ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE

THE ADDITIONAL " TOW-AWAY" SIGN SHALL BE 17" MIN. X 22" MIN. LETTERS SHALL HAVE A MINIMUM HEIGHT OF 1"

AND TELEPHONE NOS.* MUST BE PROVIDED ON SIGN

OR BY TELEPHONING

WHERE APPLIES

NOTE: SIGNS LOCATED W/IN

CCESSIBLE ROUTE SHALL BE 80° MIN. F.F. OR ABOVE GROUND SURFACE.

POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.

1610 W. 7TH ST. LOS ANGELES, CA. 90017 benny@designgroupname.com marino@designgroupname.com

91201

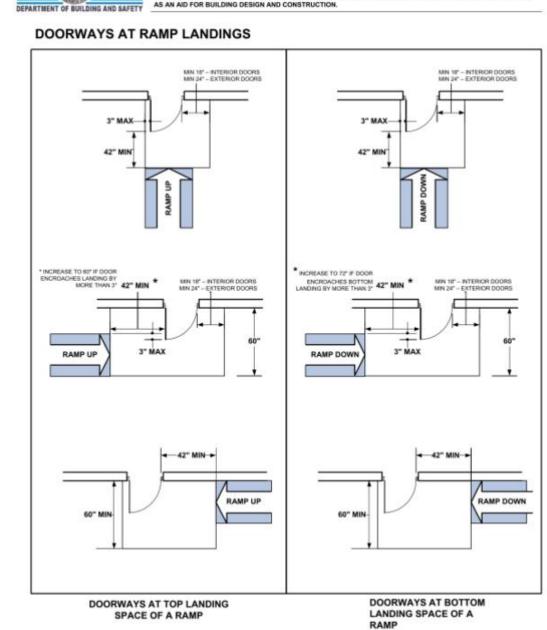
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS THE PROPERTY OF THE DRAFTER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNERS PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DRAFTERS NAME. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWINGS ARE FOR USE ON THE SPECIFIC PROJECT ONLY FROM THE DRAFTER.

APPROVALS:



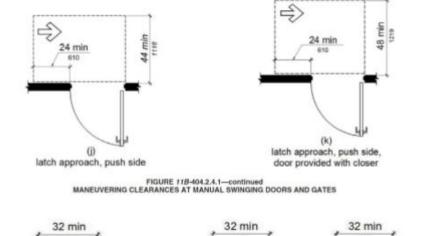
As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide

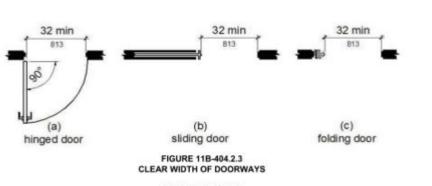
Page 5 of 7



As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION. **DOORS & MANEUVERING SPACE**





	TA	BLE	11B-404	.2.3				
ANEUVERING C	LEARANCES	AT M	ANUAL	SWINGING	DOORS	AND	GATES	

TYPE C	OF USE	MINIMUM MANEUVERING CLEARANCE		
APPROACH DIRECTION	DOOR or GATE SIDE	PERPENDICULAR TO DOORWAY	(beyond latch side unless noted	
From front	Pull	60 inches	18 inches	
From front	Push	48 inches	0 inches	
From hinge side	Pull	60 inches	36 inches	
From hinge side	Push	44 inches	22 inches	
From latch side	Pull	60 inches	24 inches	
From latch side	Push	44 inches	24 inches	

SHEET TITLE.

ADA HANDOUTS

SCALE
AS NOTED

T-1.2

11B-504 STAIRWAYS

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable

Page 5 of 7

AT STAIRS

FIGURE 11B-305.3

CLEAR FLOOR OR GROUND SPACE

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide

30 min

forward

POSITION OF CLEAR

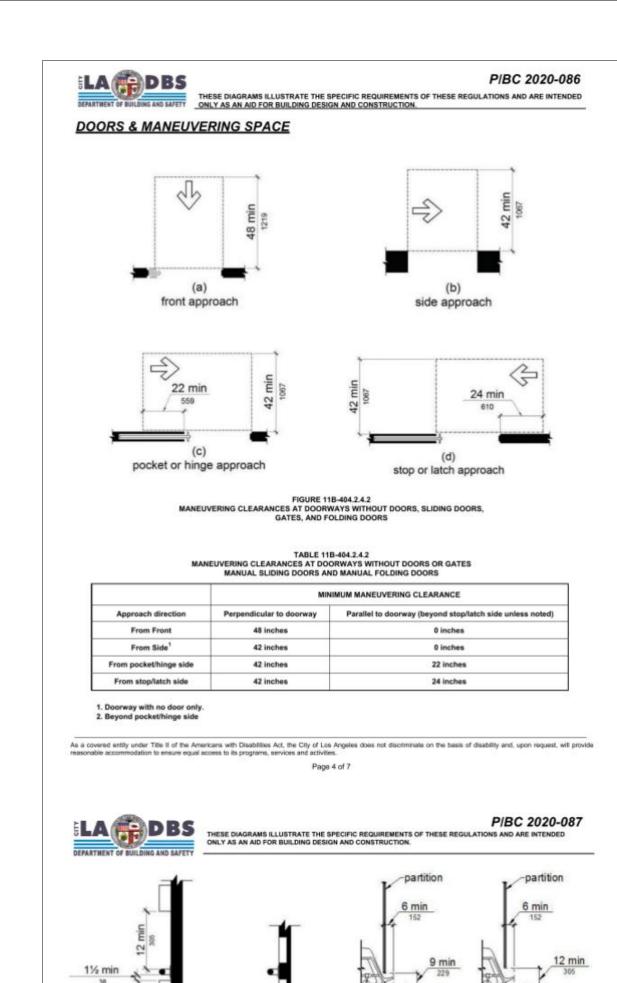
FLOOR OR GROUND

SPACE

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

P/BC 2020-086



elevation

adult

FIGURE 11B-604.8.1.4

FIGURE 118-604.8.1.4

P/BC 2020-091

WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE

11B-703.1 General. Signs shall comply with Section 11B-703. Where both visual and tactile

characters are required, either one sign with both visual and tactile characters, or two

11B-703.1.1 Plan review and inspection. Signs as specified in Section 11B-703, or in other

sections of this code, when included in the construction of new buildings or facilities, or when

included, altered or replaced due to additions, alterations or renovations to existing buildings or facilities, and when a permit is required, shall comply with Sections 11B-

11B-703.1.1.1 Plan review. Plans, specifications or other information indicating compliance with these regulations shall be submitted to the enforcing agency for review

11B-703.1.1.2 Inspection. Signs and identification devices shall be field inspected after

installation and approved by the enforcing agency prior to the issuance of a final certificate of

occupancy per Chapter 1, Division II, Section 111, or final approval where no certificate of

occupancy is issued. The inspection shall include, but not be limited to, verification that Braille

dots and cells are properly spaced and the size, proportion and type of raised characters are

Distance between dots in the

Single Braille cell

● ○ ○ ○ ● — Raised Dot

No raised dot

Base diameter

MAXIMUM IN INCHES

0.059 - 0.063

0.100

0.300

0.395 - 0.400

Blank cell space between words

separate signs, one with visual, and one with tactile characters, shall be provided.

WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE

projecting objects

SPACING OF GRAB BARS

FIGURE 11B-604.8.1.2

WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT DOORS

KIBRARY

FIGURE 11B-703.2.5

Dot base diameter

Distance between two dots in the same cell

Distance between corresponding dots in adjacent cells

Dot height

Distance between corresponding dots from one cell directly below

Distance between corresponding

Distance between corresponding

dots from one cell directly below

Distance between dots

HEIGHT OF RAISED CHARACTERS

___ 4"-4.8" —

recessed objects

FIGURE 11B-609.2.2

GRAB BAR NON-CIRCULAR CROSS SECTION

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Page 2 of 5

P/BC 2020-091

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11B-703 Signs

703.1.1.1 and 11B-703.1.1.2.

in compliance with these regulations.

