



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

December 20, 2022 <i>Decision Date</i>	1530 Remah Vista Drive <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5649022001 <i>APN</i>
PDR 2210928 <i>Case Number</i>	Nareg Khodadadi <i>Applicant</i>
Vista Ezzati, Planner <i>Case Planner</i>	Movses and Anahit Khayoyan <i>Owner</i>

Project Summary

The applicant is proposing a 525 square-foot addition to an existing one-story, 3,687 square-foot single-family residence (originally constructed in 1941) with an attached two-car garage on a 40,148 square-foot lot located in the R1R (FAR District II) Zone. The proposal also includes converting the existing 287 square-foot carport to a one-car garage, and an architectural style change to a contemporary Mediterranean style.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square –feet of floor area.

Existing Property/Background

Originally developed in 1941, the project site is a 40,148 square-foot, irregularly-shaped, interior lot with frontage on Remah Vista Drive. The site is currently developed with a 3,687 square-foot single-family residence with an attached two-car garage, and a one-car carport. Access to the existing garages are from a driveway located along Remah Vista Drive that will be maintained. The project site also features an existing swimming pool, a detached 474 square-foot covered patio, and a detached 500 square-foot guest house that will be maintained. The lot slopes up from the street, with the existing house and accessory buildings and structures located on a relatively flat pad. There is also an existing boundary wall located along Remah Vista Drive that screens the residence from the street and limits visibility.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	17,529 sq. ft.	9,924 sq. ft. – 40,148 sq. ft.	40,148 sq. ft.
Setback	22 feet	10 feet – 60 feet	28 feet
House size	3,053 sq. ft.	1,569 sq. ft. – 6,034 sq. ft.	4,212 sq. ft.
Floor Area Ratio	0.17	0.09 – 0.26	0.10
Number of stories	7 homes are 1-story & 5 homes are 2-stories	1 to 2-stories	1-story

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

Yards and Usable Open Space

yes **n/a** **no**

If “no” select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The site plan remains relatively unchanged; the project features a 475 square-foot addition at the front of the house, directly facing Remah Vista Drive, a 50 square-foot addition at the rear of the house, and conversion of an existing carport to a 1-car garage.

- The addition at the front is setback from the existing attached 2-car garage, will have minimal visibility, and will bring the living area closer to the street.
- No other site changes are proposed and the existing landscaping, swimming pool, detached guest house and detached covered patio are proposed to be maintained.
- Along Remah Vista Drive, there is an existing block wall and driveway entry gate that screens the house from view.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If "no" select from below and explain:

- Roof reinforces design concept

- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the project are consistent with the existing residence and proposed style change.
- The massing of the addition is broken up through changes in façade planes, with the addition at the front set back approximately three feet from the wall of the existing detached garage. The 50 square-foot addition at the rear extends out beyond the building wall and will not be visible from the public right-of-way.
- The immediate neighborhood features a combination of one- and two- story single-family residences and the subject property will remain one-story.
- The addition features a gable-roof design with a 4:12 pitch that is consistent with the roof plan of the existing house.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition's design and detailing are compatible with the proposed contemporary Mediterranean style of the house through the use of architectural treatments, materials, windows, and colors.
 - The new windows for the addition are fiberglass, with a combination of single-hung, casement and fixed operations. The windows on the rest of the house are proposed to remain as existing.
 - The addition will feature an S-tile clay roof and stucco walls. New stone cladding is proposed at the base of the new kitchen bay window.
 - The proposed design and materials are compatible with the existing accessory buildings that are proposed to remain.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

None

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

RESIDENTIAL ADDITION & REMODEL KHAYOYAN RESIDENCE

1530 DR. REMAH VISTA DR., GLENDALE, CA 91207

Attachment 1

REVISIONS:

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COVER SHEET
KHAYOYAN RESIDENCE
1530 REMAH VISTA GLENDALE, CA 91207

DATE:	12/2020
DRAWN BY:	NRK
JOB NO.	20059
SHEET NO.	
A0.1	

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

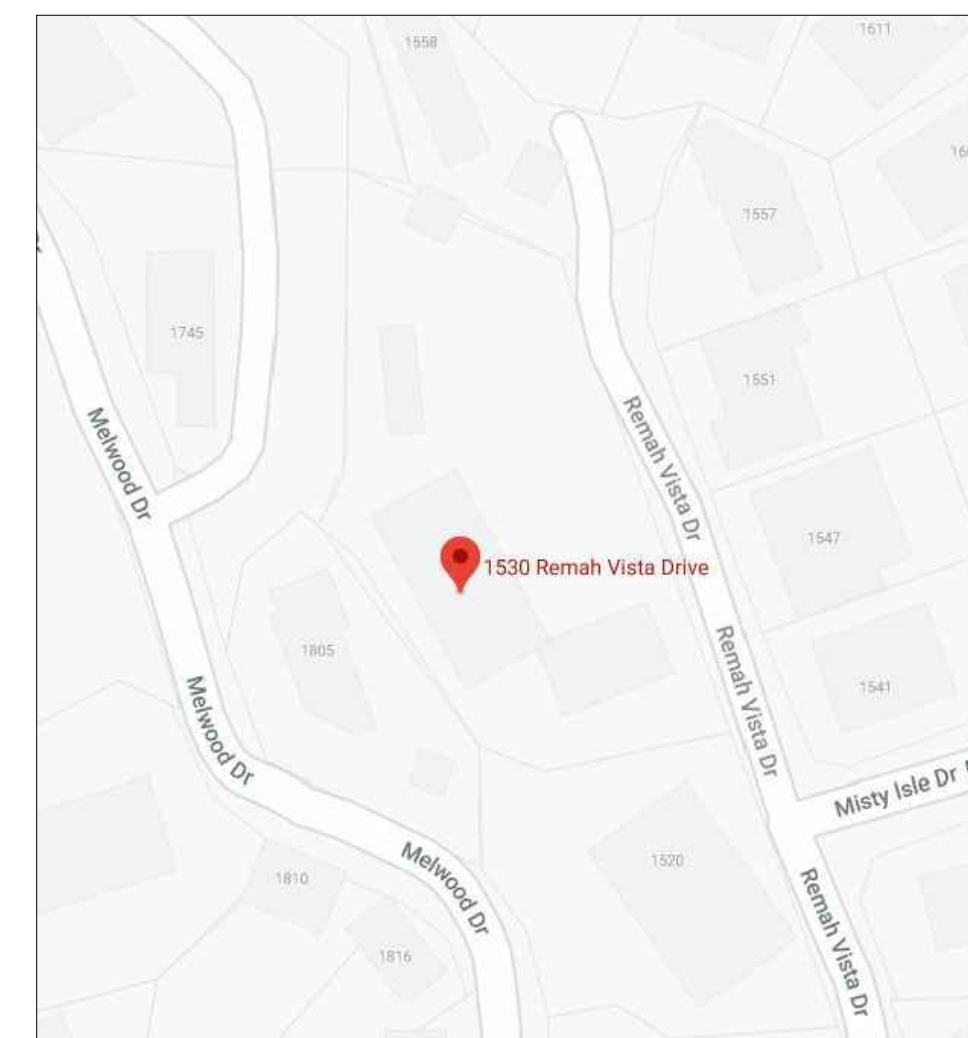
RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

NO NEW ROOFTOP EQUIPMENT ALLOWED

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING :

1. RETAINING WALL OF BLOCK FENCE WALL
2. GRADING WORK
3. SWIMMING POOL
4. A SEPARATE STRUCTURE
5. SHORING
6. DEMOLITION

SITE MAP



SCOPE OF WORK

- RESIDENTIAL INTERIOR REMODEL, AND ADDITION OF 525 SQ. FT. NEW KITCHEN.
- ENTIRE ROOF TO BE REPLACED WITH SPANISH TILE.
- EXT'G CARPORT TO BE CONVERTED TO 1-CAR GARAGE (287 SQ. FT.)

SHEET INDEX

ARCHITECTURAL SHEETS:

- A0.1 COVER SHEET
- A1.1 SITE PLAN
- A1.2 EXT'G SITE PLAN
- A1.3 NEIGHBORHOOD SITE PLAN
- A2.0 EXT'G FLOOR PLAN
- A2.1 PROPOSED FLOOR PLAN DOOR / WINDOW SCHEDULE
- A2.2 DEMO PLAN
- A2.3 ROOF PLAN
- A3.0 EXT'G ELEVATION
- A3.1 PROPOSED ELEVATION
- A3.2 PROPOSED ELEVATION
- A3.3 PROPOSED ELEVATION
- A3.4 PROPOSED ELEVATION
- A3.5 COLORED ELEVATIONS & PERSPECTIVE
- A3.6 COLORED ELEVATIONS
- A4.1 PROPOSED SECTIONS

ENERGY CALCULATIONS:

- T1 TITLE 24
- T2 TITLE 24

STRUCTURAL SHEETS :

- S2 GENERAL NOTES
- S2 STANDARD DETAILS
- S3 FRAMING & FOUNDATION PLAN
- S4 DETAILS

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	40,148 SQ. FT.
EXT'G RESIDENCE	3,687 SQ. FT.
EXT'G GARAGE	435 SQ. FT.
EXT'G COVERED PATIO	474 SQ. FT.
EXT'G GUEST HOUSE	500 SQ. FT.
EXT'G CARPORT CONVERTED TO 1-CAR GARAGE	287 SQ. FT.
NEW ADDITION (475 SQ. FT. + 50 SQ. FT.)	500 SQ. FT.
TOTAL LIVING AREA	4,212 SQ. FT.

