



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

January 13, 2023 <i>Decision Date</i>	4240 Lowell Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5604-005-034 <i>APN</i>
PDRNRAF2119405 <i>Case Number</i>	Sandy Liu <i>Applicant</i>
Sadie Gropen, Planner <i>Case Planner</i>	Niti Dixit & Shashikant Shukla <i>Owner</i>

Project Summary

The applicant is proposing to construct a 295 square-foot addition to the master bedroom, a new master bathroom and a new closet; a 260 square-foot bedroom behind the existing family room; a 48 square-foot addition to a bathroom; and a new outdoor counter to an existing 1,932 square-foot, single-family residence (constructed in 1954) on a property approximately 9,150 square-foot lot, zoned R1 (Floor Area District II), located at 4240 Lowell Avenue.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because additions to the single-family will not result in an increase of more than 50 percent of the building.

Existing Property/Background

The project site is a 9,150 square-foot corner lot located on the southwest corner of Lowell Avenue and Altura Avenue. The corner lot is irregularly shaped and has a gentle slope that descends towards the north. The property is developed with an existing one-story, single-family residence and a detached garage that is accessed from Lowell Avenue.

Three indigenous trees (coastal live oaks) are located on or within 20 feet of the subject property. Two are located on the parcel and one is located on the adjacent parcel to the south. An Indigenous Tree Protection Plan was prepared by Sandy Liu Architecture (March 2022) to provide the proposed site plan with the existing trees and the surrounding landscaping. The Plan indicates that none of the protected trees will be impacted by the proposed additions. The two coastal live oak trees at the site will have temporary fencing during the duration of the construction. Additionally, the Glendale Department of Public Works prepared an Indigenous Tree Protection Measure document to mitigate any potential impacts to the protected trees throughout the application, permitting and

construction phases of the project. This document was signed in February 2022 by the property owner. The property does not appear to be eligible for listing at the federal, state, or local level and is therefore not a historic resource under the California Environmental Quality Act (CEQA).

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	9,191 sq. ft.	4,838 sq. ft. - 17,168 sq. ft.	9,150 sq. ft.
Setback	31-feet	12-feet - 198-feet	26-feet
House size	1,834 sq. ft.	480 sq. ft. - 3,427 sq. ft.	3,092 sq. ft.
Floor Area Ratio	0.21	0.05 - 0.51	0.28
Number of stories	1-primarily	1 & 2-story	1-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

Building and decks follow topography

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed project will be sited along the street front setback and street side setback (at the north and south of the site), and it will not change the street or side setback pattern of the neighborhood.
- The site planning of the proposed project will generally follow the shape of the lot and does not significantly alter the site planning of the lot.
- The northerly section of the addition will extend the building's street side facade property and will be set back 25-feet from the street side property line and 5-feet from the eastern interior property line.
- The southerly section of the addition will extend the building's street front façade property and will be set back 26-feet from the street front property line and 22-feet, 6-inches from the eastern interior property line.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The massing of the project will be compatible with the house and nearby dwellings in terms of mass and scale. The minor one-story addition continues the ridge height of the building and will not alter its massing as viewed from Lowell Avenue and Altura Avenue.
- The proportion of the addition at the street front (Lowell Avenue), attaching the garage/workshop to the main residence, fits well with massing configuration of the

existing dwelling and garage/workshop and will not project above the existing height of the building.

- The proportion of the addition at the street side (Altura Avenue) also fit well with the massing configuration of the existing dwelling and will not project above the existing height of the building.
- The existing dwelling is designed in the Ranch style with low-pitched hipped roofs, stucco and board and batten siding, red brick finish materials at the front entry, rear and chimney. The improvements to the building replicate the overall massing concept of the existing building.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The project incorporates design details that are complementary to the existing style of the single-family dwelling, such as a stucco and asphalt shingles.
- Recessed fixed, double hung/fixed/double hung, and double hung windows are provided at the addition, with all existing windows to remain. The new windows complement the existing style, placement, operation and pattern of the existing dwelling.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**.

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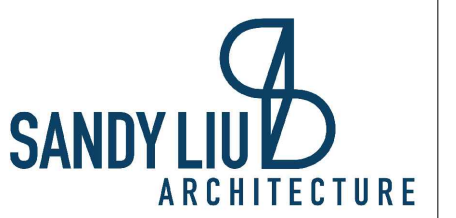
Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Comments
6. Indigenous Tree Protection Plan

DIXIT RESIDENCE

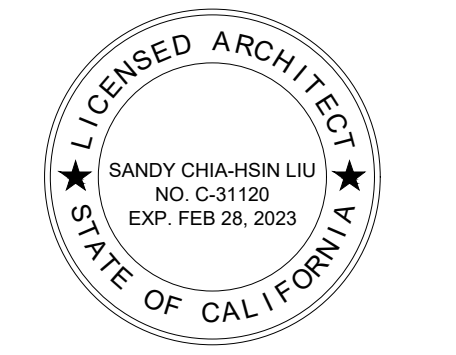
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OWNER: NITI DIXIT & SHASHIKANT SHUKLA
 4240 LOWELL AVENUE, GLENDALE, CA
 408-431-8615



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CONSULTANT

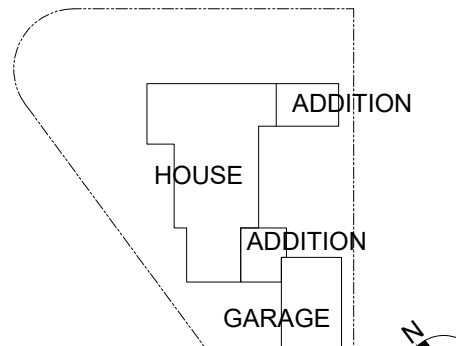


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0' 8' 16'

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KEY PLAN

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4	6/14/2022	PRE-APPLICATION REV 4	SL

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		DIXIT-DEMO.DWG	
			SL
		1/8" = 1'-0"	
		JULY 7, 2022	
		218	

EXISTING SITE PLAN W/ PHOTO KEYS

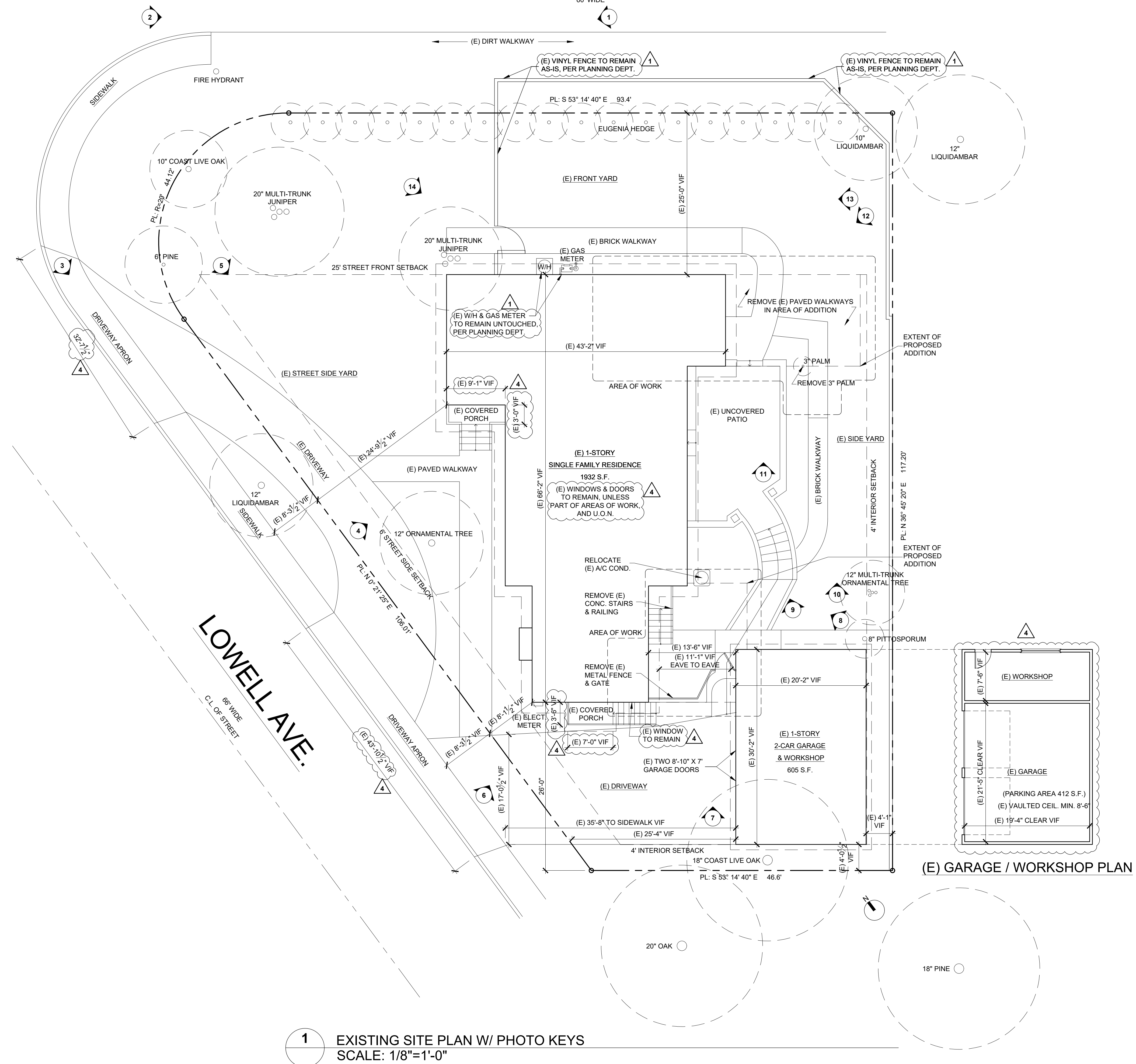
SHEET TITLE

SP-01

SHEET NO. OF 16 SHEETS

ALTURA AVE.

60' WIDE



1 EXISTING SITE PLAN W/ PHOTO KEYS
 SCALE: 1/8"=1'-0"

DIXIT RESIDENCE

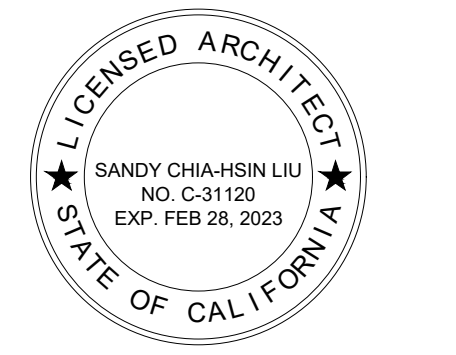
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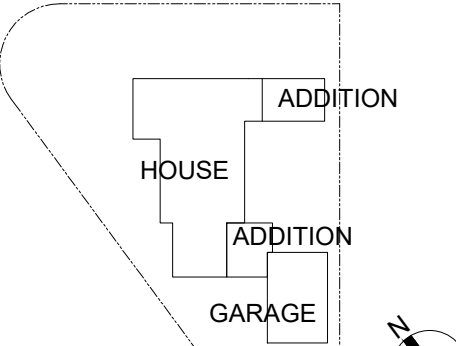


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PROPOSED SITE PLAN / LANDSCAPE PLAN

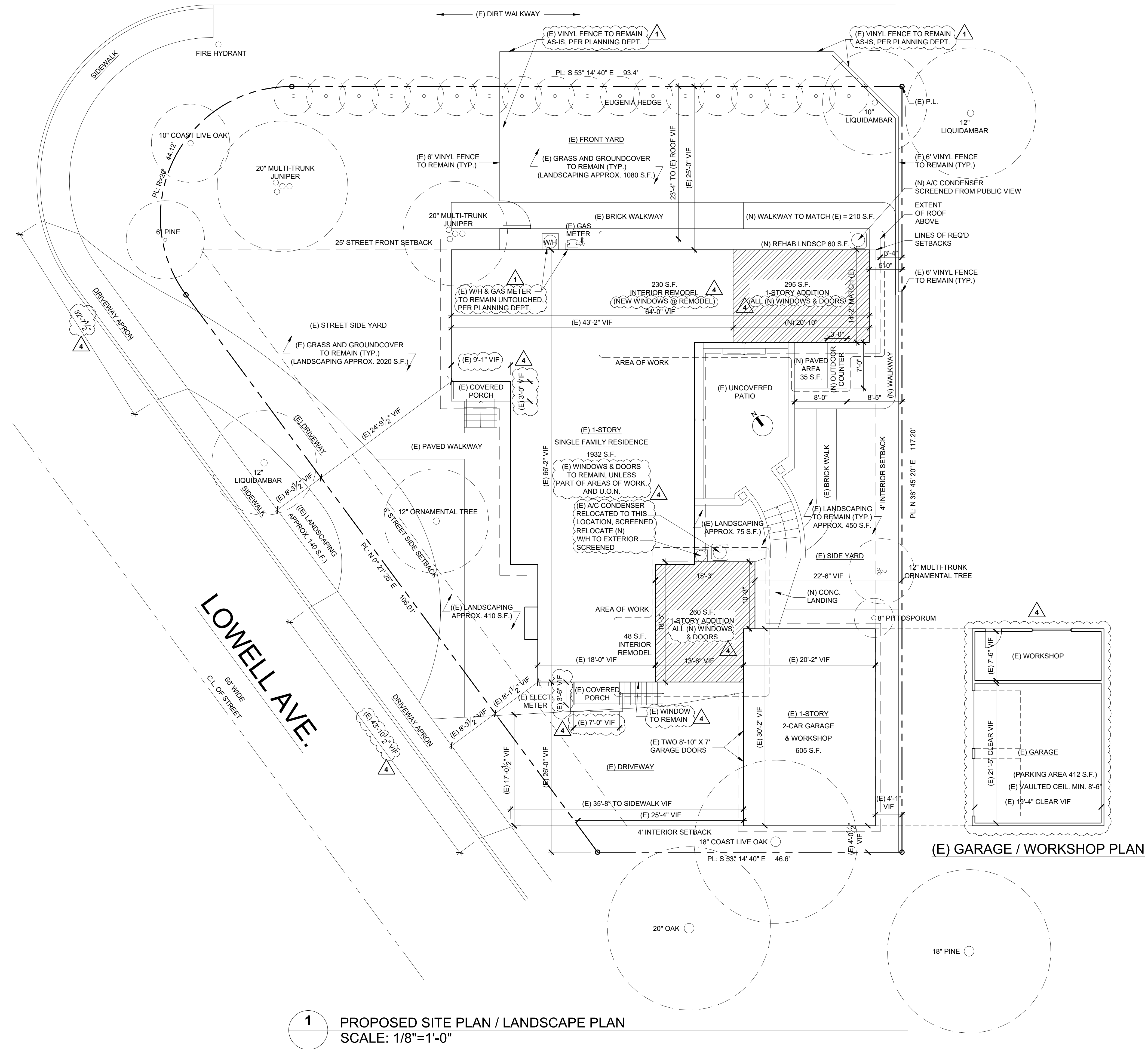
SHEET TITLE

SP-02

SHEET NO. OF 16 SHEETS

ALTURA AVE.

60' WIDE

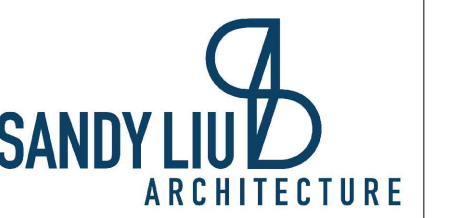


1 PROPOSED SITE PLAN / LANDSCAPE PLAN
 SCALE: 1/8"=1'-0"

DIXIT RESIDENCE

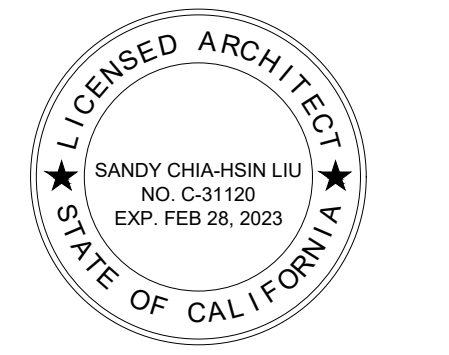
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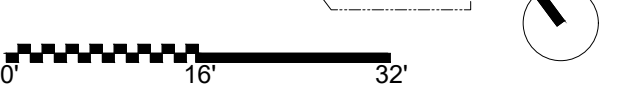
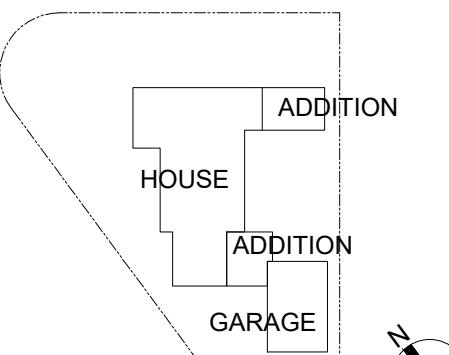


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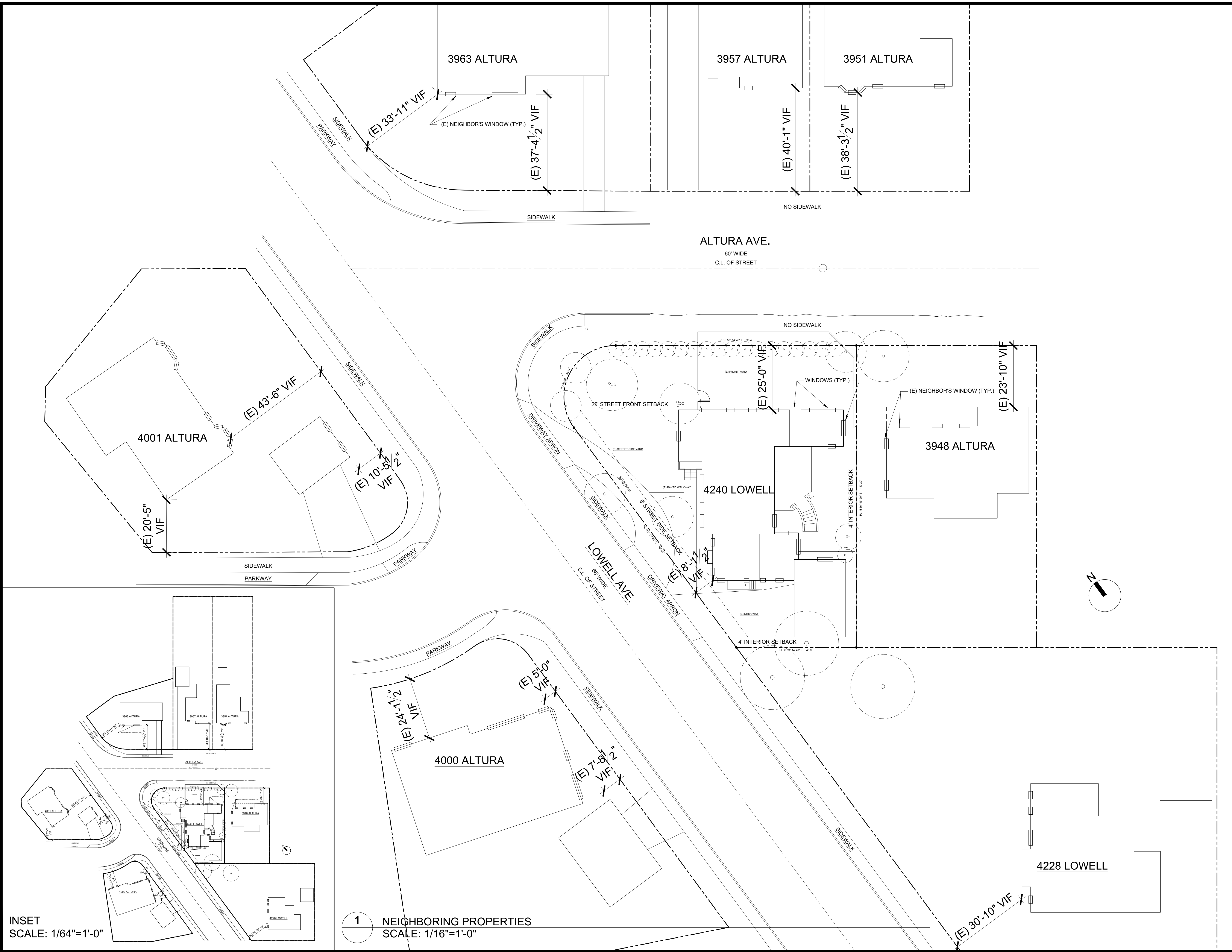
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NEIGHBORING PROPERTIES