TABLE 11B-703.3.1

FIGURE 11B-703.3.1

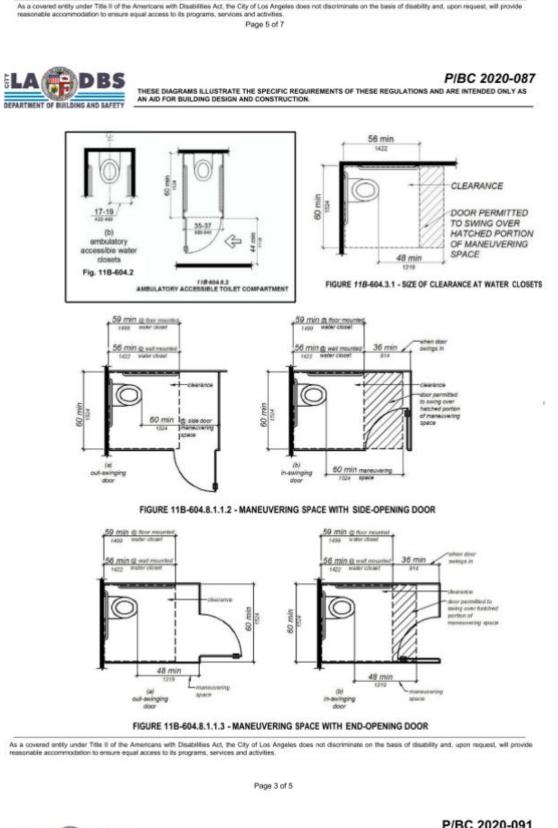
BRAILLE MEASUREMENT

Page 2 of 5

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elevation

children



P/BC 2020-086

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED

push side, door provided with

both closer and latch

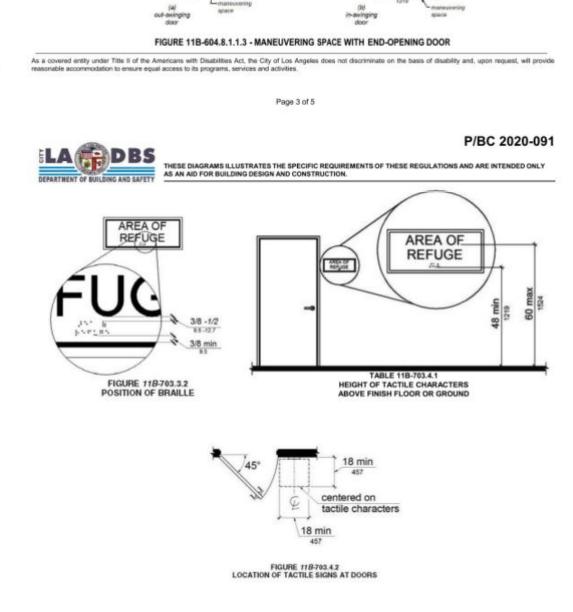
FIGURE 11B-404.2.6

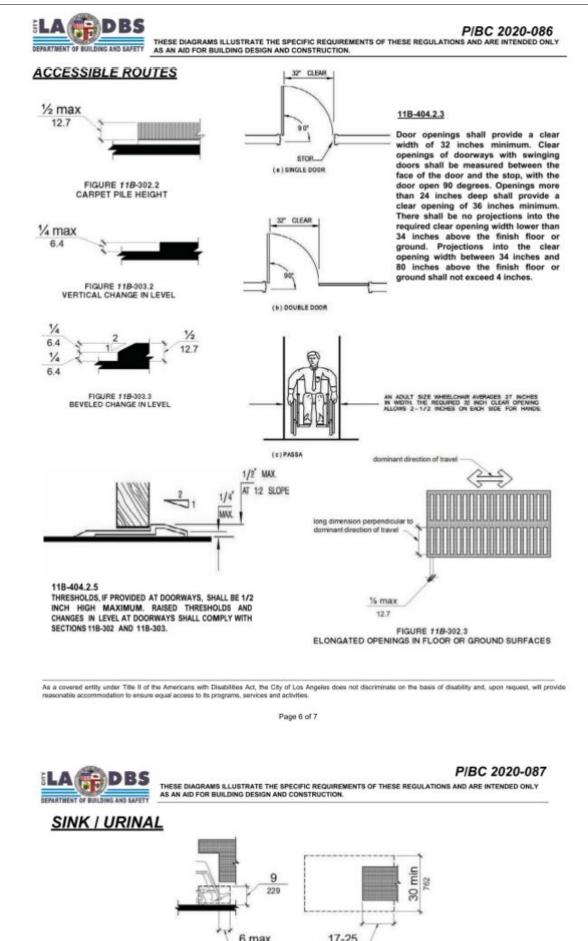
DOORS IN SERIES AND GATES IN SERIES

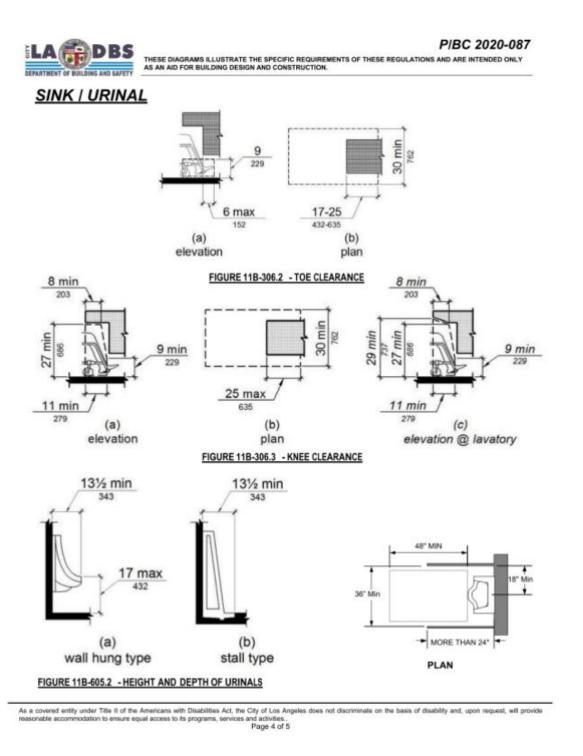
LABDBS

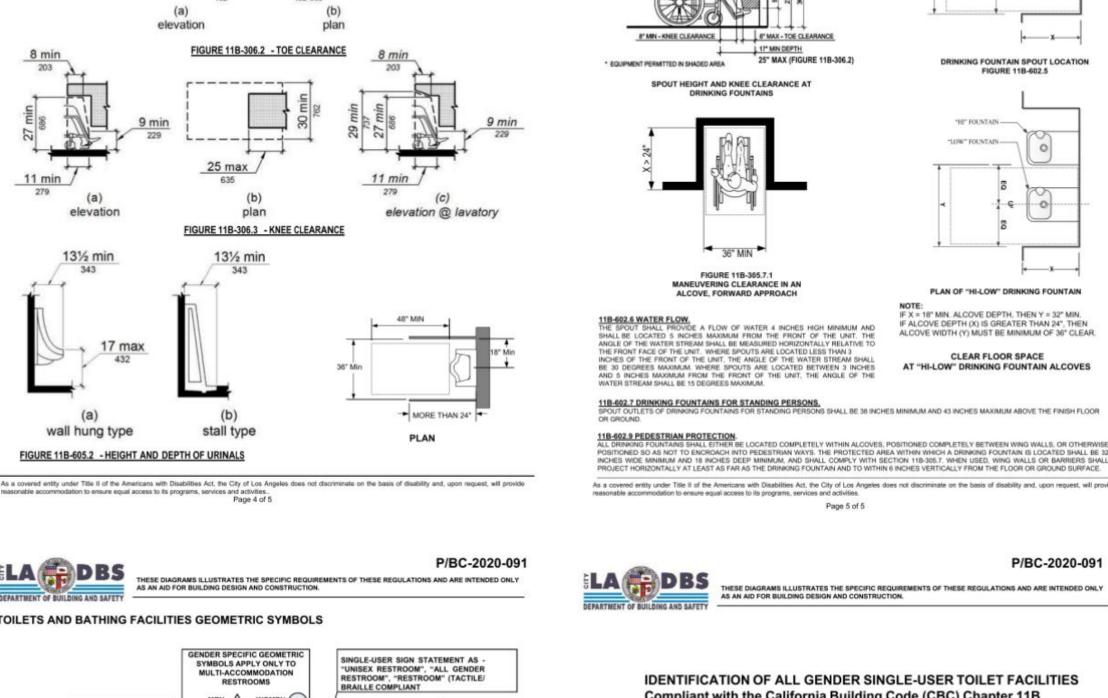
DOORS & MANEUVERING SPACE

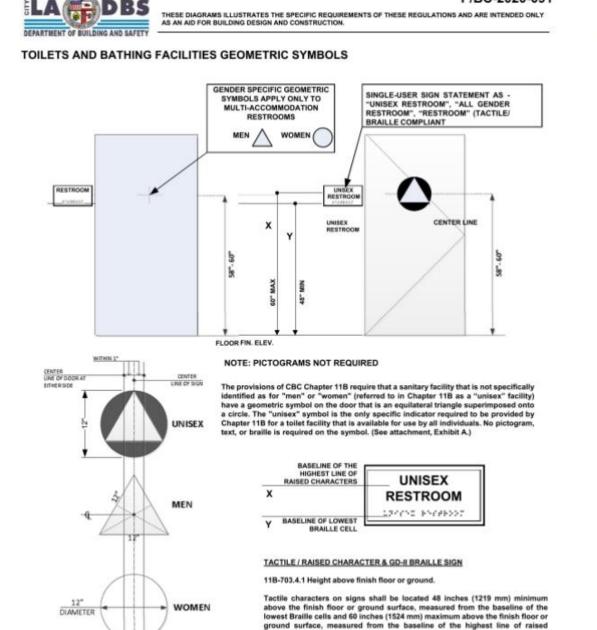
24 min at exterior

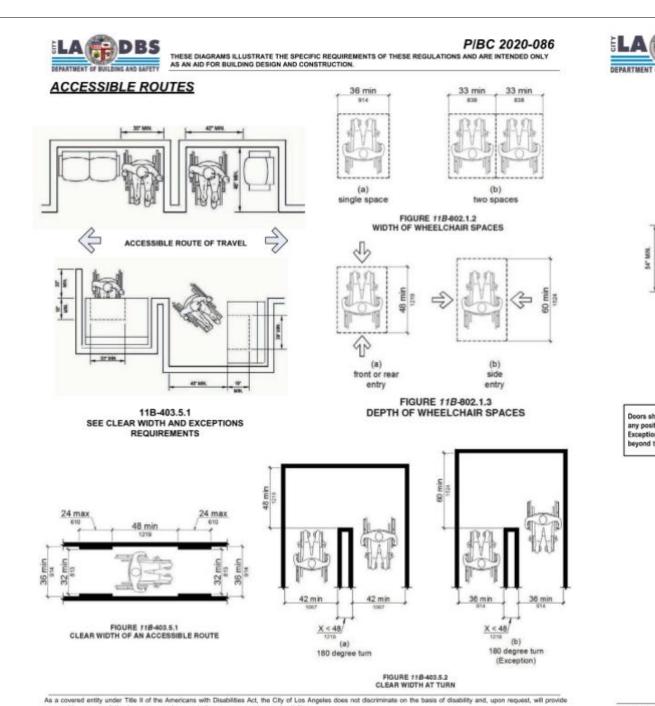


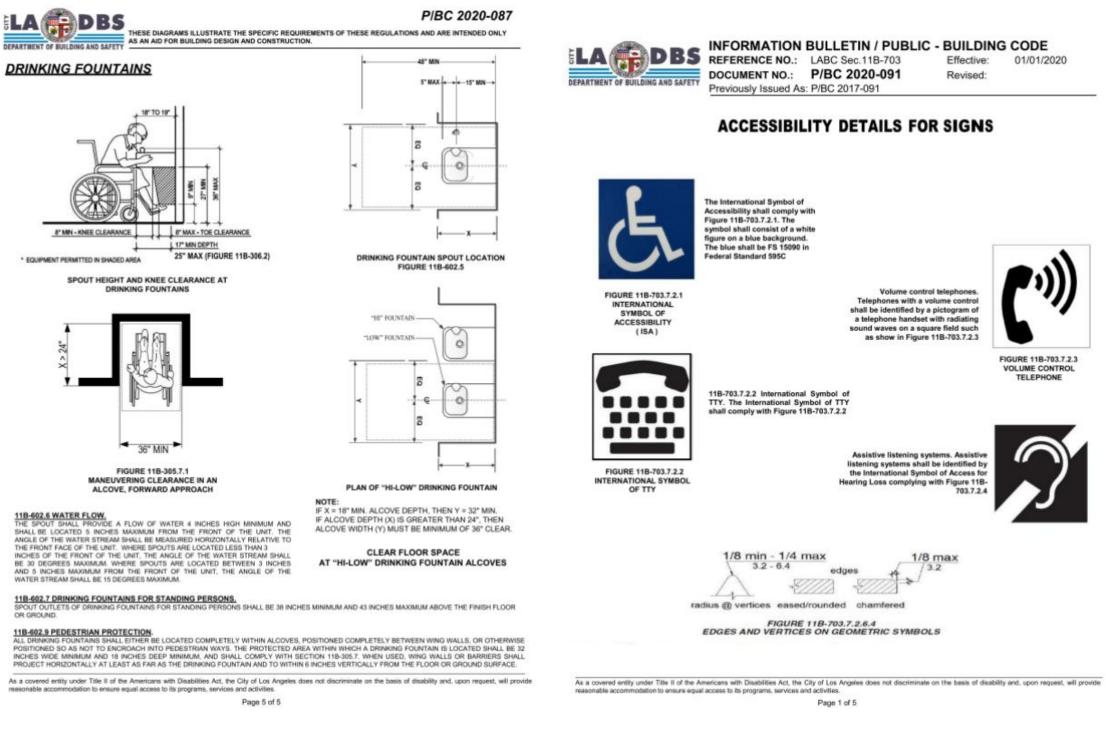










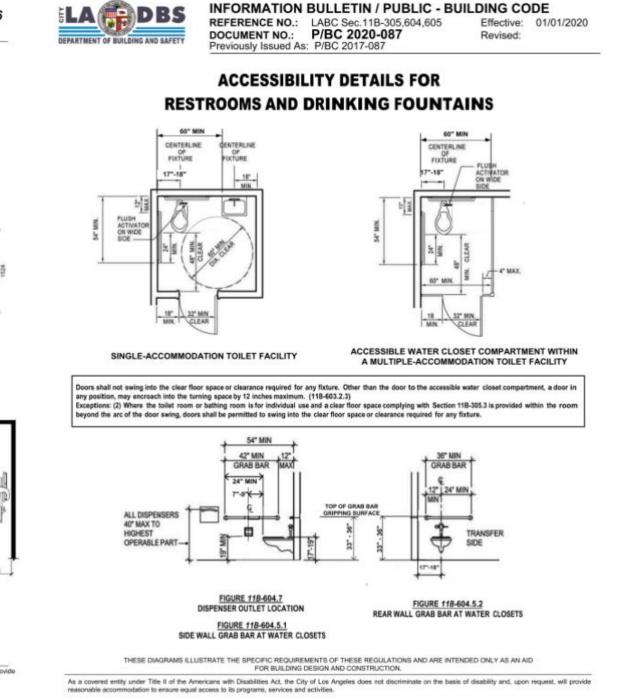


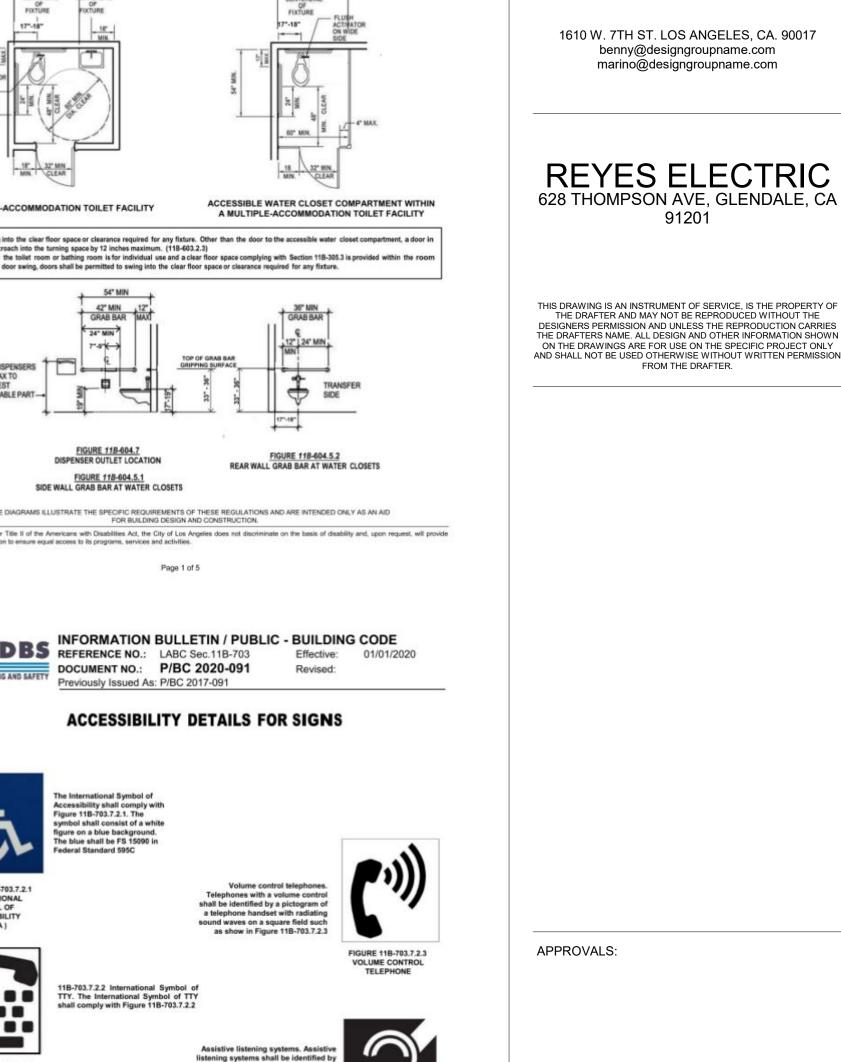
P/BC-2020-091

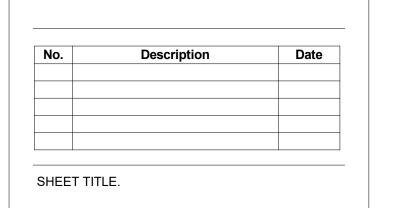
UNISEX

RESTROOM

TREADURE DONNEL







design group name

ADA HANDOUTS

JOB NO.	SCALE
[DGN-2005]	AS NOTED
SHEET NO.	

T-1.3

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Page 4 of 5

above the finish floor or ground surface, measured from the baseline of the lowest Braille cells and 60 inches (1524 mm) maximum above the finish floor or ground surface, measured from the baseline of the highest line of raised characters. Exception: Tactile characters for elevator car controls shall not be required to comply with Section 11B-703.4.1. 1 As a covered entity under Title it of the Americans with Dissibilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Page 5 of 5

IDENTIFICATION OF ALL GENDER SINGLE-USER TOILET FACILITIES

This image represents the door symbol that is required by CBC 11B-216.8 to identify

an all-gender/unisex single-user toilet facility. The symbol must comply with the

Designation signs are not required to be provided by the CBC or the 2010 ADAS.

If provided, a designation sign adjacent to the door must comply with the scoping

requirements of CBC 11B-216.2, and the technical requirements for raised characters (CBC 11B-703.2), braille (CBC 11B-703.3), visual characters (CBC 11B-703.5), and requirements for installation height and location (CBC 11B-

703.4). No pictogram is required. The following signs illustrate acceptable examples

RESTROOM

requirements of CBC 11B-703.7.2.6.3. No pictogram, text, or braille is required on

Compliant with the California Building Code (CBC) Chapter 11B

EXHIBIT A - Door Symbol (required by the CBC)

EXHIBIT B - Designation sign on wall

for designation sign text:

ALL GENDER

RESTROOM

the symbol.

GENERAL NOTES FOR COMMERCIAL ACCESSIBILITY

NOTE: Code references are to the 2020 edition of the Los Angeles Building Code

The State of California delegates authority to the local jurisdiction to ensure compliance with Title 24, Part 2 of the California Code of Regulations. The following general notes indicate specific areas of Title 24. Part 2 which are applicable to your project. Please be aware that the owner(s) of the building and his/her consultants are responsible for compliance with the most current Federal Regulations contained in the Americans with Disabilities Act (ADA) and Fair Housing Act (FHA). Where the ADA & FHA requirements exceed those contained in Title 24, Part 2, it is the responsibility of the owners and their consultants to ensure compliance with the most current ADA & FHA regulations, as the City is not authorized to review plans or inspect projects for ADA & FHA compliance.

The following, applicable, general notes shall be provided on the plans

A. APPLICATION AND ADMINISTRATION

1. Public accommodations shall maintain in operable working condition those features of facilities and equipment that are required to be accessible to and useable by persons with disabilities. Isolated or temporary interruptions in service or accessibility due to maintenance or repairs shall be permitted. §11B-

B. BUILDING BLOCKS

FLOOR OR GROUND SURFACES

- Floor and ground surfaces shall be stable, firm, and slip resistant. §11B-302.1
- 2. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Pile height shall be 1/2 inch maximum. §11B-302.2, Figure 11B-302.2
- 3. Vertical changes in level for floor or ground surfaces may be 1/4 inch high maximum and without edge treatment. Changes in level greater than 1/4 inch and not exceeding 1/2 inch in height shall be beveled with a slope not steeper than 1:2. §11B-303, Figures 11B-303.2 & 11B-303.3
- 4. Changes in level greater than ½ inch in height shall be ramped and shall comply with the requirements of 1B-405 Ramps or 11B-406 Curb Ramps as applicable. §11B-303
- 5. Abrupt changes in level exceeding 4 inches in a vertical dimension between walks, sidewalks or other pedestrian ways and adjacent surfaces or features shall be identified by warning curbs at least 6 inches in height above the walk or sidewalk surface or by guards or handrails with a guide rail centered 2 inches minimum and 4 inches maximum above the surface of the walk or sidewalk. These requirements do not apply between a walk or sidewalk and an adjacent street or driveway. §11B-303.5
- TURNING SPACE
- 6. Circular turning spaces shall be a space of 60 inches diameter minimum and may include knee and toe clearance complying with 11B-306 Knee and Toe Clearance. §11B-304.3.1
- 7. T-Shaped turning spaces shall be a T-shaped space within a 60 inch square minimum with arms and base 36 inches wide minimum. Each arm of the T shall be clear of obstructions 12 inches minimum direction and the base shall be clear of obstructions 24 inches minimum. §11B-304.3.2, Figure 11B-304.3.2

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include a raised five pointed star located to the left of the identifying floor level. The outside diameter of the star shall be the same as the height of the raised characters. §11B-504.8

- **CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS** 49. Perpendicular ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-406.2.1
- 50. For perpendicular ramps, where provided, curb ramp flares shall not be steeper than 1:10. §11B-406.2,
- 51. The running slope of the curb ramp segments shall be in-line with the direction of sidewalk travel. Ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-406.3.1, Figure 11B-406.3.2
- 52. A turning space 48 inches minimum by 48 inches minimum shall be provided at the bottom of the curb ramp. The slope of the turning space in all directions shall be 1:48 maximum (2.083%). §11B-406.3.2
- 53. Blended transition ramps hall have a running slope not steeper than 1:20 (5%), §11B-406.4.1 54. Curb ramps and the flared sides of curb ramps shall be located so that they do not project into vehicular
- traffic lanes, parking spaces, or parking access aisles. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides. §11B-406.5.1 55. The clear width of curb ramp runs (excluding any flared sides), blended transitions, and turning spaces shall
- 56. Landings shall be provided at the tops of curb ramps and blended transitions (parallel curb ramps shall not be required to comply). The landing clear length shall be 48 inches minimum. The landing clear width shall
- be at least as wide as the curb ramp, excluding any flared sides, or the blended transition leading to the anding. The slope of the landing in all directions shall be 1:48 (2.083%) maximum. §11B-406.5.3 57. Grade breaks at the top and bottom of curb ramp runs shall be perpendicular to the direction of the ramp run. Grade breaks shall not be permitted on the surface of ramp runs and turning spaces. Surface slopes
- that meet at grade breaks shall be flush. §11B-406.5.6 58. The cross slope of curb ramps and blended transitions shall be 1:48 (2.083%) maximum. §11B-406.5.7 59. Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1:20 (5%). The adjacent surfaces at transitions at curb ramps to walks,
- gutters, and streets shall be at the same level. §11B-406.5.8 60. The bottom of diagonal curb ramps shall have a clear space 48 inches minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches minimum
- clear space within the markings. §11B-406.5.9 61. Curb ramps and blended transitions shall have detectable warnings complying with 11B-705 Detectable Warnings. §11B-406.5.12
- 62. Raised islands in crossings shall be cut through level with the street or have curb ramps at both sides. The clear width of the accessible route at islands shall be 60 inches wide minimum. Where curb ramps are provided, they shall comply with 11B-406 Curb Ramps, Blended Transitions and Islands. Landings complying with 11B-406.5.3 Landings and the accessible route shall be permitted to overlap. Islands shall have detectable warnings complying with 11B-705 Detectable Warnings and Detectable Directional Texture. §11B-406.6, Figure 11B-406.6

D. GENERAL SITE AND BUILDING ELEMENTS

- 1. Where parking spaces are provided, accessible parking spaces shall be provided in number and kind required per Section 11B-208 Parking Spaces. §11B-208.1
- 2. Where passenger loading zones, drop-off zones, and/or bus stops are provided, accessible passenger loading zones, drop-off zones, and/or bus stops are required.
- 3. Where Electric vehicle charging stations (EVCS) are provided, they shall comply with Section 11B-812 as required by
- 4. EVCS complying with Section 11B-812 that serve a particular building or facility shall be located on an accessible route to an entrance complying with Section 11B-206.4. Where EVCS do not serve a particular building or facility, EVCS complying with Section 11B-812 shall be located on an accessible route to an accessible pedestrian entrance of the EV