FLOOR AREA RATIO	
MAX. 40% (OF 10,000) - 4,000 SQ. FT.	TOTAL LIVING AREA : 4,712 SQ. FT.
MAX. 10% (OF 30,148) - 3,014 SQ. FT.	W/ GUEST HOUSE
TOTAL MAX. 7,014 SQ. FT.	LOT AREA (40,148 SQ. FT.) 10.5%

LOT COVERAGE RATIO	
MAX. 40% - 16,059 SQ. FT.	LIVING AREA (4,212 SQ. FT.)
	EXT'G GARAGE (435 SQ. FT.)
	EXT'G COVERED PATIO (474 SQ. FT.)
	CARPORT TO GARAGE (287 SQ. FT.)
	TOTAL (5,408 SQ. FT.)
	LOT AREA (40,148 SQ. FT.) 13.5 %

LANDSCAPE RATIO	
MIN. 40% - 16,059 SQ. FT.	LANDSCAPED AREA (17,427 SQ. FT.)
	LOT AREA (40,148 SQ. FT.) 43.4 %

ZONING	R1R II
AIN	5649-022-001
OCCUPANCY	RESIDENCE - R3 GARAGE - U
CONSTRUCTION TYPE	V-B
YEAR BUILT	1941
NUMBER OF STORIES	1
FIRE ZONE	NO
FIRE SPRINKLER	NO

APPLICABLE NOTES

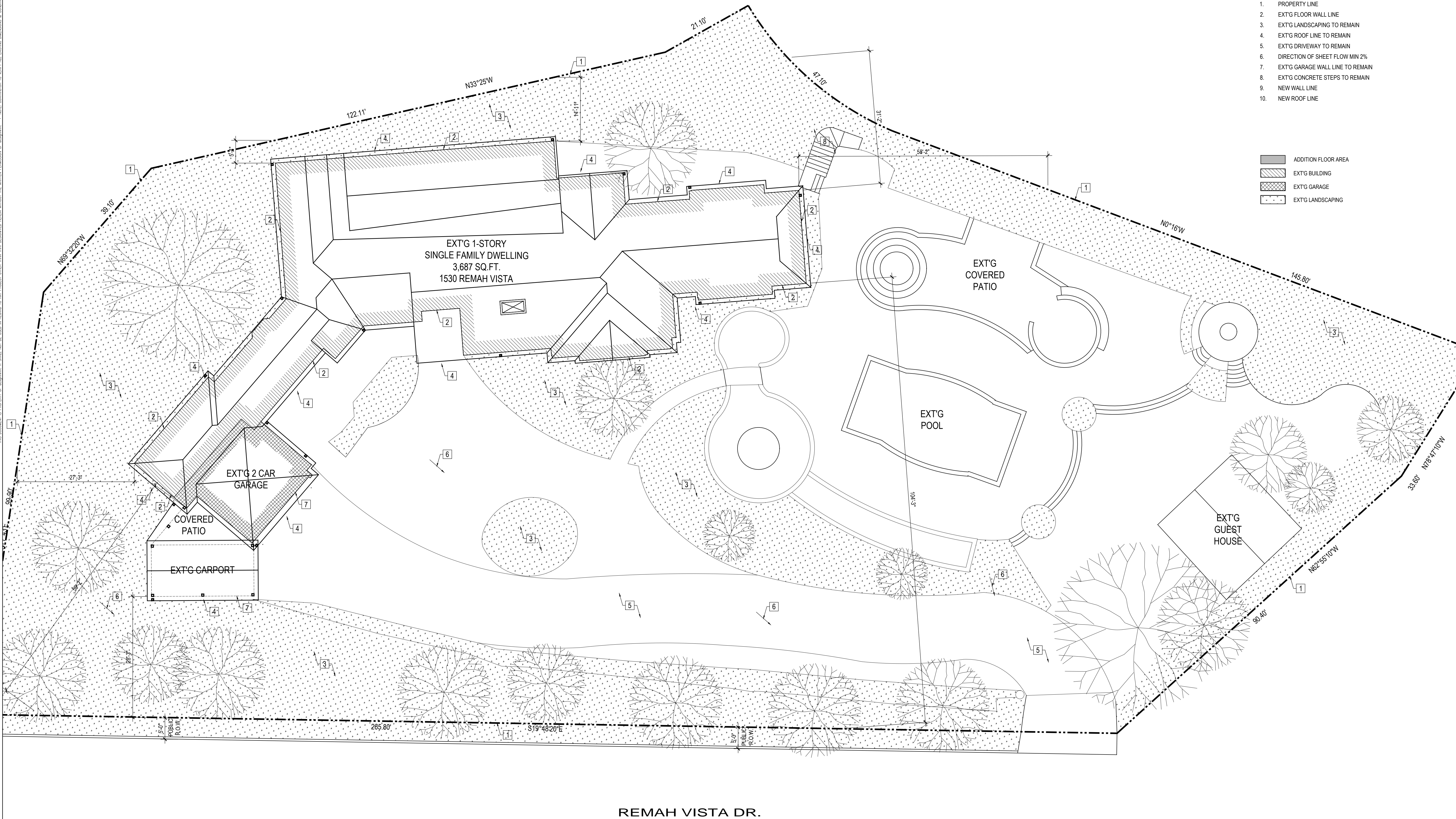
PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

PROJECT INFORMATION

PROJECT LOCATION 1530 REMAH VISTA DR. GLENDALE, CA 91207	OWNER KHAYOYAN 1530 REMAH VISTA DR. GLENDALE, CA 91206
PROJECT DESIGNER DESIGNNRK 213 N. ORANGE ST. UNIT: E GLENDALE, CA 91203 OFFICE : 818.823.7286 FAX : 888.424.8125 E-MAIL : INFO@DESIGNNRK.COM	STRUCTURAL ENGINEER KAZARIANS ENG. SERVICES INC. 1528 CANADA BLVD SUITE 206 GLENDALE CA 91208 TEL : 818.240.8763 ARTOKAZARIANS@KAZENG.COM

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SITE PLAN KEYED NOTES

1. PROPERTY LINE
2. EXT'G FLOOR WALL LINE
3. EXT'G LANDSCAPING TO REMAIN
4. EXT'G ROOF LINE TO REMAIN
5. EXT'G DRIVEWAY TO REMAIN
6. DIRECTION OF SHEET FLOW MIN 2%
7. EXT'G GARAGE WALL LINE TO REMAIN
8. EXT'G CONCRETE STEPS TO REMAIN
9. NEW WALL LINE
10. NEW ROOF LINE

- ADDITION FLOOR AREA
- EXT'G BUILDING
- EXT'G GARAGE
- EXT'G LANDSCAPING

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EXT'G SITE PLAN & ROOF PLAN

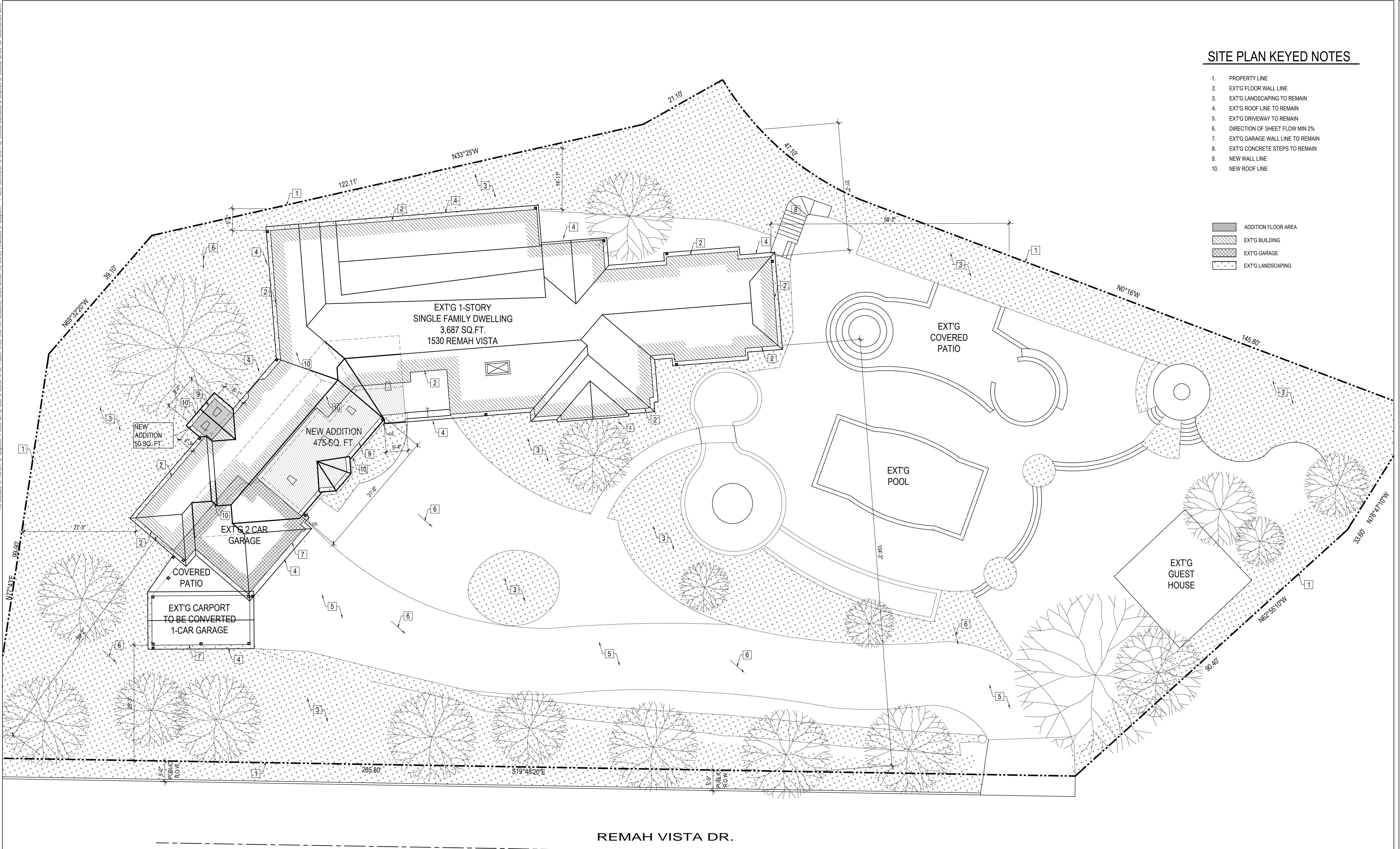
KHOYOYAN RESIDENCE

1530 REMAH VISTA GLENDALE, CA 91207

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9. NEW WALL LINE
10. NEW ROOF LINE