SHEET TITLE

SP-03

SHEET NO. OF 16 SHEETS



INSET
 SCALE: 1/64"=1'-0"

1 NEIGHBORING PROPERTIES
 SCALE: 1/16"=1'-0"

DIXIT RESIDENCE

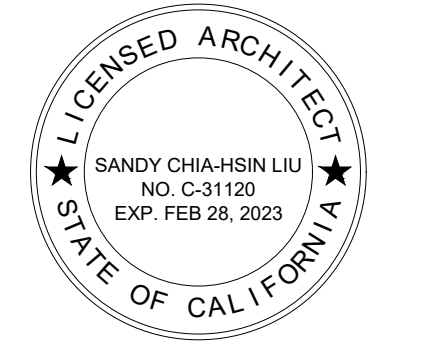
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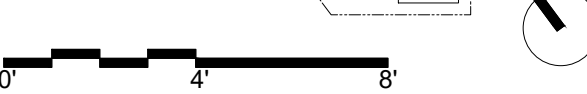
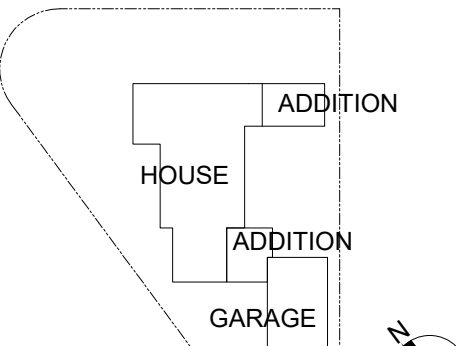


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		1/4" = 1'-0"	
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DEMOLITION FLOOR PLAN

SHEET TITLE

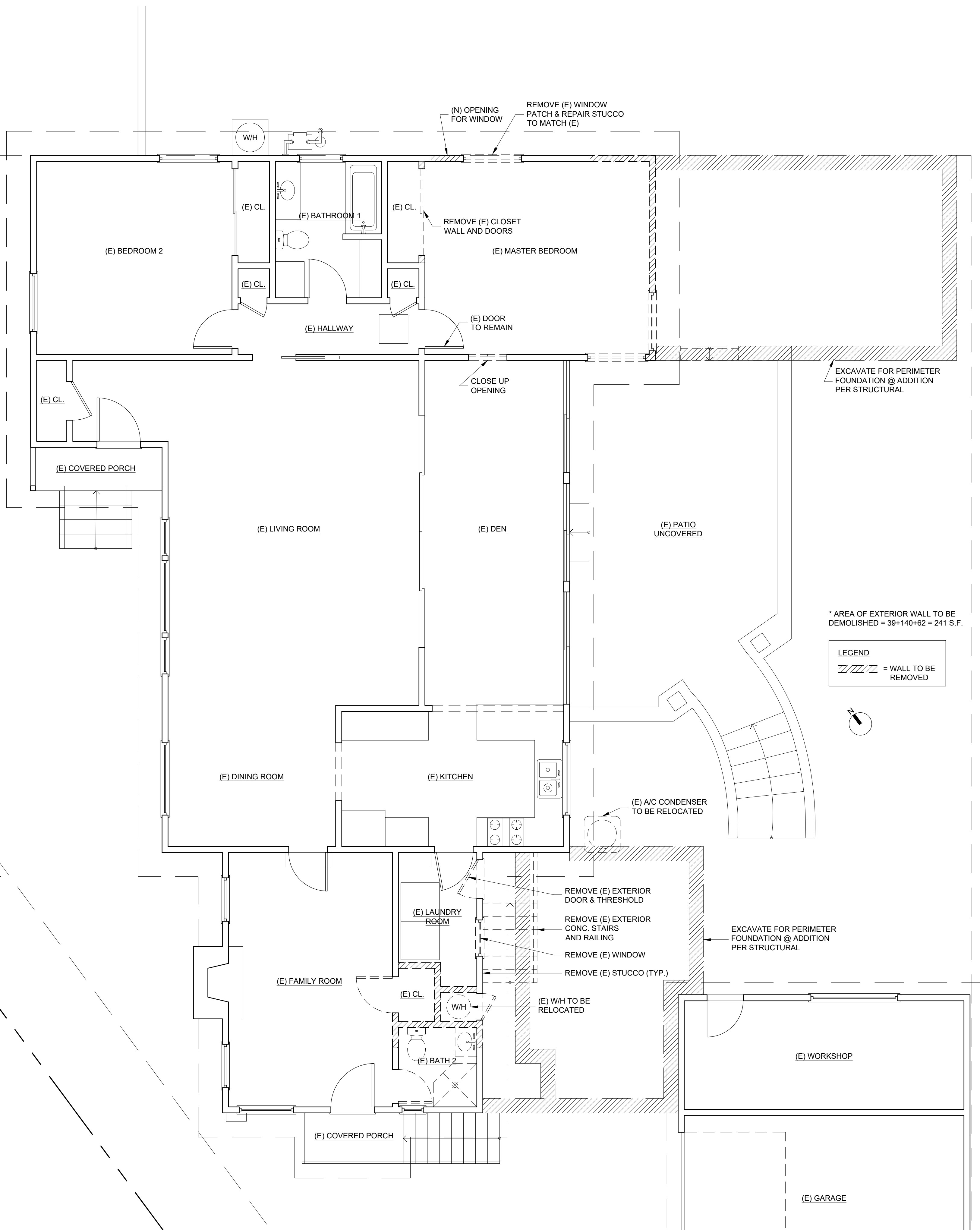
A-103

SHEET NO. OF 16 SHEETS

25' STREET FRONT SETBACK

6' STREET SIDE SETBACK

4' INTERIOR SETBACK



* AREA OF EXTERIOR WALL TO BE DEMOLISHED = 39+140+62 = 241 S.F.

LEGEND
 = WALL TO BE REMOVED

1 DEMOLITION FLOOR PLAN
 SCALE: 1/4"=1'-0"

DIXIT RESIDENCE

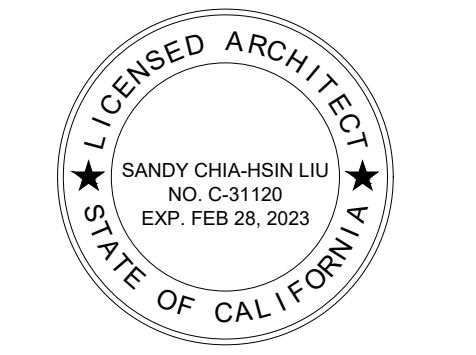
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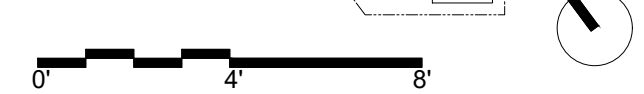
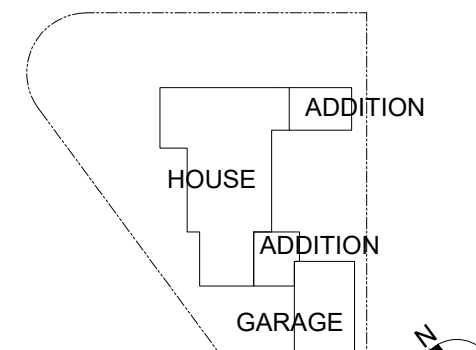


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BASE FILE NAMES		DIXIT-NEW.DWG	
DRAWN BY		SL	
SCALE		1/4" = 1'-0"	
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PROPOSED FLOOR PLAN

SHEET TITLE

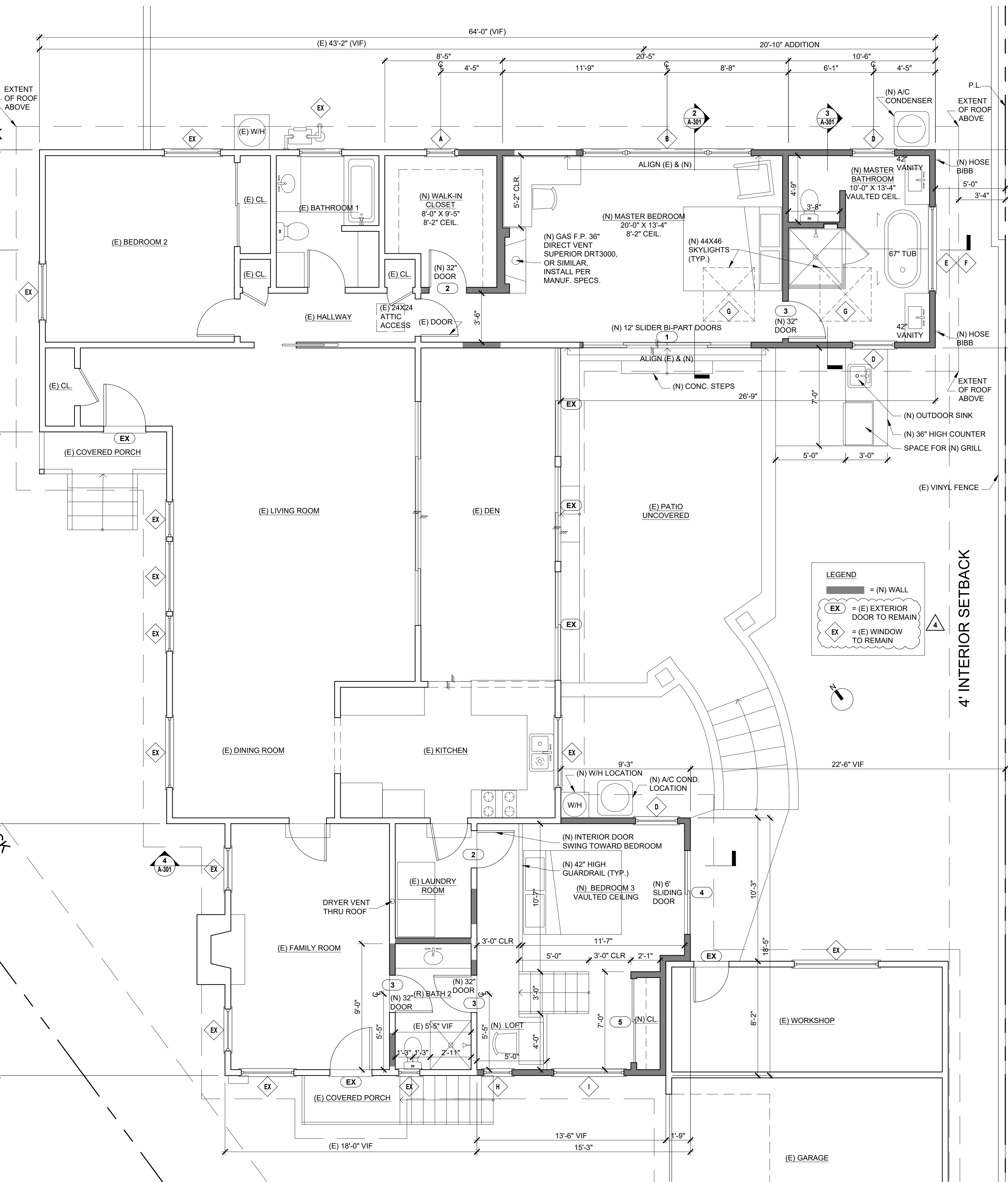
A-104

SHEET NO. OF 16 SHEETS

25' STREET FRONT SETBACK

6' STREET SIDE SETBACK

4' INTERIOR SETBACK



LEGEND

- (N) WALL
- (EX) = (E) EXTERIOR DOOR TO REMAIN
- (EX) = (E) WINDOW TO REMAIN

1 PROPOSED FLOOR PLAN
 SCALE: 1/4"=1'-0"

DIXIT RESIDENCE

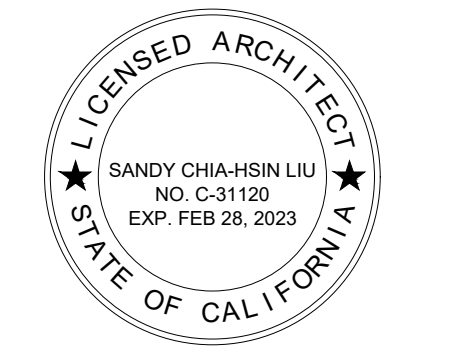
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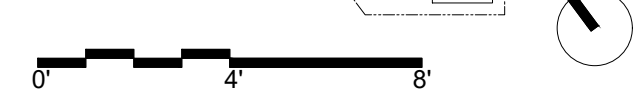
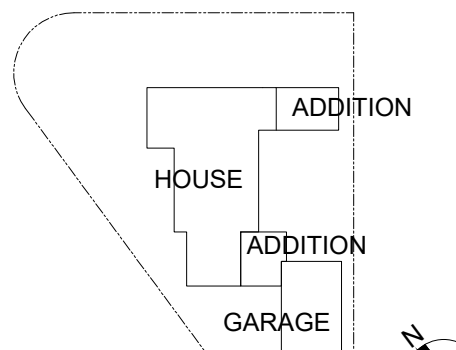


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4	6/14/2022	PRE-APPLICATION REV 4	SL

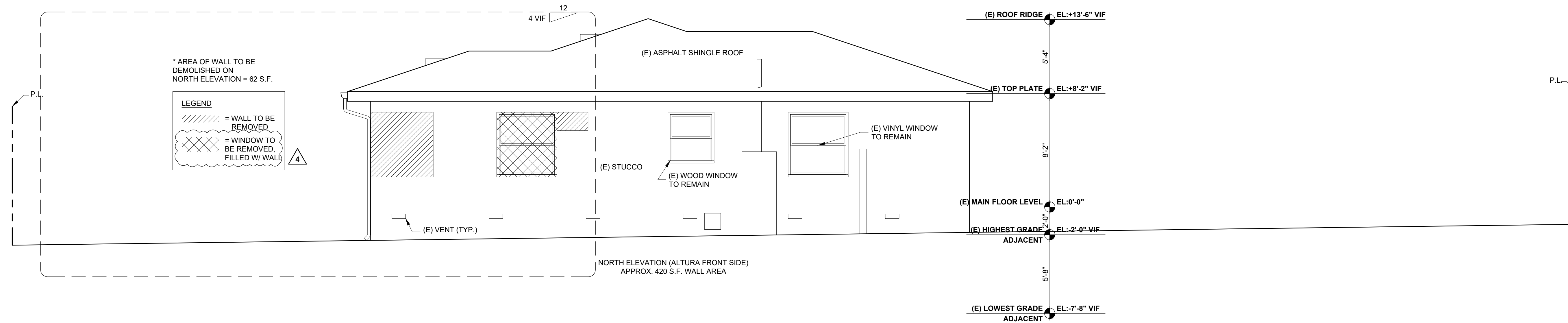
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DRAWN BY			SL
SCALE			1/4" = 1'-0"
DATE			JULY 7, 2022
PROJECT NO.			218

ELEVATIONS NORTH: DEMO & PROPOSED

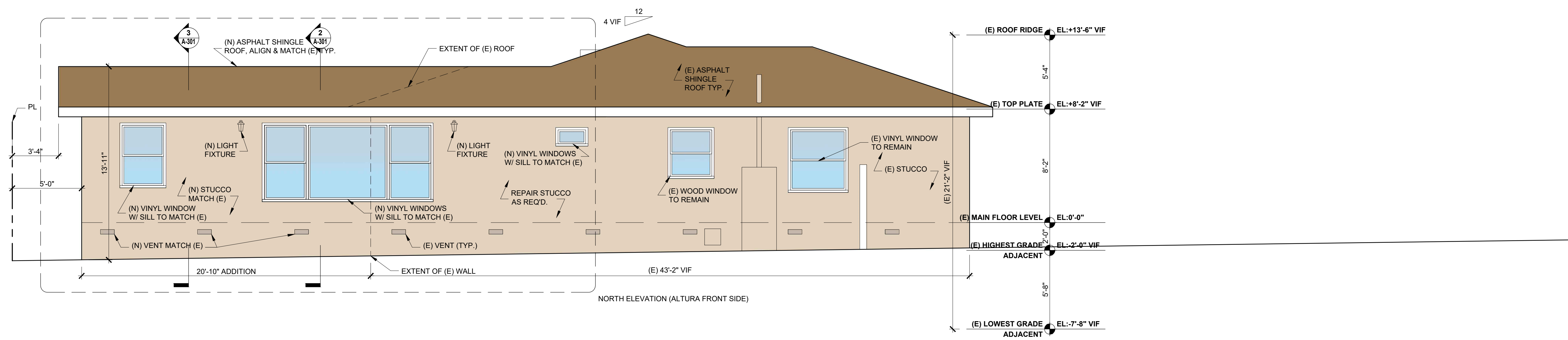
SHEET TITLE

A-201

SHEET NO. OF 16 SHEETS



1 EXISTING NORTH ELEVATION (ALTURA FRONT SIDE)
 SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION (ALTURA FRONT SIDE)
 SCALE: 1/4"=1'-0"

EXISTING
 PROPOSED

DIXIT RESIDENCE

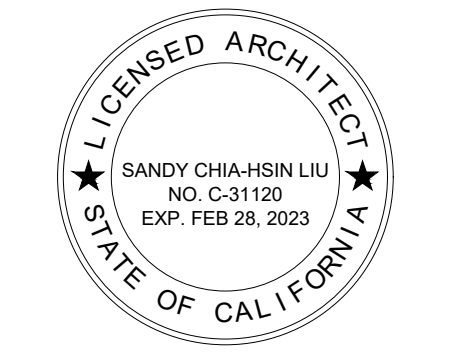
4240 LOWELL AVENUE
 GLENDALE, CA 91214
 APN: 5604-005-034

OWNER: NITI DIXIT & SHASHIKANT SHUKLA
 4240 LOWELL AVENUE, GLENDALE, CA
 408-431-8615



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 PASADENA, CA 91101
 TEL (828) 559-2724 SANDYLIUARCHITECT@GMAIL.COM

CONSULTANT

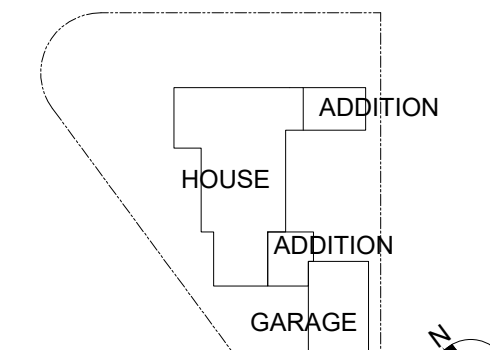


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KEY PLAN

5/12/2021	PRE-APPLICATION	SL
1	7/21/2021 PRE-APPLICATION REVISION 1	SL
2	9/2/2021 PRE-APPLICATION REVISION 2	SL
3	3/25/2022 PRE-APPLICATION REV 3	SL
4	6/14/2022 PRE-APPLICATION REV 4	SL

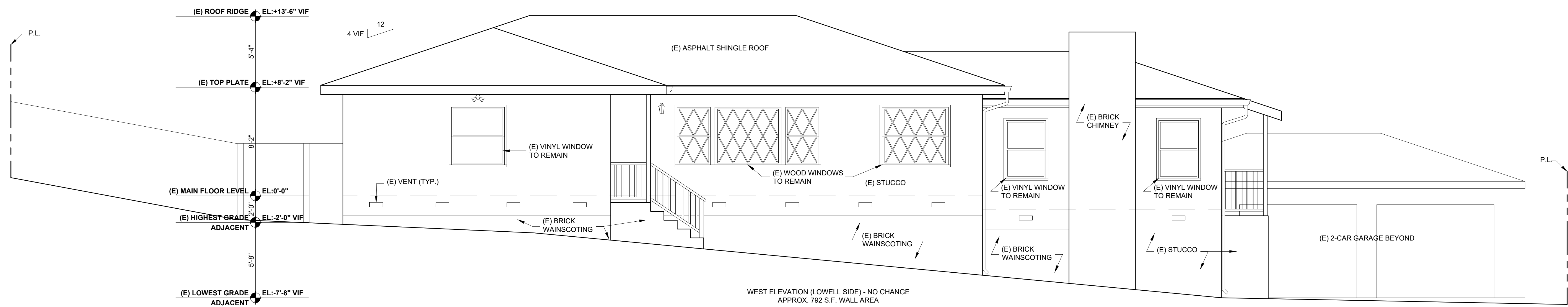
NO.	DATE	ISSUED FOR	BY
BASE FILE NAMES: DIXIT-DEMO.DWG, DIXIT-NEW.DWG			
DRAWN BY			SL
SCALE			1/4" = 1'-0"
DATE			JULY 7, 2022
PROJECT NO.			218