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KNEE AND TOE CLEARANCE

- 8. For lavatories and built-in dining and work surfaces required to be accessible, toe clearance shall be provided that is 30 inches in width and 9 inches in height above the finish floor or ground for a depth of 19
- nches minimum. §11B-306.2.1
- 9. Toe clearance shall extend 19 inches maximum under lavatories for toilet and bathing facilities and 25 inches maximum under other elements. §11B-306.2.2 10. At lavatories in toilet and bathing facilities, knee clearance shall be provided that is 30 inches in width for a
- depth of 11 inches at 9 inches above the finish floor or ground and for a depth of 8 inches at 27 inches above the finish floor or ground increasing to 29 inches high minimum above the finish floor or ground at the ront edge of a counter with a built-in lavatory or at the front edge of a wall-mounted lavatory fixture. §11B-306.3.3, Figure 11B-306.3(c)
- 11. At dining and work surfaces required to be accessible, knee clearance shall be provided that is 30 inches in width at 27 inches above the finish floor or ground for a depth of at least 19 inches. §11B-306.3
- 12. Except for handrails, objects with leading edges more than 27 inches and less than 80 inches above the
- finish floor or ground shall protrude no more than 4 inches horizontally into the circulation path. Handrails may protrude 41/2 inches maximum. §11B-307.2, Figure 11B-307.2
- 13. Freestanding objects mounted on posts or pylons shall overhang circulation paths no more than 12 inches when located from 27 to 80 inches above the finish floor or ground. §11B-307.3, Figure 11B-307.3(a)
- 14. Protruding objects shall not reduce the clear width required for accessible routes. §11B-307.5 15. Lowest edge of a sign or other obstruction, when mounted between posts or pylons separated with a clear distance greater than 12 inches, shall be less than 27 inches or more than 80 inches above the finish floor
- or ground. §11B-307.3, Figure 11B-307.3(b) 16. Vertical clearance shall be at least 80 inches high on circulation paths except at door closers and door
- stops, which may be 78 inches minimum above the finish floor or ground. §11B-307.4 17. Guardrails or other barriers with a leading edge located 27 inches maximum above the finish floor or ground shall be provided where the vertical clearance on circulation paths is less than 80 inches high. §11B-307.4,
- Figure 11B-307.4 18. Where a guy support is used within either the width of a circulation path or 24 inches maximum outside of a circulation path, a vertical guy brace, sidewalk guy or similar device shall be used to prevent a hazard or an overhead obstruction. §11B-307.4.1, Figure 11B-307.4.1

REACH RANGES

- 19. Electrical controls and switches intended to be used by the occupant of a room or area to control lighting and receptacle outlets, appliances or cooling, heating and ventilating equipment shall be located within allowable reach ranges. Low reach shall be measured to the bottom of the outlet box and high reach shall be measured to the top of the outlet box. §11B-308.1.1
- 20. Electrical receptacle outlets on branch circuits of 30 amperes or less and communication system receptacles shall be located within allowable reach ranges. Low reach shall be measured to the bottom of
- the outlet box and high reach shall be measured to the top of the outlet box. §11B-308.1.2. 21. High forward reach that is unobstructed shall be 48 inches maximum and the low forward reach shall be 15 inches minimum above the finish floor or ground. §11B-308.2.1, Figure 11B-308.2.1
- 22. High forward reach shall be 48 inches maximum where the reach depth is 20 inches or less and 44 inches maximum where the reach depth exceeds 20 inches. High forward reach shall not exceed 25 inches in depth. §11B-308.2.2, Figure 11B-308.2.2
- 23. High side reach shall be 48 inches maximum and the low side reach shall be 15 inches minimum above the finish floor where the side reach is unobstructed or the depth of any obstruction does not exceed 10 inches. §11B-308.3.1, Figure 11B-308.3.1

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DRINKING FOUNTAINS

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E. PLUMBING FIXTURES AND FACILITIES

- 1. Drinking fountains shall comply with Sections 11B-307 Protruding Objects and 11B-602 General Requirements. §11B-602.1
- 2. Units shall have a clear floor or ground space complying with Section 11B-305 Clear Floor or Ground Space sitioned for a forward approach and centered on the unit. Knee and toe clearance complying with Section 11B-306 Knee and Toe Clearance shall be provided. §11B-602.2
- Spout outlets shall be 36 inches maximum above the finish floor or ground. §11B-602.4
- 4. The spout shall be located 15 inches minimum from the vertical support and 5 inches maximum from the front edge of the unit, including bumpers. §11B-602.5
- 5. The spout shall provide a flow of water 4 inches high minimum and shall be located 5 inches maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches from the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches and 5 inches maximum om the front of the unit, the angle of the water stream shall be 15 degrees maximum. §11B-602.6
- 6. Spout outlets of drinking fountains for standing persons shall be 38 inches minimum and 43 inches maximum above the finish floor or ground. §11B-602.7
- 7. Wall and post-mounted cantilevered drinking fountains shall be 18 inches minimum and 19 inches maximum
- 8. All drinking fountains shall either be located completely within alcoves, positioned completely between wing walls, or otherwise positioned so as not to encroach into pedestrian ways. The protected area within such a drinking fountain is located shall be 32 inches wide minimum and 18 inches deep minimum, and shall comply with Section 11B-305.7 Maneuvering Clearance. When used, wing walls or barriers shall protect lly at least as far as the drinking fountain and to within 6 inches vertically from the floor or ground surface. §11B-602.9

TOILET AND BATHING ROOM CLEARANCES 9. Doors to unisex toilet rooms and unisex bathing rooms shall have privacy latches. §11B-213.2.1

- 10. Mirrors located above the lavatories or countertops shall be installed within the bottom edge of the reflecting surface 40 inches maximum above the finish floor or ground. Mirrors not located above the lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches maximum above the
- inish floor or ground. §11B-603.3 11. Coat hooks shall be located within one of the reach ranges specified in Section 11B-308. Shelves shall be located 40 inches minimum and 48 inches maximum above the finish floor. Medicine cabinets shall be
- located with a usable shelf no higher than 44 inches maximum above the finish floor. §11B-603.4 12. Where towel or sanitary napkin dispensers, waste receptacles, or other accessories are provided in toilet facilities, at least one of each type shall be located on an accessible route. All operable parts, including coin slots, shall be 40 inches maximum above the finish floor. Baby changing stations are not required to comply

with Section 11B-603.5 (See exception) §11B-603.5 WATER CLOSETS AND TOILET COMPARTMENTS

- 13. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 11B-309.4 Operation except they shall be located 44 inches maximum above the floor. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying
- with Section 11B-604.8.2 Ambulatory Accessible Compartments. §11B-604.6 14. Toilet paper dispensers shall comply with Section 11B-309.4 Operation and shall be 7 inches minimum and 9 inches maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the fispenser shall be below the grab bar, 19 inches minimum above the finish floor and shall not be located behind the grab bars. Dispensers shall not be of a type that control delivery or that does not allow continuous paper flow. §11B-604.7

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- 24. High side reach shall be 46 inches maximum above the finish floor or ground where the high side reach is
- over an obstruction more than 10 inches but not more than 24 inches in depth. §11B-308.3.2, Figure 11B-Obstructions for high side reach shall not exceed 34 inches in height and 24 inches in depth. §11B-308.3.2,
- Figure 11B-308.3.2 26. Obstructed high side reach for the top of washing machines and clothes dryers shall be permitted to be 36 inches maximum above the finish floor. §11B-308.3.2
- 27. Obstructed high side reach for the operable parts of fuel dispensers shall be permitted to be 54 inches maximum measured from the surface of the vehicular way where fuel dispensers are installed on existing curbs. §11B-308.3.2

OPERABLE PARTS

28. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. Force required to activate operable parts shall be 5 pounds maximum. §11B-309.4 C. ACCESSIBLE ROUTES

- DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE
- Detectable warning surfaces shall be yellow and approximate FS 33538 of Federal Standard 595C. §11B-
- 2. Detectable warning surfaces shall provide a 70 percent minimum visual contrast with adjacent walking surfaces. Contrast in percent shall be determined by Contrast percent = [(B1-B2)/B1] x 100 where
 - B1 = light reflectance value (LRV) of the lighter area and

B2 = light reflectance value (LRV) of the darker area §11B-705.1.1.3.2 (See exception)

- DOORS, DOORWAYS, AND GATES 3. Doors, doorways, and gates providing user passage shall be provided in accordance with 11B-206.5 Doors,
- Doorways, and Gates. §11B-206.5 Doors, doorways and gates that are part of an accessible route shall comply with 11B-404 Doors, Doorways, and Gates. §11B-404.1
- 5. Door openings shall provide a clear width of 32 inches minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees Openings more than 24 inches deep shall provide a clear opening of 36 inches minimum. There shall be no projections into the required clear opening width lower than 34 inches above the finish floor or ground.
- rojections into the clear opening width between 34 inches and 80 inches above the finish floor or ground shall not exceed 4 inches. §11B-404.2.3 Swinging doors and gates shall have maneuvering clearances complying with Table 11B-404.2.4.1. §11B-
- 7. Doorways less than 36 inches wide without doors or gates, sliding doors, or folding doors shall have maneuvering clearances complying with Table 11B-404.2.4.2. §11B-404.2.4.2 8. Maneuvering clearances for forward approach shall be provided when any obstruction within 18 inches of
- the latch side an interior doorway, or within 24 inches of the latch side of an exterior doorway, projects mon than 8 inches beyond the face of the door, measured perpendicular to the face of the door or gate. §11B-9. Thresholds, if provided at doorways, shall be 1/2 inch high maximum. Raised thresholds and changes in level
- at doorways shall comply with 11B-302 Floor or Ground Surfaces and 11B-303 Changes in Level. §11B-
- Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 11B-309.4 Operation. Operable parts of such hardware shall be 34 inches minimum and 44 inches maximum above Page 3 of 10



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- 15. Sanitary napkin disposal units, if provided, shall comply with Section 11B-309.4 and shall be wall mounted and located on the sidewall between the rear wall of the toilet and the toilet paper dispenser, adjacent to the toilet paper dispenser. The disposal unit shall be located below the grab bar with the opening of the disposal unit 19 inches minimum (483 mm) above the finish floor. §11B-604.7.2 16. Urinals shall be the stall-type or the wall-hung type with the rim 17 inches maximum above the finish floor or
- ground. Urinals shall be 13½ inches deep minimum measured from the outer face of the urinal rim to the back of the fixture. §11B-605.2
- 17. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 11B-309 Operable Parts except that the flush control shall be mounted at a maximum height of 44 inches above the finish floor. §11B-605.4 18. For lavatories and sinks, a clear floor space complying with Section 11B-305 Clear Floor or Ground
- Surfaces, positioned for a forward approach, and knee and toe clearance complying with Section 11B-306 Knee and Toe Clearance shall be provided. §11B-606.2 19. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34 inches maximum above the finish floor or ground. §11B-606.3
- SIGNS RELATED TO TOILETS AND BATHING FACILITIES Entrances leading to toilet rooms and bathing rooms complying with 11B-603 Toilet and Bathing Rooms shall be identified by a geometric symbol complying with 11B-703.7.2.6 Toilet and Bathing Room Geometric mbols. Where existing toilet rooms or bathing rooms do not comply with 11B-603 Toilet and Bathing
- Rooms, directional signs indicating the location of the nearest compliant toilet room or bathing room within the facility shall be provided. Signs shall comply with 11B-703.5 Visual Characters and shall include the nternational Symbol of Accessibility complying with 11B-703.7.2.1 ISA. Where existing toilet rooms or bathing rooms do not comply with 11B-603 Toilet and Bathing Rooms, the toilet rooms or bathing rooms complying with 11B-603 Toilet and Bathing Rooms shall be identified by the International Symbol of ccessibility complying with 11B-703.7.2.1 ISA. Where clustered single user toilet rooms or bathing facilities are permitted to use exceptions to 11B-213.2 Toilet and Bathing Rooms, toilet rooms or bathing facilities complying with 11B-603 Toilet and Bathing Rooms shall be identified by the International Symbol of ility complying with 11B-703.7.2.1 ISA unless all toilet rooms and bathing facilities comply with 11B-603 Toilet and Bathing Rooms. Existing buildings that have been remodeled to provide specific toilet rooms or bathing rooms for public use that comply with these building standards shall have the location of and the rections to these rooms posted in or near the building lobby or entrance on a sign complying with 11 703.5 Visual Characters, including the International Symbol of Accessibility complying with 11B-703.7.2.1
- ISA. §11B-216.8 21. Pictograms shall comply with the following:
 - a. Pictograms shall have a field height of 6 inches minimum. Characters and Braille shall not be located in
- the pictogram field. §11B-703.6.1 b. Pictograms and their field shall have a non-glare finish. Pictograms shall contrast with their field with
- either a light pictogram on a dark field or a dark pictogram on a light field. §11B-703.6.2 c. Pictograms shall have text descriptors located directly below the pictogram field. Text descriptors shall comply with 11B-703.2 Raised Characters, 11B-703.3 Braille and 11B-703.4 Installation Height and Location. §11B-703.6.3
- d. The installation height and location of Pictogram signs shall be per §11B-703.4.1.
- 22. Symbols shall comply with the following: a. Doorways leading to toilet rooms and bathing rooms shall be identified by a geometric symbol complying with 11B-703.7.2.6 Toilet and Bathing Facilities Geometric Symbols. The symbol shall be mounted at 58 inches minimum and 60 inches maximum above the finish floor or ground surface measured from the centerline of the symbol. Where a door is provided, the symbol shall be mounted within 1 inch of the
- vertical centerline of the door. §11B-703.7.2.6 (See exception) b. A triangle symbol shall be located at entrances to men's toilet and bathing facilities and it shall be dentified by an equilateral triangle, ¼ inch thick with edges 12 inches long and a vertex pointing upwa The triangle symbol shall contrast with the door, either light on a dark background or dark on a light

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background. §11B-703.7.2.6.1 As a covered entity under Title II of the Americans with Deabéties Act, the City of Los Angeles does not discriminate on the basis of deabétily and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. PIGI 2020- 143

11. The force for pushing or pulling open a door or gate other than fire doors shall be as follows: §11B-404.2.9

c. Required fire doors: the minimum opening force allowable by the appropriate administrative authority, not

12. Swinging door and gate surfaces within 10 inches of the finish floor or ground measured vertically shall have

15. Floor or ground surfaces of ramp runs shall comply with 11B-302 Floor or Ground Surfaces. Changes in

Landings shall comply with 11B-302 Floor or Ground Surfaces. Changes in level are not permitted. §11B-

20. The landing clear width shall be at least as wide as the widest ramp run leading to the landing. §11B-

24. Ramps that change direction between runs at landings shall have a clear landing 60 inches minimum by 72

25. Where doorways are located adjacent to a ramp landing, maneuvering clearances required by 11B-404.2.4

and 11B-404.3.2 shall be permitted to overlap the required landing area. Doors, when fully open, shall not

reduce the required ramp landing width by more than 3 inches. Doors, in any position, shall not reduce the

27. Edge protection complying with 11B-405.9.2 Curb or Barrier shall be provided on each side of ramp runs

28. A curb or barrier shall be provided that prevents the passage of a 4 inch diameter sphere, where any portion

or barrier shall provide a continuous and uninterrupted barrier along the length of the ramp. §11B-405.9.2

31. Handrails shall be continuous within the full length of each stair flight or ramp run. Inside handrails on

32. Top of gripping surfaces of handrails shall be 34 inches minimum and 38 inches maximum vertically above

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c. A circle symbol shall be located at entrances to women's toilet and bathing facilities and it shall be identified by a circle, ¼ inch thick and 12 inches in diameter. The circle symbol shall contrast with the

d. A combined circle and triangle symbol shall be located at entrances to unisex toilet and bathing facilities

23. Washing machines and clothes dryer's operable parts must comply with Section 11B-309 Operable Parts.

24. Top loading machines shall have the door to the laundry compartment located 36 inches maximum above

the finish floor. Front loading machines shall have the bottom of the opening to the laundry compartment located 15 inches minim and 36 inches maximum above the finish floor. §11B-611.4

1. Where fire alarm systems and carbon monoxide alarm systems provide audible alarm coverage, alarms

2. Alarms in public use areas and common use areas shall comply with 702 Chapter 9, Section 907.5.2.3.1.

3. Where employee work areas have audible alarm coverage, the wiring system shall be designed so that

Fire alarm systems shall have permanently installed audible and visible alarms complying with NFPA 72

5. Assistive listening systems shall be provided in assembly areas, including conference and meeting room

visible alarms complying with 702 Chapter 9, Section 907.5.2.3.2 can be integrated into the alarm system.