ADDITION FLOOR AREA
 EXT'G BUILDING
 EXT'G GARAGE
 EXT'G LANDSCAPING

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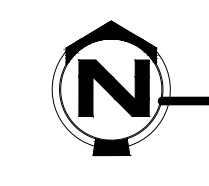
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SITE PLAN & ROOF PLAN
KHOYONAN RESIDENCE
 1530 REMAH VISTA GLENDALE, CA 91207

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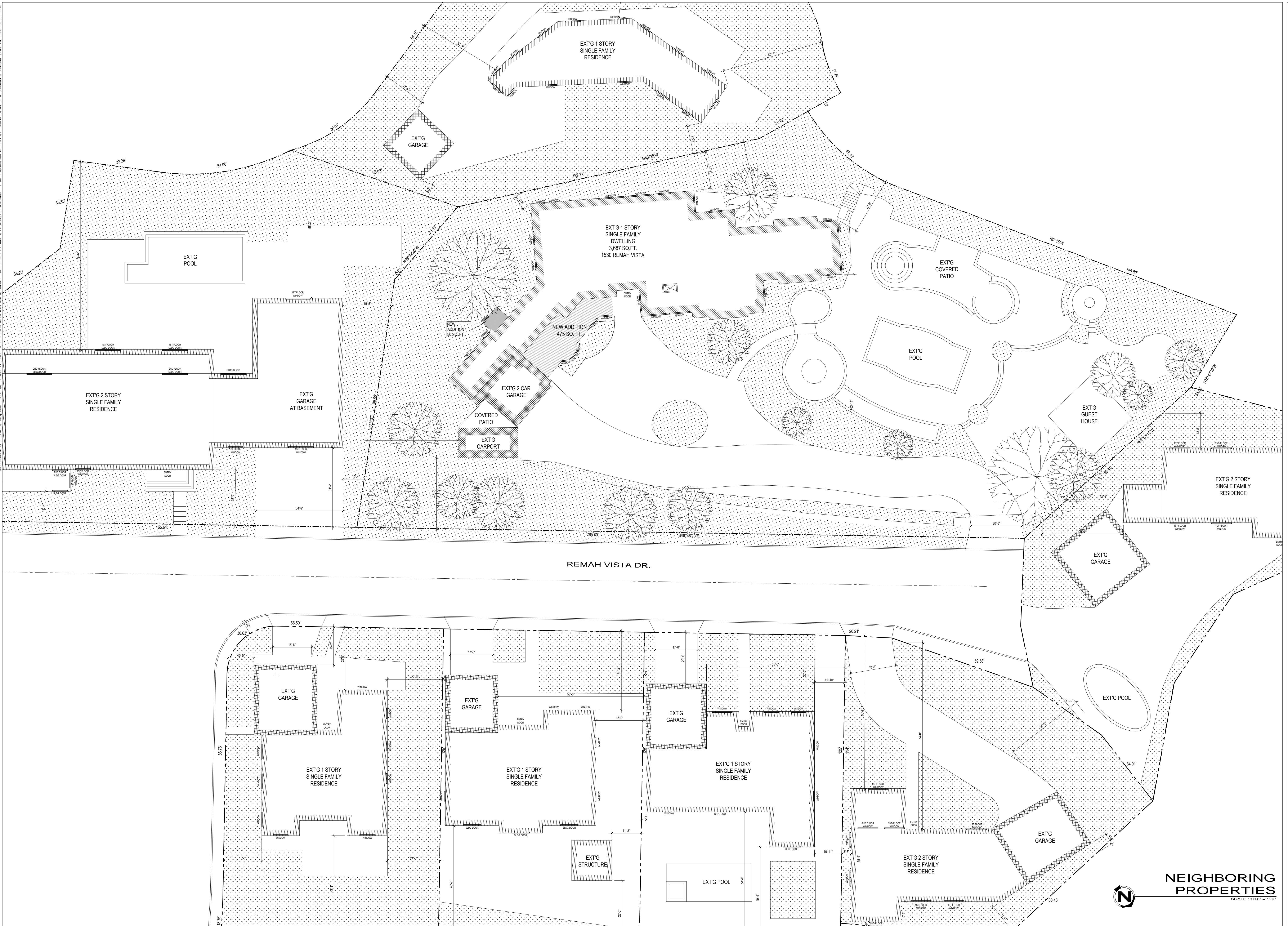
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REMAH VISTA DR.



SITE PLAN & ROOF PLAN
SCALE: 3/32" = 1'-0"

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NEIGHBORING PROPERTIES
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 1530 REMAH VISTA GLENDALE, CA 91207

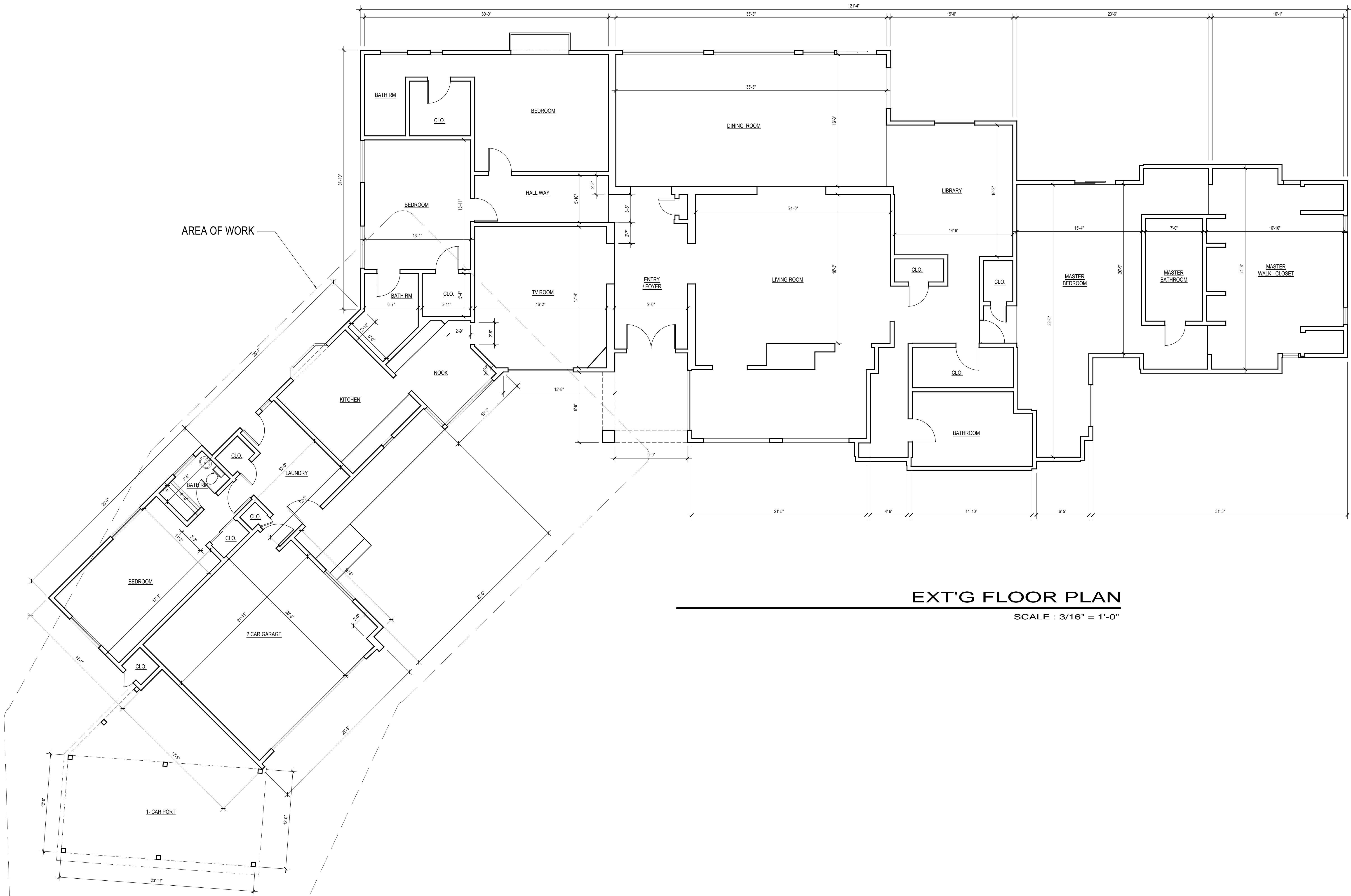
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NEIGHBORING PROPERTIES
 SCALE: 1/16" = 1'-0"



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EXT'G FLOOR PLAN
SCALE : 3/16" = 1'-0"