ELEVATIONS WEST: DEMO & PROPOSED

SHEET TITLE

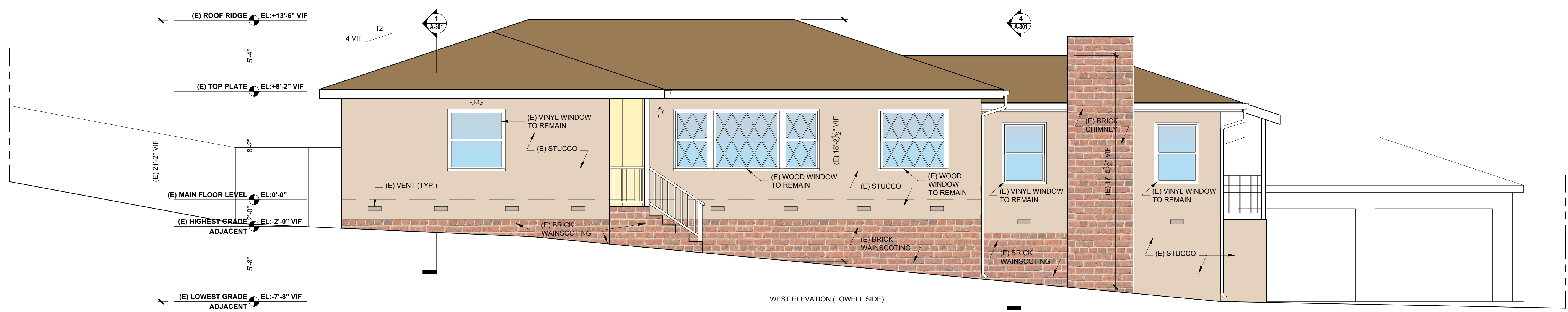
A-202

SHEET NO. OF 16 SHEETS



1 EXISTING WEST ELEVATION (LOWELL SIDE)
 SCALE: 1/4"=1'-0"

EXISTING
 PROPOSED

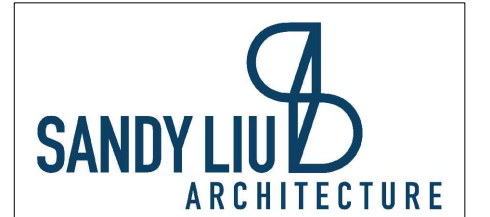


2 PROPOSED WEST ELEVATION (LOWELL SIDE)
 SCALE: 1/4"=1'-0"

DIXIT RESIDENCE

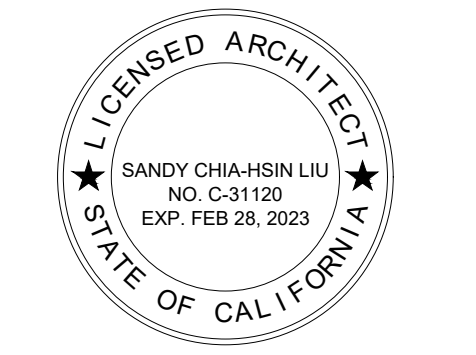
4240 LOWELL AVENUE
 GLENDALE, CA 91214
 APN: 5604-005-034

OWNER: NITI DIXIT & SHASHIKANT SHUKLA
 4240 LOWELL AVENUE, GLENDALE, CA
 408-431-8615



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 TEL (828) 559-2724 SANDYLIUARCHITECT@GMAIL.COM

CONSULTANT

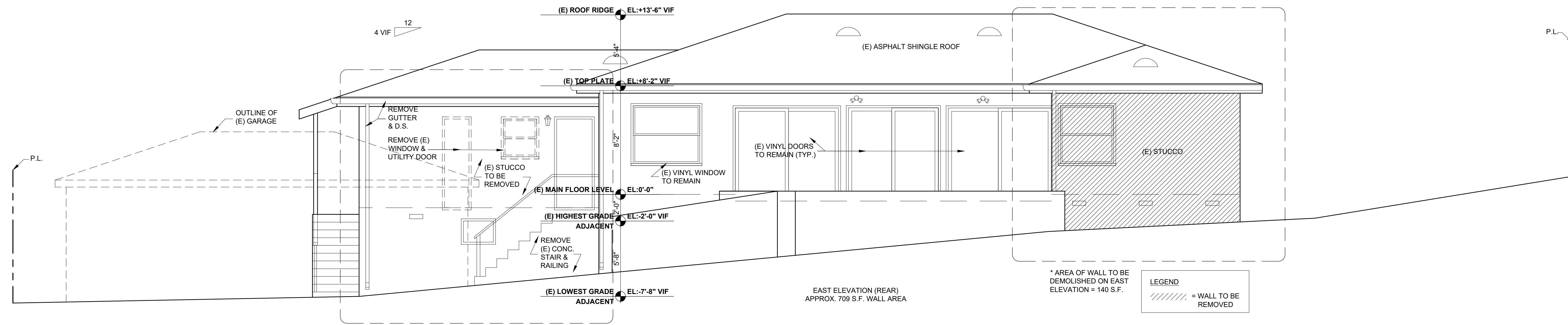


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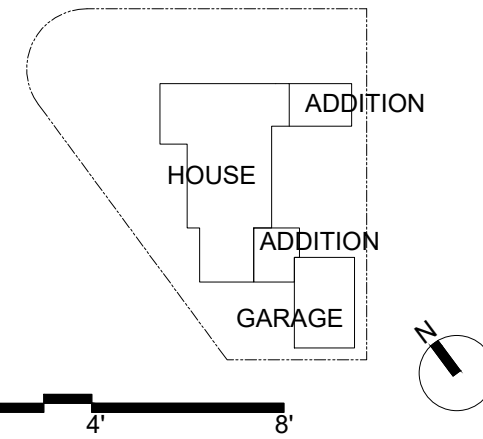
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1 EXISTING EAST ELEVATION (REAR)
 SCALE: 1/4"=1'-0"

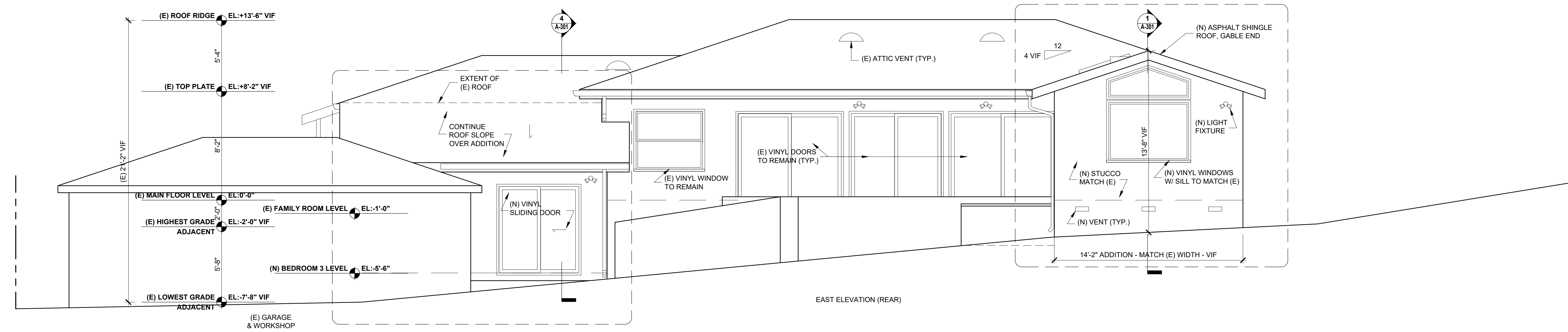
EXISTING
 PROPOSED



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4	3/25/2022	PRE-APPLICATION REV 3	SL
5	6/14/2022	PRE-APPLICATION REV 4	SL



2 PROPOSED EAST ELEVATION (REAR)
 SCALE: 1/4"=1'-0"

NO.	DATE	ISSUED FOR	BY
BASE FILE NAMES: DIXIT-DEMO.DWG, DIXIT-NEW.DWG			
DRAWN BY			SL
SCALE			1/4" = 1'-0"
DATE			JULY 7, 2022
PROJECT NO.			218

ELEVATIONS EAST: DEMO & PROPOSED

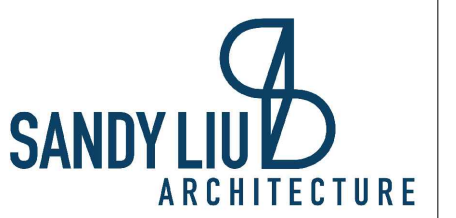
SHEET TITLE

A-204

DIXIT RESIDENCE

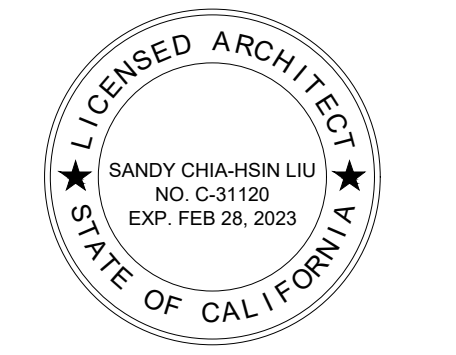
4240 LOWELL AVENUE
 GLENDALE, CA 91214
 APN: 5604-005-034

OWNER: NITI DIXIT & SHASHIKANT SHUKLA
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 TEL (626) 559-2724 SANDYLIUARCHITECT@GMAIL.COM

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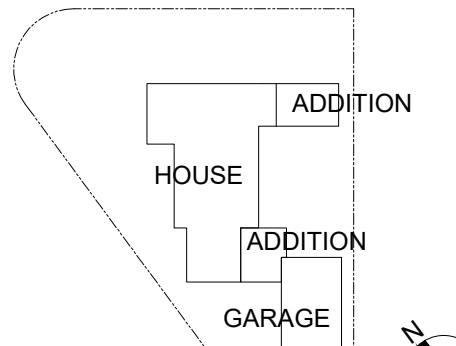


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3	3/25/2022	PRE-APPLICATION REV 3	SL
4	6/14/2022	PRE-APPLICATION REV 4	SL

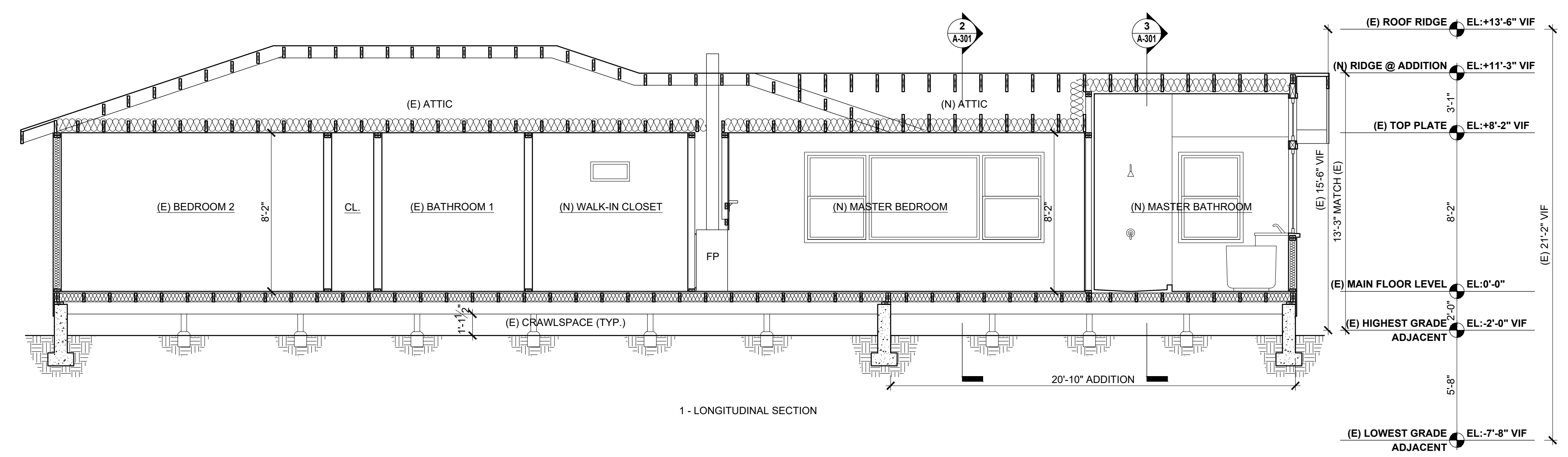
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		BASE FILE NAMES	DIXIT-NEW_-SCHEDULES.DWG
		DRAWN BY	SL
		SCALE	1/4" = 1'-0"
		DATE	JULY 7, 2022
		PROJECT NO.	218

SECTIONS - SCHEDULES

SHEET TITLE

A-301

SHEET NO. OF 16 SHEETS



1 LONGITUDINAL SECTION
 SCALE: 1/4"=1'-0"

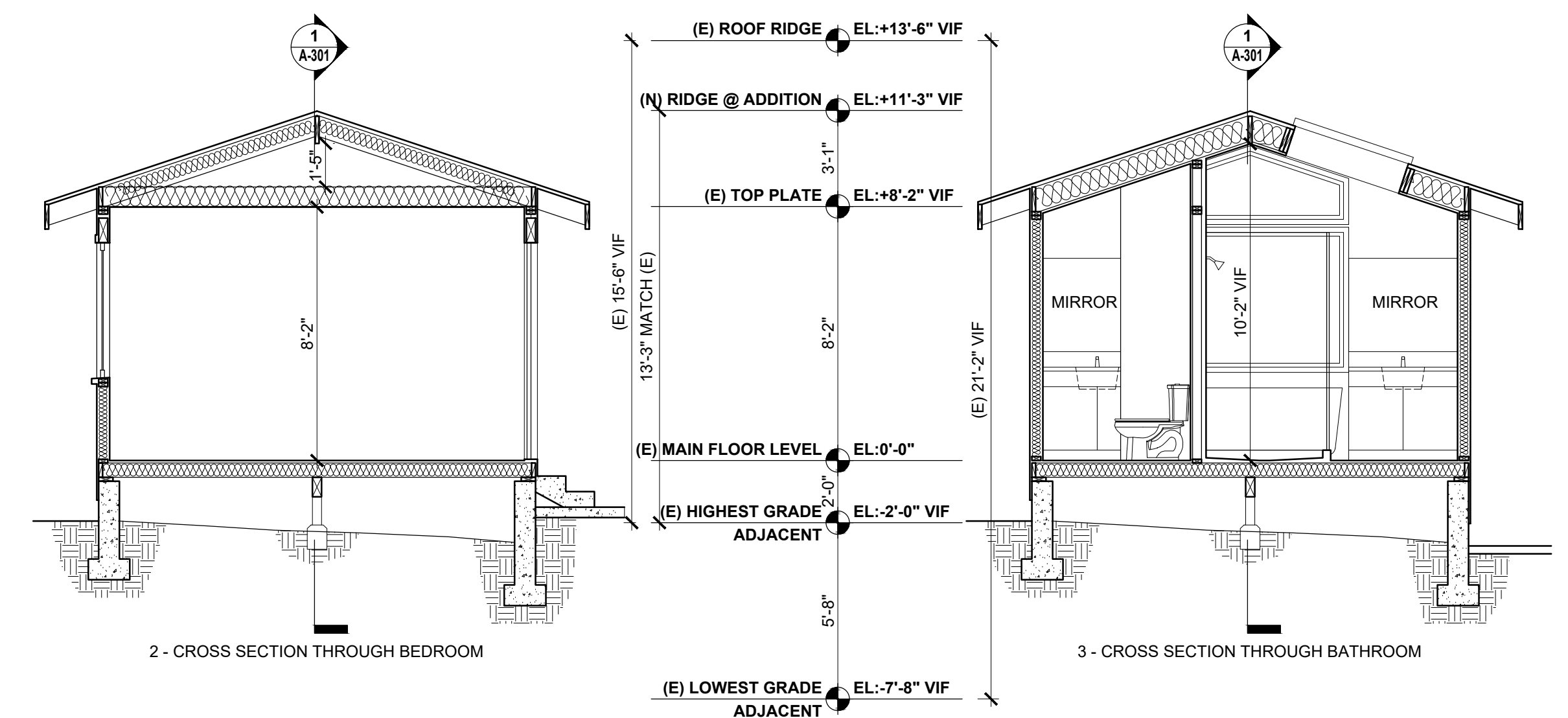
DOOR SCHEDULE								
NO.	QUANTITY	SIZE WxH	TYPE	MATERIAL	FINISH	GLAZING	SWING	REMARKS
1	1	144" X 84"	EXTERIOR SLIDING BI-PART B-PART	VINYL GLASS	NONE	YES DUAL/TEMP	-	(N) 12' SLIDING BI-PART DOOR @ MASTER BEDROOM. LOCKABLE FROM INSIDE. EGRESS FROM BEDROOM. (JELD-WEN PREMIUM VINYL (V-4500) 4-PANEL SLIDING)
2	2	32" X 80"	INTERIOR 1-PANEL	WOOD	PAINT	NO	LH INSWING	(N) WALK-IN CLOSET & (N) BEDROOM 3. PRIVACY LOCK FOR BEDROOM 3.
3	3	32" X 80"	INTERIOR 1-PANEL	WOOD	PAINT	NO	RH INSWING	(N) MASTER BATHROOM & (R) BATHROOM 2. PRIVACY LOCKS.
4	1	72" X 80"	EXTERIOR SLIDING	VINYL GLASS	NONE	YES DUAL/TEMP	-	@ (N) BEDROOM 3. LOCKABLE FROM INSIDE. EGRESS FROM BEDROOM. (JELD-WEN PREMIUM (V-4500) SLIDING DOOR)
5	1	72" X 80"	SLIDING CLOSET	WOOD	PAINT	NO	-	@ (N) BEDROOM 3 CLOSET

WINDOW SCHEDULE							
NO.	QUANTITY	SIZE WxH (INCLUDING FRAME)	TYPE	FRAME / FINISH	GLAZING (LOW-E* IF NEW)	SCREEN	REMARKS (WINDOWS SHALL BE JELD-WEN / BUILDERS VINYL (V-2500), OR BETTER)
A	1	24" X 12"	FIXED	VINYL	DUAL	YES	(N) WALK-IN CLOSET
B	2	144" X 64"	DH/ PICTURE/ DH	VINYL	DUAL / TEMPERED	YES	MASTER BEDROOM
C			(NOT USED)				
D	3	36" X 52"	DOUBLE HUNG	VINYL	DUAL	YES	(N) MASTER BATHROOM SHALL BE DUAL/TEMPERED. (N) BEDROOM 3 SHALL ONLY BE DUAL PANE.
E	1	72" X 52"	PICTURE	VINYL	DUAL / TEMPERED	NO	(N) MASTER BATHROOM
F	1	72" X 26" (14" @ ENDS)	PICTURE	VINYL	DUAL	NO	(N) MASTER BATHROOM, CUSTOM SHAPE
G	2	44" X 46"	FIXED SKYLIGHT	FIBER-GLASS	DUAL / TEMPERED	BLACKOUT SHADE	SKYLIGHTS IN VAULTED BATHROOM CEILING AND IN MASTER BEDROOM (VELUX FS S06)
H	1	24" X 52"	DOUBLE HUNG	VINYL	DUAL	YES	(N) BEDROOM 3
I	1	60" X 52"	DOUBLE HUNG	VINYL	DUAL	YES	(N) BEDROOM 3

DOOR AND WINDOW NOTES:
 1. ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND UL LABELED FOR RATED DOORS AND/OR WINDOWS.
 2. GLASS PANE WITHIN 18" AFF OR LESS SHALL BE TEMPERED. GLASS PANE WITHIN 60" FROM TUB/SHOWER DRAIN SHALL BE TEMPERED.
 3. WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2'-11/2" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 30 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
 4. EGRESS WINDOW MUST MEET THE FOLLOWING CRITERIA: MIN. 5.7 SQ.FT. OPENABLE AREA, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, BOTTOM OF OPENING MAX. 44" ABOVE INTERIOR FINISHED FLOOR.

