



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

February 28, 2023 <i>Decision Date</i>	1635 Don Carlos Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5614-005-022 <i>APN</i>
PDR2201292 <i>Case Number</i>	Nareg Khodadadi <i>Applicant</i>
Cassandra Pruet, AICP <i>Case Planner</i>	Karlo Nazarian <i>Owner</i>

Project Summary

The applicant is proposing to add a 516 square-foot (SF) one-story addition to an existing one-story single-family building, which includes changes to the front facade. The existing building is 2,866 SF (originally constructed in 1921 with numerous later alterations), and located on an approximately 13,875 SF lot in the R1-I Zone (Residential, Floor Area Ratio District I). The project includes a 364 SF extension of an existing rear trellis, an 80 SF covered patio at the rear, and window replacement.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the project involves an addition that will not result in an increase of more than 50% of the floor area of the structure before the addition, or 2,500 square feet (SF). Based on the information in the historic report provided by the applicant, prepared by Sapphos Environmental Inc. and dated December 10, 2020, the property does not meet any of the eligibility criteria for listing in the California Register of Historical Resources or the Glendale Register of Historic Resources and therefore is not considered a historic resource as defined by Section 15064.5 of the CEQA Guidelines. Planning Division staff agrees with this finding.

Existing Property/Background

The project site is an approximately 13,875 SF, interior lot in the Verdugo Woodlands neighborhood. The site is relatively flat and is developed with a one-story, 2,866 SF single-family home with an attached two-car garage.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: I

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None

Site Slope and Grading

None proposed

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	13,484 SF	8,125 SF – 13,875 SF	13,875 SF
Setback	39'	20' - 50'	40'-9"
House size	2,537 SF	1,400 SF – 3,922 SF	3,387 SF
Floor Area Ratio	0.19	0.16 - 0.40	0.24
Number of stories	1.3 (13 one-story, 6 two-story)	1 to 2 stories	1 story

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes n/a no

If "no" select from below and explain:

- Predominant pattern on block

- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The one-story addition is spread across the existing floor plan to slightly expand the existing building footprint while maintaining ample landscaping and open space elsewhere on site.
- The front entryway is relocated from the side façade to the front façade with a prominent entryway extending from the front façade similar to other houses on the street.
- The new entryway extending from the front façade maintains a 40-foot street front setback which is consistent with the neighborhood pattern.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The one-story addition maintains the existing building height (ranging from 15’-9” to 20’-4”), carrying over the respective building height at each location (i.e., the addition height is lower in some areas to match the roof height of the adjacent building area).
- The height of the new gabled front entryway is slightly lower than the existing front façade gable.
- The new gabled front entryway helps break up the massing of the addition adjacent to it at the east.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

yes n/a no

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes n/a no

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The one-story addition is well-integrated into the existing architectural style of the house because it uses the same building forms, architectural detailing, and materials. This includes gable roofs with pitches matching existing, half-timbering style wood trim, recessed windows with external grids with pattern matching existing, and exterior finish materials to match existing including stucco siding and roofing.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. New half-timber style wood trim to match dimensions, depth within the stucco, and color of existing.
 2. Any landscaping replaced on site during construction is subject to review by planning and must be low-water use for Glendale and comply with the Comprehensive Design Guidelines.
-

Attachments

1. Plans including photos and material board
2. Location Map
3. Neighborhood Survey
4. Historic Report

RESIDENTIAL ADDITION & REMODEL

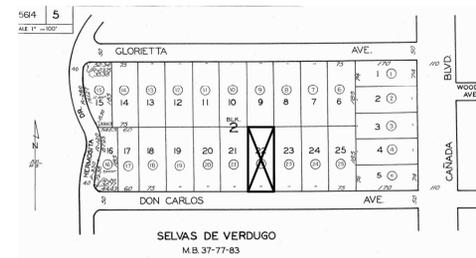
NAZARIAN RESIDENCE

1635 DON CARLOS AVE. GLENDALE 91208

VICINITY MAP



PARCEL MAP



CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

NO NEW ROOFTOP EQUIPMENT ALLOWED

SITE PLAN KEYED NOTES

1. PROPERTY LINE
2. EXT'G WALL LINE TO REMAIN
3. EXT'G DRIVEWAY DOOR TO REMAIN
4. EXT'G CONCRETE DRIVEWAY TO REMAIN
5. EXT'G LANDSCAPING TO REMAIN
6. DIRECTION OF SHEET FLOW MIN 2%
7. NEW ROOF LINE
8. EXT'G RESIDENCE ROOF LINE
9. NEW WALL LINE
10. SMOOTH FINISH CONC. LANDING & STEPS
11. NEW WOOD POST
12. EXT'G & NEW WOOD TRELLIS
13. NEW CONCRETE WALK
14. NEW PLANTING STRIP
15. NEW TRASH BIN LOCATION
16. EXT'G TREE(S) TO REMAIN (NOT AN OAK TREE SYCAMORE & BAY)
17. EXT'G TREE TO REMAIN
18. EXT'G FENCE AND GATE
19. EXT'G ELEC. PANEL LOCATION TO REMAIN