(1999 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1), except that

the maximum allowable sound level of audible notification appliances complying with section 4-3.2.1 of

from the audible appliance. In addition, alarms in guest rooms required to provide communication features shall comply with sections 4-3 and 4-4 of NFPA 72 (1999 edition) or sections 7.4 and 7.5 of NFPA 72 (2002

used for the purpose of entertainment, educational or civic gatherings, or similar purposes. §202, §11B-

Note: Assembly areas include, but are not limited to, classrooms, lecture halfs, courtrooms, public meeting

rooms, public hearing rooms, legislative chambers, motion picture houses, auditoria, theaters, playhouses,

6. Assistive listening system shall provide an amplification system utilizing transmitters, receivers, and coupling

7. Where a building contains more than one assembly area under one management, the total number of

8. Twenty-five percent minimum of receivers provided for assistive listening systems, but no fewer than two.

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devices to bypass the acoustical space between a sound source and a listener by means of induction loop,

required receivers may be calculated using the total number of seats in the assembly areas provided that all receivers are usable with all systems. §11B-219.3 (See exception)

shall be hearing-aid compatible except when all seats in an assembly area are served by means of an

dinner theaters, concert halls, centers for the performing arts, amphitheaters, arenas, stadiums,

NFPA 72 (1999 edition) shall have a sound level no more than 110 dB at the minimum hearing distance

and it shall be shall be identified by a circle, 1/4 inch thick and 12 inches in diameter with a 1/4 inch thick

triangle with a vertex pointing upward superimposed on the circle and within the 12-inch diameter. The

triangle symbol shall contrast with the circle symbol, either light on a dark background or dark on a light

background. The circle symbol shall contrast with the door, either light on a dark background or dark on a

door, either light on a dark background or dark on a light background. §11B-703.7.2.6.2

walking surfaces, stair nosings, and ramp surfaces. Handrails shall be at a consistent height above walking

surfaces, stair nosings, and ramp surfaces. §118-505.4
preved entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable

switchback or dogleg stairs and ramps shall be continuous between flights or runs. §11B-505.3

29. Landings subject to wet conditions shall be designed to prevent the accumulation of water. §11B-405.10

of the sphere is within 4 inches of the finish floor or ground surface. To prevent wheel entrapment, the curb

level other than the running slope and cross slope are not permitted on ramp runs. §11B-405.4

23. Bottom landings shall extend 72 inches minimum in the direction of ramp run. §11B-405.7.3.1

inches minimum in the direction of downward travel from the upper ramp run. §11B-405.7.4

or abrasive edges. Cavities created by added kick plates shall be capped. §11B-404.2.10

13. Ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-405.2

Ramps shall have landings at the top and the bottom of each ramp run. §11B-405.7

minimum dimension of the ramp landing to less than 42 inches. §11B-405.7.5

26. Ramp runs shall have compliant handrails per 11B-505 Handrails. §11B-405.8

and at each side of ramp landings. §11B-405.9 (See exceptions)

30. Handrails shall be provided on both sides of stairs and ramps. §11B-505.2

light background. §11B-703.7.2.6.3

F. COMMUNICATION ELEMENTS AND FEATURES

shall comply with 11B-215 Fire Alarm Systems. §11B-215.1 (See exception)

edition), and Chapter 9, Sections 907.5.2.1 and 907.5.2.3. §11B-702.1

grandstands, or convention centers. §202, §11B-219.2

radio frequency, infrared, or direct-wired equipment. §202

WASHING MACHINE AND CLOTHES DRYERS

ASSISTIVE LISTENING SYSTEMS

induction loop. §11B-219.3

HANDRAILS

14. Cross slope of ramp runs shall not be steeper than 1:48 (2.083%), §11B-405.3

The clear width of a ramp run shall be 48 inches minimum. §11B-405.5

17. The rise for any ramp run shall be 30 inches maximum. §11B-405.6

21. Top landings shall be 60 inches wide minimum. §11B-405.7.2.1

22. The landing clear length shall be 60 inches long minimum. §11B-405.7.3

a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or

vertical joints in these surfaces shall be within 1/16 inch of the same plane as the other and be free of sharp

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to exceed 15 pounds.

exposed and usable from both sides. §11B-404.2.7

Sliding or folding doors: 5 pounds maximum.

d. Exterior hinged doors: 5 pounds maximum.

Interior hinged doors and gates: 5 pounds maximu

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- the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be
 - 33. Clearance between handrail gripping surfaces and adjacent surfaces shall be 1½ inches minimum. Handrails may be located in a recess if the recess is 3 inches maximum deep and 18 inches minimum clear above the top of the handrail. §11B-505.5 34. Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops

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- or sides. The bottoms of handrall gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur 11/2 inches minimum below the bottom of the handrail-gripping surface. §11B-505.6
- 35. Handrail gripping surfaces with a circular cross section shall have an outside diameter of 11/4 inches
- minimum and 2 inches maximum. §11B-505.7.1 36. Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 inches minimum and 6% inches maximum, and a cross-section dimension of 2% inches maximum. §11B-505.7.2
- 37. Handrail gripping surfaces shall extend beyond and in the same direction of stair flights and ramp runs in accordance with Section 11B-505.10 Handrail Extensions. §11B-505.10
- 38. Ramp handrails shall extend horizontally above the landing for 12 inches minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous
- to the handrail of an adjacent ramp run. §11B-505.10.1 39. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing
- surface, or shall be continuous to the handrail of an adjacent stair flight. §11B-505.10.2 40. At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance equal to one tread depth beyond the last riser nosing. The horizontal extension of a handrail shall be 12 inches long minimum and a height equal to that of the sloping portion of the handrail as measured above the stair nosings. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. §11B-505.10.3

A stair is defined as a change in elevation, consisting of one or more risers. §11B-202

42. All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be 4 inches high minimum and 7 inches high maximum. Treads shall be 11 inches deep minimum. Curved stairways with winder treads are permitted at stairs which are not part of a required means of egress. (See exception) §11B-504.2

43. Open risers are not permitted. §11B-504.3 (See exceptions)

- 44. Interior stairs shall have the upper approach and lower tread marked by a stripe providing clear visual contrast. Exterior stairs shall have the upper approach and all treads marked by a stripe providing clear visual contrast. The stripe shall be a minimum of 2 inches wide to a maximum of 4 inches wide placed parallel to, and not more than 1 inch from, the nose of the step or upper approach. The stripe shall extend the full width of the step or upper approach and shall be of material that is at least as slip resistant as the other treads of the stair. A painted stripe shall be acceptable. Grooves shall not be used to satisfy this requirement. §11B-504.4.1
- 45. The radius of curvature at the leading edge of the tread shall be ½ inch maximum. Nosings that project beyond risers shall have the underside of the leading edge curved or beveled. Risers shall be permitted to slope under the tread at an angle of 30 degrees maximum from vertical. The permitted projection of the nosing shall extend 11/4 inches maximum over the tread below. §11B-504.5 (See exception for existing

47. Stair treads and landings subject to wet conditions shall be designed to prevent the accumulation of water.

Page 5 of 10

- 46. Stairs shall have handrails complying with Section 11B-505 Handrails. §11B-504.6
- §11B-504.7 48. Floor identification signs required by Chapter 10, Section 1022.9 complying with Sections 11B-703.1 Signs General, 11B-703.2 Raised Characters, 11B-703.3 Braille and 11B-703.5 Visual Characters shall be located at the landing of each floor level, placed adjacent to the door on the latch side, in all enclosed stainways in buildings two or more stories in height to identify the floor level. At the exit discharge level, the sign shall

As a covered entity under Title II of the Americans with Disublities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities,



PIGI 2020- 143

PIGI 2020- 143

- 9. When assistive-listening systems are limited to specific areas or seats, such areas or seats shall be within a 50-foot viewing distance of the stage or playing area and shall have a complete view of the stage or playing
- 10. Permanently installed assistive-listening systems are required in areas if (1) they have fixed seating and (2a) they accommodate at least 50 persons or (2b) they have audio-amplification systems, except those used exclusively for paging and/or background music. §11B-219.2, §11B-219.5
- 11. Portable assistive-listening systems may serve more than one conference or meeting rooms if an adequate number of electrical outlets or other supplementary wiring is provided and permanently installed systems are not required. §11B-219.5
- 12. Receivers required for use with an assistive listening system shall include a 1/8 inch standard mono jack. §11B-706.2 13. Receivers required to be hearing aid compatible shall interface with telecoils in hearing aids through the
- provision of neck loops. §11B-706.3 14. Assistive listening systems shall be capable of providing a sound pressure level from 110 - 118 dB with a dynamic range on the volume control of 50 dB. §11B-706.4
- 15. Signal-to-noise ratio for internally generated noise in assistive listening systems shall be 18 dB minimum.
- 16. Peak clipping shall not exceed 18 dB of clipping relative to the peaks of speech. §11B-706.6 TWO-WAY COMMUNICATION SYSTEMS
- 17. Two-way communication systems that are provided to gain admittance to a building or facility or to restricted areas within a building or facility shall provide both audible and visual signals. Handset cords, if provided, shall be 29 inches long minimum. §11B-230.1, §11B-708
- 18. Common use or public use system interface of communications systems between a residential dwelling unit and a site, building, or floor entrance shall include the capability of supporting voice and TTY communication th the residential dwelling unit interface. §11B-708.4.1 19. Residential dwelling unit system interface of communications systems between a residential dwelling unit

and a site, building, or floor entrance shall include a telephone jack capable of supporting voice and TTY

20. Where coin-operated public pay telephones, coin less public pay telephones, public closed-circuit telephones, public courtesy phones, or other types of public telephones are provided, public telephones shall be provided in accordance with 11B-217 Telephones for each type of public telephone provided. For purposes of this section, a bank of telephones shall be considered to be two or more adjacent telephones.

communication with the common use or public use system interface. §11B-708.4.2

- 21. Except drive-up only public telephones, where public telephones are provided, wheelchair accessible
- telephones complying with 11B-704.2 shall be provided in accordance with Table 11B-217.2. §11B-217.2 22. All public telephones shall have volume controls complying with 11B-704.3. §11B-217.3
- TTYs complying with 11B-704.4 shall be provided in accordance with 11B-217.4. 24. Where a bank of telephones in the interior of a building consists of three or more public pay telephones, at least one public pay telephone at the bank shall be provided with a shelf and an electrical outlet in

accordance with 11B-704.5. §11B-217.5 (See exception)

ned entity under Title II of the Americans with Deschibles Act, the City of Los Angeles does not discriminate on the basis of deachility and, upon request, will provide reasonable labors to ensure equal accrets to its programs, services and activities,

Page 10 of 10

[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017 benny@designgroupname.com marino@designgroupname.com

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APPROVALS:

SHEET TITLE.

ADA HANDOUTS

SCALE JOB NO. [DGN-2005] AS NOTED

SHEET NO.





2 FRONT OF PROPERTY



3 SIDE OF PROPERTY



4 SIDE OF PROPERTY



5 632 THOMPSON AVE



6 640 THOMPSON AVE



7 1756 FLOWER ST



8 1800 FLOWER ST



9 639 THOMPSON AVE



10 629 THOMPSON AVE



11 625 THOMPSON AVE



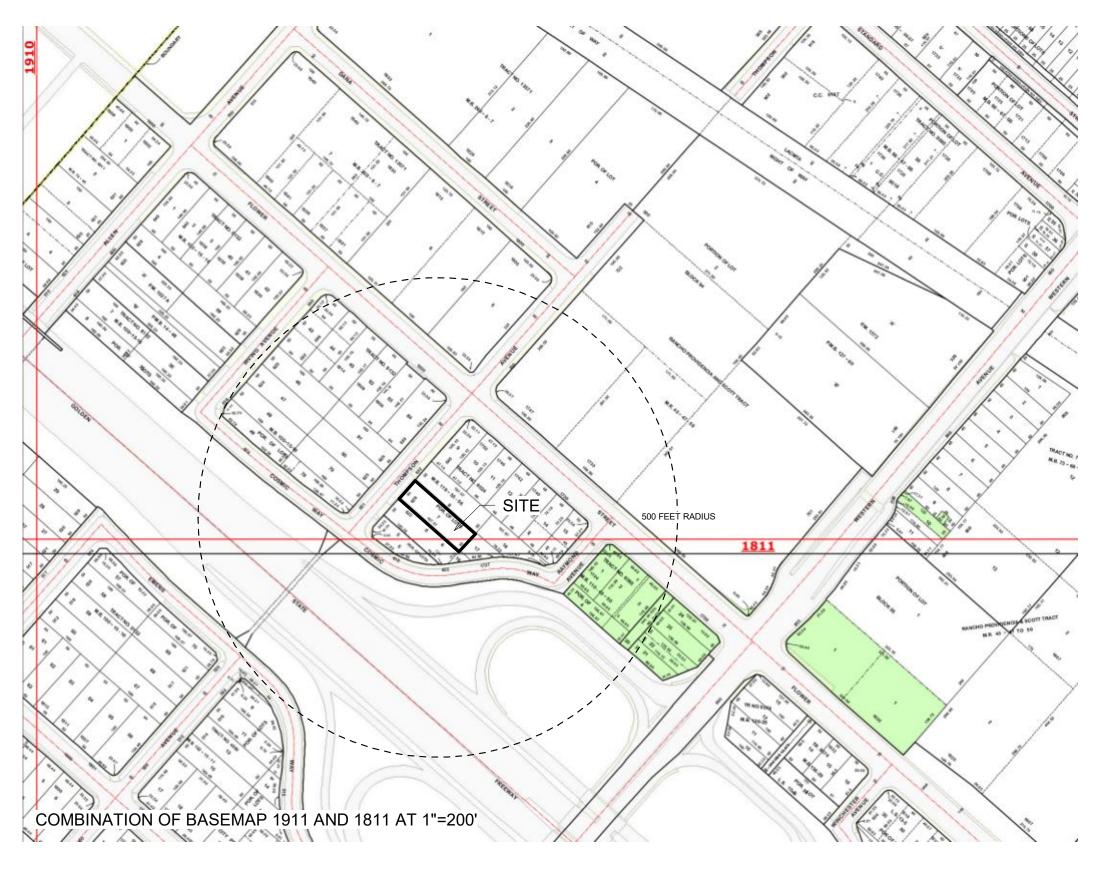
12 621 THOMPSON AVE

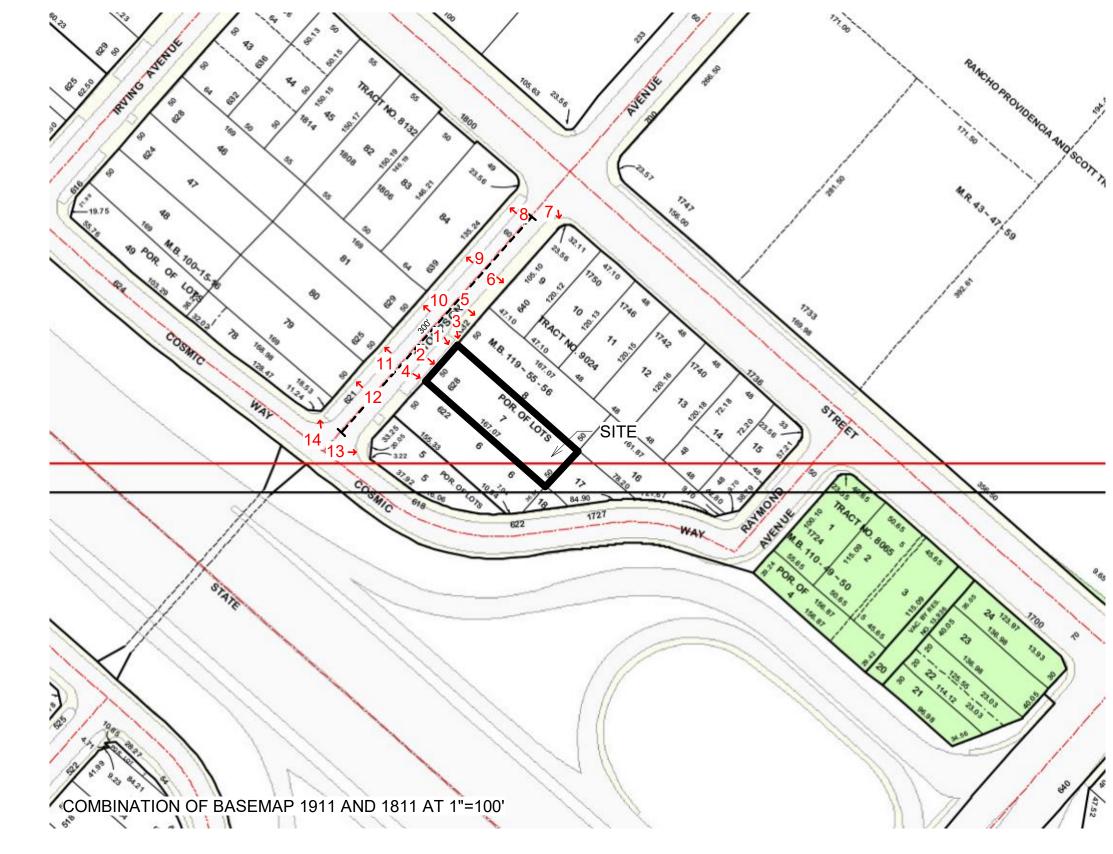


13 1761 COSMIC WAY



14 CORNER OF COSMIC WAY & THOMPSON AVE





[design group name]

1610 W. 7TH ST. LOS ANGELES, CA. 90017 benny@designgroupname.com marino@designgroupname.com

REYES ELECTRIC 628 THOMPSON AVE, GLENDALE, CA 91201

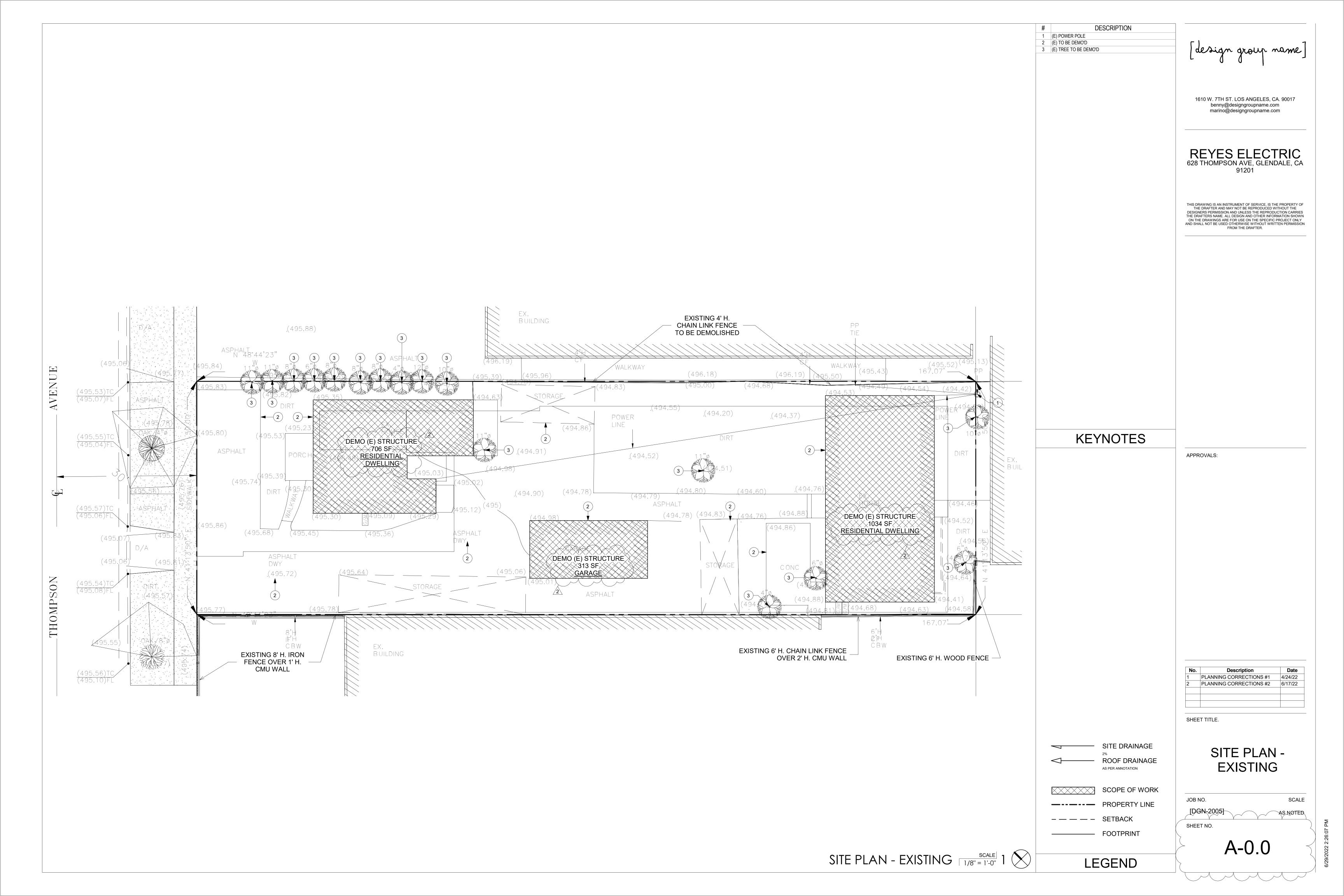
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APPROVALS:

NEIGHBORHOOD CONTEXT

JOB NO.	SCALE
[DGN-2005]	AS NOTED
SHEET NO.	