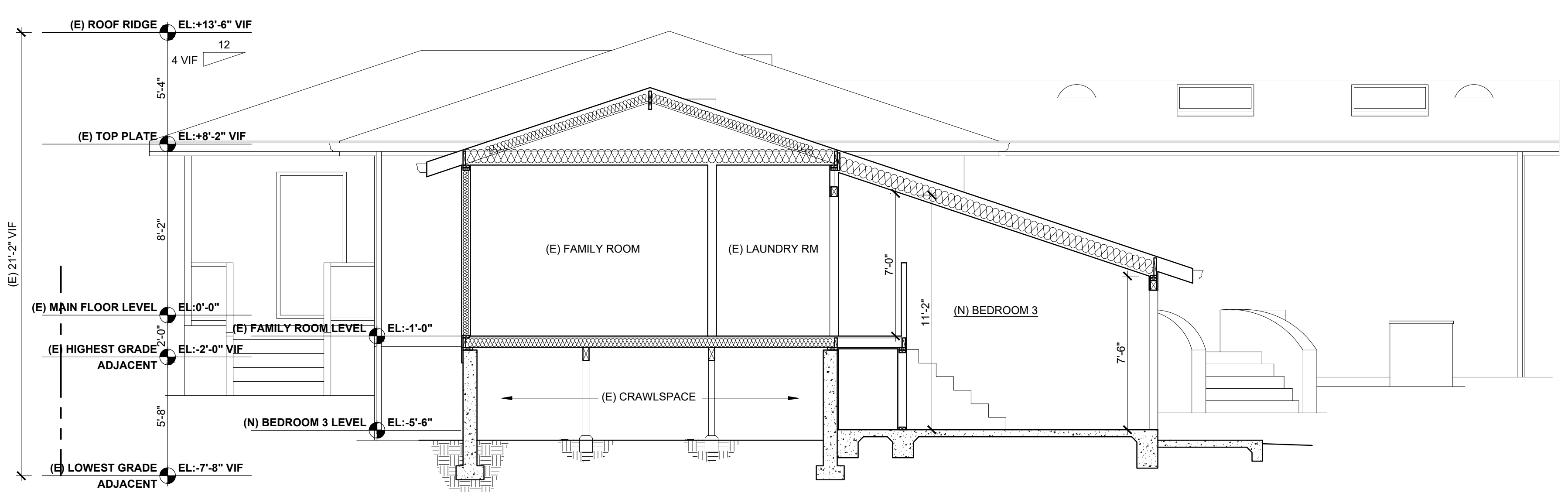
FINISH SCHEDULE					
ROOM	FLOOR	BASE	WALL	CEILING	REMARKS
MASTER BEDROOM, BEDROOM 3	HARDWOOD	PAINTED WD.	WD. MOULDING / GYP. PAINTED	GYP. PAINTED	
BATHROOMS	TILE	TILE	GYP. PAINTED/ TILE WAINSCOT.	GYP. PAINTED	SEMI-GLOSS PAINT.
CLOSETS	HARDWOOD	PAINTED WD.	GYP. PAINTED	GYP. PAINTED	

FINISH NOTES:
 1. WALL AND CEILING PAINT SHALL BE FLAT, UNLESS OTHERWISE NOTED.



2 CROSS SECTION THRU BEDROOM
 SCALE: 1/4"=1'-0"

3 CROSS SECTION THRU BATHROOM
 SCALE: 1/4"=1'-0"

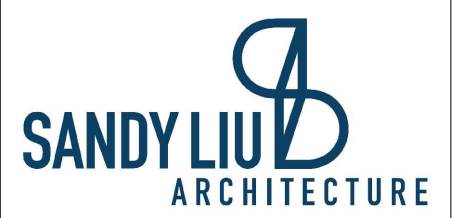


4 CROSS SECTION THROUGH (N) BEDROOM 3
 SCALE: 1/4"=1'-0"

DIXIT RESIDENCE

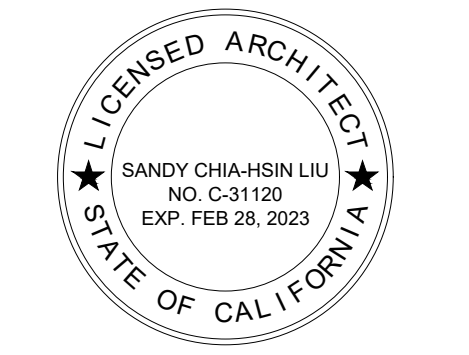
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APN: 5604-005-034

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TEL (826) 559-2724 SANDYLIUARCHITECT@GMAIL.COM

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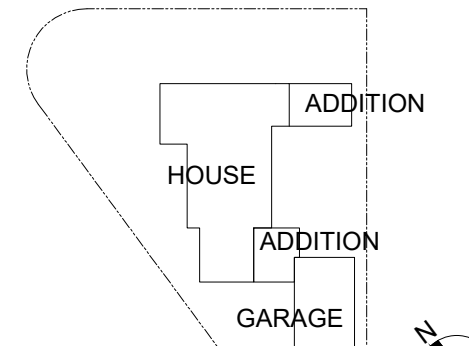


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3	3/25/2022	PRE-APPLICATION REV 3	SL
4	6/14/2022	PRE-APPLICATION REV 4	SL

NO. DATE ISSUED FOR BY

BASE FILE NAMES DIXIT-DETAILS.DWG

DRAWN BY SL

SCALE 3" = 1'-0"

DATE JULY 7, 2022

PROJECT NO. 218

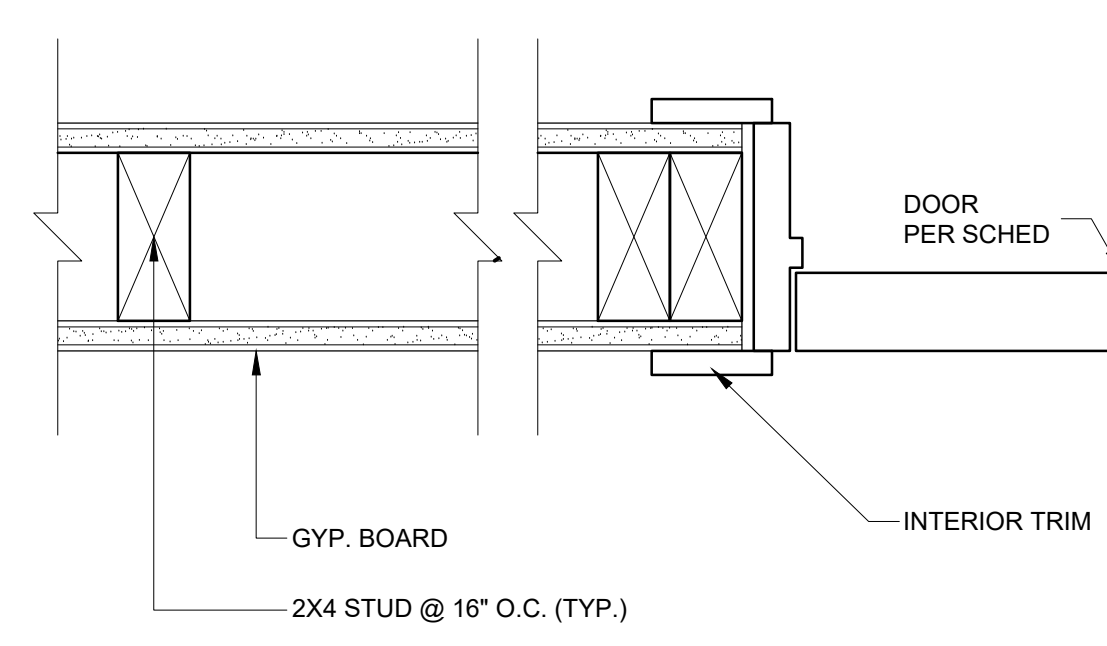
DETAILS

SHEET TITLE

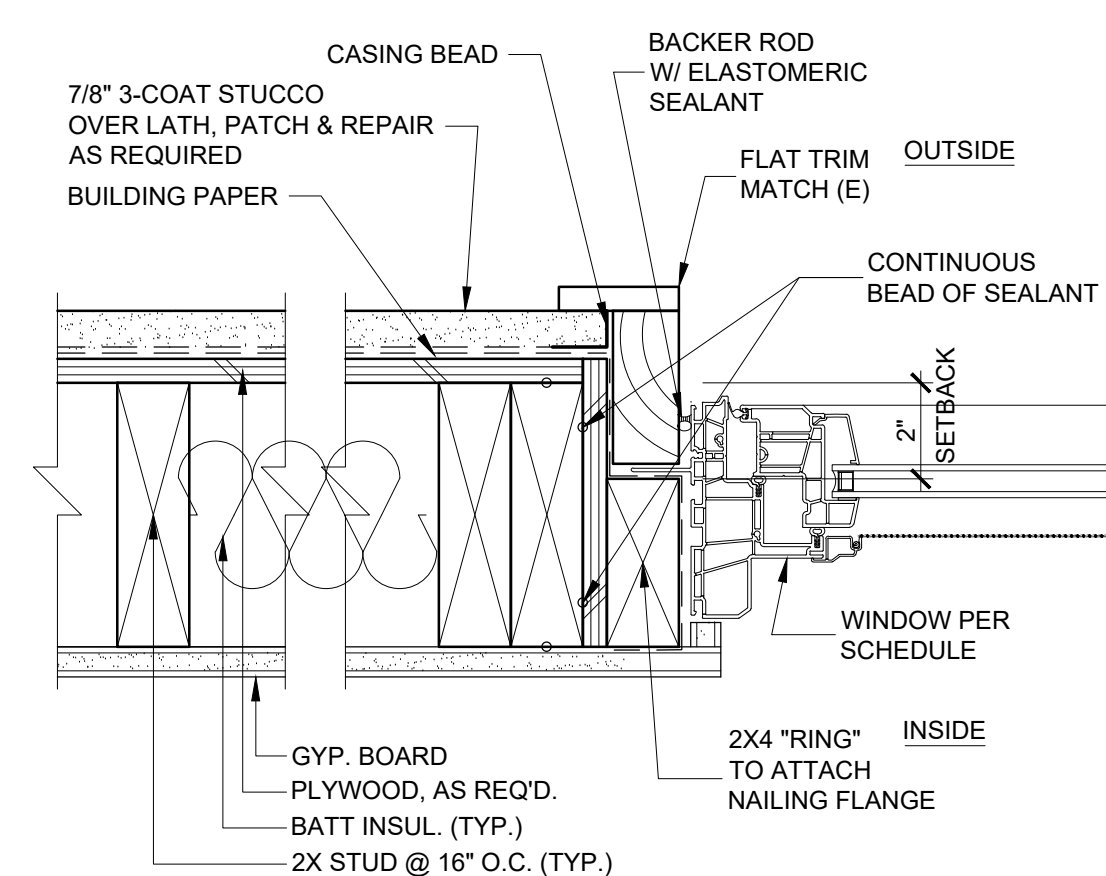
A-502

SHEET NO. OF 16 SHEETS

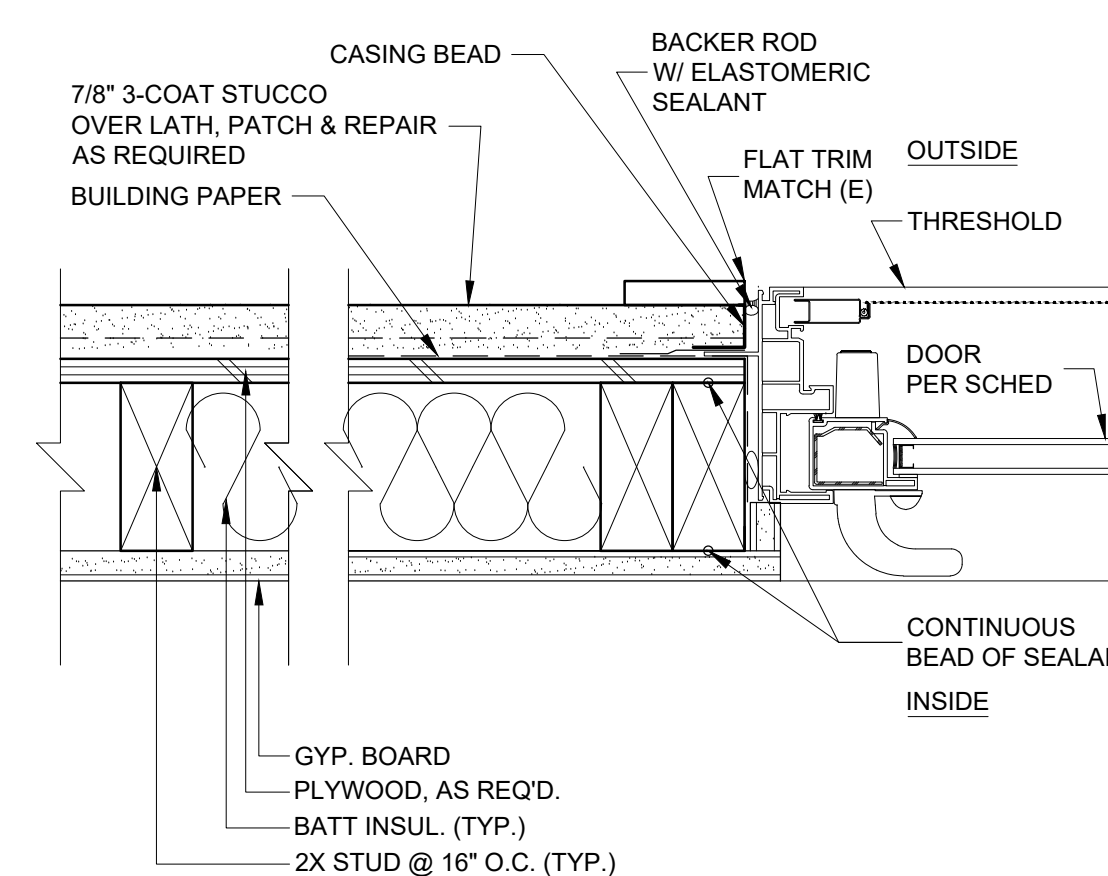
Window Number	Quantity	Existing Width x Height	New Width x Height	Existing Material	New Material	Visible from Street?	Existing Operation	New Operation	New Frame Type	External Opn (S/L)	Comp Existing S/L & Frame? Y/N	Build New S/L & Frame? Y/N	Existing Edge Detail	New Edge Detail	Lead-rig? Y/N	Energy Efficient? Y/N	Temp. Glass? Y/N	Fire Hazard Zone? Y/N	Window within 18" of floor or door?	
A	1	-	24"x52"	VINYL	Y	-	FIXED	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	N	Y	N	N	N	N	
B	1	-	44"x44"	VINYL	Y	-	DH/EX/DH	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	Y	Y	Y	Y	N	N	
C	(NOT USED)																			
D	3	-	36"x52"	VINYL	Y	-	DH	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	2N	2Y	Y	N	N	N	
E	1	-	72"x52"	VINYL	N	-	FIXED	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	N	Y	Y	Y	N	N	
F	1	-	72"x26" (4"10"18"85)	VINYL	N	-	FIXED	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	N	Y	Y	Y	N	N	
G	2	-	44"x44" SPLIT LIGHT	VINYL	N	-	FIXED	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	Y	Y	Y	Y	N	N	
H	1	-	24"x52"	VINYL	Y	-	DH	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	Y	Y	N	N	N	N	
I	1	-	60"x52"	VINYL	Y	-	DH	NAIL-IN	N	-	Y	-	TRIM MATCH (E)	Y	Y	N	N	N	N	



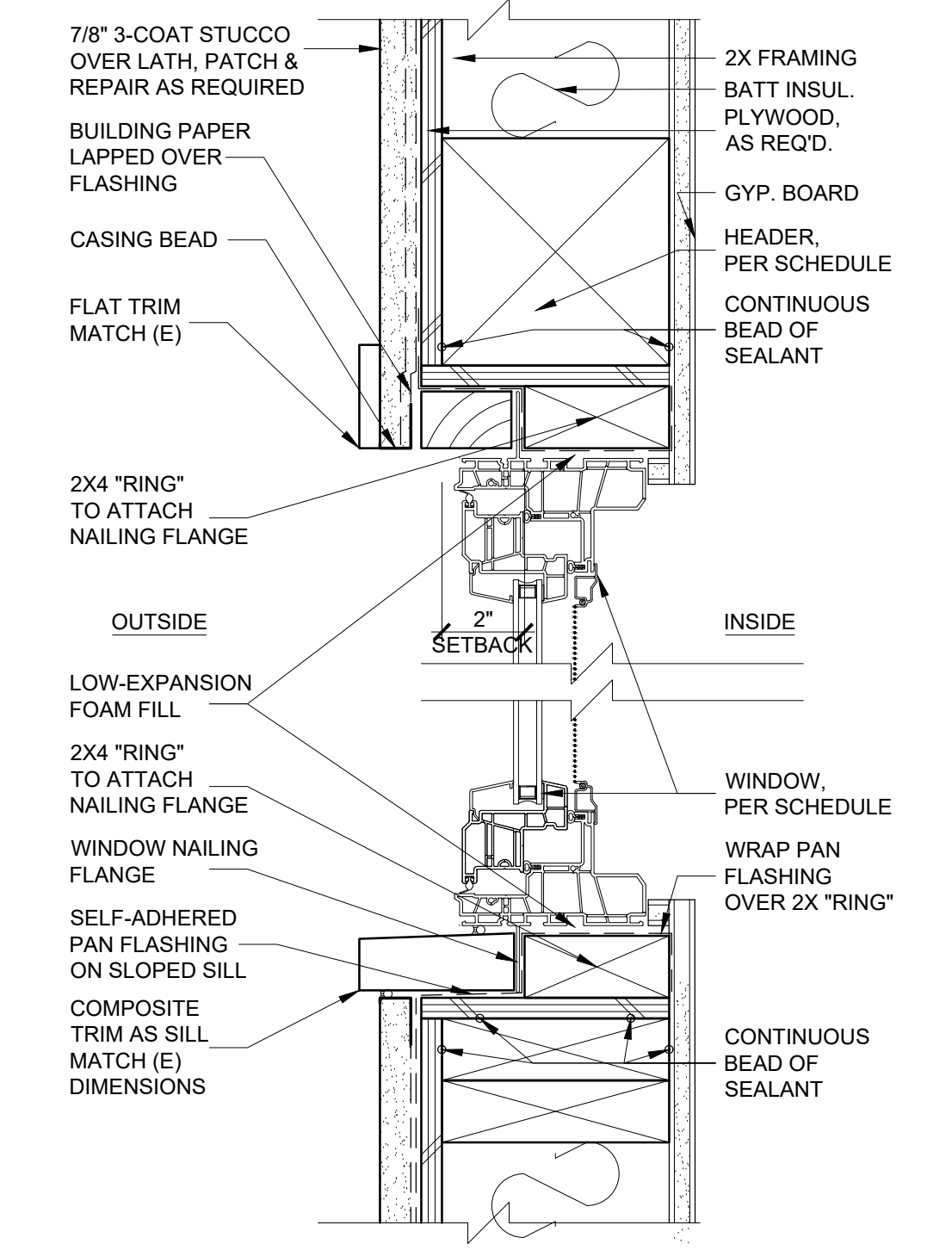
1 TYP. INTERIOR WALL SCALE: 3"=1'-0"