- EXT'G RESIDENCE
- NEW ADDITION
- EXT'G LANDSCAPING
- EXT'G 2 CAR GARAGE
- EXT'G COVERED PATIO

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

APPLICATION FOR WHICH NO PERMIT IS ISSUED WITHIN ONE (1) YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2.CRC)

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL.

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING :

1. RETAINING WALL OF BLOCK FENCE WALL
2. GRADING WORK
3. SWIMMING POOL
4. A SEPARATE STRUCTURE

APPLICABLE CODES

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE, CBC SECTION 106.1.1

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	13,875 SQ. FT.
EXT'G RESIDENCE (PER ASSESSOR MAP INFO)	2,866 SQ. FT.
EXT'G ATTACHED TRELLIS (14'-0"x18'-0")	364 SQ. FT.
EXTENDED /ADD NEW TRELLIS AREA (14'-0"x26'-0")	364 SQ. FT.
NEW ADDITIONS: AREA A' - 81 SQ.FT. AREA D' - 61 SQ.FT. AREA B' - 132 SQ.FT. AREA E' - 98 SQ.FT. AREA C' - 144 SQ.FT.	516 SQ. FT.
EXT'G 2 CAR GARAGE - NO CHANGE	384 SQ. FT.
TOTAL LIVABLE AREA	3,382 SQ. FT.

FLOOR AREA RATIO MAX. 30% (OF 10,000) - 3,000 SQ. FT. MAX. 10% (OF 3,875) - 387.50 SQ. FT. TOTAL 3,387.50 SQ. FT.	EXT'G RESIDENCE (2,866 SQ. FT.) NEW ADDITION (516 SQ. FT.) TOTAL (3,382 SQ. FT.)	24 %
LOT COVERAGE RATIO MAX. 40% OF LOT AREA = 5,550 SQ. FT. < PROVIDED	LIVABLE AREA (3,382 SQ. FT.) EXT'G 2 CAR GARAGE (384 SQ. FT.) NEW COVERED PATIO (67+13=80 SQ.FT.) TOTAL (3,846 SQ. FT.) LOT AREA (13,875 SQ. FT.)	28 %
LANDSCAPE RATIO MAX. 40% OF LOT AREA = 5,550 SQ. FT. > PROVIDED	LANDSCAPED AREA (6,006 SQ. FT.) (A) 1,328 + (B) 104 + (C) 923 + (D) 134 + (E) 194 + (F) 1,047 + (G) 162 + (H) 915 + (I) 776 + (J) 318 + (K) 163 = TOTAL 6,064 SQ. FT. LOT AREA (13,875 SQ. FT.)	44 %

ZONING	R11
APN	5614-005-023
LEGAL DESCRIPTION	SELVAS DE VERDUGO LOT 22 BLK 2
OCCUPANCY	RESIDENCE - R3 GARAGE - U
CONSTRUCTION TYPE	V-B
YEAR BUILT	1921
FIRE SPRINKLERS	EXT'G RESIDENCE - NO
NUMBER OF STORIES	1
FIRE ZONE	NO
CA CLIMATE ZONE	9

SCOPE OF WORK

ADDITION OF 516 SQ. FT. TO EXT'G SINGLE FAMILY RESIDENCE AND INTERIOR REMODEL, NEW MASTER BEDROOM, REMODEL ALL BATHROOMS & KITCHEN, EXTEND EXISTING ATTACHED TRELLIS & TO REPLACE EXISTING WINDOWS TO ALL NEW.