T-2.0



STREET TREE PROTECTION MEASURES

628 Thompson Avenue - 12/3/2021

PLANNING PHASE

- 1. All project plans; including grading, site improvements, utility locations, and landscaping shall indicate the exact trunk location of all street tree(s), as well as the specific intent for each tree, such as removal or retention. Construction is to be completed without negative direct impact(s) on protected street tree(s) adjacent to the subject site. Prior to any site disturbance, including grubbing, demolition and mobilization, obtain a Street Tree Permit from the Public Works Department for any site that is adjacent to and impacting City street trees.
- 2. All utility improvements with installation of hook-up boxes, including but not limited to water, sewer, electrical, cable and phone lines are to be located outside the tree protected zone (TPZ), i.e., the tree's canopy plus one (1) foot. Utility lines shall be routed outside of the protected zone of street trees, unless otherwise approved by the Director of Public Works.
- 3. All site development plans, including grading, planting and irrigation and their installation are subject to approval by the Public Works Department.

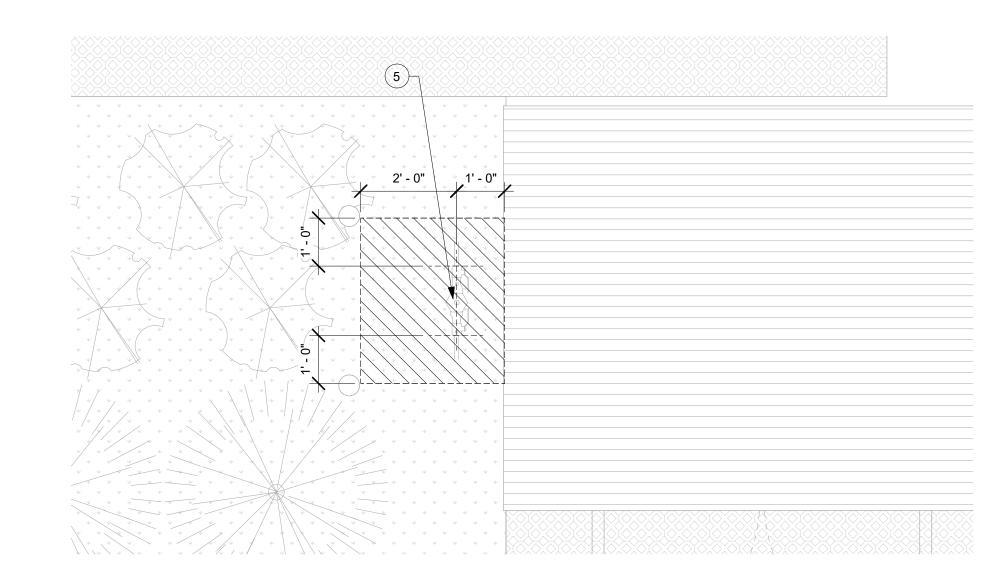
PRE-CONSTRUCTION PHASE

- 4. Prior to any site disturbance, including demolition or mobilization, install protective fencing around each street tree. Fencing should enclose the tree and its canopy. One tree protection sign should be installed on each separate fencing. Alternatively, if fencing is placed on the private property and sidewalk boundary, no protective fencing will be required.
- 5. Inspection of the temporary fencing installation is required prior to any site disturbance, including grubbing, demolition and mobilization. Contact Forestry at (818) 548-3950 for inspection and approval.

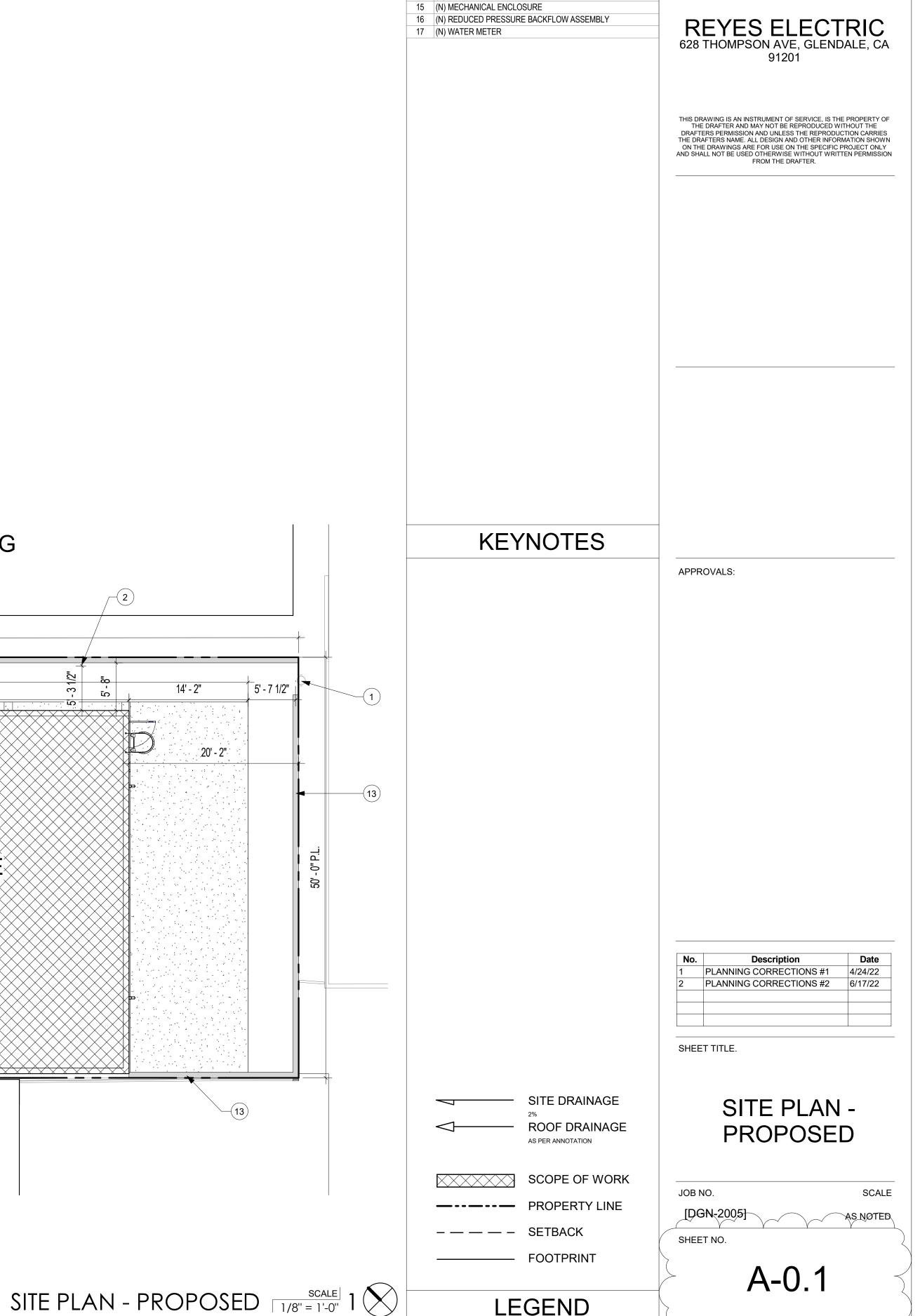
CONSTRUCTION PHASE 6. The approved Street Tree Permit shall be maintained on the project site at all times and be presented on request to any City official.

- 7. Any temporary fencing installation shall be maintained until completion of the project.
- 8. No tools, equipment, materials, vehicles, debris, paint, concrete, mortar, cement, stucco, paint, solvent, excess soil or other materials shall be placed within the TPZ of any protected tree at any time, except as authorized by the Director of Public Works.
- 9. No changes in grade shall be made within the TPZ of any protected tree, except as authorized by the Director of Public Works. 10. Any approved excavation within the protected zone of any protected tree shall be performed with hand tools only under the direct
- 11. All approved pruning or cutting of roots shall be performed under the supervision of an International Society of Arboriculture
- Certified Arborist or licensed landscape contractor in accordance with the relevant standards of the International Society of Arboriculture and per GMC 5.08.540 and GMC 12.40.
- 12. In general, take such steps as necessary to protect roots, bark, trunk, branches and leaves from injury during construction.
- 13. Monitor protected trees for drought stress throughout construction and irrigate as needed to maintain health.
- 14. Gently spray tree canopy with water to remove construction dust build-up as needed throughout construction.
- 15. No herbicides shall be used within one hundred feet (100') of any street tree unless approval is provided in writing by the Director of
- 16. Excavate and tunnel beneath roots one-inch (1") in diameter and greater where feasible. Roots to be removed shall be pruned with a sharp pruning tool at the edge of the excavation. Cover temporarily exposed roots with moist burlap until backfill occurs.
- 17. Contact the Urban Forester upon completion of work for Final Inspection and card sign-off. 18. Failure to comply with these mitigation measures may result in work stoppage, and/or fees and restitution per GMC 12.40. Work
- shall resume only when the City of Glendale deems reparations satisfactory. 19. Questions should be directed to the Urban Forester at 818-550-3416.