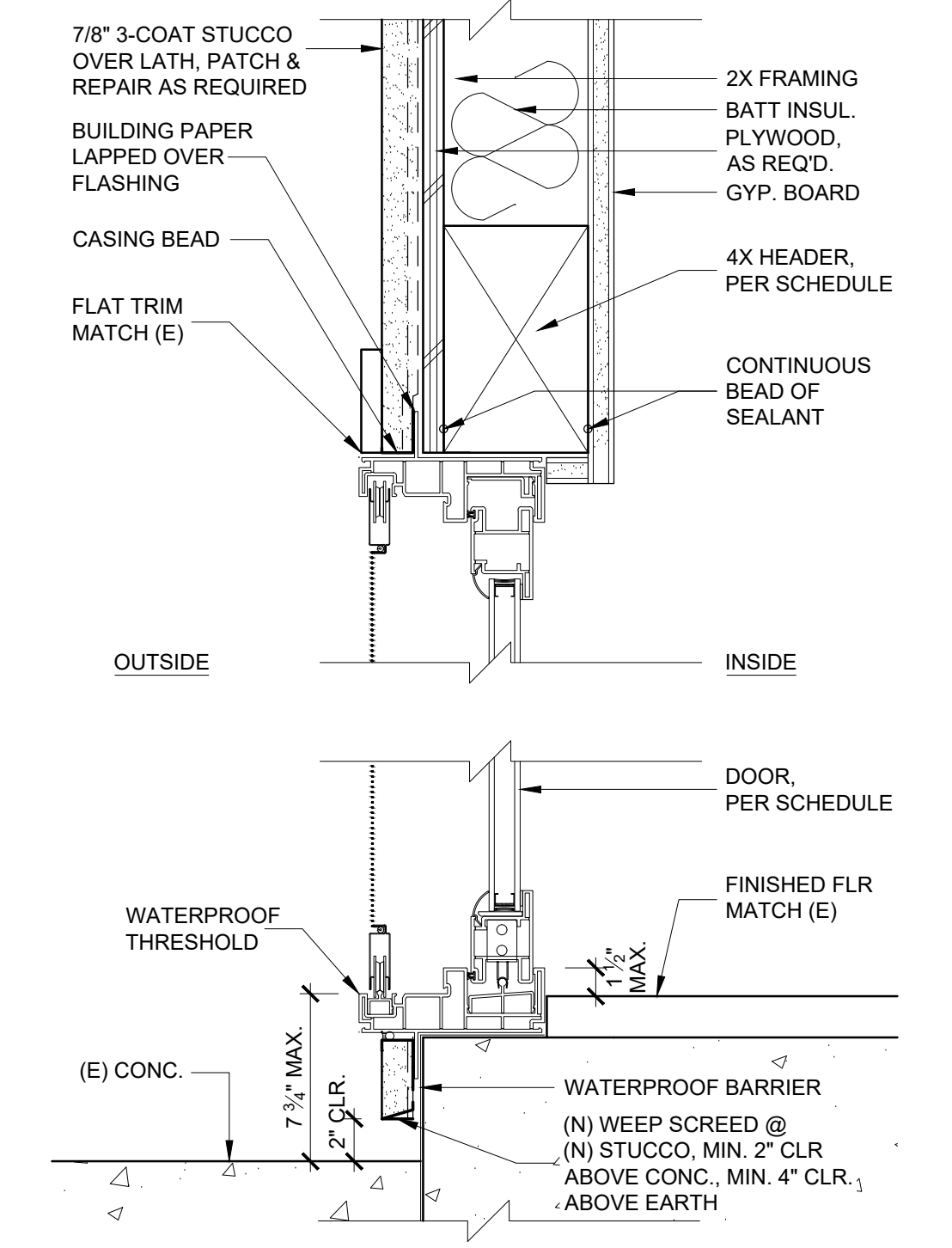
2 WINDOW DETAIL - PLAN SCALE: 3"=1'-0"



3 EXT. DOOR DETAIL - PLAN SCALE: 3"=1'-0"



4 WINDOW DETAIL - SECTION SCALE: 3"=1'-0"



5 EXT. DOOR DETAIL - SECTION SCALE: 3"=1'-0"

JW JELD-WEN WINDOWS & DOORS

PREMIUM™ VINYL VINYL PATIO DOORS SLIDING PATIO DOOR

NARROW STILE 4-PANEL - HORIZONTAL SECTION

Not To Scale - Reference Only

Not To Scale - Reference Only

Architectural Design Manual June 2022

Product specifications may change without notice. Questions? Consult JELD-WEN customer service.

Scale: 3" = 1'-0" 14

JW JELD-WEN WINDOWS & DOORS

BUILDERS™ VINYL VINYL WINDOW DOUBLE-HUNG

OPERATOR PG20 / PG50 SECTIONS

Not To Scale - Reference Only

Note: Internal reinforcements vary by performance grade

Architectural Design Manual February 2020

Product specifications may change without notice. Questions? Consult JELD-WEN customer service.

Scale: 3" = 1'-0" 6

VELUX

No Leak Warranty

VELUX brand skylights are the world's most trusted brand of roof windows and skylights. Most of our skylights have the 10-year installation warranty.

This is achieved by our three layers of water protection.

- The pre-attached skylight gasket provides a seal between the roof and the skylight.
- Adhesive underlayment for secondary water protection against the harshest weather conditions.
- Engineered flashing for easy installation and primary water protection.

Installation methods

- Deck-mounted**
 - Skylight with insulated glass lens.
 - Built-in wood frame.
 - Mounts directly to the roof deck.
 - Engineered flashings integrate with roofing material (sold separately).
- Carb-mounted**
 - A durable metal frame.
 - Mounts directly to a site-built curb.
 - Engineered flashings are available for use with site-built curbs for a weather-tight installation (sold separately).
- Self-flashed**
 - Pre-attached pan flashing that mounts directly to the roof deck.
 - Requires roofing sealant for a weather-tight installation.
- VELUX Sun Tunnel®**
 - Reflective tunnel.
 - One-piece flashing system.
 - Mounts to the roof deck.

The No Leak Skylight™

- No Leak Promise
- No Worries

DIMENSION

Bulb Base: E26
Wattage: 100W (Max)
(Bulb not included)

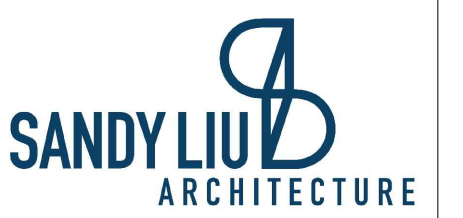
DIMENSION

Bulb Base: E26
Wattage: 100W (Max)
(Bulb not included)

DIXIT RESIDENCE

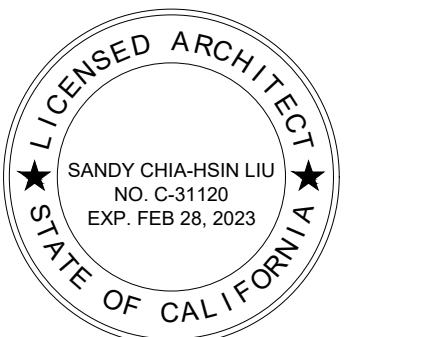
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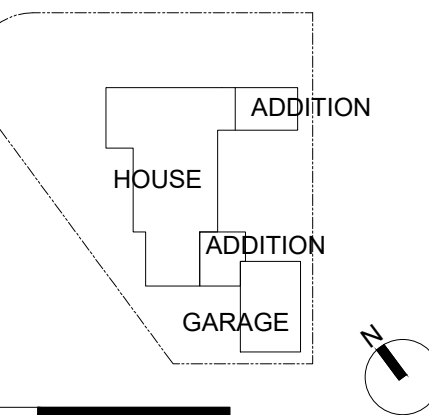


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3	3/25/2022 PRE-APPLICATION REV 3	SL
4	6/14/2022 PRE-APPLICATION REV 4	SL

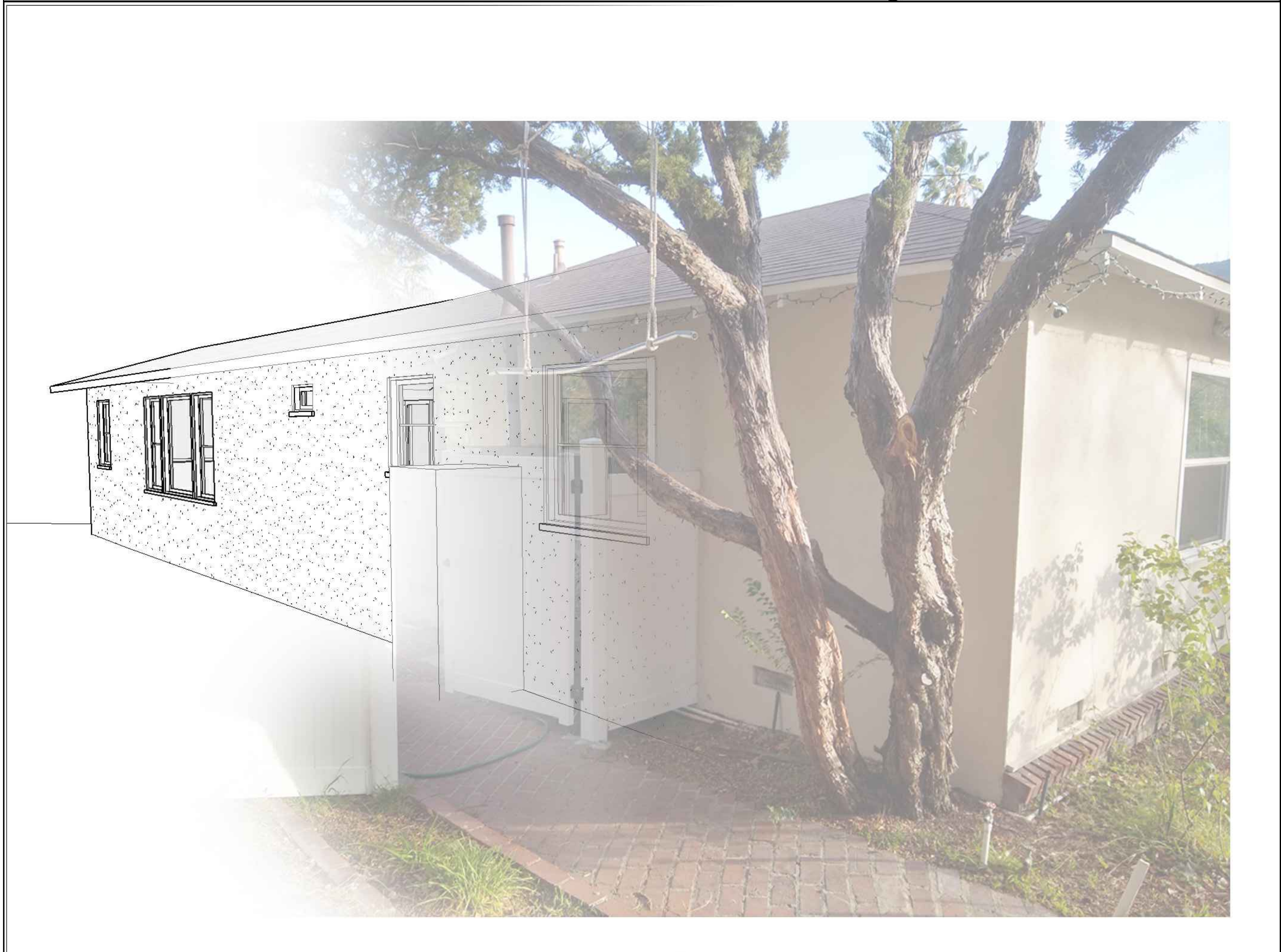
NO.	DATE	ISSUED FOR	BY
BASE FILE NAMES		DIXIT-3D.DWG	
DRAWN BY		SL	
SCALE		N/A	
DATE		JULY 7, 2022	
PROJECT NO.		218	

3D VIEWS

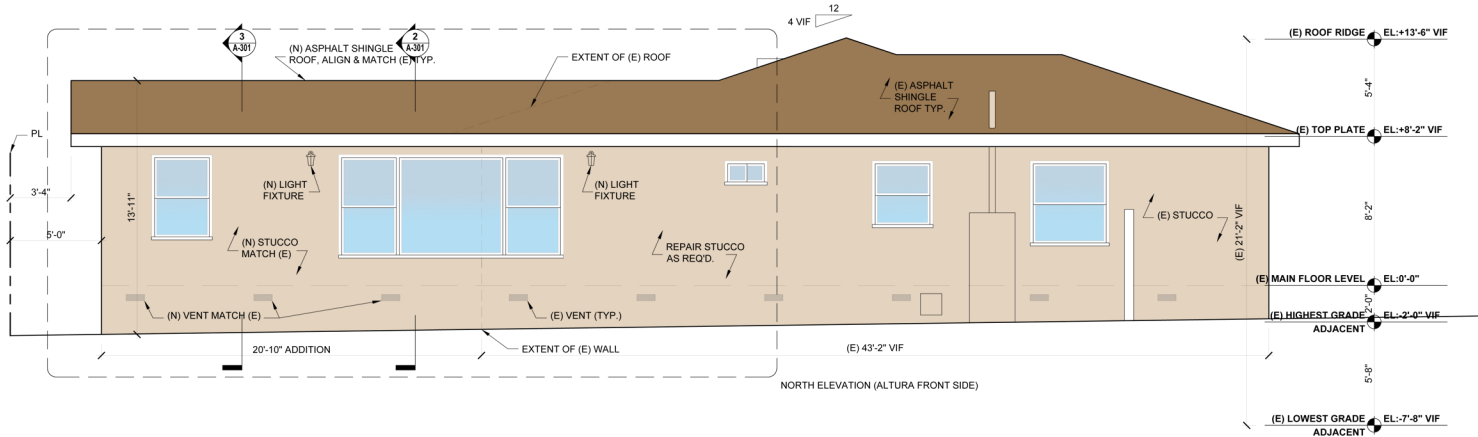
SHEET TITLE

A-601

SHEET NO. OF 16 SHEETS



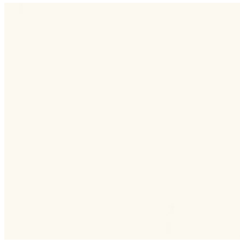
4240 Lowell Ave - Color and Materials



2 PROPOSED NORTH ELEVATION (ALTURA FRONT SIDE)
SCALE: 1/4"=1'-0"



3-Tab asphalt shingle roof to match existing GAF "Cypress Tan" or similar, to match



Trim/fascia/gutters/downspouts/sash/rails DEW340 "Whisper" White, or similar, to match



Main body color DEC748 "Oyster" Beige, or similar, to match



1 - ON ALTURA, FACING WEST



2 - ON ALTURA, FACING EAST



3 – ON LOWELL, FACING SOUTH



4 – FRONT OF HOUSE, FROM LOWELL



5 – FRONT OF HOUSE, FROM NORTHWEST CORNER OF PROPERTY



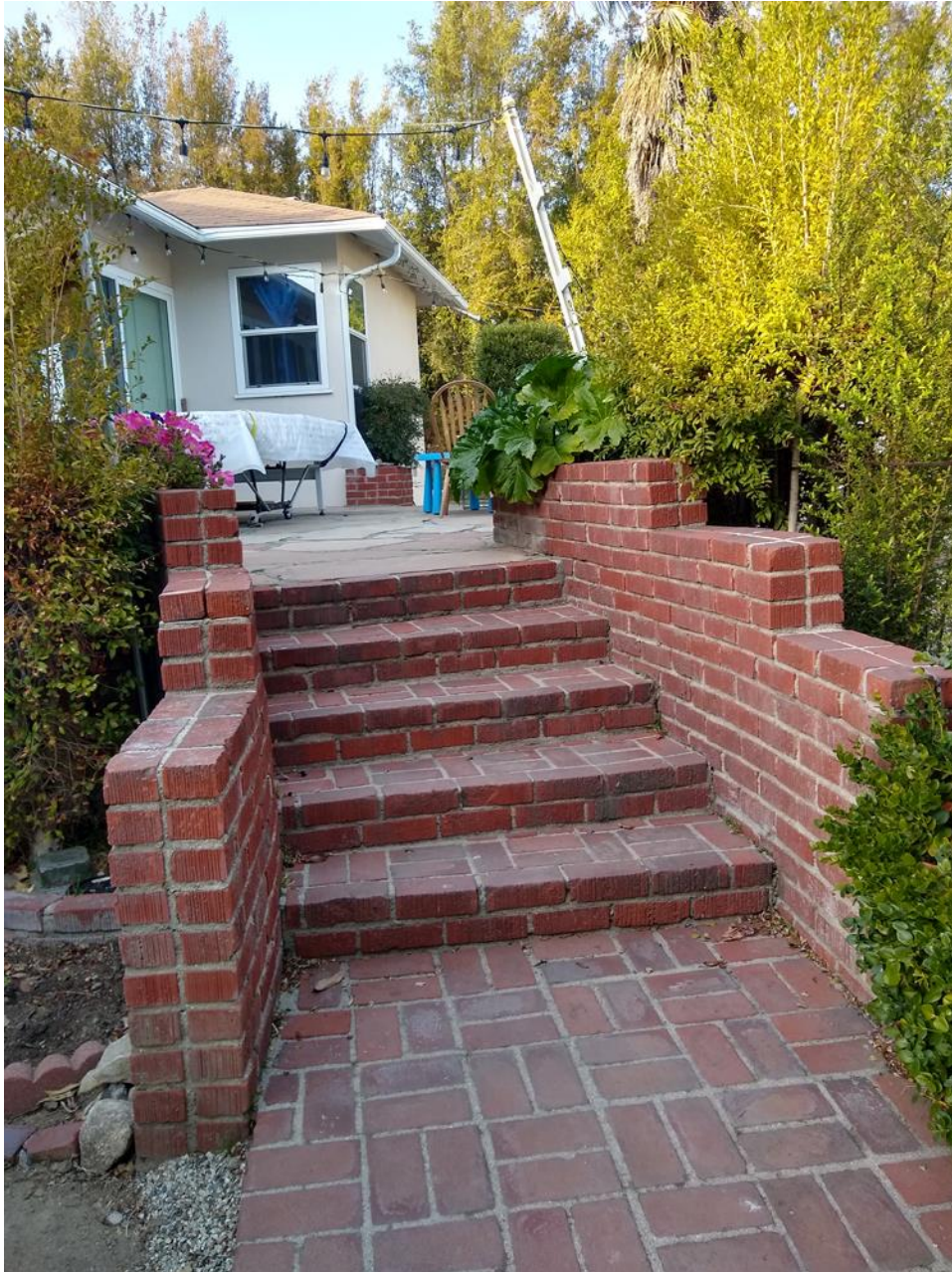
6 – SOUTHWEST CORNER OF HOUSE, FROM LOWELL