PROJECT INFORMATION

PROJECT LOCATION 1635 DON CARLOS AVE. GLENDALE CA 91208	STRUCTURAL ENGINEER ---
PROJECT DESIGNER DESIGNNRK 213 N. ORANGE ST. UNIT: E GLENDALE, CA 91203 OFFICE : 818.823.7286 FAX : 888.424.8125 E-MAIL : INFO@DESIGNNRK.COM	OWNER NAZARIAN 1635 DON CARLOS AVE. GLENDALE, CA 91208

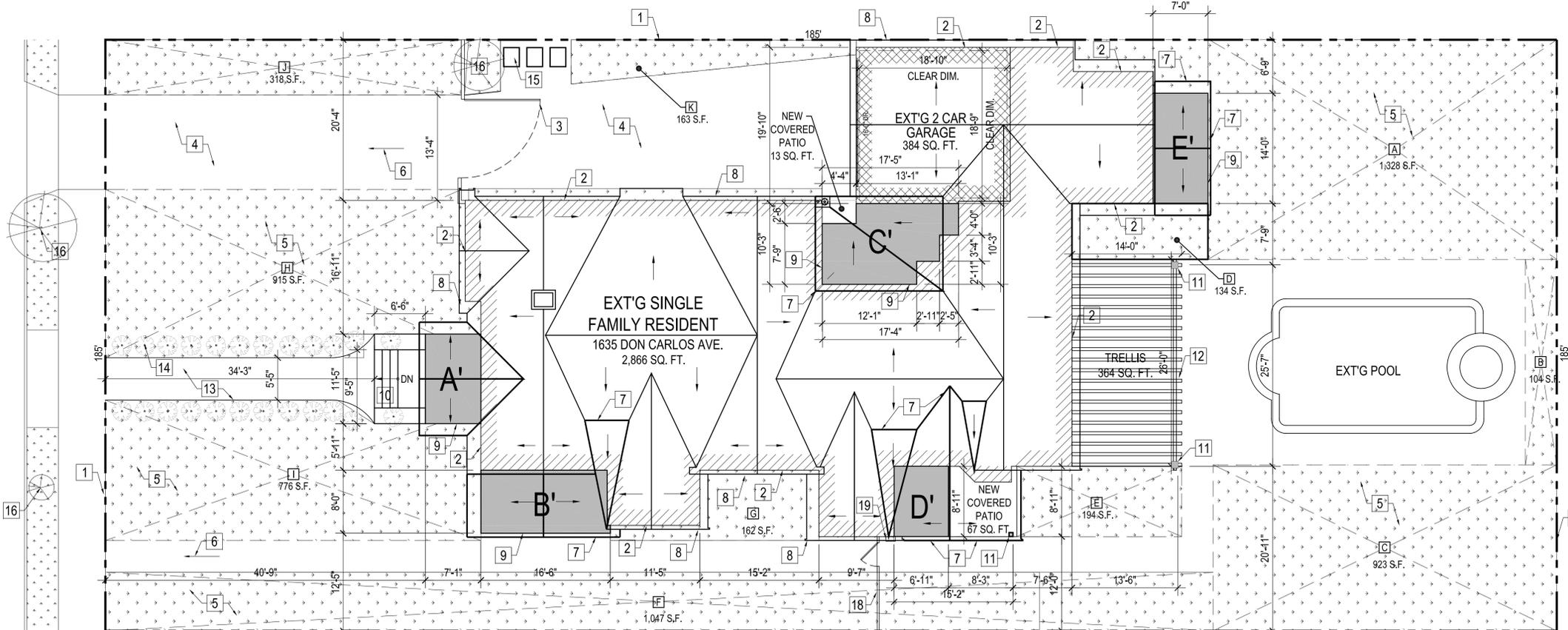
SHEET INDEX

ARCHITECTURAL SHEETS:	TITLE SHEETS:
A0.1 COVER SHEET & SITE PLAN	T1 TITLE 24
A0.2 GREEN NOTES	T2 TITLE 24
A0.3 SECURITY NOTES & LANDSCAPE CALCULATION DIAGRAM	ENGINEERING SHEETS:
A1.1 NEIGHBORING PROPERTIES	S1 GENERAL NOTES
A1.2 EXT'G SITE PLAN & ROOF PLAN	S2 DETAILS
A2.0 DEMO PLAN	S3 FRAMING & FOUNDATION PLAN
A2.1 EXT'G PLAN	S4 DETAILS
A2.2 EXT'G ROOF PLAN	
A2.3 PROPOSED FLOOR PLAN	
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A2.5 DOOR & WINDOW SCHEDULE	
A3.1 EXT'G & NEW SOUTH ELEVATION	
A3.2 EXT'G & NEW EAST ELEVATION	
A3.3 EXT'G & NEW NORTH ELEVATION	
A3.4 EXT'G & NEW WEST ELEVATION SECTIONS	
A4.1	

FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
2. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.
3. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.
4. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (2) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

DON CARLOS AVE.