Owner / Agent name _ BENNY ARIAS Owner / Agent signature Date 04/28/22



BACKFLOW DEVICE CLEARANCES SCALE | 2



LEGEND

DESCRIPTION

5 (N) LOADING SPACE - 15'-0" x 25'-0" w/ STRIPES AND LABEL

6 (N) DRIVEWAY APRON - AS PER GLENDALE STANDARDS

8 (N) TURFSTONE DRIVEWAY - SEE T-1.0 - AS PER GLENDALE

9 (N) CONCRETE DRIVEWAY - AS PER GLENDALE STANDARDS

12 (N) LANDSCAPE AS PER CONSULTANT DRAWINGS

1610 W. 7TH ST. LOS ANGELES, CA. 90017

benny@designgroupname.com

marino@designgroupname.com

1 (E) POWER POLE

30.32.130

11 (N) DOWNSPOUT

13 (N) 6' H. CMU WALL

14 (N) AC UNITS

2 (E) POWER POLE ANCHORS

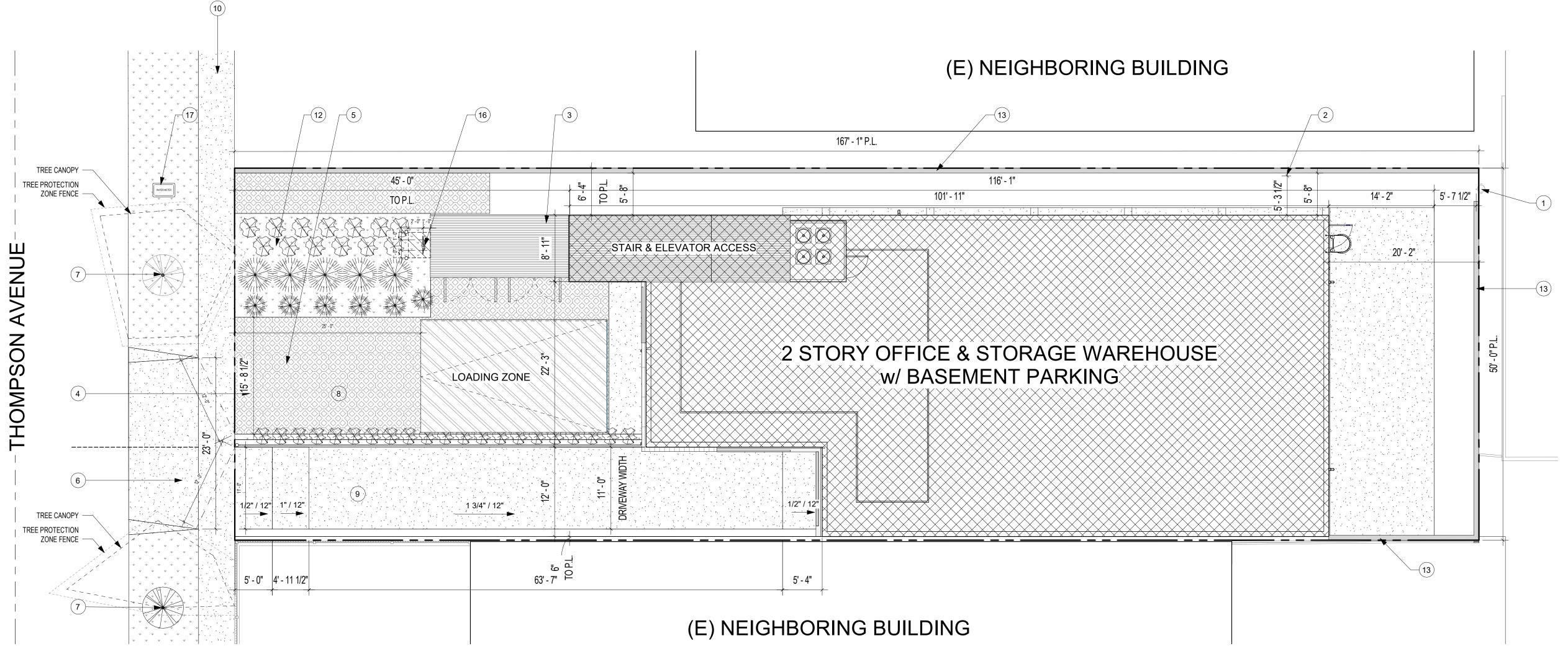
7 (E) OAK TREE - TO REMAIN

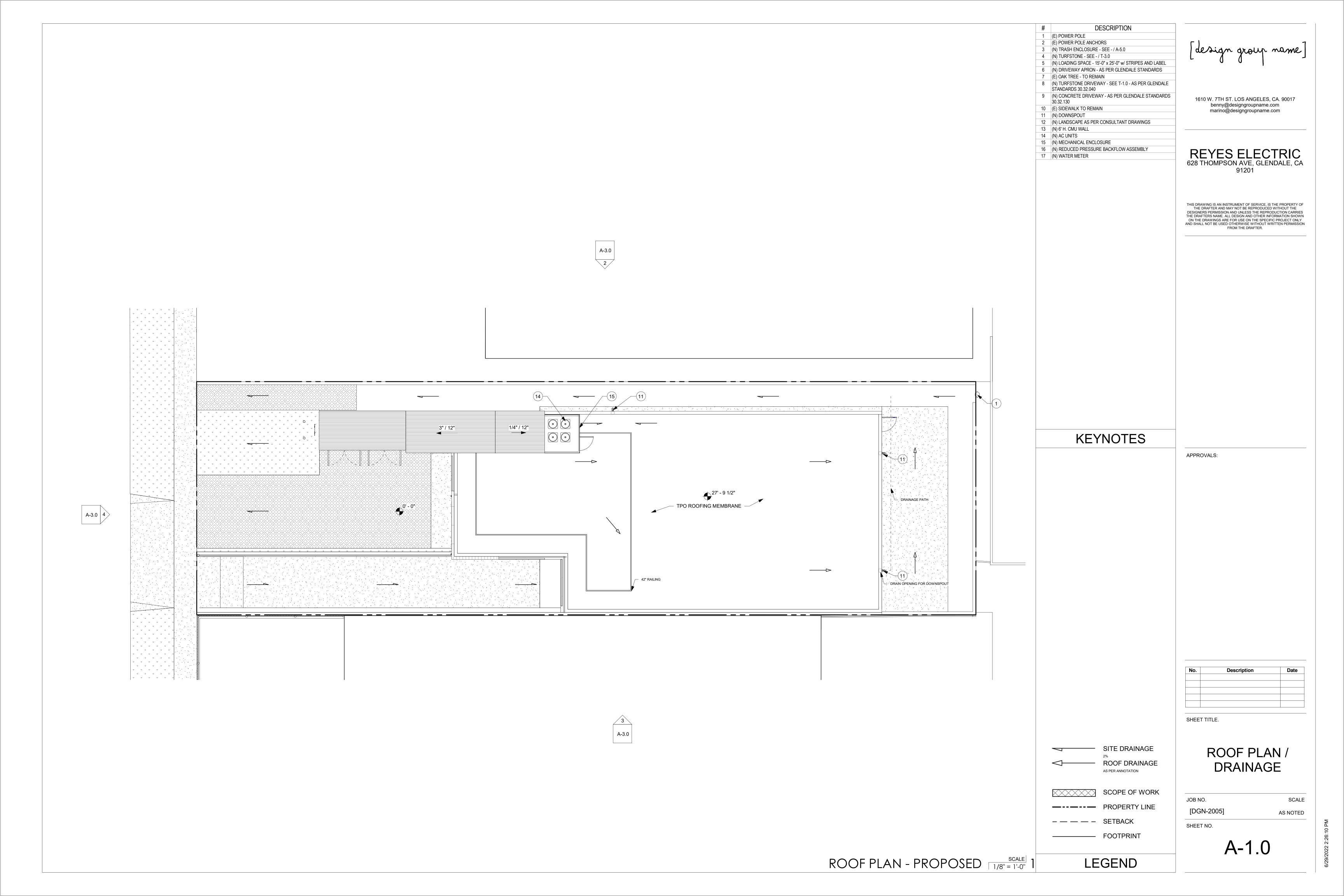
STANDARDS 30.32.040

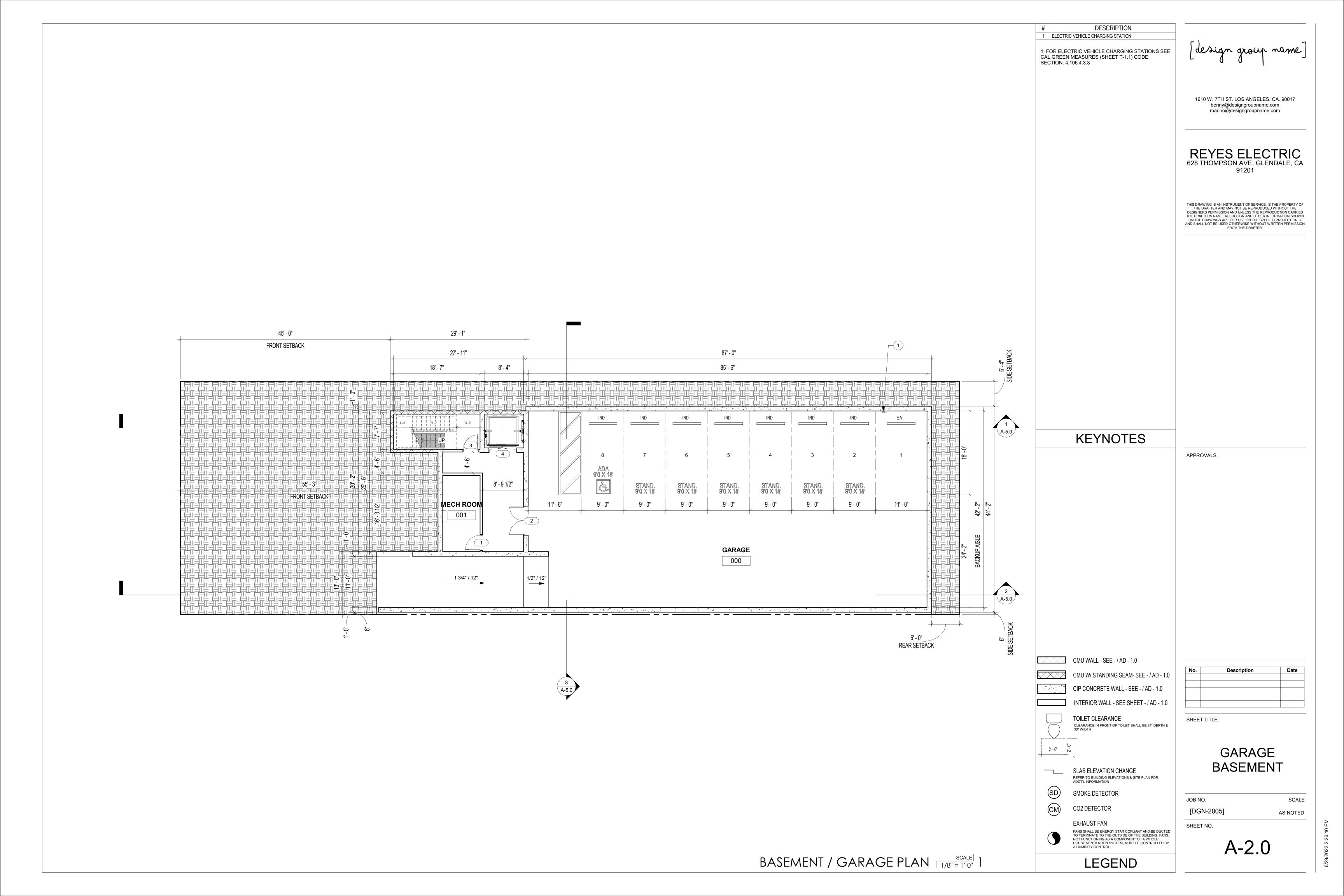
10 (E) SIDEWALK TO REMAIN

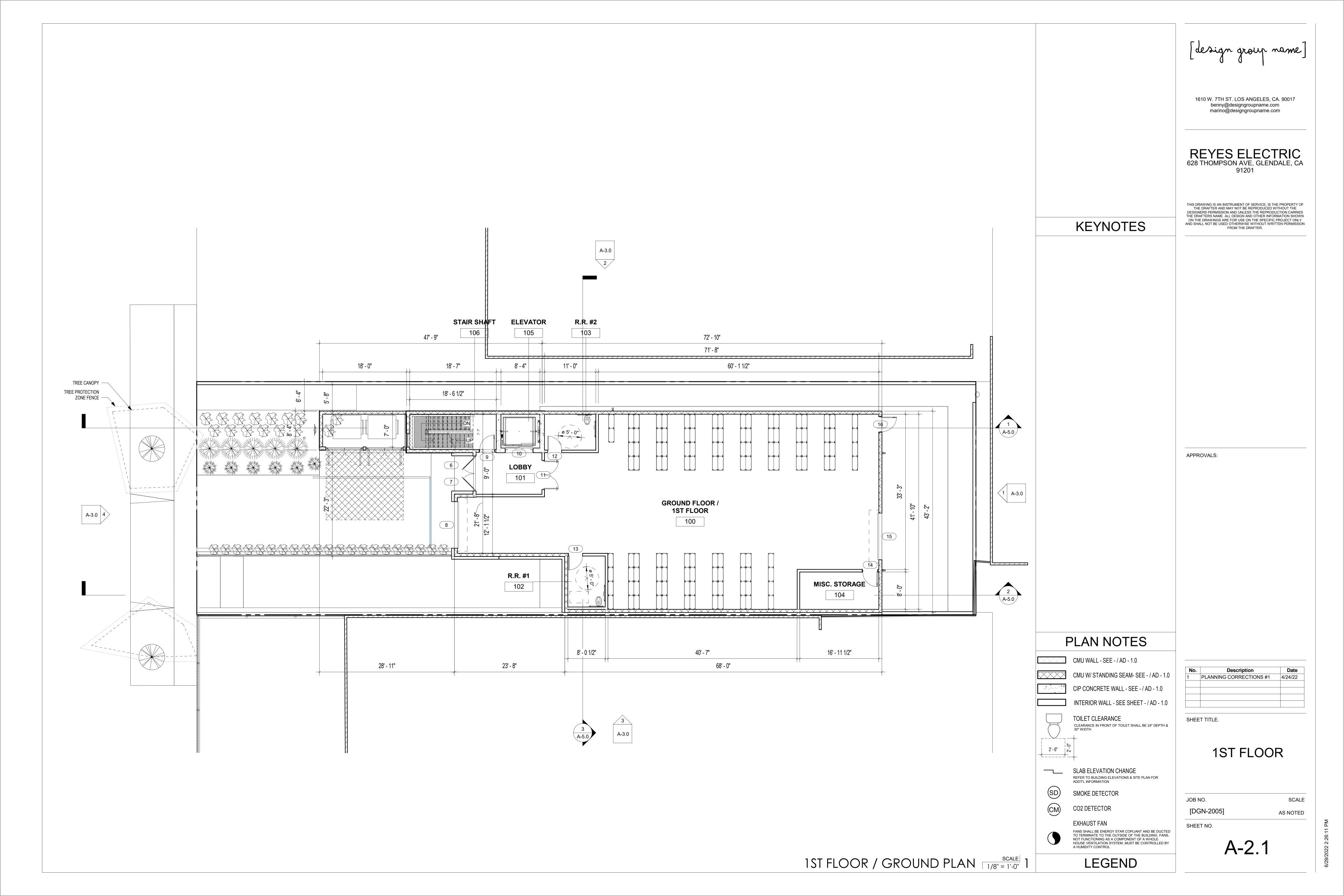
4 (N) TURFSTONE - SEE - / T-3.0

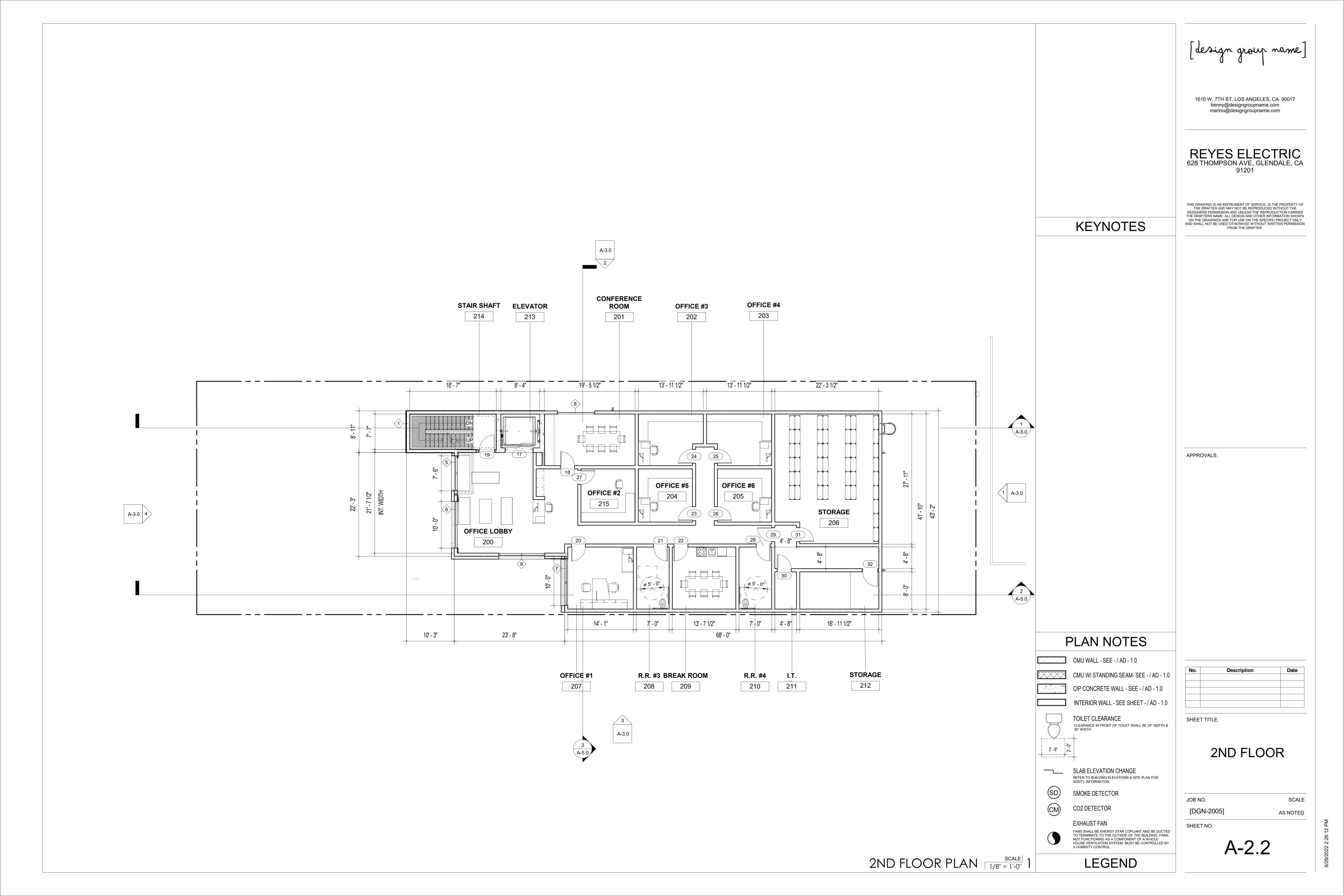
3 (N) TRASH ENCLOSURE - SEE - / A-5.0

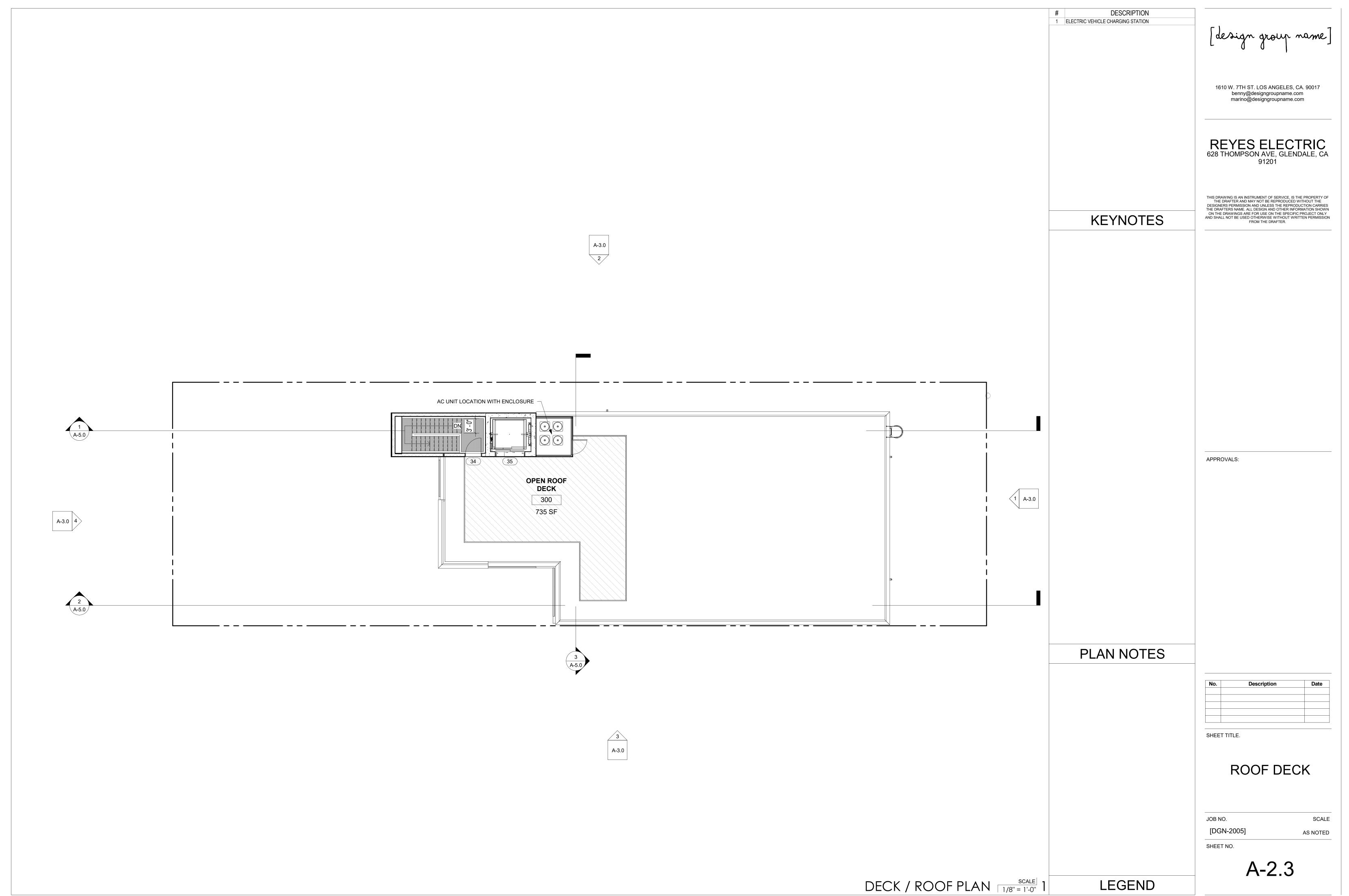




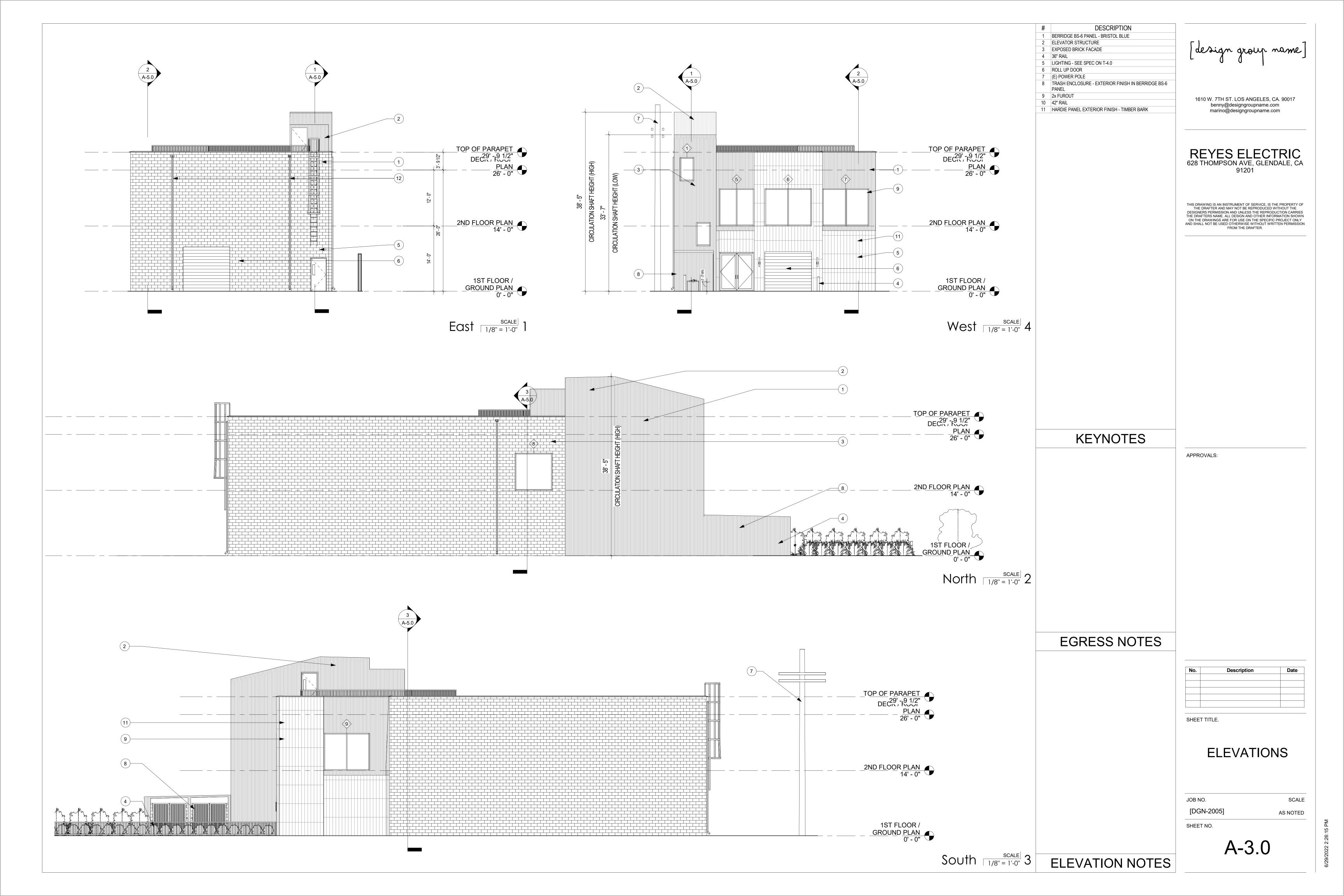






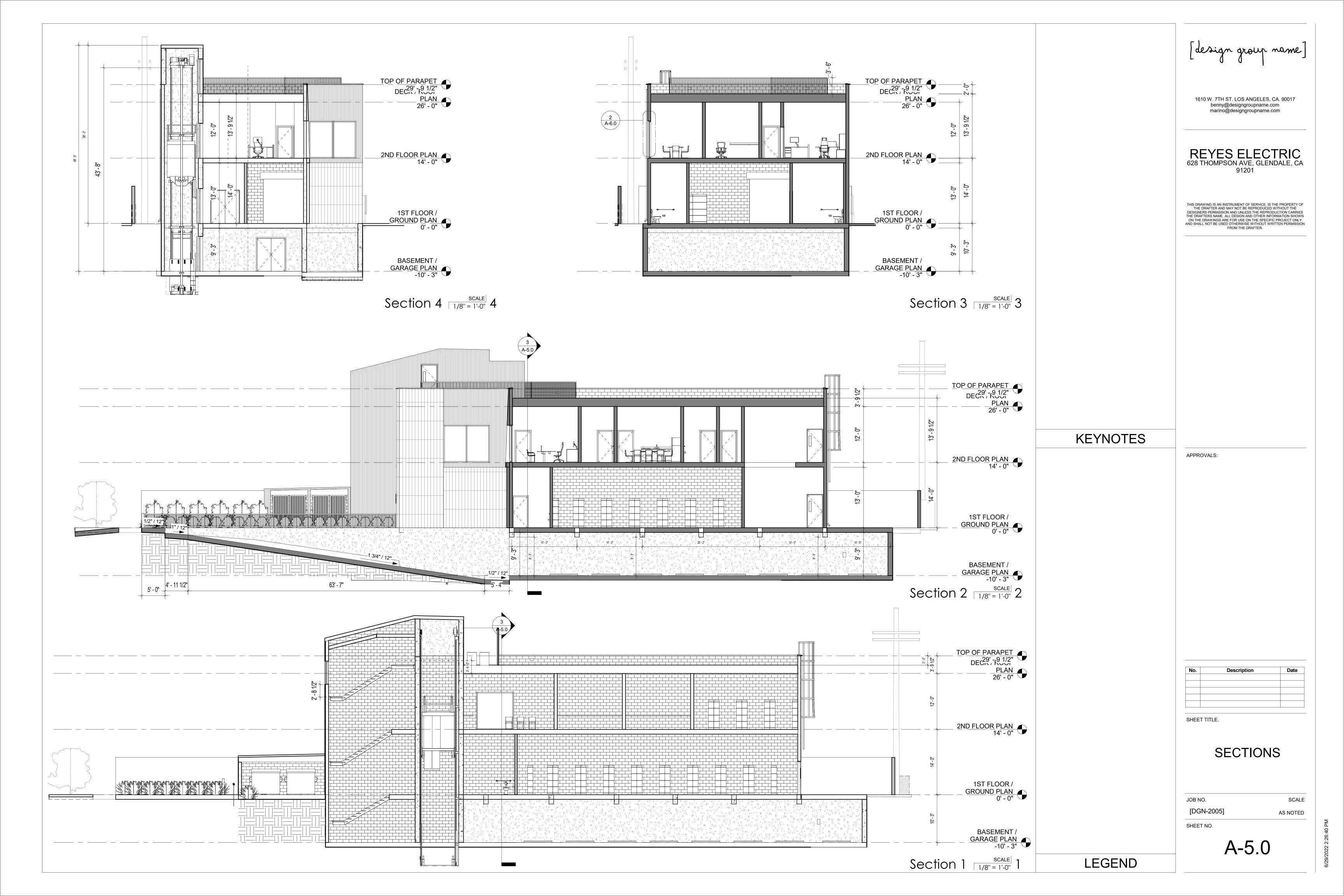


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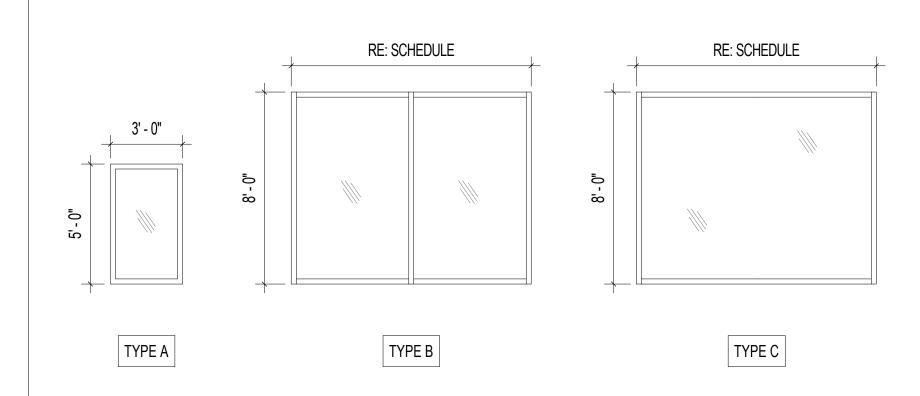




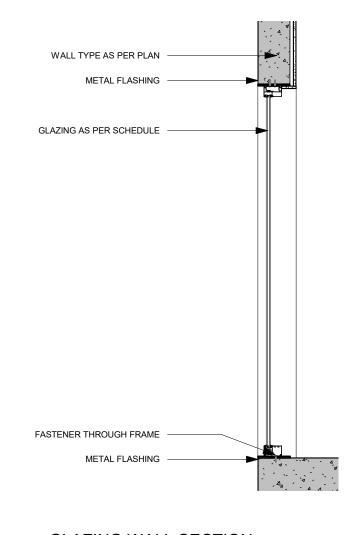
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GLAZING SCHEDULE							DOOR SCHEDULE													
														WITHIN 18" OF	MARK	WIDTH	HEIGHT	TYPE	LEVEL	F
					VISIBLE FROM				FRAME	EDGE	ENERGY	TEMPERED	FIRE HAZARD	FLOOR OR 40" OF	BASEMEI	NT / GARAG	E PLAN			
MARK	QUANTITY	WIDTH	HEIGHT	TYPE	STREET?	MATERIAL	OPERATION	SPEC	TYPE	DETAIL	EFFICIENT	GLASS	ZONE	DOOR	1	3' - 1 3/4"	7' - 0"	В	BASEMENT / GARAGE PLAN	
		T	T		T	T	T	T	T		T	I	T	T	2	5' - 10 3/4"	6' - 10"	С	BASEMENT / GARAGE PLAN	
1	1	3'-0"	5'-0"	Α	YES	COMPOSITE	FIXED	ANDERSON	NAIL IN	EXTERIOR	YES	YES	NO	YES	3	3' - 1 3/4"	7' - 0"	В	BASEMENT / GARAGE PLAN	
F	4	OL CII	01 011	D	VEC		FIVED	100S	NIAH INI	L TRIM	VEC	VEC	NO	VEC	4	5' - 0"	7' - 6 1/4"	E	BASEMENT / GARAGE PLAN	
0	1	9'-6"	8'-0"	В	YES	ALUMINUM	FIXED	ARCADIA TC-470	NAIL IN	NO TRIM	YES	YES	NO	YES	1ST FLO	OR / GROUN	ID PLAN			
 გ	1	10'-0"	8'-0"	В	YES	ALUMINUM	FIXED	ARCADIA	NAIL IN	NO TRIM	YES	YES	NO	YES	6	3' - 6 1/2"	7' - 11"	F	1ST FLOOR / GROUND PLAN	
J	'					, LOWIN TOWN	11/(25	TC-470			120				7	3' - 6 1/2"	7' - 11"	F	1ST FLOOR / GROUND PLAN	
7	1	10'-0"	8'-0"	В	YES	ALUMINUM	FIXED	ARCADIA	NAIL IN	NO TRIM	YES	YES	NO	YES	8	10' - 0"	9' - 6"	Н	1ST FLOOR / GROUND PLAN	
								TC-470							9	3' - 1 3/4"	7' - 0"	В	1ST FLOOR / GROUND PLAN	
8	1	8'-0"	8'-0"	С	YES	ALUMINUM	FIXED	ARCADIA	NAIL IN	NO TRIM	YES	YES	NO	YES	10	5' - 0"	7' - 6 1/4"	E	1ST FLOOR / GROUND PLAN	
								TC-470							11	5' - 10 3/4"	6' - 10"	С	1ST FLOOR / GROUND PLAN	
9	1	9'-10"	8'-0"	С	YES	ALUMINUM	FIXED	ARCADIA	NAIL IN	NO TRIM	YES	YES	NO	YES	12	3' - 0"	6' - 8"	Α	1ST FLOOR / GROUND PLAN	
								TC-470							13	3' - 0"	6' - 8"	A	1ST FLOOR / GROUND PLAN	
															14	3' - 1 3/4"	7' - 0"	В	1ST FLOOR / GROUND PLAN	
															15	10' - 0"	9' - 6"	Н	1ST FLOOR / GROUND PLAN	
															16	3' - 1 3/4"	7' - 0"	В	1ST FLOOR / GROUND PLAN	



ALL WINDOW DIMENSIONS ARE NOMINAL FIELD VERIFY DIMENSIONS PRIOR TO ORDERING VERIFY SIZES WITH MANUFACTURER PRIOR TO CONSTRUCTION



2 GLAZING WALL SECTION 1/2" = 1'-0"