7 – VIEW BETWEEN HOUSE AND GARAGE



8 – REAR OF HOUSE, FROM BACKYARD



9 – REAR OF HOUSE, FROM BACKYARD



10 – LOOKING NORTH, ALONG EAST FENCE



11 – EXISTING EAST WING OF HOUSE, FROM REAR PATIO



12 - EXISTING EAST WING OF HOUSE, FROM N.E. CORNER OF PROPERTY



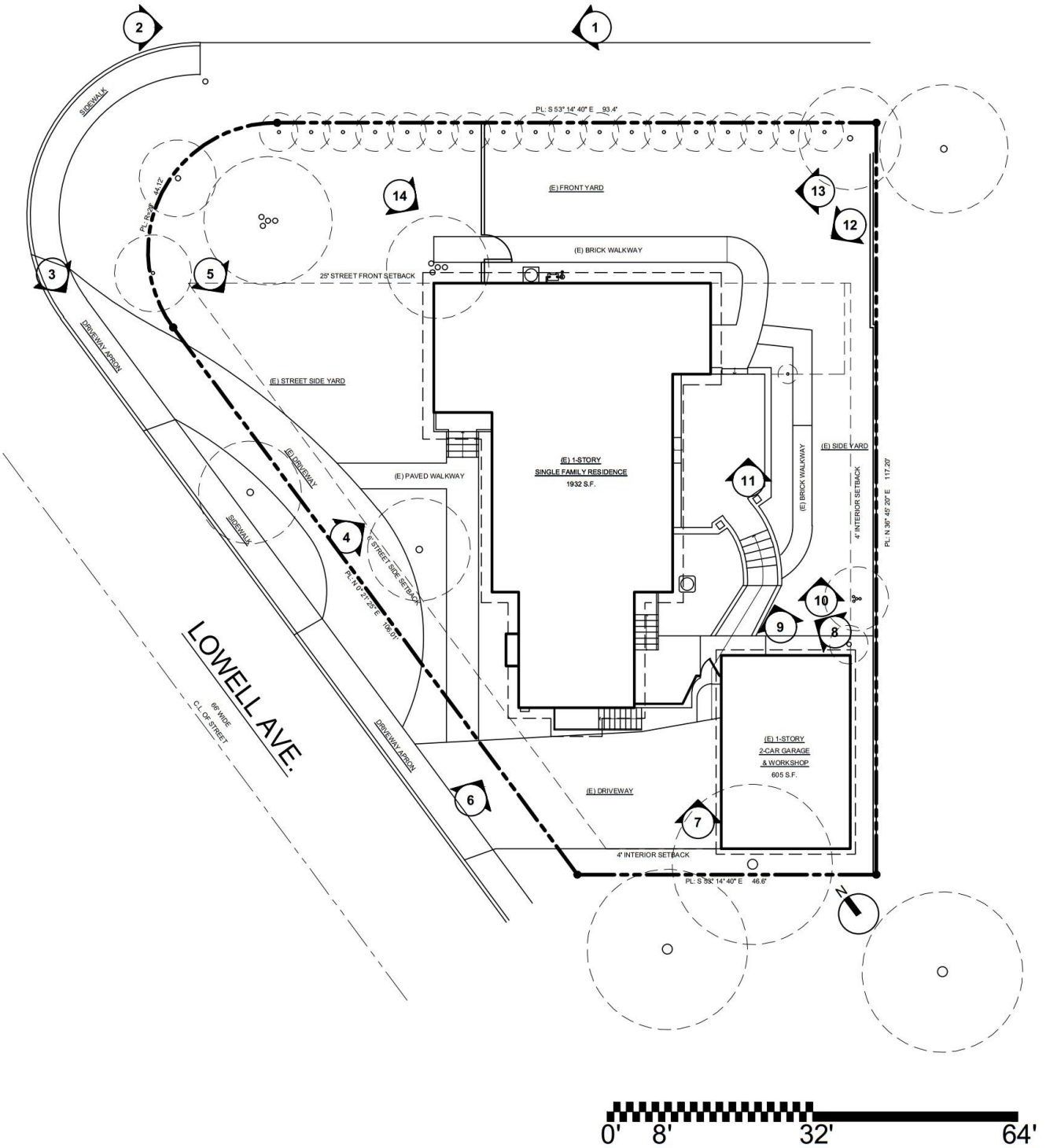
13 - LOOKING WEST, SHOWING NORTH SIDE OF HOUSE

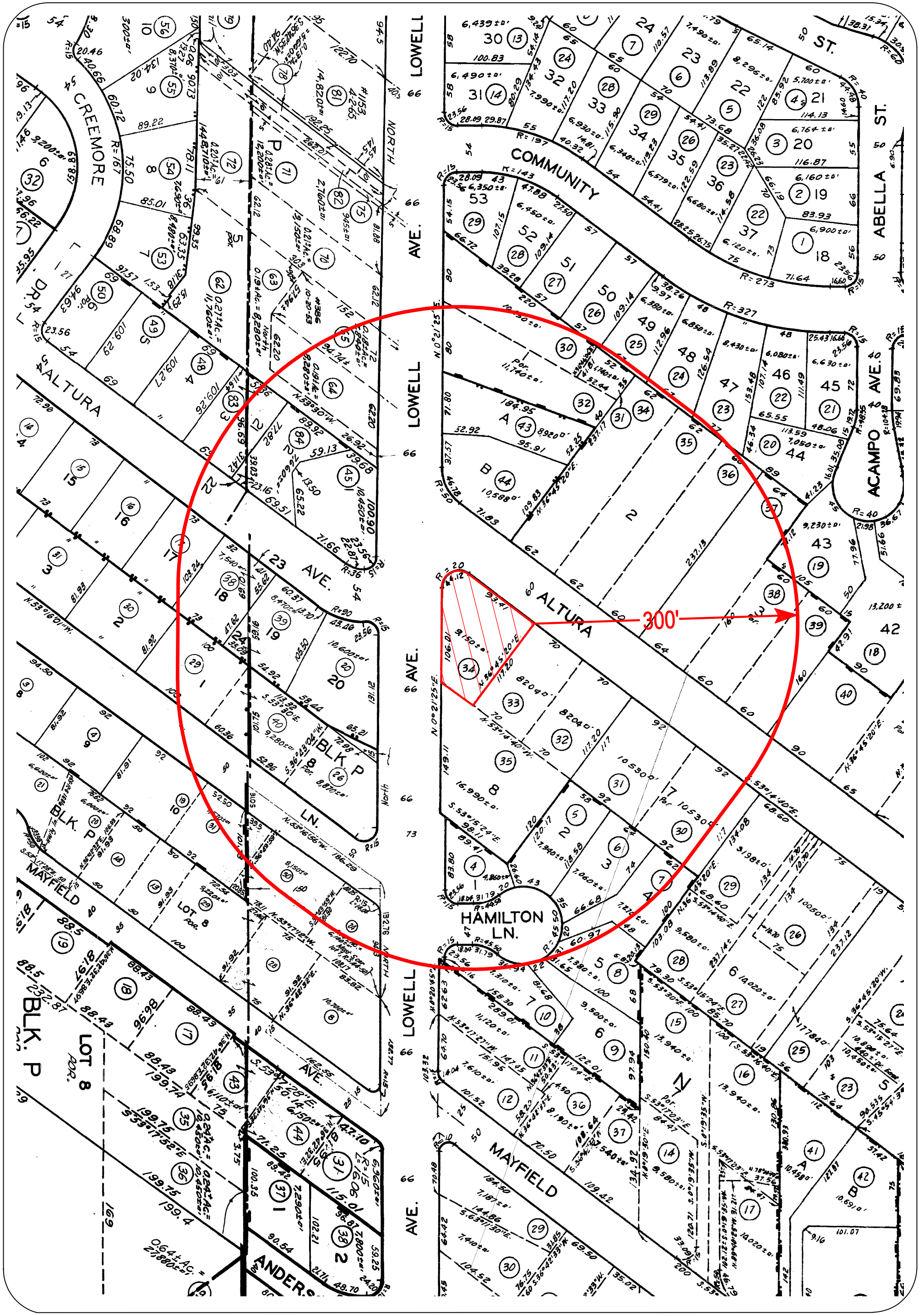


14 – NORTH SIDE OF HOUSE, FROM NORTHWEST CORNER OF PROPERTY

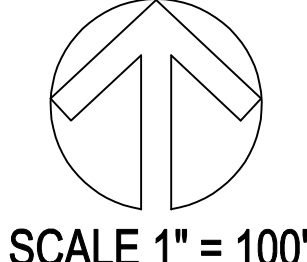
ALTURA AVE.

60' WIDE
C.L. OF STREET





PROJECT INFORMATION
 4240 LOWELL AVE
 GLENDALE, CA.
 21-417



LOCATION MAP

SCALE 1" = 100'

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: _____ **DUE DATE:** _____
NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Sadie Gropen **Tel. #** 818-937-8178

PROJECT ADDRESS: 4240 Lowell Ave

Applicant: Sandy Liu

Property Owner: Niti Dixit and Shashikant Shukla

PROJECT DESCRIPTION:

Two additions (295 SF and 260 SF) at front and rear, with about 280 SF interior remodel and outdoor counter.

PLEASE CHECK:

_____ **A. CITY ATTORNEY**

_____ **B. COMMUNITY DEVELOPMENT:**

- (1) Building & Safety
- (2) Neighborhood Services
- _____ (3) Design Review & Historic
- _____ (4) Economic Development
- _____ (5) Housing
- (6) Urban Design & Mobility

_____ **D. COMMUNITY SERVICES/PARKS:**

_____ **E. FIRE ENGINEERING (PSC)**

_____ **F. GLENDALE WATER & POWER:**

- (1) Water
- (2) Electric

_____ **G. INFORMATION SERVICES**
(Wireless Telecom)

_____ **H. PUBLIC WORKS (ADMINISTRATION):**

- (1) Engineering & Land Development
- (2) Traffic
- _____ (3) Facilities (city projects only)
- _____ (4) Integrated Waste
- _____ (5) Maintenance Services/Urban Forester

_____ **J. GLENDALE POLICE**

_____ **K. OTHER:**

- _____ (1) STATE-Alcohol Beverage Control (ABC)
- _____ (2) Tribal Consultations (EIFs)
- _____ (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
AUP/CUP Case No.: _____
ADR/DRB Case No.: PDRNRAF2119405

Tentative Tract/Parcel Map No.: _____
Zone Change/GPA: _____
Other: Administrative Exception Case _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

**Project
Address: 4240 Lowell Ave**

**Project
Case No.: PDRNRAF2119405**

If project comments are not received by the due date, it will be assumed that your department has no comments.

***NOTE:** Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.*

COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date:09-05-2020

**Print Name: Sarkis Hairapetian
Title: Pr. BCS. Dept. B&S. Tel.: X-3209**

Conditions:

- 1. That all necessary permits (i.e., building, fire, engineering, etc.) shall be obtained from the Building and Safety Division and all construction shall be in compliance with the Glendale Building Code and all other applicable regulations.
 - A. Separate application is required for separate detached structures, demolition, retaining walls, fences and swimming pool.
- 2. That the premises shall be made available and accessible to any authorized City personnel (Building, Fire, Police, Neighborhood Services, Planning, etc.), for inspection to ascertain that all conditions of approval of this conditional use permit are complied with.
- 3. That additional or other building code requirements or specific code requirements (i.e. CA Green Building Code, etc.) will be required upon submittal of plans for building plan check and permit.

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: _____ **DUE DATE:** _____
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FROM: Sadie Gropen **Tel. #** 818-937-8178

PROJECT ADDRESS: 4240 Lowell Ave

Applicant: Sandy Liu

Property Owner: Niti Dixit and Shashikant Shukla

PROJECT DESCRIPTION:

Two additions (295 SF and 260 SF) at front and rear, with about 280 SF interior remodel and outdoor counter.

PLEASE CHECK:

_____ **A. CITY ATTORNEY**

B. COMMUNITY DEVELOPMENT:

- (1) Building & Safety
- (2) Neighborhood Services
- _____ (3) Design Review & Historic
- _____ (4) Economic Development
- _____ (5) Housing
- (6) Urban Design & Mobility

_____ **D. COMMUNITY SERVICES/PARKS:**

_____ **E. FIRE ENGINEERING (PSC)**

F. GLENDALE WATER & POWER:

- (1) Water
- (2) Electric

_____ **G. INFORMATION SERVICES**
(Wireless Telecom)

H. PUBLIC WORKS (ADMINISTRATION):

- (1) Engineering & Land Development
- (2) Traffic
- _____ (3) Facilities (city projects only)
- _____ (4) Integrated Waste
- _____ (5) Maintenance Services/Urban Forester

_____ **J. GLENDALE POLICE**

K. OTHER:

- _____ (1) STATE-Alcohol Beverage Control (ABC)
- _____ (2) Tribal Consultations (EIFs)
- _____ (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
AUP/CUP Case No.: _____
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Tentative Tract/Parcel Map No.: _____
Zone Change/GPA: _____
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**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

**Project
Address: 4240 Lowell Ave**

**Project
Case No.: PDRNRAF2119405**

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COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: September 7, 2022

**Prepared by: Mark Anthony Bueno, P.E., Traffic Engineering Associate
Reviewed by: Pastor Casanova, T.E., Principal Traffic Engineer**

Dept. Public Works-Traffic Engineering

Tel.: 818-937-8259

a. ADDITIONAL COMMENTS:

- 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1. The contractor shall not store trash bins, construction equipment, construction materials, or construction vehicles (concrete truck, dump truck, etc.) on City's Right-Of-Way (sidewalk, parkway, or street) without first obtaining a "Street-Use" permit from the Public Works - Engineering Division. Permit must be displayed at job site.

POINT PERSON – DEPARTMENTS/DIVISION

CITY ATTORNEY – GILLIAN VAN MUYDEN (Miah Yun and Yvette Neukian, Alternates), MICHAEL GRANT (For Massage CUP Applications only)

CITY CLERK – KAREN CRUZ

COMMUNITY DEVELOPMENT:

Building and Safety – SARKIS HAIRAPETIAN

Neighborhood Services – JESSICA SADA, RAMON MARDIANS, and RENE SADA

Design Review & Historic (Glendale Register & Historic Districts) – JAY PLATT

Economic Development – MARK BERRY

Housing – PETER ZOVAK and MIKE FORTNEY

Urban Design & Mobility – FRED ZOHREVAND (For VMT Analysis)

COMMUNITY SERVICES AND PARKS – TEREZA ALEKSANIAN

INFORMATION SERVICES DEPT.

Wireless Communications – GORDON ARNOLD

FIRE ENGINEERING – SITA DEMIRJIAN and FOSTER MCLEAN

GLENDALE WATER AND POWER:

Water – GERALD TOM and SEDA BOGHOSIAN (Raja Takidin, Alternate) and FAUSTINO GARCIA

Electric – CATHERINE BABAKHANLOU and SEDA BOGHOSIAN and FAUSTINO GARCIA (Hovsep Barkhordian, and Daniel Scorza Alternates)

POLICE – LT. JEFF NEWTON and ZAZIL AVILA, C.S.O.

PUBLIC WORKS:

Engineering & Land Development – ARMEN AVAZIAN, SARKIS OGANESYAN, MAURICE OILLATAGUERRE, and RUEL VILLALUNA

Traffic – PASTOR CASANOVA and MARK BUENO

Integrated Waste – DAN HARDGROVE

Maintenance Services/Street & Field/Urban Forester – LOREN KLICK, CARLOS LINARES, and ORLANDO URQUIDEZ

Facilities (City projects) – KEVIN TODD

OTHERS:

STATE ABC – PATRICIA HALPIN (Patricia.Halpin@abc.ca.gov),

TRIBAL CONSULTATION (EIF Applications) –

CAITLIN B. GULLEY (Tribal Historic and Cultural Preservation Officer, Fernandeno Tataviam Band of Mission Indians), and

JOSEPH ONTIVEROS (Cultural Resource Director, Soboba Band of Luiseno Indians)

LINDA CANDELARIA (Co-Chairwoman, Gabrielino-Tongva Tribe)

(Sample Letters on Planning Share: [..\..\..\Environmental\Tribal Consultation Sample Letters](#))

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: _____ **DUE DATE:** _____
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PROJECT ADDRESS: 4240 Lowell Ave
 Applicant: Sandy Liu
 Property Owner: Niti Dixit and Shashikant Shukla

PROJECT DESCRIPTION:
 Two additions (295 SF and 260 SF) at front and rear, with about 280 SF interior remodel and outdoor counter.

PLEASE CHECK:

- _____ **A. CITY ATTORNEY**
- _____ **B. COMMUNITY DEVELOPMENT:**
- (1) Building & Safety
 - (2) Neighborhood Services
 - _____ (3) Design Review & Historic
 - _____ (4) Economic Development
 - (5) Housing
 - _____ (6) Urban Design & Mobility

- _____ **G. INFORMATION SERVICES**
 (Wireless Telecom)
- _____ **H. PUBLIC WORKS (ADMINISTRATION):**
- (1) Engineering & Land Development
 - (2) Traffic
 - _____ (3) Facilities (city projects only)
 - _____ (4) Integrated Waste
 - _____ (5) Maintenance Services/Urban Forester

- _____ **D. COMMUNITY SERVICES/PARKS:**
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- _____ **F. GLENDALE WATER & POWER:**
- (1) Water
 - (2) Electric

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ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
 AUP/CUP Case No.: _____
 ADR/DRB Case No.: PDRNRAF2119405

Tentative Tract/Parcel Map No.: _____
 Zone Change/GPA: _____
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**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

**Project
Address: 4240 Lowell Ave**

**Project
Case No.: PDRNRAF2119405**

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COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: 8/22/22

Print Name: Fred Zohrehvand

Title: Principal Mobility Planner Dept. CDD Tel.: X8328

a. ADDITIONAL COMMENTS:

1. Mobility Division has no comment

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

POINT PERSON – DEPARTMENTS/DIVISION

CITY ATTORNEY – GILLIAN VAN MUYDEN (Miah Yun and Yvette Neukian, Alternates), MICHAEL GRANT (For Massage CUP Applications only)

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POLICE – LT. JEFF NEWTON and ZAZIL AVILA, C.S.O.

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Traffic – PASTOR CASANOVA and MARK BUENO

Integrated Waste – DAN HARDGROVE

Maintenance Services/Street & Field/Urban Forester – LOREN KLICK, CARLOS LINARES, and ORLANDO URQUIDEZ

Facilities (City projects) – KEVIN TODD

OTHERS:

STATE ABC – PATRICIA HALPIN (Patricia.Halpin@abc.ca.gov),

TRIBAL CONSULTATION (EIF Applications) –

CAITLIN B. GULLEY (Tribal Historic and Cultural Preservation Officer, Fernandeno Tataviam Band of Mission Indians), and

JOSEPH ONTIVEROS (Cultural Resource Director, Soboba Band of Luiseno Indians)

LINDA CANDELARIA (Co-Chairwoman, Gabrielino-Tongva Tribe)

(Sample Letters on Planning Share: [..\..\..\Environmental\Tribal Consultation Sample Letters](#))

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION

DATE: August 24, 2022
TO: Sadie Gropen, Community Development Department
FROM: Gerald Tom, GWP Water Engineering
Daniel Scorza, GWP Electric Engineering
SUBJECT: PDRNRAF 2119405
4240 Lowell Ave

Glendale Water & Power (GWP) Engineering has reviewed the plans.
Requirements are as follows:

Electric Engineering

Customer Service (818) 548-3921

- No conflict.

Fiber Optics (818) 548-3923

- No conflict.

Street Lighting (818) 548-4877

- No Conflict

Transmission & Distribution (818) 548-3923

- No conflict.

Water Engineering

Recycled Water (818) 548-2062

- No conflict.

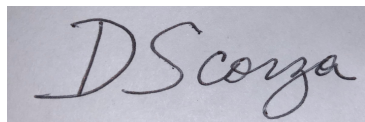
Backflow Prevention (818) 548-2062

- No conflict.

Potable Water (818) 548-2062

- No conflict.