NEW SITE PLAN & ROOF PLAN

SCALE : 1/8" = 1'-0"

REVISIONS:

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glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
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COVER SHEET & SITE PLAN

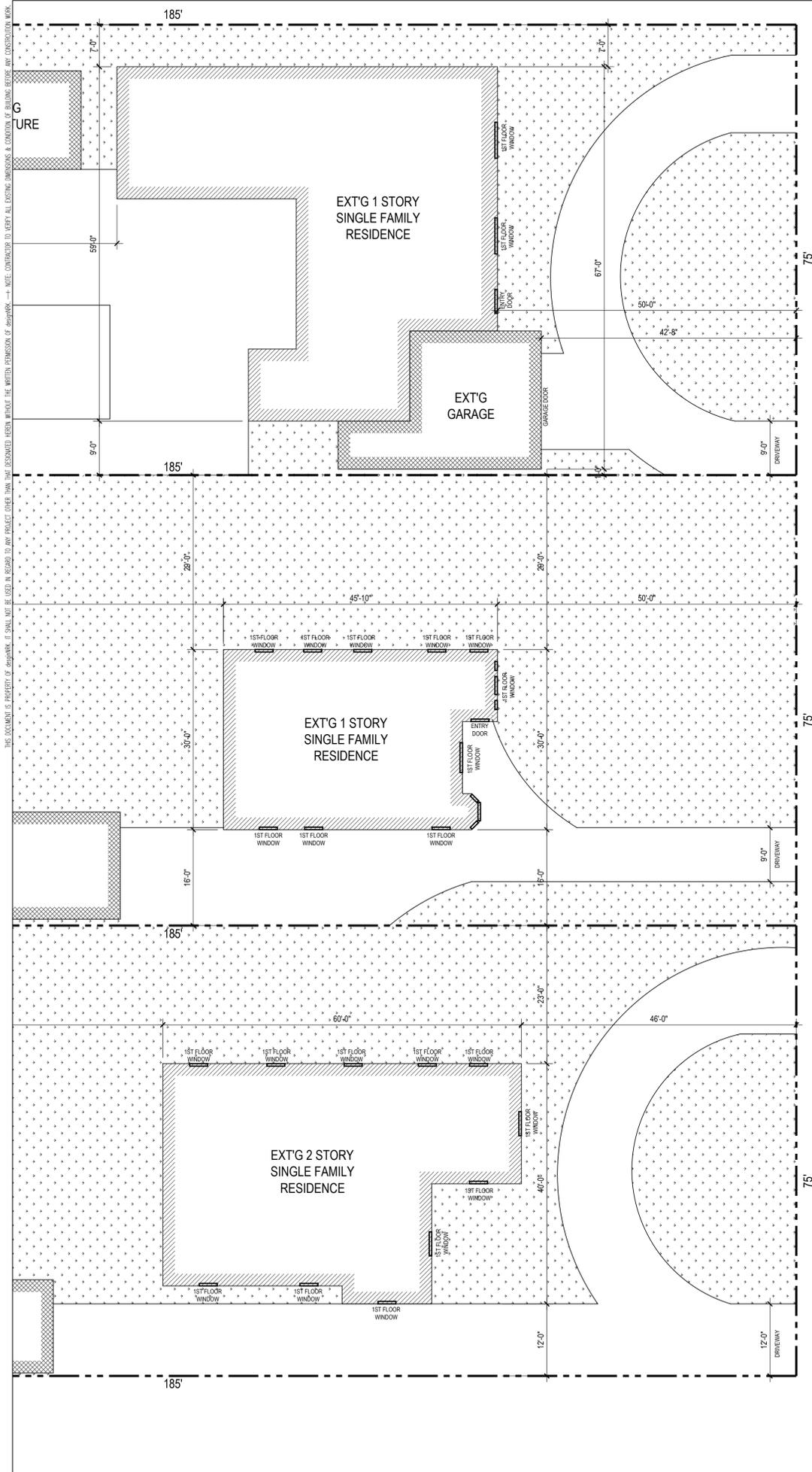
NAZARIAN RESIDENCE

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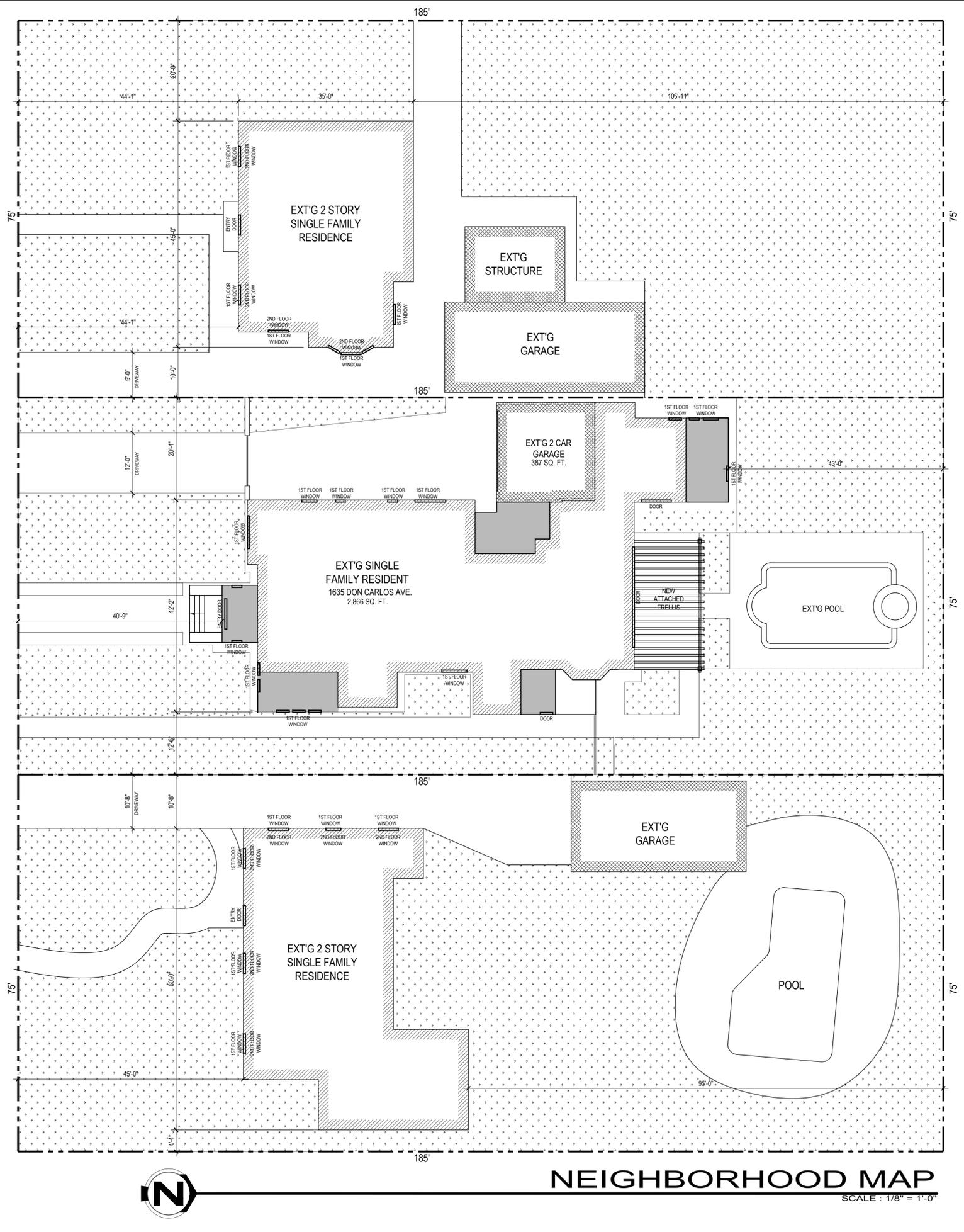
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SHEET NO.

A0.1



DON CARLOS AVE.