2ND FLOOR PLAN 2ND FLOOR PLAN 7' - 6 1/4" 2ND FLOOR PLAN 6' - 8" 2ND FLOOR PLAN |6' - 8" 2ND FLOOR PLAN | 6' - 8" 2ND FLOOR PLAN 6' - 8" 2ND FLOOR PLAN 6' - 8" 2ND FLOOR PLAN 2ND FLOOR PLAN 2ND FLOOR PLAN 2ND FLOOR PLAN 3' - 0" 6' - 8" 3' - 0" 2ND FLOOR PLAN 6' - 8" 3' - 1 3/4" 7' - 0" 2ND FLOOR PLAN DECK / ROOF PLAN DECK / ROOF PLAN 3' - 1 3/4" 7' - 0" 5' - 0" DECK / ROOF PLAN 7' - 6 1/4" FENCE DECK / ROOF PLAN 3' - 0" 7' - 0"

NOTE: ALL GLASS ON DOORS TO BE

REFER TO ELEVATIONS FOR

ADDITIONAL INFORMATION

(TG) TEMPERED GLASS.

REMARKS

1610 W. 7TH ST. LOS ANGELES, CA. 90017 benny@designgroupname.com marino@designgroupname.com

REYES ELECTRIC 628 THOMPSON AVE, GLENDALE, CA

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APPROVALS:

Window Types

TYPE: A - ANDERSON 100S PICTURE WINDOW TYPE: B - ARCADIA TC-470 W/ ONE MULLION TYPE: C -ARCADIA TC-470 NO MULLION

Window Notes

1. EXTERIOR GLAZED OPENINGS IN WINDOWS AND DOORS, INCLUDING GARAGE DOORS, SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED (SAFETY GLAZED) PANE

Door Types

TYPE: A - HOLLOW CORE WOOD DOOR TYPE: B - 90' RATED STEEL FIRE DOOR

TYPE: C - 90' RATED STEEL FRENCH DOOR

TYPE: D - POCKET DOOR TYPE: E - ELEVATOR DOOR TYPE: F - GLASS ENTRY DOOR

TYPE: G - SLIDING DOOR TYPE: H - ROLL UP DOOR

Door Notes

- 1. DOOR HEIGHT DIMENSIONS ARE FROM THE FLOOR LINE TO THE FRAME OPENING EXCLUSIVE OF THRESHOLDS AND CLEARANCE UNLESS NOTED OTHERWISE
- 2. DOOR AND FRAME FINISHES SHALL BE AS INDICATED
- 3. WOOD DOORS SHALL BE SOLID CORE WITH 3-PLY WOOD
- 4. PROVIDE FIRE RATED DOORS WHERE REQUIRED.
- 6. ALL GLASS ON DOORS TO BE (TG) TEMPERED GLASS

Description
PLANNING CORRECTIONS #1 PLANNING CORRECTIONS #2

SHEET TITLE.

WINDOW & DOOR **SCHEDULE**

JOB NO.	SCALE
[DGN-2005]	AS NOTED
SHEET NO.	

Abbreviations

AL - Aluminum

AT1 - 2 X 4 Acoustic Tile/ T-Bar Grid

C - Concrete CPT- Carpet

CB - Carpet Base

CT - Ceramic Tile

CV - Coved Sheet Vinyl Base

FF - Factory Finish FRP- Fiber Reinforced Plastic G - Glass

GLB - Glass Block GB - Gypsum Board Taped

MC - Modular Carpet M - "Marlite" PVC Wainscot

MTL - Metal

NWSF-New Wood Sub-Floor PL -Plastic PR -Pair of Doors

P-1 -Painted

P-2 -Primer Ready For Finish RB -Rubber Base

RT -Resilient Vinyl Comp. Tile SCW -Solid Core Door

SCV -Self Coved Vinyl Base SLT -Self-Leveling Topping SV -Sheet Vinyl/Seamless

S -Stone

TG - Tempered glass VCT -VCT- Armstrong Exceleon

VT - Vinyl Topset W - Wood WC -Wall Covering

WDB -Wood Base WGB -Water Resistant Gyp. Board

ON FINISH SCHEDULE.

CROSS BANDING, FACED AND EDGE BAND PER DOOR SCHEDULE.

5. FACTORY REFIT DOORS TO FRAME WHERE SPECIFIED.

A-6.0

ES ELECTRIC
Thompson Avenue Idale, CA 90210

REYES E 628 Thor Glendale

LP-1

Scale: 1/8" = 1'-0" Date: 08/08/21

REV: -

(E) NEIGHBORING BUILDING

(E) NEIGHBORING BUILDING

2 STORY OFFICE & STORAGE WAREHOUSE W/ BASEMENT PARKING

(E) NEIGHBORING BUILDING



SWEETBAY LAUREL





MUHLENBERGIA RIGENS DEER GRASS

TRACHELOSPERMUM JASMINOIDES
JASMINE VINE



KURAPIA





PHORMIUM TENAX CALLISTIMON VIMIMALIS 'LITTLE JOHN'
NEW ZEALAND FLAX DWARF BOTTLEBRUSH

PLANTING PHOTOS



COMMON NAME

NEW ZEALAND FLAX

SWEETBAY LAUREL

DEER GRASS

JASMINE VINE

KURAPIA

CALLISTEMON VIMINALIS 'LITTLE JOHN' | LITTLE JOHN BOTTLEBRUSH

PLANTING LEGEND

BOTANICAL NAME

PHORMIUM TENAX

LAURUS NOBILIS

MUHLENBERGIA RIGENS

TRACHELOSPERMUM JASMINOIDES

PHYLA NODIFLORA IN TURFSTONE

All Planting areas to include a min. of 3in of mulch shall be applied to all exposed soil surfaces of planting areas

except turf areas, creeping or rooting groundcovers or direct seeding applications where mulch is contraindicated.