Daniel Scorza Gerald Tom
Chief Assistant General Manager Senior Civil Engineer

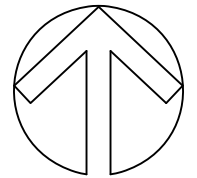


DS/GT:fg/sb

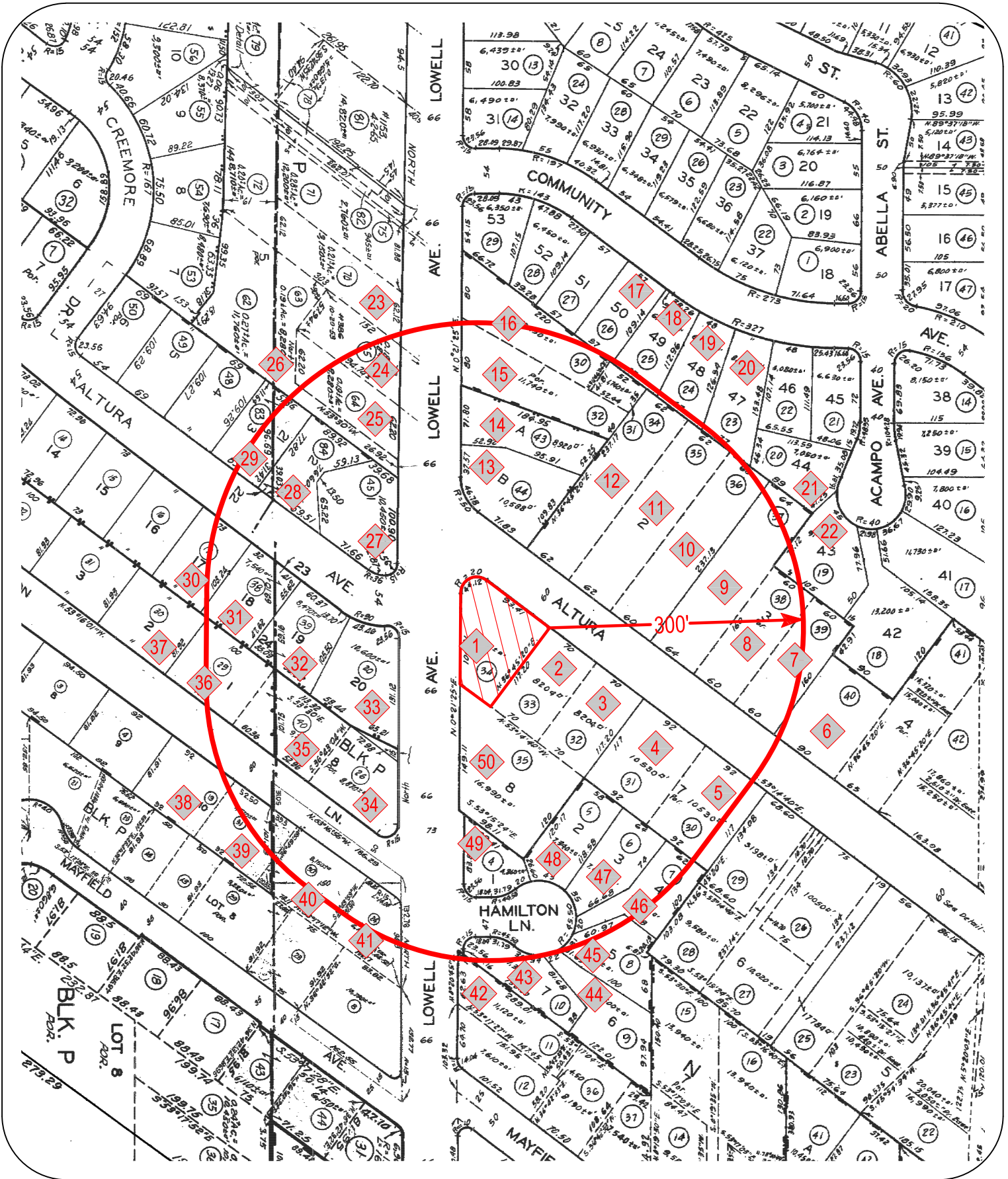
PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.
21-417

SITE SURVEY
& PHOTO MAP



SCALE 1" = 150'



PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 1 OF 27



1

SUBJECT SITE: 4240 LOWELL AVE
VIEW FROM LOWELL AVE LOOKING EAST



1

SUBJECT SITE: 4240 LOWELL AVE
VIEW FROM LOWELL AVE LOOKING NORTH

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 2 OF 27



1

SUBJECT SITE: 4240 LOWELL AVE
VIEW SUBJECT DRIVEWAY LOOKING NORTH



1

SUBJECT SITE: 4240 LOWELL AVE
VIEW FROM ALTURA AVE LOOKING SOUTH

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 3 OF 27



2

3948 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING SOUTH-WEST



3

3944 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING SOUTH-WEST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 4 OF 27



4

3936 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING SOUTH-WEST



5

3930 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING SOUTH-WEST

PROJECT INFORMATION

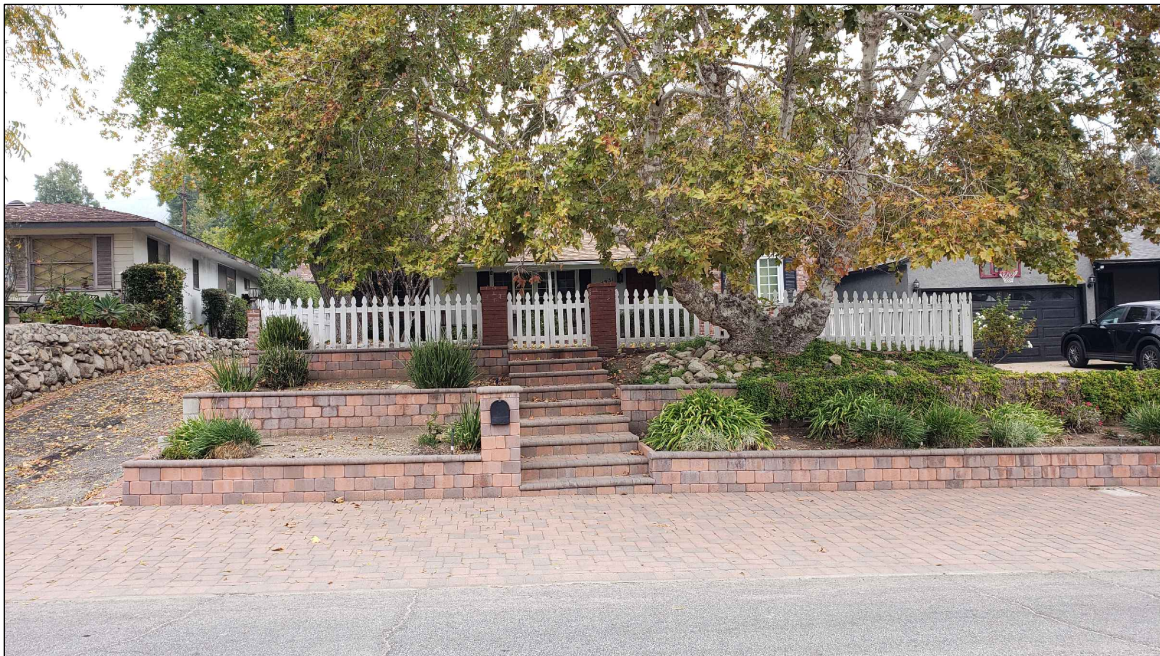
4240 LOWELL AVE
GLENDALE, CA.

SHEET 5 OF 27



6

3921 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING NORTH-EAST



7

3931 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING NORTH-EAST

PROJECT INFORMATION

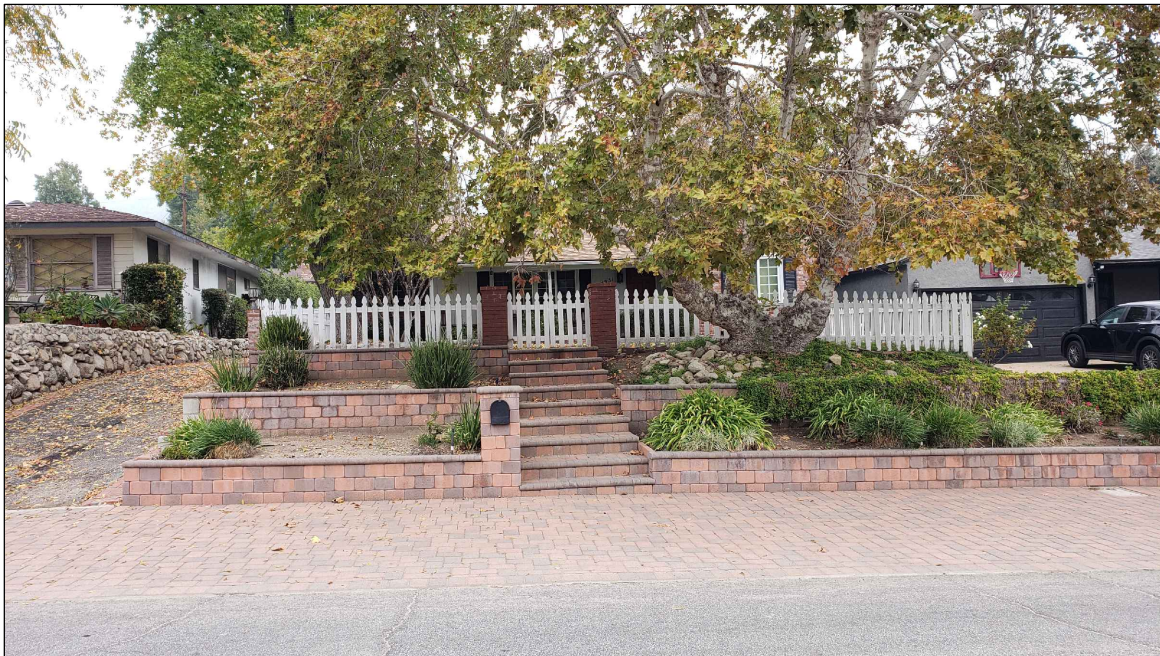
4240 LOWELL AVE
GLENDALE, CA.

SHEET 6 OF 27



8

3935 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING NORTH-EAST



9

3941 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING NORTH-EAST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 7 OF 27



10

3947 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING NORTH-EAST



11

3951 ALTURA AVE
VIEW FROM ALTURA AVE LOOKING NORTH-EAST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 8 OF 27



12

3957 ALTURA AVE VIEW FROM ALTURA AVE LOOKING NORTH-EAST



13

3963 ALTURA AVE VIEW FROM ALTURA AVE LOOKING NORTH-EAST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 9 OF 27



14

4308 LOWELL AVE
VIEW FROM LOWELL AVE LOOKING EAST



15

4314 LOWELL AVE
VIEW FROM LOWELL AVE LOOKING EAST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 10 OF 27



16

4320 LOWELL AVE
VIEW FROM LOWELL AVE LOOKING EAST



17

3934 COMMUNITY AVE VIEW FROM
COMMUNITY AVE LOOKING SOUTH-WEST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 11 OF 27



18

**3930 COMMUNITY AVE VIEW FROM
COMMUNITY AVE LOOKING SOUTH-WEST**



19

**3926 COMMUNITY AVE VIEW FROM
COMMUNITY AVE LOOKING SOUTH-WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 12 OF 27



20

**3922 COMMUNITY AVE VIEW FROM
COMMUNITY AVE LOOKING SOUTH-WEST**



21

**4337 ACAMPO AVE VIEW FROM
ACAMPO AVE LOOKING WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 13 OF 27



22

**3922 COMMUNITY AVE VIEW FROM
COMMUNITY AVE LOOKING SOUTH-WEST**



23

**4319 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 14 OF 27



24

**4305 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING WEST**



25

**4303 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 15 OF 27



26

**4301 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING WEST**



27

**4001 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 16 OF 27



28

**4011 ALTURA AVE VIEW FROM
ALTURA AVE LOOKING NORTH**



29

**4013 ALTURA AVE VIEW FROM
ALTURA AVE LOOKING NORTH**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 17 OF 27



30

**6222 ALTURA AVE VIEW FROM
ALTURA AVE LOOKING SOUTH-WEST**



31

**4010 ALTURA AVE VIEW FROM
ALTURA AVE LOOKING SOUTH-WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 18 OF 27



32

4004 ALTURA AVE VIEW FROM
ALTURA AVE LOOKING SOUTH-WEST



33

4000 ALTURA AVE VIEW FROM
ALTURA AVE LOOKING SOUTH

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 19 OF 27



34

**4225 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING WEST**



35

**4011 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING NORTH-EAST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 20 OF 27



36

**6227 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING NORTH-EAST**



37

**6237 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING NORTH-EAST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 21 OF 27



38

**6224 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING SOUTH-WEST**



39

**6218 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING SOUTH-WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 22 OF 27



40

**4008 HAMILTON LN (GUEST) VIEW FROM
HAMILTON LN LOOKING SOUTH-WEST**



40

**4008 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING SOUTH-WEST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 23 OF 27



41

**4004 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING SOUTH-WEST**



42

**4206 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING EAST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 24 OF 27



43

**3956 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING SOUTH-EAST**



44

**3952 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING SOUTH-EAST**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 25 OF 27



45

3950 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING EAST



46

3951 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING NORTH-EAST

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 26 OF 27



47

**3953 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING NORTH-EAST**



48

**3955 HAMILTON LN VIEW FROM
HAMILTON LN LOOKING NORTH**

PROJECT INFORMATION

4240 LOWELL AVE
GLENDALE, CA.

SHEET 27 OF 27



49

**3961 HAMILTON LN VIEW FROM
LOWELL AVE LOOKING EAST**



50

**4228 LOWELL AVE VIEW FROM
LOWELL AVE LOOKING EAST**

SURVEY LIST FOR 4240 LOWELL AVE												
PHOTO #	ASSESSOR PARCEL NUMBER	OWNER	SITE ADDRESS	CITY	STATE	ZIP	LOT SQ.FT.	BLDG AREA	FLOOR AREA RATIO	BLDG HEIGHT FT.*	# OF STORIES	SET BACK FT.
1	5604-005-034	SHUKLA SHASHI K	4240 LOWELL AVE	GLENDALE	CA	91214	10,273	1,932	18.81%	17	1	5'6
2	5604-005-033	SNYDER MICHAEL W & TIFFANY M	3948 ALTURA AVE	GLENDALE	CA	91214	8,217	1,158	14.09%	17	1	25'
3	5604-005-032	COX CRAIG M AND SUSAN L TRS	3944 ALTURA AVE	GLENDALE	CA	91214	8,281	1,679	20.28%	15	1	25'
4	5604-005-031	SCHMITZ CHARLES L & ELAINA M	3936 ALTURA AVE	GLENDALE	CA	91214	10,830	2,202	20.33%	12	1	25'
5	5604-005-030	GORDON BRIAN & EDEENA	3930 ALTURA AVE	GLENDALE	CA	91214	10,803	1,642	15.20%	15	1	25'
6	5604-008-040	NJOTEN KJETIL	3921 ALTURA AVE	GLENDALE	CA	91214	10,461	2,031	19.41%	15	1	40'
7	5604-008-039	HABER BEN & LISA	3931 ALTURA AVE	GLENDALE	CA	91214	9,408	1,546	16.43%	15	1	40'
8	5604-008-038	FINK SHELDON D & BRENDA A	3935 ALTURA AVE	GLENDALE	CA	91214	9,864	2,372	24.05%	14	1	40'
9	5604-008-037	ZADOORIAN RAZMIK	3941 ALTURA AVE	GLENDALE	CA	91214	14,773	1,368	9.26%	14	1	40'
10	5604-008-036	BADOSSIAN VARTIVAR & ALICE	3947 ALTURA AVE	GLENDALE	CA	91214	14,230	1,746	12.27%	24	2	40'
11	5604-008-035	SQUIRES ROBERT W AND RUTH H TRS	3951 ALTURA AVE	GLENDALE	CA	91214	14,673	1,566	10.67%	14	1	40'
12	5604-008-034	KAHDIAN MEHER & ROOBINA B	3957 ALTURA AVE	GLENDALE	CA	91214	14,668	2,146	14.63%	14	1	40'
13	5604-008-044	POPPE HERBERT J CO TR	3963 ALTURA AVE	GLENDALE	CA	91214	9,888	935	9.46%	15	1	40'
14	5604-008-043	SAMVALIAN ANGEL	4308 LOWELL AVE	GLENDALE	CA	91214	9,304	2,344	25.19%	23	2	20'
15	5604-008-032	SPARKS ROERT J AND GEORGINE TRS	4314 LOWELL AVE	GLENDALE	CA	91214	11,273	1,573	13.95%	15	1	20'
16	5604-008-030	MCCLURE ROBERT AND KATHLEEN TRS	4320 LOWELL AVE	GLENDALE	CA	91214	10,774	1,715	15.92%	16	1	16'
17	5604-008-026	DELANEY MERCEDES A	3934 COMMUNITY AVE	GLENDALE	CA	91214	6,202	1,487	23.98%	15	1	16'
18	5604-008-025	KELLY SCOTT W AND SHAWN D TRS	3930 COMMUNITY AVE	GLENDALE	CA	91214	6,405	2,889	45.11%	17	2	15'
19	5604-008-024	RADCLIFFE MARIAN C	3926 COMMUNITY AVE	GLENDALE	CA	91214	6,661	2,240	33.63%	24	2	15'
20	5604-008-023	PARK NAMSUN	3922 COMMUNITY AVE	GLENDALE	CA	91214	8,322	1,555	18.69%	16	1	15'
21	5604-008-020	GEORGE DANIEL D CO TR	4337 ACAMPO AVE	GLENDALE	CA	91214	7,404	1,787	24.14%	14	1	20'
22	5604-008-019	BECKER GREGORY & JENNIFER	4333 ACAMPO AVE	GLENDALE	CA	91214	9,492	1,724	18.16%	15	1	40'
23	2572-003-070	MEHTA SANJAY	4319 LOWELL AVE	GLENDALE	CA	91214	9,375	1,066	11.37%	13	1	40'
24	2572-003-065	KHUDAVERDYAN ROBERT CO TR	4305 LOWELL AVE	GLENDALE	CA	91214	7,714	2,039	26.43%	16	1	35'
25	2572-003-064	NICHOLAS JOAN G	4303 LOWELL AVE	GLENDALE	CA	91214	7,945	1,673	21.06%	14	1	35'
26	2572-003-062,063	KETSOYAN HAIK	4301 LOWELL AVE	LOS ANGELES	CA	91214	11,968	3,427	28.63%	12	1	+ / - 198
27	2572-003-045	LARSON JAMES A AND MARVENE F TRS	4001 ALTURA AVE	GLENDALE	CA	91214	10,679	1,554	14.55%	12	1	25'
28	2572-003-084	GUERNSEY JADE	4011 ALTURA AVE	GLENDALE	CA	91214	7,579	1,825	24.08%	15	1	25'
29	2572-003-083	MORIMOTO EIJI & MACHIKO K	4013 ALTURA AVE	GLENDALE	CA	91214	7,540	1,716	22.76%	15	1	25'
30	2572-034-017	NAHLE ALI A	6222 ALTURA AVE	LOS ANGELES	CA	91214	7,535	1,731	22.97%	15	1	20'
31	2572-034-038	OHANIAN ROOBIK & HASMIK	4010 ALTURA AVE	LOS ANGELES	CA	91214	7,537	1,731	22.97%	15	1	20'
32	2572-034-039	UNITE LEILANI C CO TR	4004 ALTURA AVE	GLENDALE	CA	91214	8,519	2,527	29.66%	15	1	20'
33	2572-034-020	DEIRBADROSSIAN HOVIG O & SEVAN S	4000 ALTURA AVE	GLENDALE	CA	91214	10,880	2,002	18.40%	16	1	20'
34	2572-034-026	GALINDO ANTONIO & MABEL C	4225 LOWELL AVE	GLENDALE	CA	91214	8,709	1,426	16.37%	12	1	31'
35	2572-034-040	WOODEN GRANT B & ALISON E	4011 HAMILTON LN	GLENDALE	CA	91214	9,354	1,564	16.72%	12	1	20'
36	2572-034-029	HALABI GEORGES J AND SUSAN TRS	6227 HAMILTON LN	LOS ANGELES	CA	91214	8,189	1,742	21.27%	12	1	20'
37	2572-034-030	RUMBURG KENNETH P CO TR	6237 HAMILTON LN	LOS ANGELES	CA	91214	8,189	1,753	21.41%	15	1	20'
38	2572-033-019	LIM ALLAN S AN SIA NANCY A	6224 HAMILTON LN	LOS ANGELES	CA	91214	7,535	1,836	24.37%	10	1	16'
39	2572-033-031	BAIRIAN JACK AND ANI A TRS	6218 HAMILTON LN	LOS ANGELES	CA	91214	7,533	1,537	20.40%	15	1	16'

40	2572-033-030	LEE JAMES	4008 HAMILTON LN	GLENDALE	CA	91214	8,147	1,157	14.20%	12	1	16'
41	2572-033-024	BARNES GALORD L AND GLORIA D TRS	4004 HAMILTON LN	GLENDALE	CA	91214	6,385	1,714	26.84%	15	1	16'
42	5604-005-011	CHUNG MICHAEL J	4206 LOWELL AVE	GLENDALE	CA	91214	8,345	480	5.75%	24	2	32'
43	5604-005-010	BROWN LARRY F AND JOANNE C TRS	3956 HAMILTON LN	GLENDALE	CA	91214	7,343	2,164	29.47%	18	1	12'
44	5604-005-009	EDAY EMMA J	3952 HAMILTON LN	GLENDALE	CA	91214	9,181	1,980	21.57%	24	2	77'
45	5604-005-008	OROZCO EVERETT G & MARY J	3950 HAMILTON LN	GLENDALE	CA	91214	7,412	3,267	44.08%	24	2	25'
46	5604-005-007	CHOI AARON & SEOYUN	3951 HAMILTON LN	GLENDALE	CA	91214	7,430	1,980	26.65%	24	2	73'
47	5604-005-006	SOSIKIAN MICHAEL AND ARDA TRS	3953 HAMILTON LN	GLENDALE	CA	91214	7,029	2,108	29.99%	12	1	42'
48	5604-005-005	HARRISON KAREN L	3955 HAMILTON LN	GLENDALE	CA	91214	7,311	1,745	23.87%	13	1	29'
49	5604-005-004	RAY MALONE CAROL L	3961 HAMILTON LN	GLENDALE	CA	91214	4,838	2,458	50.81%	23	2	14'
50	5604-005-035	KIM HEE S	4228 LOWELL AVE	GLENDALE	CA	91214	17,165	1,838	10.71%	12	1	20'
NOTES												
* INCLUDES GRADE DIFFERENTIAL AT ENTRIES.												