NEIGHBORHOOD MAP
SCALE: 1/8" = 1'-0"



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NEIGHBORING PROPERTIES

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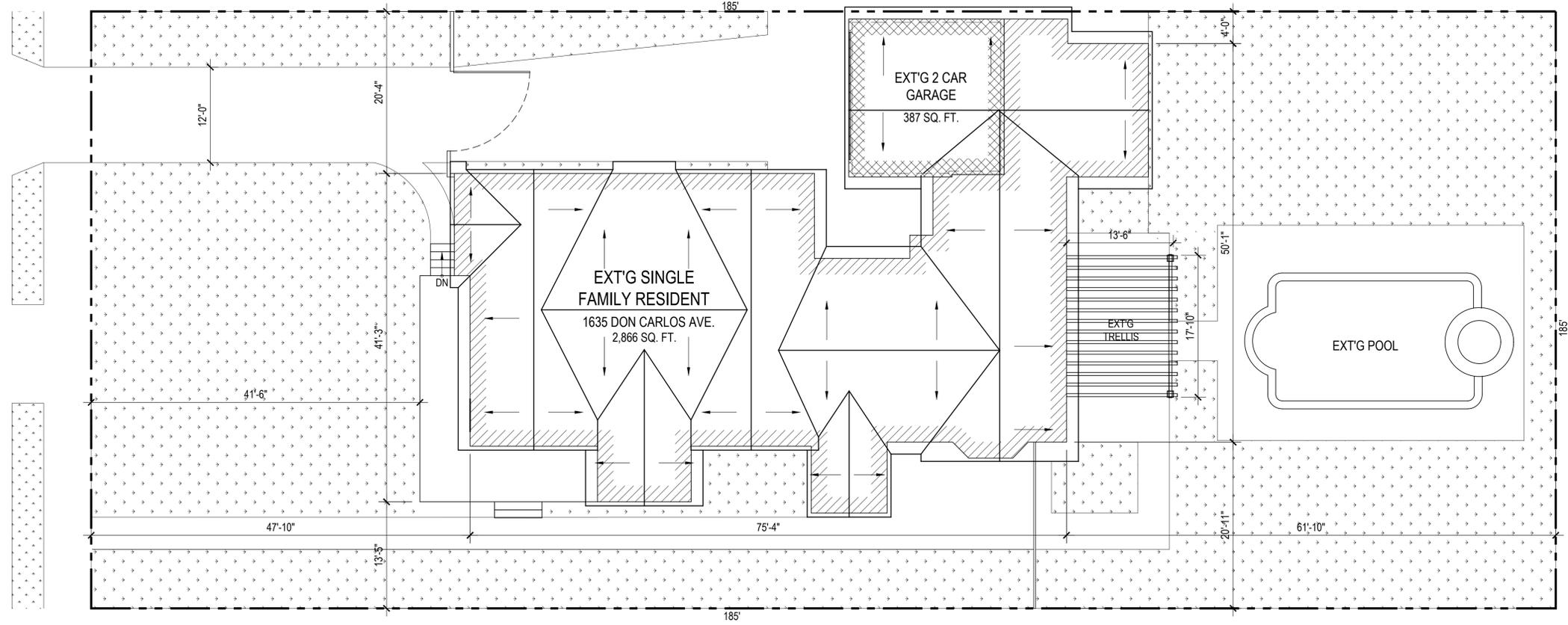
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DON CARLOS AVE.



EXT'G SITE PLAN & ROOF PLAN

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EXT'G SITE PLAN AND ROOF PLAN

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EXISTING SOUTH WESTERN FACADE