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EXT'G FLOOR PLAN

KHAYOYAN RESIDENCE

1530 REMAH VISTA DR. GLENDALE, CA 91207

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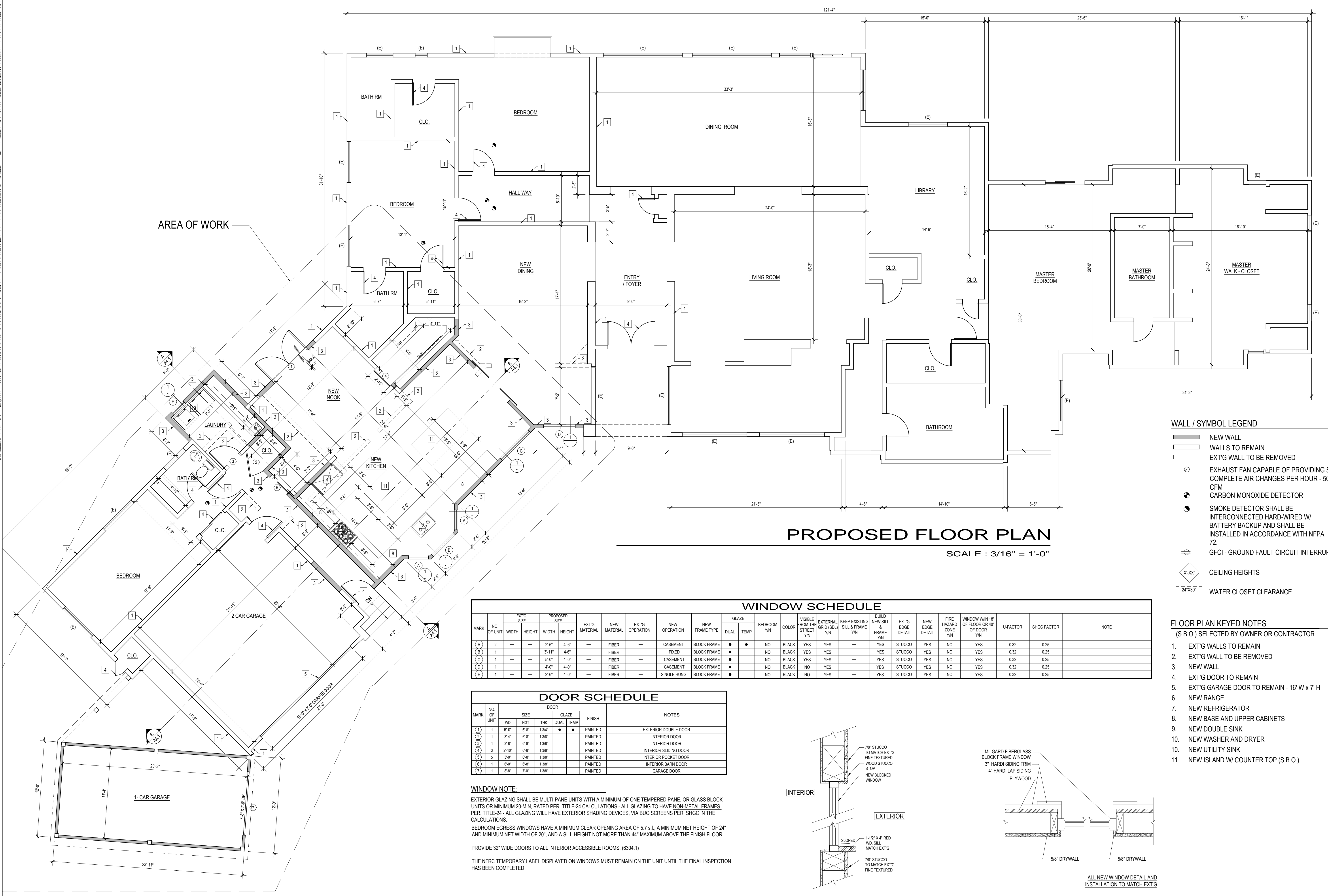
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PROPOSED FLOOR PLAN
KHAYOYAN RESIDENCE
1530 REMAH VISTA DR. GLENDALE, CA 91207

DATE: 12/2020
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A2.1



PROPOSED FLOOR PLAN
SCALE : 3/16" = 1'-0"

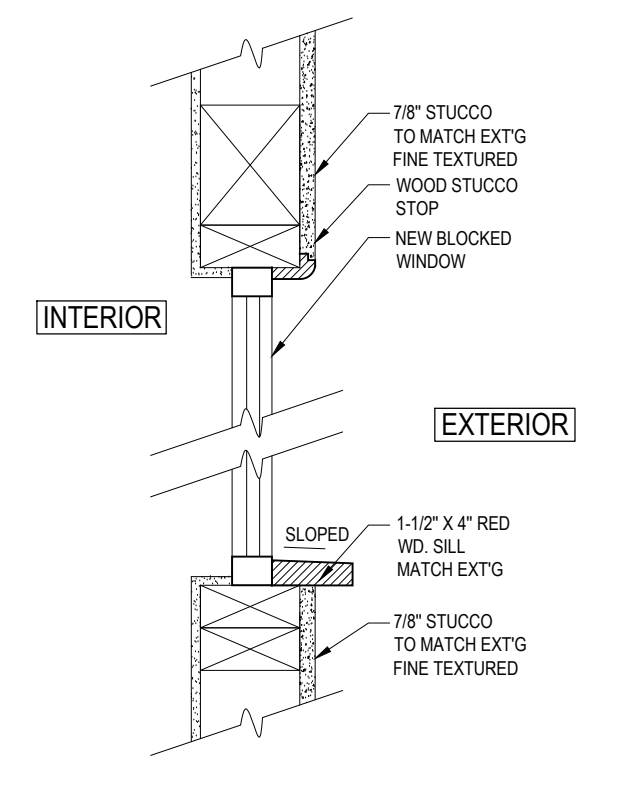
- WALL / SYMBOL LEGEND**
- NEW WALL
 - WALLS TO REMAIN
 - EXT'G WALL TO BE REMOVED
 - EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
 - CARBON MONOXIDE DETECTOR
 - SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
 - GFCI - GROUND FAULT CIRCUIT INTERRUPTER
 - CEILING HEIGHTS
 - WATER CLOSET CLEARANCE

- FLOOR PLAN KEYED NOTES**
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR
1. EXT'G WALLS TO REMAIN
 2. EXT'G WALL TO BE REMOVED
 3. NEW WALL
 4. EXT'G DOOR TO REMAIN
 5. EXT'G GARAGE DOOR TO REMAIN - 16' W x 7' H
 6. NEW RANGE
 7. NEW REFRIGERATOR
 8. NEW BASE AND UPPER CABINETS
 9. NEW DOUBLE SINK
 10. NEW WASHER AND DRYER
 11. NEW UTILITY SINK
 12. NEW ISLAND W/ COUNTER TOP (S.B.O.)

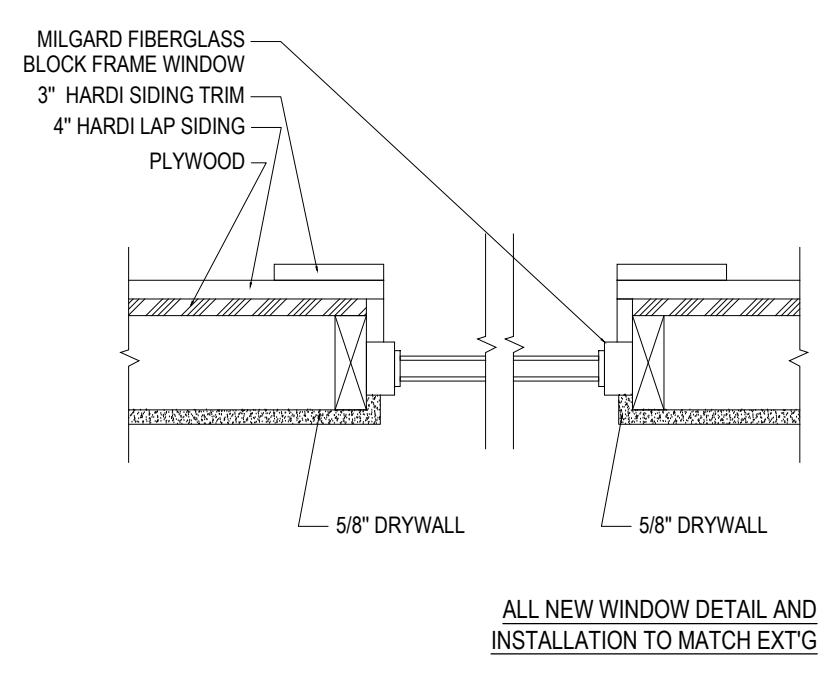
WINDOW SCHEDULE																									
MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (S/U) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	—	—	2'-6"	4'-0"	—	FIBER	—	CASEMENT	BLOCK FRAME	•	•	NO	BLACK	YES	YES	—	YES	STUCCO	YES	NO	YES	0.32	0.25	
(B)	1	—	—	3'-11"	4'-0"	—	FIBER	—	FIXED	BLOCK FRAME	•	•	NO	BLACK	YES	YES	—	YES	STUCCO	YES	NO	YES	0.32	0.25	
(C)	1	—	—	5'-0"	4'-0"	—	FIBER	—	CASEMENT	BLOCK FRAME	•	•	NO	BLACK	YES	YES	—	YES	STUCCO	YES	NO	YES	0.32	0.25	
(D)	1	—	—	4'-0"	4'-0"	—	FIBER	—	CASEMENT	BLOCK FRAME	•	•	NO	BLACK	NO	YES	—	YES	STUCCO	YES	NO	YES	0.32	0.25	
(E)	1	—	—	2'-6"	4'-0"	—	FIBER	—	SINGLE HUNG	BLOCK FRAME	•	•	NO	BLACK	NO	YES	—	YES	STUCCO	YES	NO	YES	0.32	0.25	

DOOR SCHEDULE							
MARK	NO. OF UNIT	DOOR			GLAZE	FINISH	NOTES
		WD	HGT	THK			
(1)	1	6'-0"	6'-8"	1-3/4"	•	PAINTED	EXTERIOR DOUBLE DOOR
(2)	1	3'-4"	6'-8"	1-3/8"		PAINTED	INTERIOR DOOR
(3)	1	2'-8"	6'-8"	1-3/8"		PAINTED	INTERIOR DOOR
(4)	3	2'-10"	6'-8"	1-3/8"		PAINTED	INTERIOR SLIDING DOOR
(5)	5	3'-0"	6'-8"	1-3/8"		PAINTED	INTERIOR POCKET DOOR
(6)	1	6'-0"	8'-8"	1-3/8"		PAINTED	INTERIOR BARN DOOR
(7)	1	6'-0"	7'-0"	1-3/8"		PAINTED	GARAGE DOOR

WINDOW NOTE:
EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 sq ft, A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.
PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