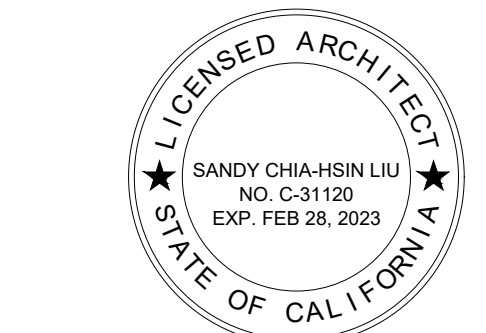
DIXIT RESIDENCE

4240 LOWELL AVENUE
GLENDALE, CA 91214
APN: 5604-005-034

OWNER: NITI DIXIT & SHASHIKANT SHUKLA
4240 LOWELL AVENUE, GLENDALE, CA
408-431-8615



CONSULTANT

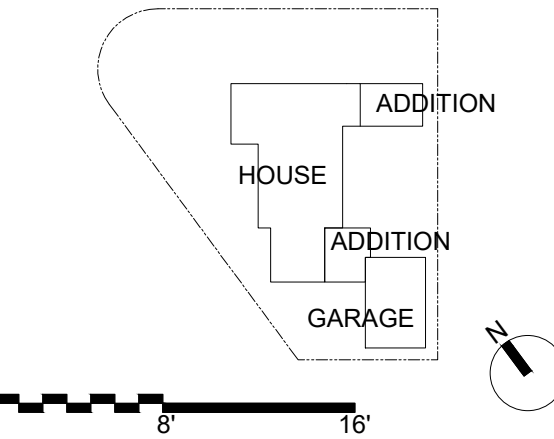


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The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the Architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

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IF SHEET IS LESS THAN 24"x36", THIS IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

KEY PLAN

5/12/2021	PRE-APPLICATION	SL
1	7/21/2021	PRE-APPLICATION REVISION 1 SL
2	9/2/2021	PRE-APPLICATION REVISION 2 SL
3	3/25/2022	PRE-APPLICATION REV 3 SL

NO.	DATE	ISSUED FOR	BY
		BASE FILE NAMES	DIXIT-DEMO.DWG
		DRAWN BY	SL
		SCALE	1/8" = 1'-0"
		DATE	MARCH 25, 2022
		PROJECT NO.	218

TREE PROTECTION PLAN

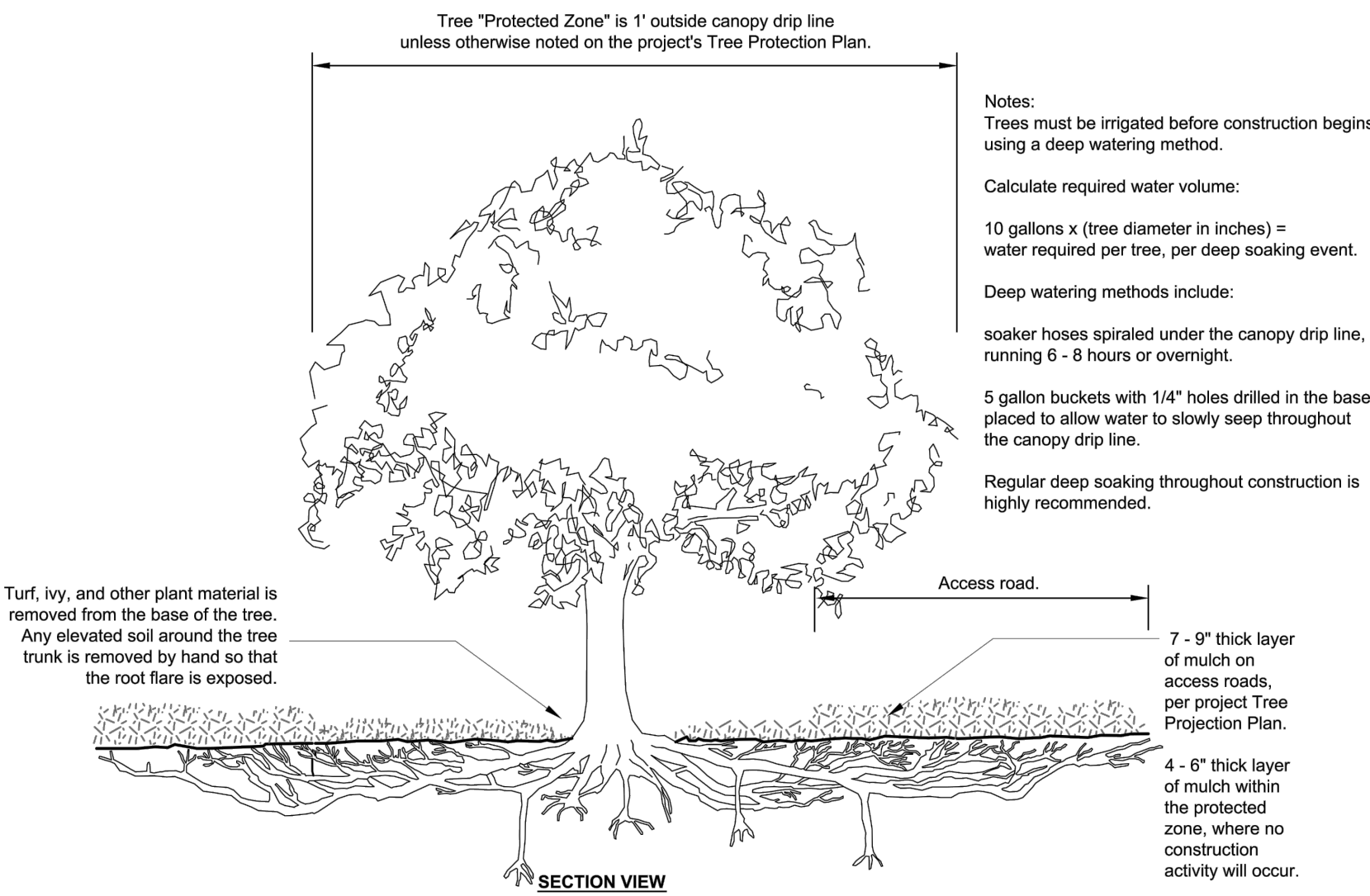
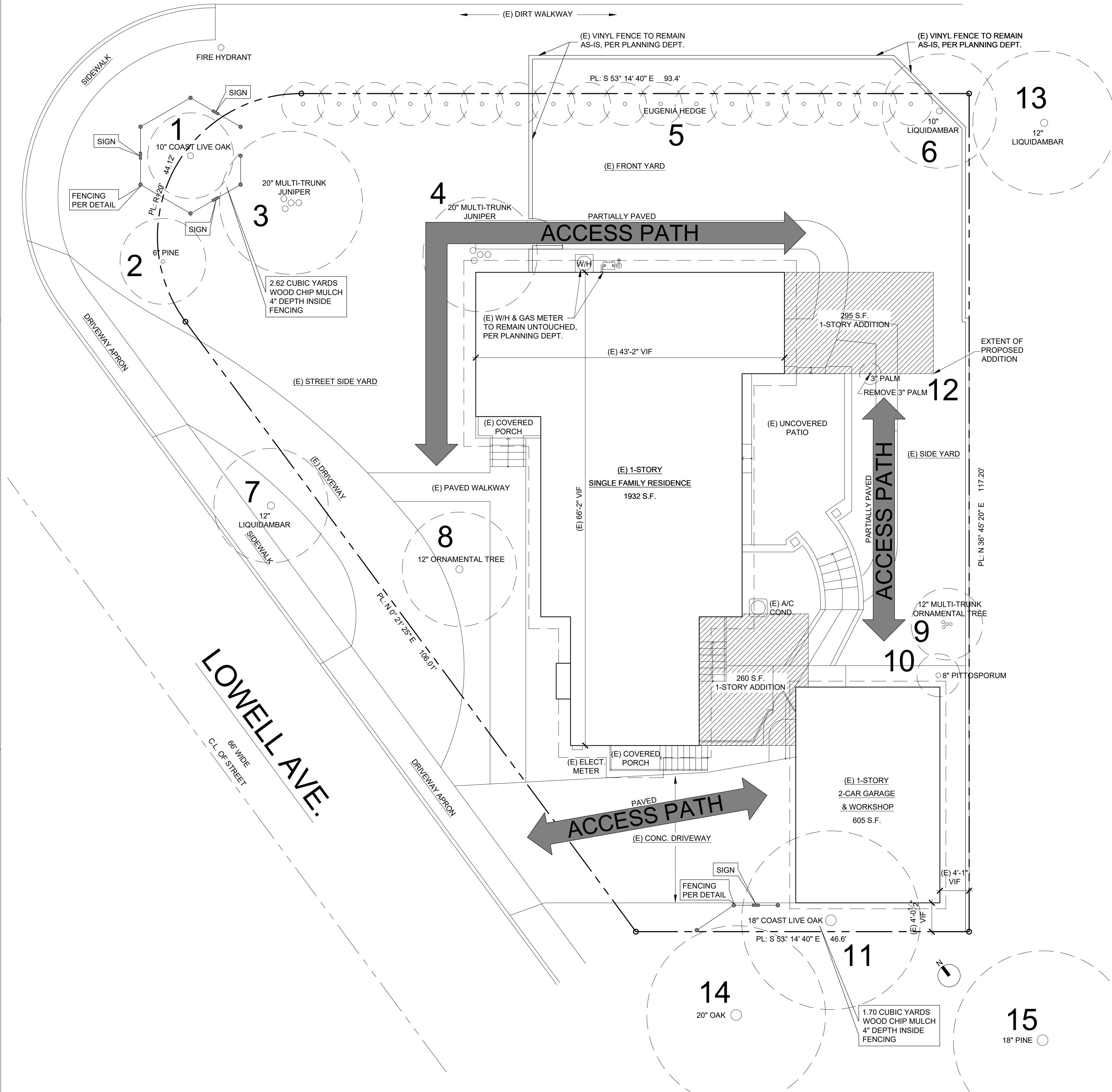
SHEET TITLE

A-TPP

SHEET NO. OF 16 SHEETS

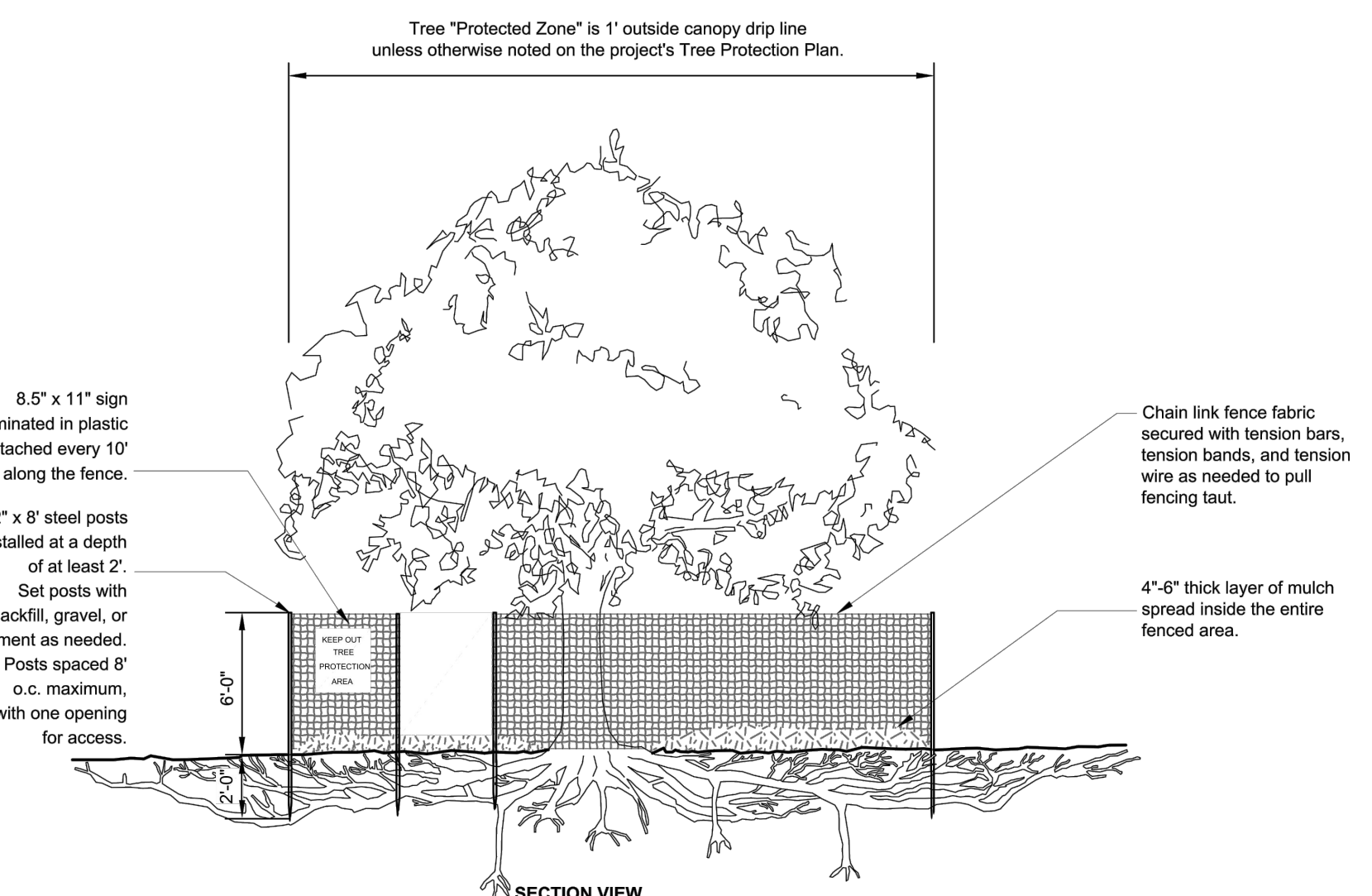
ALTURA AVE.

60' WIDE



1 TREE PROTECTION - SITE PREPARATION

CREATED WITH MATERIALS PROVIDED BY URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE



2 TREE PROTECTION - CHAIN LINK FENCING

CREATED WITH MATERIALS PROVIDED BY URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE

INDIGENOUS TREE PROTECTION MEASURES

- Property Address: 4240 Lowell Avenue ITO Permit Number: _____ Date: _____
- PLANNING PHASE**
 - All project plans, including grading, site improvements, utility locations, and landscaping shall indicate the exact trunk location of the native and its protected zone. Construction is to be completed without negative direct impacts on native trees of the subject site. Prior to any site disturbance, including grading, demolition and mobilization, obtain an Indigenous Tree Permit from the Public Works Building and Safety Division for any site that contains native Oak, Sycamore or Bay trees in excess of 8" or larger trunk diameter when such trees grow within twenty feet (20') outside the property line.
 - All utility improvements with installation of back-up boxes, including but not limited to water, sewer, electrical, cable and phone lines are to be located outside the indigenous tree protected zone (TPZ). Utility lines shall be routed outside of the protected zone of protected trees, unless otherwise approved by the Director of Public Works.
 - All site development plans, including grading, planting and irrigation and their installation are subject to approval by the Public Works Department.
 - PRE-CONSTRUCTION PHASE**
 - Prior to any site disturbance, including demolition or mobilization, install protective fencing outside of the drip-line of each protected tree, per the Tree Protection Plan approved by the Director of Public Works.
 - Maintain four to six inches (4-6") of natural leaf litter and/or organic mulch beneath the drip line of each protected tree.
 - Maintain seven to nine inches (7-9") of organic mulch and any additional protection as required (such as geotextile) over the project access path(s) per the Tree Protection Plan approved by the Director of Public Works.
 - Irrigate trees using a deep watering method, such as a soaker hose or slow release water bags, after mulch is installed.
 - Inspection of the temporary fencing installation is required prior to any site disturbance, including grading, demolition and mobilization. Contact the Arborist Technician at (618) 356-3402 for inspection and approval.
 - CONSTRUCTION PHASE**
 - The approved Indigenous Tree Permit shall be maintained on the project site at all times and shall be presented upon request to any City official.
 - The temporary fencing installation shall be maintained until completion of the project.
 - No tools, equipment, materials, vehicles, debris, paint, concrete, mortar, cement, stucco, solvent, excess soil or other materials shall be placed within the TPZ of any protected tree at any time, except as authorized by the Director of Public Works.
 - No changes to grade shall be made within the TPZ of any protected tree, except as authorized by the Director of Public Works.
 - Any approved excavation within the protected zone of any protected tree shall be performed with hand tools only under the direct observation of the designated project arborist at all times.
 - All approved pruning or cutting of roots shall be performed under the supervision of an International Society of Arboriculture Certified Arborist in accordance with the Training Standards of the Western Chapter of the International Society of Arboriculture.
 - In general, take such steps as necessary to protect roots, bark, trunk, branches and leaves from injury during construction.
 - Monitor protected trees for drought throughout construction and irrigate as needed to maintain health.
 - Gently spray tree canopy with water to remove construction dust build-up as needed throughout construction.
 - No work shall be done within one hundred feet (100') of any protected tree unless approved in writing by the Director of Public Works.
 - Excavate and remove brush roots one inch (1") in diameter and greater where feasible. Roots to be removed shall be pruned with a sharp pruning tool at the edge of the excavation. Cover temporarily exposed roots with moist burlap until backfill occurs.
 - Consult the Public Works Permit Services Center upon completion of work for final inspection and sign-off.
 - SPECIFIC MEASURES**
 - Calculate wood chip mulch required for 4'-6" layer within TPZ(s) and for a 3"-4" layer within project access path(s):
Square footage of TPZ(s) = _____ x 1/324 = _____ cubic yards.
Square footage of access path(s) = _____ x 1/324 = _____ cubic yards.
Total cubic yards of wood chip mulch to be installed on site, pre-construction: _____ cubic yards.
 - Calculate water required per tree, per deep watering event, at 20 gal water per inch (20") of water per inch of DBH.
Water for tree #1: _____ gal Water for tree #2: _____ gal Water for tree #3: _____ gal Water for tree #4: _____ gal
 - Deep watering method to be used during pre-construction phase: _____
 - Total number of watering events to be installed: _____
 - Total number of watering events to be installed: _____
 - Total number of watering events to be installed: _____
 - Failure to comply with these mitigation measures may result in work stoppage and will result in fine of \$1,000.00 per tree and violation, which shall accrue only when the City of Glendale receives written notice of violation.
 - Questions should be directed to the Arborist Technician at (618) 356-3402.
- Owner / Agent name: Niti Dixit
Date: 3/27/2022

WARNING
TREE PROTECTION ZONE
KEEP OUT.
CALL 818-548-3950 TO REPORT VIOLATIONS

ADVERTENCIA
ZONA DE PROTECCIÓN DE ÁRBOLES
NO ENTRAR.
LLAMAR AL TEL 818-548-3950 PARA REPORTAR INFRACCIONES

For more information, visit www.glendaletrees.org

1 TREE PROTECTION PLAN
SCALE: 1/8"=1'-0"