EXISTING EAST MAIN ENTRANCE



PART OF EXISTING EAST ENTRANCE ELEVATION



FAR END OF NORTH ELEVATION



EXISTING SOUTH FRONT FACADE



EXISTING TRELLIS ON NORTH REAR ELEVATION



EXISTING NORTH REAR ELEVATION



EXISTING WEST SIDE ELEVATION

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EXT'G SITE PHOTOS

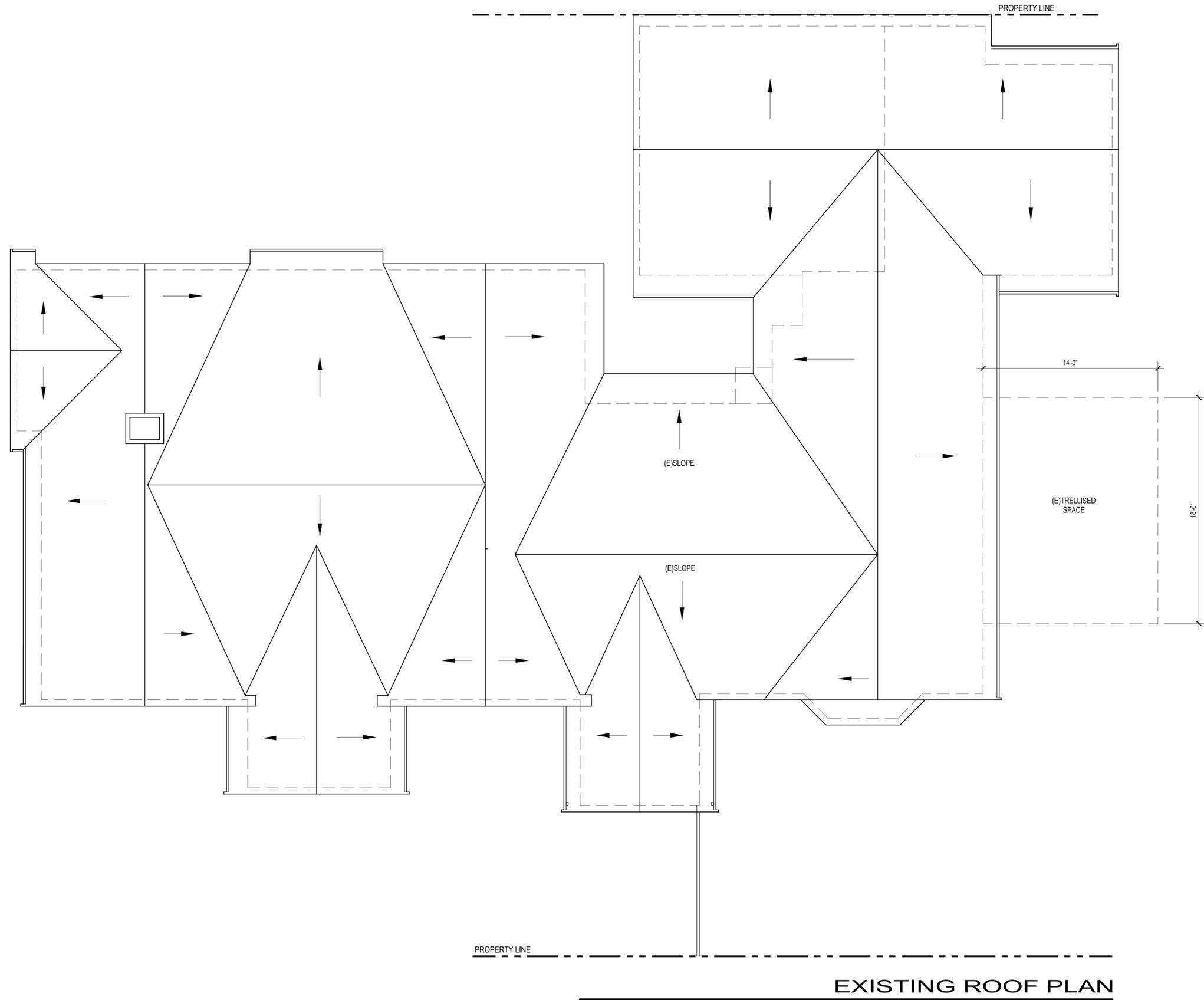
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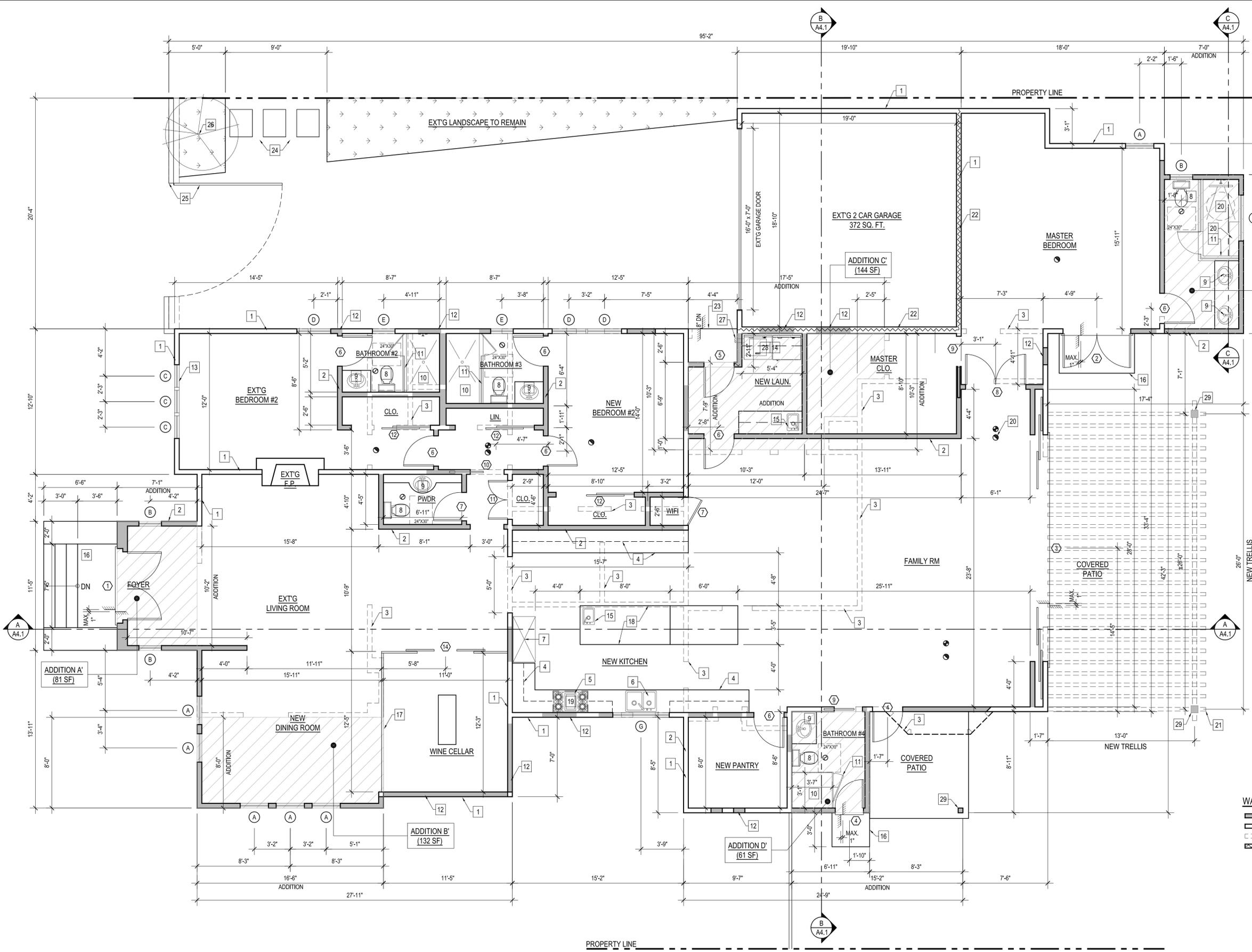
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EXT'G ROOF PLAN
NAZARIAN RESIDENCE
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FLOOR PLAN KEYNOTES
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. EXT'G WALL TO REMAIN
2. NEW WALL
3. EXT'G WALL TO BE REMOVED
4. NEW BASE AND UPPER CABINETS
5. NEW STOVE RANGE (S.B.O.)
6. NEW DOUBLE SINK (S.B.O.)
7. NEW REFRIGERATOR (S.B.O.)
8. NEW TOILET (S.B.O.)
9. NEW SINK (S.B.O.)
10. NEW TUB OR SHOWER (TILE TO CEILING)
11. CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCLOSURE
12. EXT'G DOOR / WINDOW OPENING TO BE REMOVED
13. EXT'G WINDOW TO BE REPLACED