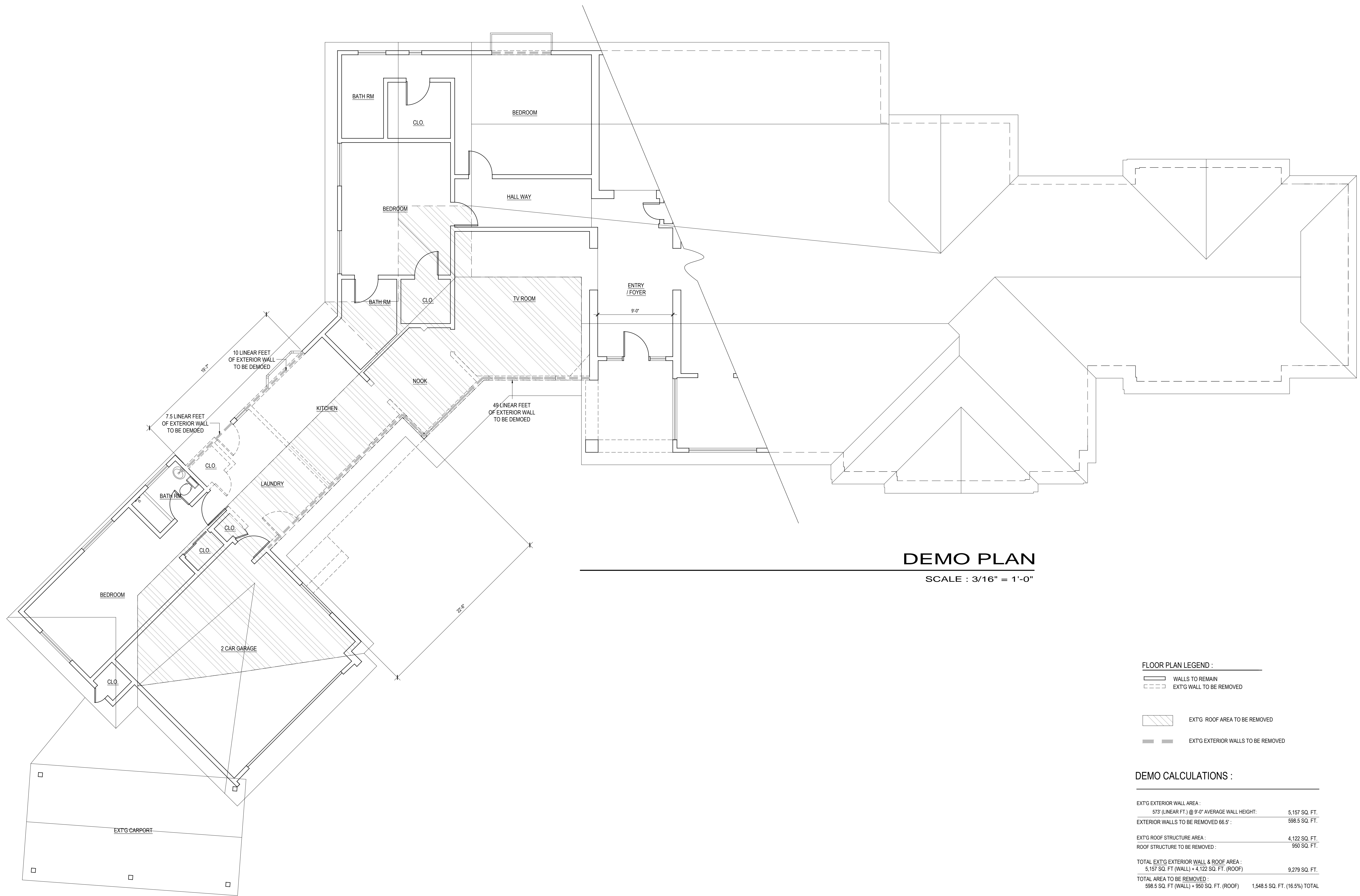


WINDOW DETAIL - 1
SCALE : NTS



WINDOW DETAIL - 2
SCALE : NTS

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DEMO PLAN

SCALE : 3/16" = 1'-0"

FLOOR PLAN LEGEND :

- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- EXT'G ROOF AREA TO BE REMOVED
- EXT'G EXTERIOR WALLS TO BE REMOVED

DEMO CALCULATIONS :

EXT'G EXTERIOR WALL AREA :		
573 (LINEAR FT.) @ 9'-0" AVERAGE WALL HEIGHT:	5,157 SQ. FT.	
EXTERIOR WALLS TO BE REMOVED 66.5' :	598.5 SQ. FT.	
EXT'G ROOF STRUCTURE AREA :		
4,122 SQ. FT.	4,122 SQ. FT.	
ROOF STRUCTURE TO BE REMOVED :	950 SQ. FT.	
TOTAL EXT'G EXTERIOR WALL & ROOF AREA :		
5,157 SQ. FT. (WALL) + 4,122 SQ. FT. (ROOF)	9,279 SQ. FT.	
TOTAL AREA TO BE REMOVED :		
598.5 SQ. FT. (WALL) + 950 SQ. FT. (ROOF)	1,548.5 SQ. FT. (16.5%) TOTAL	

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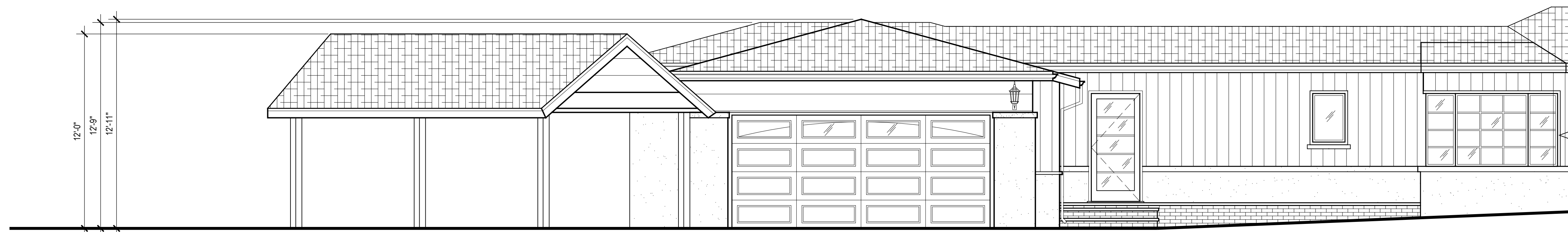
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DEMO PLAN AND CALCULATIONS
KHAYOYAN RESIDENCE
1530 REMAH VISTA DR. GLENDALE, CA 91207

DATE:	12/2020
DRAWN BY:	NRK
JOB NO.	20059

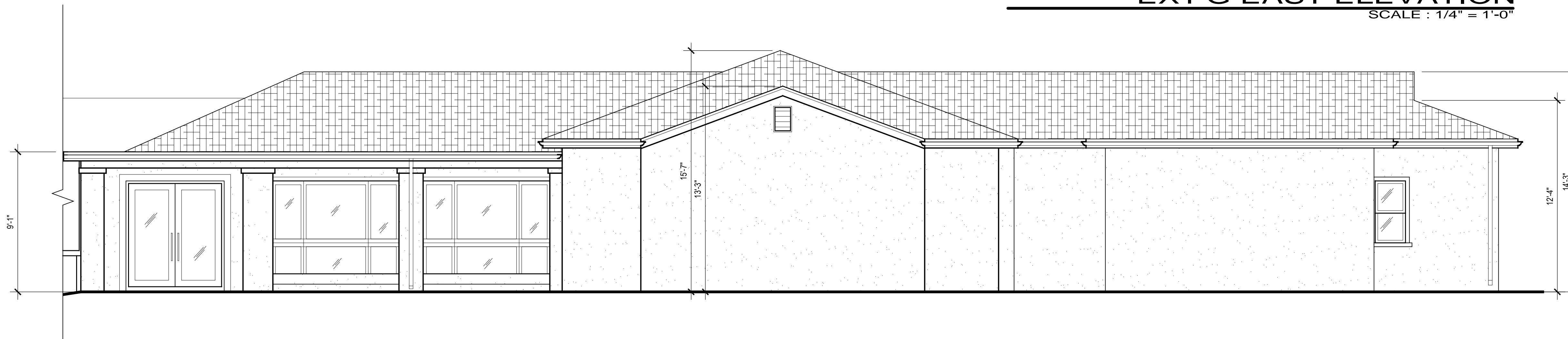
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A2.2

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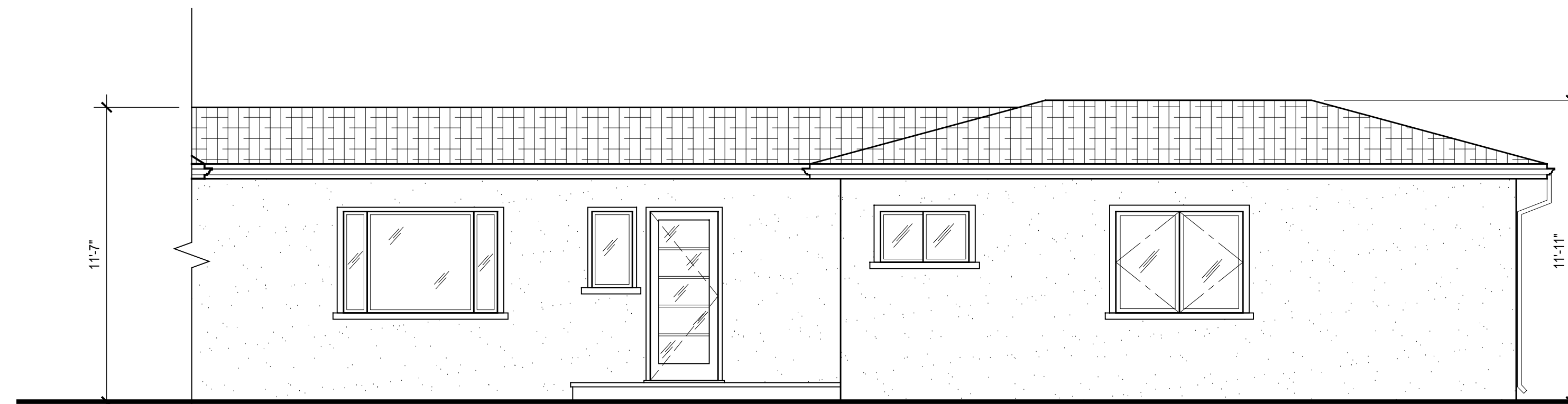
EXT'G EAST ELEVATION

SCALE : 1/4" = 1'-0"



EXT'G EAST ELEVATION

SCALE : 1/4" = 1'-0"



EXT'G WEST SIDE ELEVATION

SCALE : 1/4" = 1'-0"



EXT'G WEST SIDE ELEVATION

SCALE : 1/4" = 1'-0"