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SIZE

5 gal

5 gal

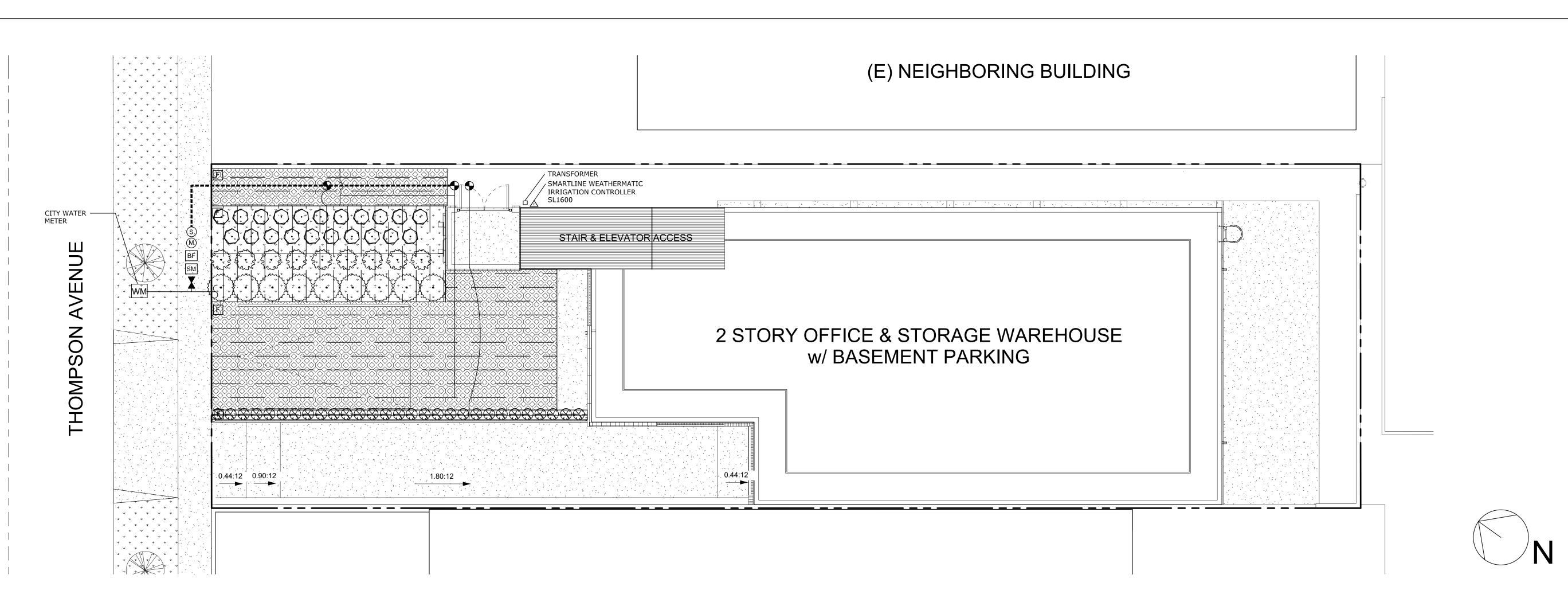
1 gal

29 1 gal

L 1050 SF SOD

QTY

21



IRRIGATION DETAIL NOTES

1. ALL PLANTED AREAS ARE DRIPPED WITH NETAFIM TLCV6-12 GRID. THE EMITTER SPACING IS 18" AND THE ROW SPACING FOR ALL ZONES IS 12".

2. ALL DRIP GRIDS HAVE BEEN POSITIONED TO BE SITUATED ON THE CONTOUR OF THE SLOPE. WHEN INSTALLING RIDS, ENSURE LINES OF THE GRID ARE PARALLEL TO THE SLOPE.

3. ENSURE THAT ALL PLANTS HAVE ONE EMITTER POSITIONED ON THE ROOTBALL. IF AN EMITTER DOES NOT FALL DIRECTLY ON TOP OF A ROOTBALL, USE THE NETAFIM MICRO TUBING ADAPTOR PLUGGED INTO A NEARBY NETAFIM INLINE EMITTER, AND RUN 1/4" DRIP TUBE ONTO ROOTBAKK AND STAKE DOWN.

4. THE DRIP ZONES HAVE DASHED LINES DRAWN IN MARKING THE POSITIONS OF ALL THE DRIP TUBING.

5. ALL ZONES HAVE EITHER 1/2" PVC, 3/4" PVC OR 1/2" BLANK POLYETHYLENE TUBING RUNNING DIRECTLY FROM THE VALVE WHERE THE ZONE BEGINS. THESE INDIVIDUAL SIZES ARE CLEARLY MARKED ON THIS PLAN. BE SURE TO INSTALL THE CORRECT SIZE PIPE OR TUBING, AS THEY ARE DESIGNED TO HANDLE THE MAXIMUM FLOW OF EACH ZONE.

6. ON THE EDGES OF THE DRIP ZONES, START THE EMITTER LINE ROWS NO MORE THAN 4" FROM THE HARDSCAPING EDGE.

7. THE SUPPLY AND EXHAUST HEADERS FOR EACH SUB-GRID CONSIST OF 1/2" BLANK POLYETHYLENE TUBING.

8. DRIP GRIDS AND SUB-GRIDS HAVE A FLUSH POINT AT THE HYDRAULIC OPPOSITE END OF THE SUPPLY HEADER. INSTALL PER INSTALLATION DETAIL.

9. TEMPORARILY PLUG ANY EMITTER THAT WILL NOT BE NEEDED WITH NETAFIM PLUG. THIS PLUG CAN BE EASILY REMOVED LATER, WHEN THE ROOTS HAVE REACHED THAT AREA.

GENERAL IRRIGATION NOTES

1. A DIAGRAM OF THE HYDROZONE PLAN SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

2. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

3. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

4. IRRIGATION WATER SUPPLY IS CITY SUPPLIED POTABLE WATER FROM THE EXISTING WATER METER LOCATED AT THE PARKWAY.

5. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, SCHEDULE OF LANDSCAPE MAINTENANCE AND SCHEDULE OF IRRIGATION MAINTENANCE.

6. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

7. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION

8. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

9. MANUAL SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.

IRRIGATION MAINTENANCE SCHEDULE

DURING FIRST SIX WEEKS AFTER INSTALLATION:

1. CHECK CONTROLLER AND LANDSCAPE EVERY TWO WEEKS TO ENSURE THAT THE AUTOMATIC PROGRAM IS FUNCTIONING WELL, AND THE PLANTS ARE THRIVING.

2. CHECK WATERING HISTORY ON CONTROLLER

3. CHECK THAT ALL DATA IN CONTROLLER ARE CURRENT AND CORRECT.
4. TURN ON ALL ZONES AND WALK THROUGH TO ENSURE PROPER FUNCTION OF ALL COMPONENTS.

EVERY SIX MONTHS:

1. FLUSH ALL DRIP ZONES TO REMOVE ANY DEBRIS FROM THE SYSTEM.
2. FLUSH ALL DRIP FILTERS AT THE VALVES EVERY SIX MONTHS.
3. TURN ON EACH ZONE, AND THROUGH TO ENSURE THAT ALL IS FUNCTIONING WELL. MAKE ANY REPAIRS OR ADJUSTMENTS NEEDED.

ANNUALLY:

1. PERFORM AN ANNUAL FULL-SYSTEM IRRIGATION CHECK. MAKE ANY NEEDED REPAIR OR ADJUSTMENTS.

VALVES

1. VALVES ARE 3/4" RAIN BIRD CONTROL ZONE KITS WITH PRE-INSTALLED FILTERS AND 30 PSI PRESSURE REGULATORS. THEY ARE TO BE INSTALLED PER INSTALLATION DETAIL.

2. VALVE MAINFOLDS HAVE AN ISOLATION VALVE DIRECTLY UPSTREAM.

PIPES

1. THE MAINLINE PIPE IS 1" SCHEDULE 40 PVC ALL THE WAY FROM THE WATER METER, THROUGH THE POINT OF CONNECTION AND ONWARD TO EACH VALVE MAINFOLD. CONNECT TO THE CITY WATER SUPPLY WHERE SHOWN ON PLAN.

CONTROLLER, WEATHER SENSOR AND IRRIGATION SUB-METER

1. THE IRRIGATION CONTROLLER IS A 16-STATION WEATHERMATIC SL1600 SMART CONTROLLER.

2. WEATHERMATIC WEATHER SENSOR SLW10 INSTALLED ABOVE CONTROLLER, ON ROOF EAVE, WITH NO OBSTRUCTION FROM ABOVE. ENSURE THE WEATHER SENSOR IS IN A SUNNY SPOT, AND THAT NOTHING BLOCKS RAIN.

3. THERE IS A MASTER VALVE DIRECTLY DOWNSTREAM OF THE IRRIGATION SUB-METER. BE SURE TO WIRE IT TO CONTROLLER.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION	PATTERN	RADIUS	GPM	PSI				
F, H, Q, VAN										
	NETAFIM DRIPLINE W/FLUSH DRAIN.	DRIPLINE TURF @12"O.C.								
	NETAFIM DRIPLINE LATERAL LINE FE	EDER CONNECTORS (NOT SHOWN ON PLA	AN)							
F	NETAFIM DRIP FLUSH VALVE AT END OF SYSTEM									
WM	DOMESTIC IRRIGATION WATER METER - EXISTING									
SM	1" LANDSCAPE DOMESTIC IRRIGATION SUB-WATER METER - NEW									
M	1" MASTER VALVE - WATTS MODEL 8	313 (NORMALLY CLOSED)								
S	3/4" FLOW SENSOR -CALSENSE TEE MOUNTED SENSOR. PLACE IN RECTANGULAR VALVE CONNECT TO CONTOLLER.									
	RAINBIRD MEDIUM FLOW CONTROL ZONE KIT WITH PR FILTER, FLOW CONTROL, SIZE PER PLAN, PLACE IN RECT. VALVE BOXES									
•	AUTOMATIC VALVE -RAINBIRD PEB SERIES, PLACE IN RECTANGULAR VALVE BOXES									
R	RAIN SENSOR, SEE CONTROLLER MODEL FOR MODEL TYPE.									
Á	RAINBIRD ESP-LXME/F CONTROLLER ,8 STATION IN WALL MOUNTED CONTROL BOX.									
\bowtie	BRASS LINE GATE VALVE - NIBCO T-1	113, PLACE IN 8" ROUND VALVE BOXES								
	PRESSURE MAINLINE - SCHEDULE 4 - CLASS 315 - 2" AND LARGER - MINIM									
	LATERAL LINE - PVC SCHEDULE 40 -	MINIMUM 12" BURY								
	LATERAL LINE - PVC SCHEDULE 40 E	BROWNLINE ON-GRADE								
	PIPE SLEEVE AND CONTROLLER WIF	RE SLEEVE - PVC SCHEDULE 40								
3	− CONTROLLER STATION − GALLONS PER MINUTE									
2" 40	- VALVE SIZE									



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CONCEPTUAL IRRIGATION PLA



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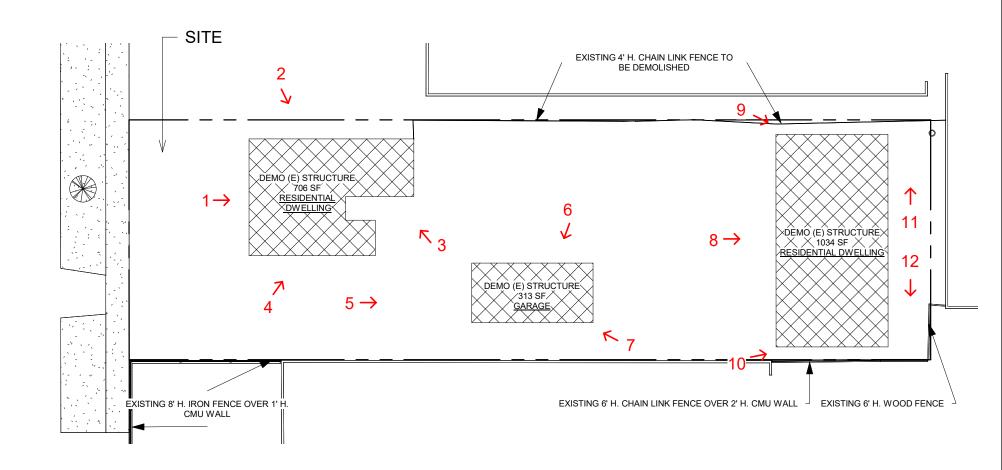
STEVEREID360@GMAIL.COM

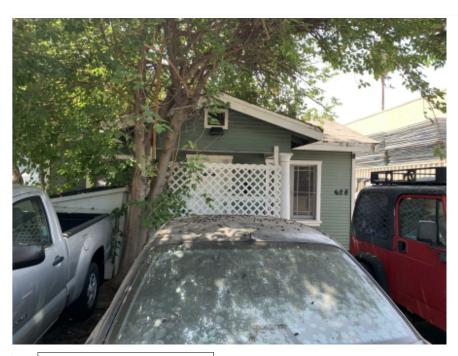
REYES ELECTRIC 628 Thompson Avenue Glendale, CA 90210

LI-1

Scale: 1/8" = 1'-0" Date: 08/08/21

REV: -





1 FRONT OF RESIDENTIAL BUILDING #1





2 | SIDE OF RESIDENTIAL BUILDING #1



SIDE OF RESIDENTIAL BUILDING #1



5 FRONT OF GARAGE

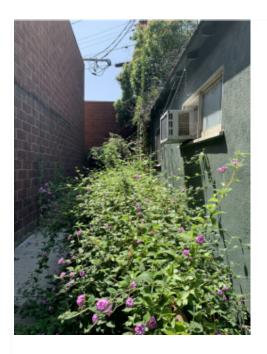




6 SIDE OF GARAGE



FRONT OF RESIDENTIAL BUILDING #2



9 | SIDE OF RESIDENTIAL BUILDING #2

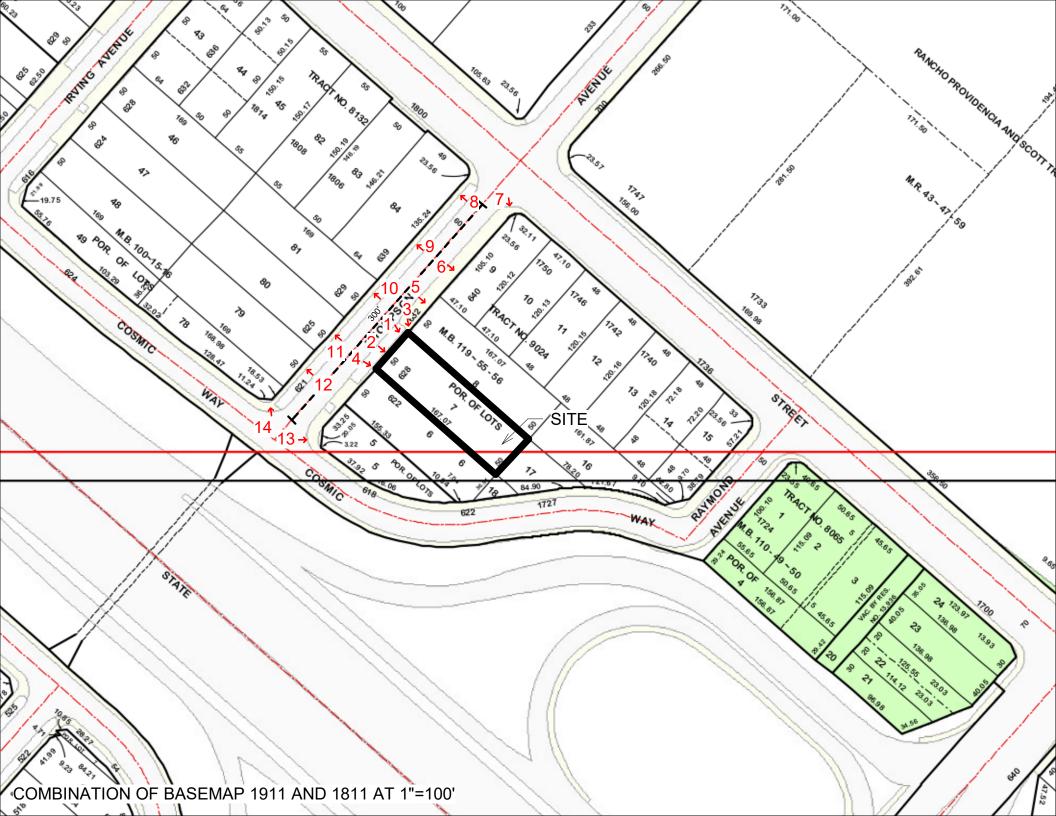




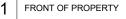
10 SIDE OF RESIDENTIAL BUILDING #2



2 REAR OF RESIDENTIAL BUILDING #2







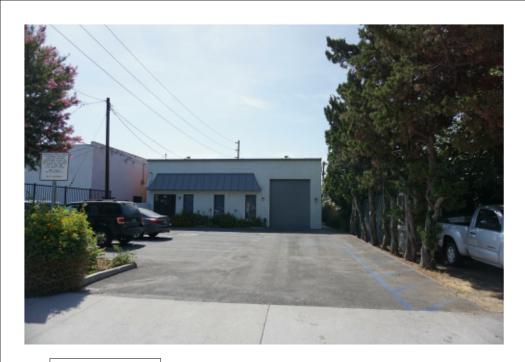


2 FRONT OF PROPERTY



4 SIDE OF PROPERTY











640 THOMPSON AVE



1800 FLOWER ST









10 629 THOMPSON AVE



2 621 THOMPSON AVE





13 1761 COSMIC WAY

14 CORNER OF COSMIC WAY & THOMPSON AVE