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EXT'G ELEVATIONS

KHAYOYAN RESIDENCE

1530 REMAH VISTA DR. GLENDALE, CA 91207

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A3.1

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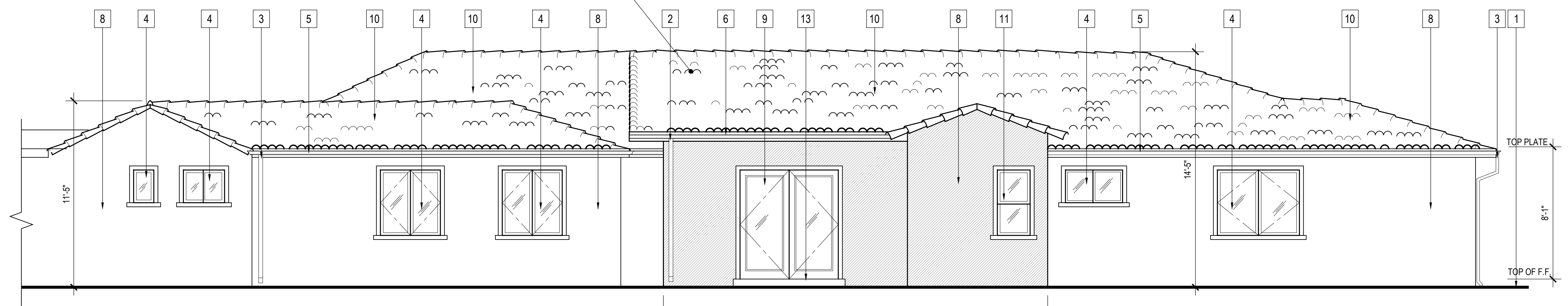
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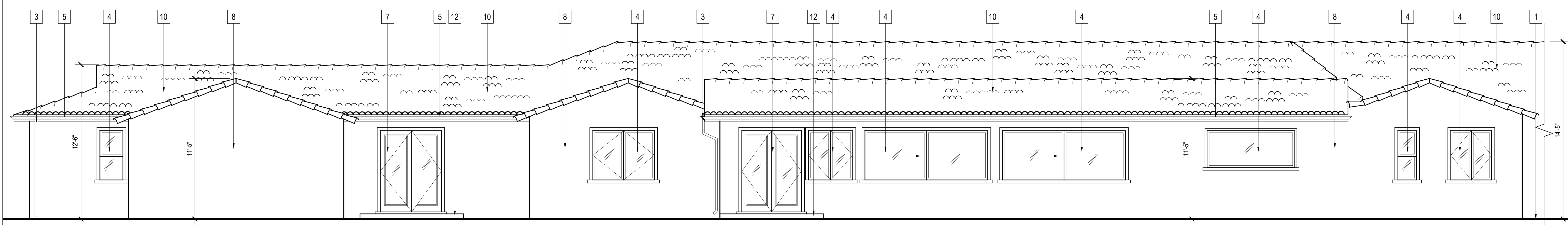
ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW DOWNSPOUT
3. EXT'G DOWNSPOUT
4. EXT'G WINDOW(S)
5. EXT'G GUTTER TO REMAIN
6. NEW GUTTER TO MATCH EXT'G.
7. EXT'G. DOOR
8. NEW STUCCO WALL FINISH
9. NEW DOOR
10. NEW ROOF - S TYPE CLAY SPANISH TILE ROOF
11. NEW WINDOW
12. EXT'G CONCRETE LANDING
13. NEW CONCRETE LANDING

NHD TILE
S TYPE CLAY ROOF TILE RED



NEW WEST SIDE ELEVATION
SCALE : 1/4" = 1'-0"



NEW WEST SIDE ELEVATION
SCALE : 1/4" = 1'-0"

ELEVATIONS
KHAYOYAN RESIDENCE
1530 REMAH VISTA DR. GLENDALE, CA 91207

DATE: 12/2020
DRAWN BY: NRK
JOB NO. 20059

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REVISIONS:

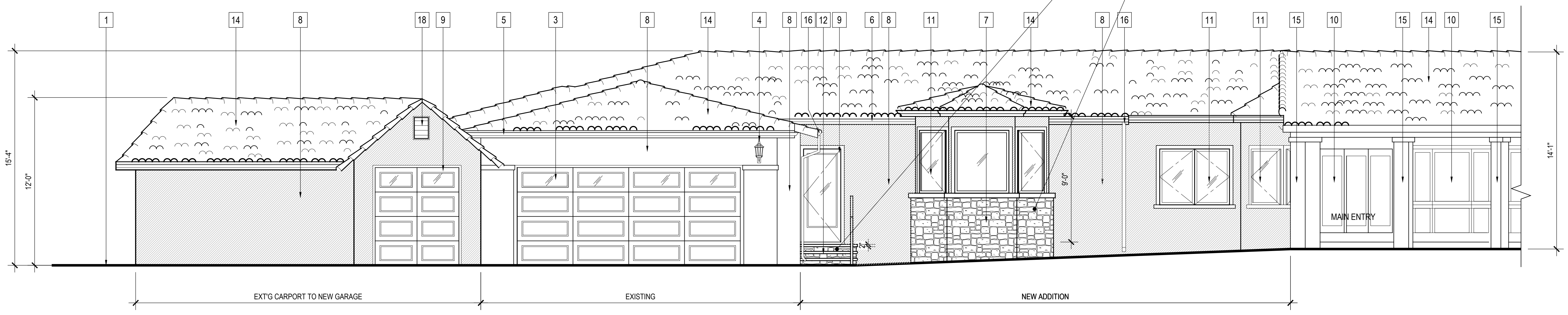
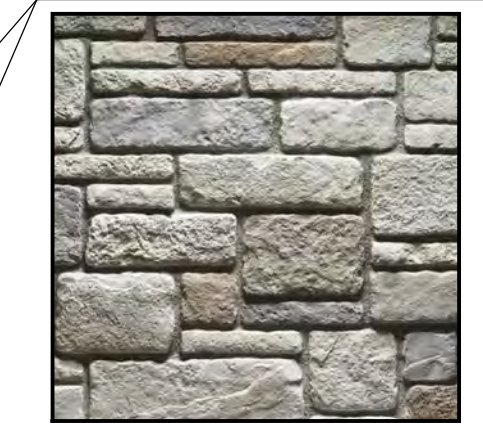
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ELEVATION KEYED NOTES

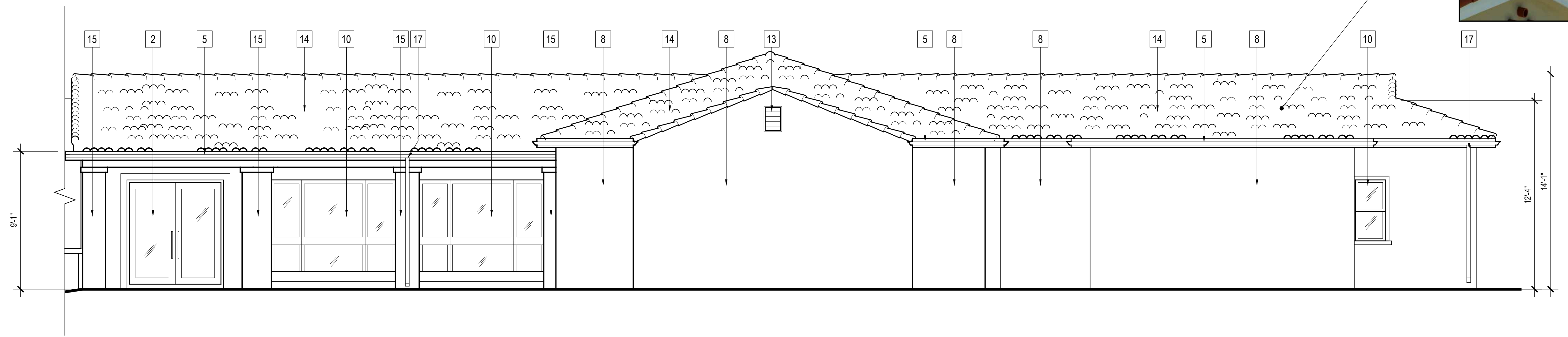
1. EXT'G GRADE
2. EXT'G DOUBLE DOOR TO REMAIN
3. EXT'G. GARAGE DOOR TO REMAIN
4. EXT'G OUTDOOR LIGHT TO REMAIN
5. EXT'G GUTTER TO REMAIN
6. NEW GUTTER TO MATCH EXT'G.
7. NEW STONE VENEER
8. NEW STUCCO WALL FINISH
9. NEW DOOR (SEE SCHEDULE)
10. EXT'G WINDOW(S) TO REMAIN
11. NEW WINDOW(S)
12. NEW STEPS
13. EXT'G VENT
14. NEW ROOF - S TYPE CLAY SPANISH TILE ROOF
15. EXT'G COLUMN(S)
16. NEW DOWNSPOUT
17. EXT'G DOWNSPOUT
18. NEW VENT

CULTURED STONE - SCULPTED ASHLAR
COLOR: ECHO RIDGE



NEW EAST SIDE ELEVATION
SCALE : 1/4" = 1'-0"

NHD TILE
S TYPE CLAY ROOF TILE RED



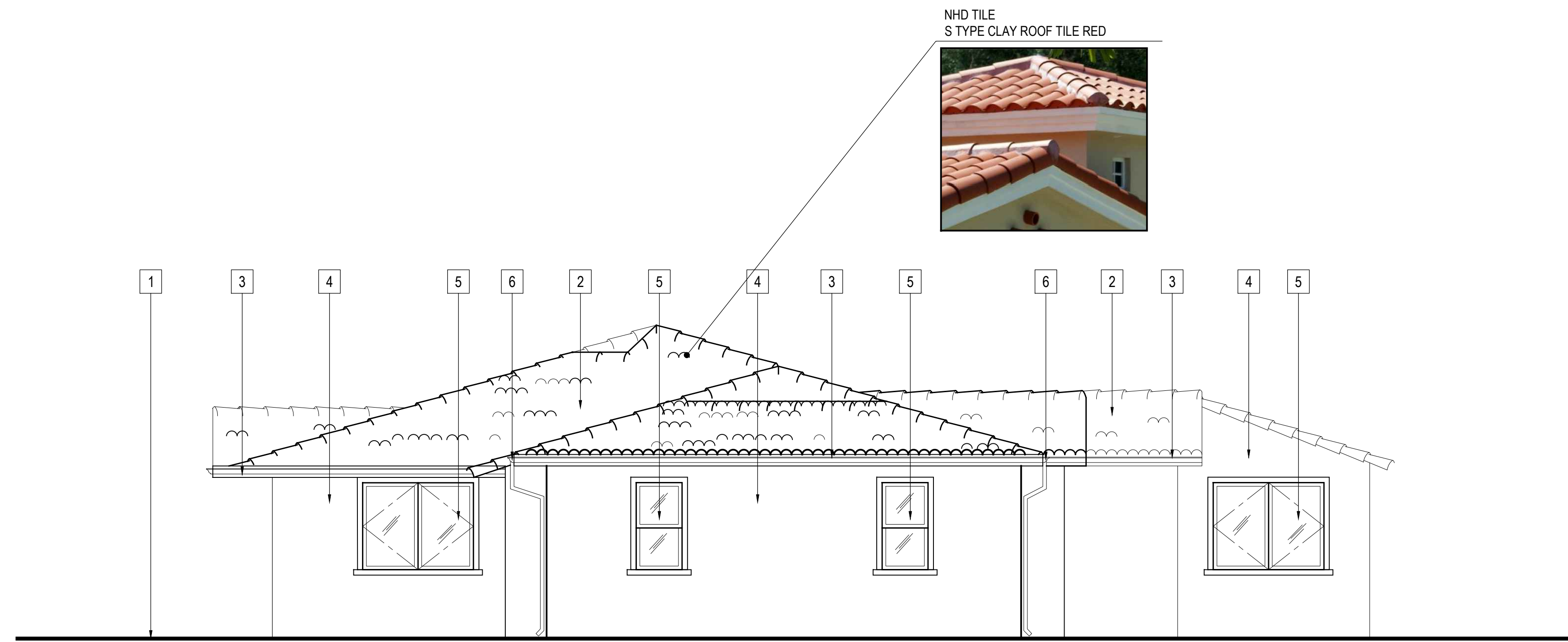
NEW EAST ELEVATION
SCALE : 1/4" = 1'-0"

ELEVATIONS
KHAYOYAN RESIDENCE
1530 REMAH VISTA DR. GLENDALE, CA 91207

DATE: 12/2020
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A3.3

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NEW NORTH SIDE ELEVATION
SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW ROOF -S TYPE CLAY SPANISH TILE ROOF
3. EXT'G GUTTER TO REMAIN
4. NEW STUCCO WALL FINISH
5. EXT'G WINDOW(S)
6. EXT'G DOWNSPOUT

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ELEVATIONS

KHAYOYAN RESIDENCE

1530 REMAH VISTA DR. GLENDALE, CA 91207

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SHEET NO.
A3.4

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SINGLE CAR GARAGE DOOR



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COLORED ELEVATIONS & PERSPECTIVE

KHAYOYAN RESIDENCE

1530 REMAH VISTA DR. GLENDALE, CA 91207

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SHEET NO.

A3.5

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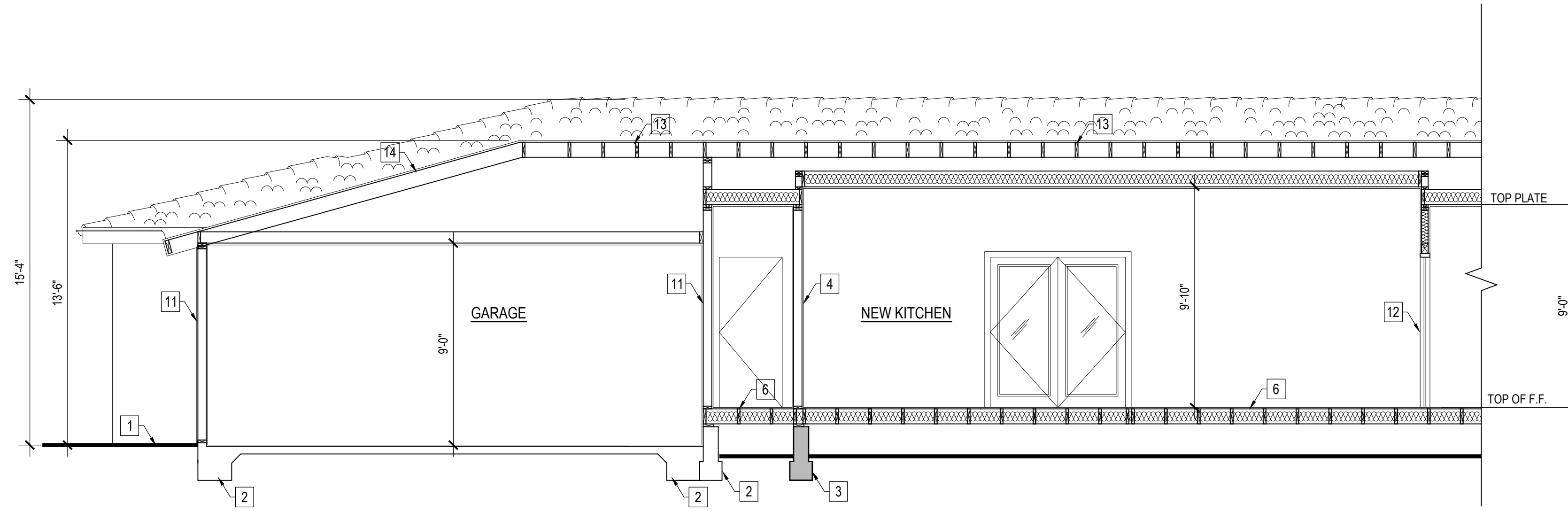
COLORED ELEVATIONS
KHAYOYAN RESIDENCE
 1530 REMAH VISTA DR. GLENDALE, CA 91207

DATE:	12/2020
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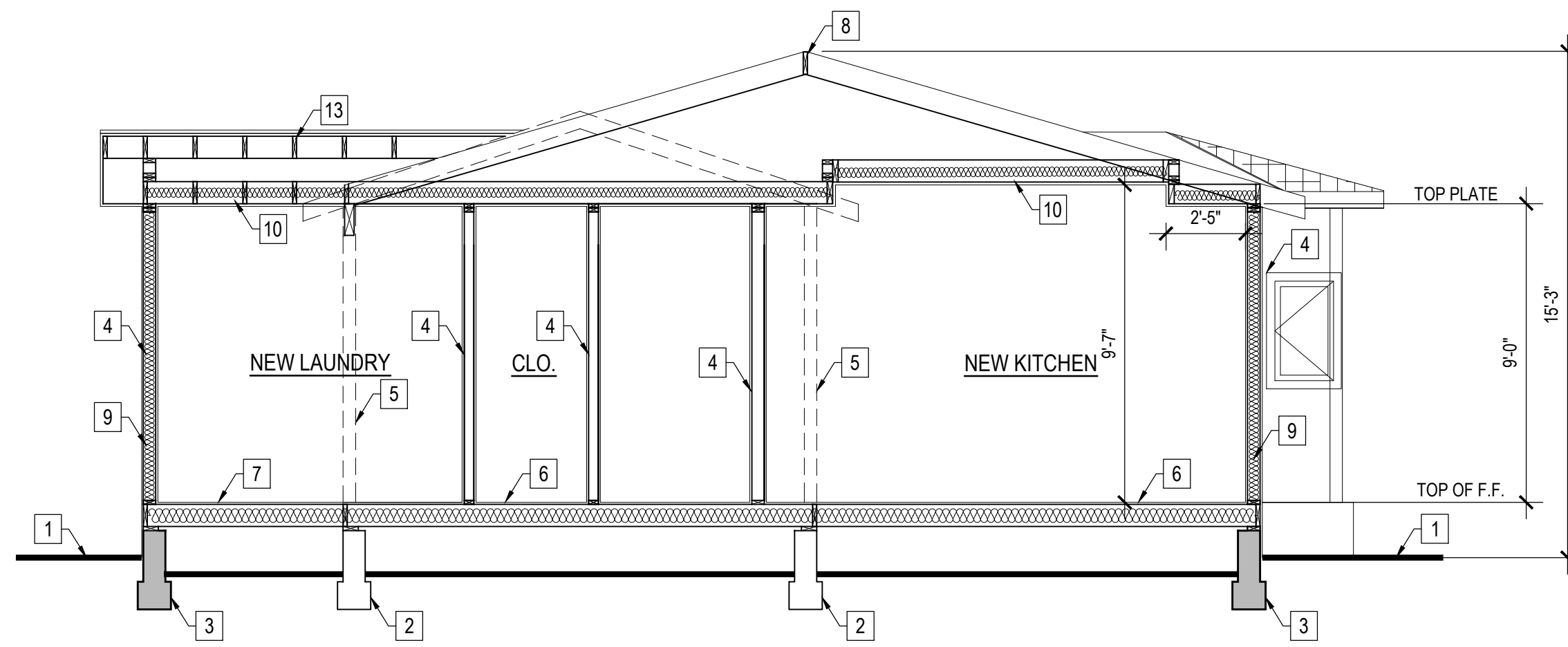
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A3.6

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SECTION B-B
SCALE : 1/4" = 1'-0"



SECTION A-A
SCALE : 1/4" = 1'-0"

CROSS SECTION KEY NOTES

1. EXT'G GRADE
2. EXT'G CONC. FOUNDATION
3. NEW CONC. FOUNDATION
4. NEW STUD WALL
5. EXT'G WALL TO BE REMOVED
6. EXT'G FLOOR JOISTS TO REMAIN
7. NEW FLOOR JOISTS
8. NEW RIDGE BOARD
9. NEW INSULATION
10. NEW CEILING JOISTS
11. EXT'G WALL TO REMAIN
12. NEW DOOR
13. NEW ROOF RAFTERS
14. EXT'G ROOF RAFTERS TO REMAIN

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PROPOSED SECTIONS

KHAYOYAN RESIDENCE

1530 REMAH VISTA DR. GLENDALE, CA 91207

DATE:	12/2020
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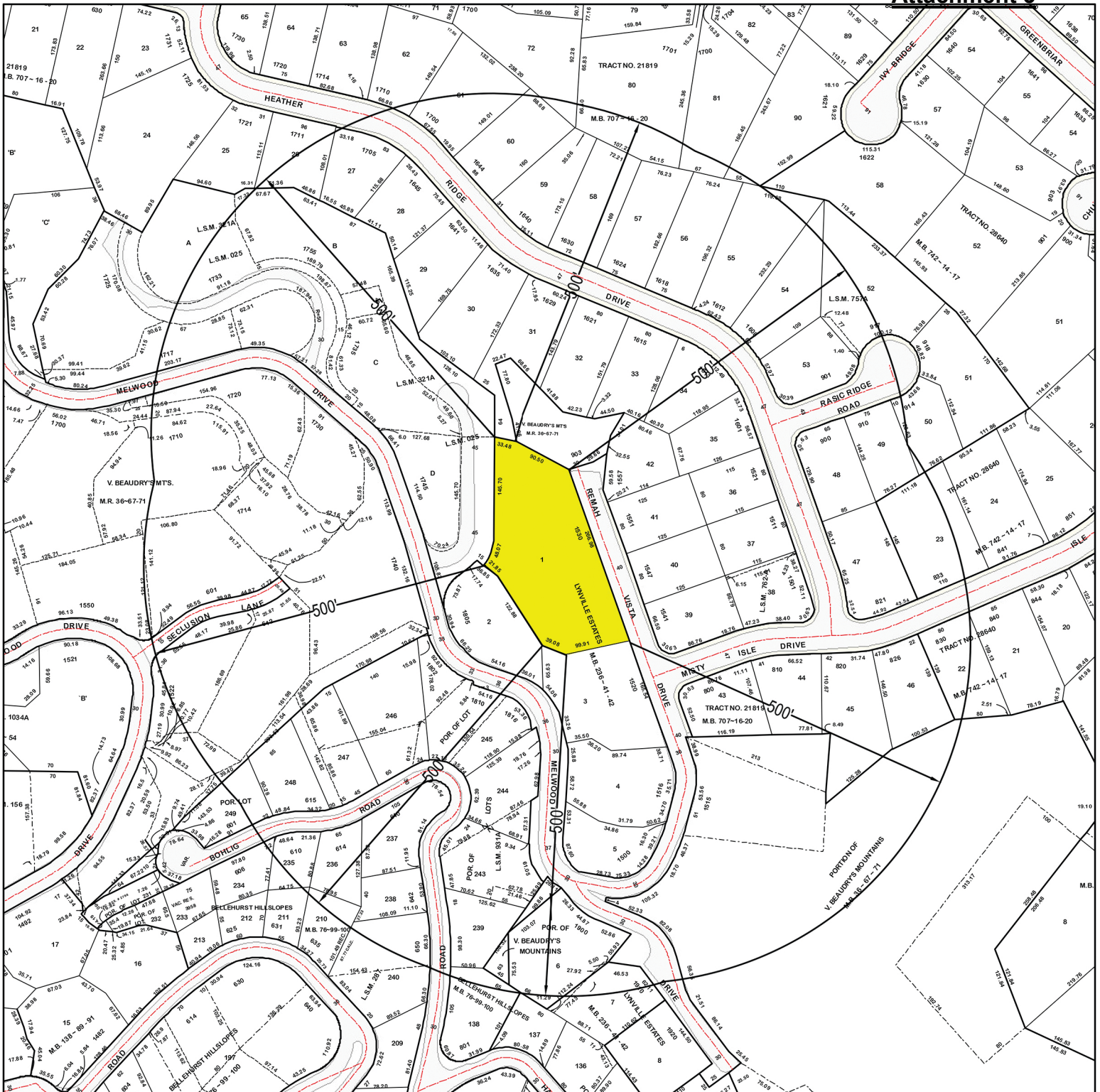
A4.1











LOCATION MAP

LEGEND

SUBJECT PROPERTY(IES)

SITE LOCATION: 1530 REMAH VISTA DR
GLENDALE, CA 91207

APN: 5649-022-001



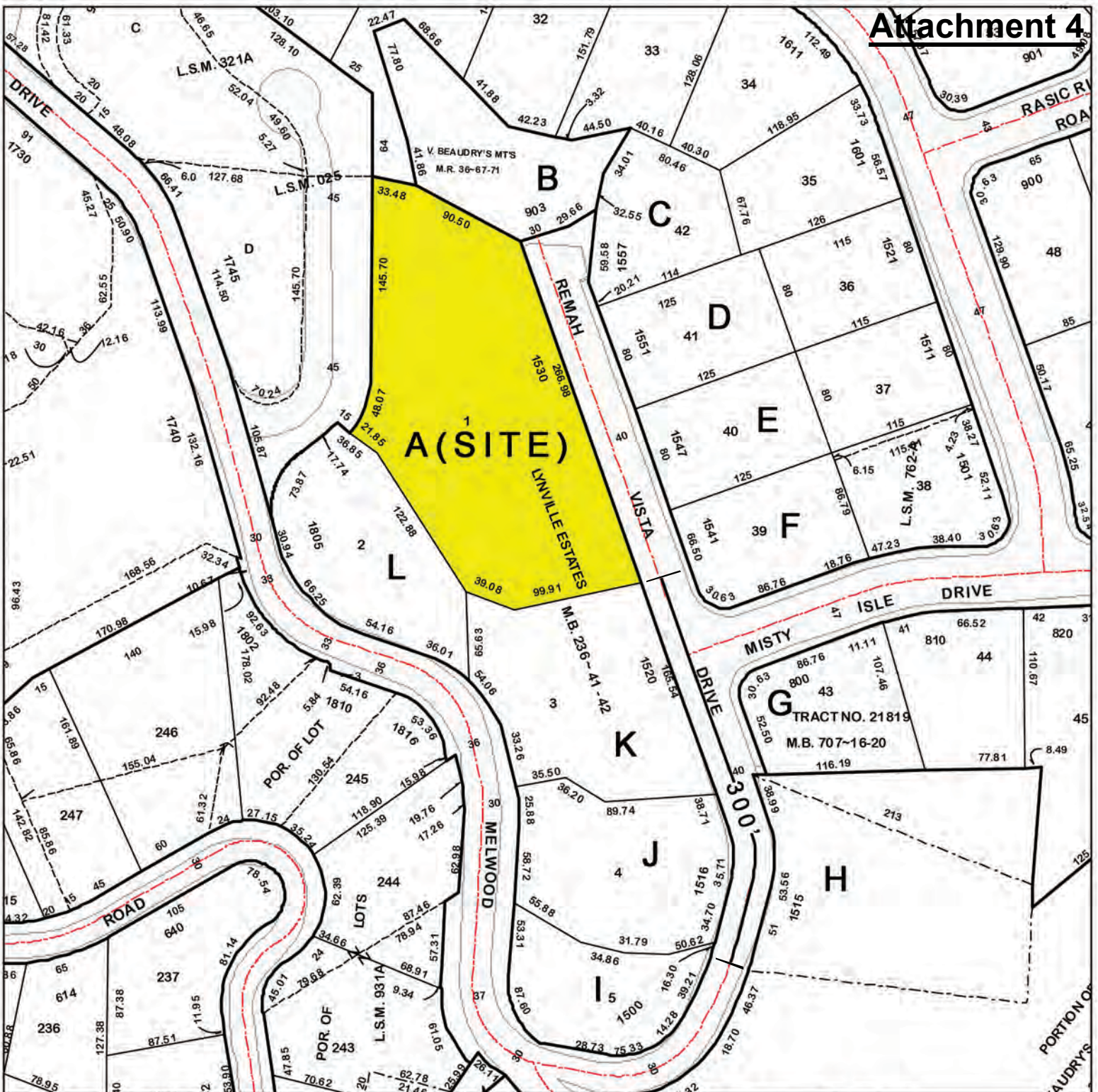
SCALE: 1"=200'

DATE: Jul 05, 2022

PREPARED BY:



412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921




PHOTOGRAPHIC SURVEY MAP

LEGEND
SURVEY MAP LABEL #
SUBJECT PROPERTY

SITE LOCATION: 1530 REMAH VISTA DR
 GLENDALE CA 91207

APN: 5649-022-001

DATE: Jul 05, 2022



SCALE: 1"=100'

NEIGHBORHOOD SURVEY FOR: 1530 REMAH VISTA DR

KEY	ADDRESS	PARCEL NUMBER	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF
A(SITE)	1530 REMAH VISTA DR	5649-022-001	40,148	3,687	9%	1	28	SPANISH TILE
B	1558 REMAH VISTA DR	5649-034-048	24,090	3,696	15%	2	10	COMP. SHINGLE
C	1557 REMAH VISTA DR	5649-034-012	10,590	2,559	24%	2	60	COMP. SHINGLE
D	1551 REMAH VISTA DR	5649-034-011	10,015	2,083	21%	1	20	COMP. SHINGLE
E	1547 REMAH VISTA DR	5649-034-010	9,924	2,414	24%	1	18	COMP. SHINGLE
F	1541 REMAH VISTA DR	5649-034-009	10,530	1,992	19%	1	15	COMP. SHINGLE
G	800 MISTY ISLE DR	5649-026-017	11,278	2,377	21%	1	10	WOOD SHAKE
H	1515 REMAH VISTA DR	5649-026-016	31,078	6,034	19%	2	40	WOOD SHAKE
I	1500 REMAH VISTA DR	5649-022-005	10,646	2,423	23%	2	15	TAR & GRAVEL ROOF
J	1516 REMAH VISTA DR	5649-022-004	17,027	2,475	15%	1	15	TILE
K	1520 REMAH VISTA DR	5649-022-003	20,329	5,327	26%	2	15	FLATE
L	1805 MELWOOD DR	5649-022-002	14,687	1,569	11%	1	15	COMP. SHINGLE
AVERAGE			17,529	3,053	17%	1	22	



A. 1530 REMAH VISTA DR





B. 1558 REMAH VISTA DR



C. 1557 REMAH VISTA DR



D. 1551 REMAH VISTA DR



E. 1547 REMAH VISTA DR



F. 1541 REMAH VISTA DR



G. 800 MISTY ISLE DR



H. 1515 REMAH VISTA DR



I. 1500 REMAH VISTA DR



J. 1516 REMAH VISTA DR



K. 1520 REMAH VISTA DR