14. NEW WASHER AND DRYER
15. NEW UTILITY SINK
16. NEW CONC. LANDING (WITH STEPS)
17. NEW GLASS WALL
18. NEW ISLAND-STONE OR TILE COUNTERTOP (S.B.O.)
19. RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
20. TILE OR STONE SEAT
21. EXT'G TRELLIS TO EXTEND COVERAGE
22. EXT'G ONE-HOUR FIRE RATED WALL TO REMAIN
23. EXT'G STEP TO REMAIN
24. NEW TRASH BIN LOCATION
25. EXT'G CONC. FENCE & METAL GATE TO REMAIN
26. EXT'G TREE TO REMAIN
27. VENT TO OUTSIDE
28. PROVIDE EMERGENCY DRAIN UNDER WASHER
29. 6" X 6" WOOD POST
30. 30" MIN. SHOWER CLEARANCE

WALL / SYMBOL LEGEND

- NEW WALL - SEE ENGRS PLANS FOR SIZES
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- 1-HOUR FIRE-RATED WALL WITH 5/8" GYP. BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR 50 CFM TO OUTSIDE
 - 1) ENERGY STAR COMPLIANT
 - 2) DUCTED TO THE OUTSIDE
 - 3) HUMIDISTAT CONTROLLED
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE ALARM SOUNDERS INTERCONNECTED, HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- WATER CLOSET CLEARANCE

PROPOSED FLOOR PLAN
SCALE : 1/4" = 1'-0"

REVISIONS:

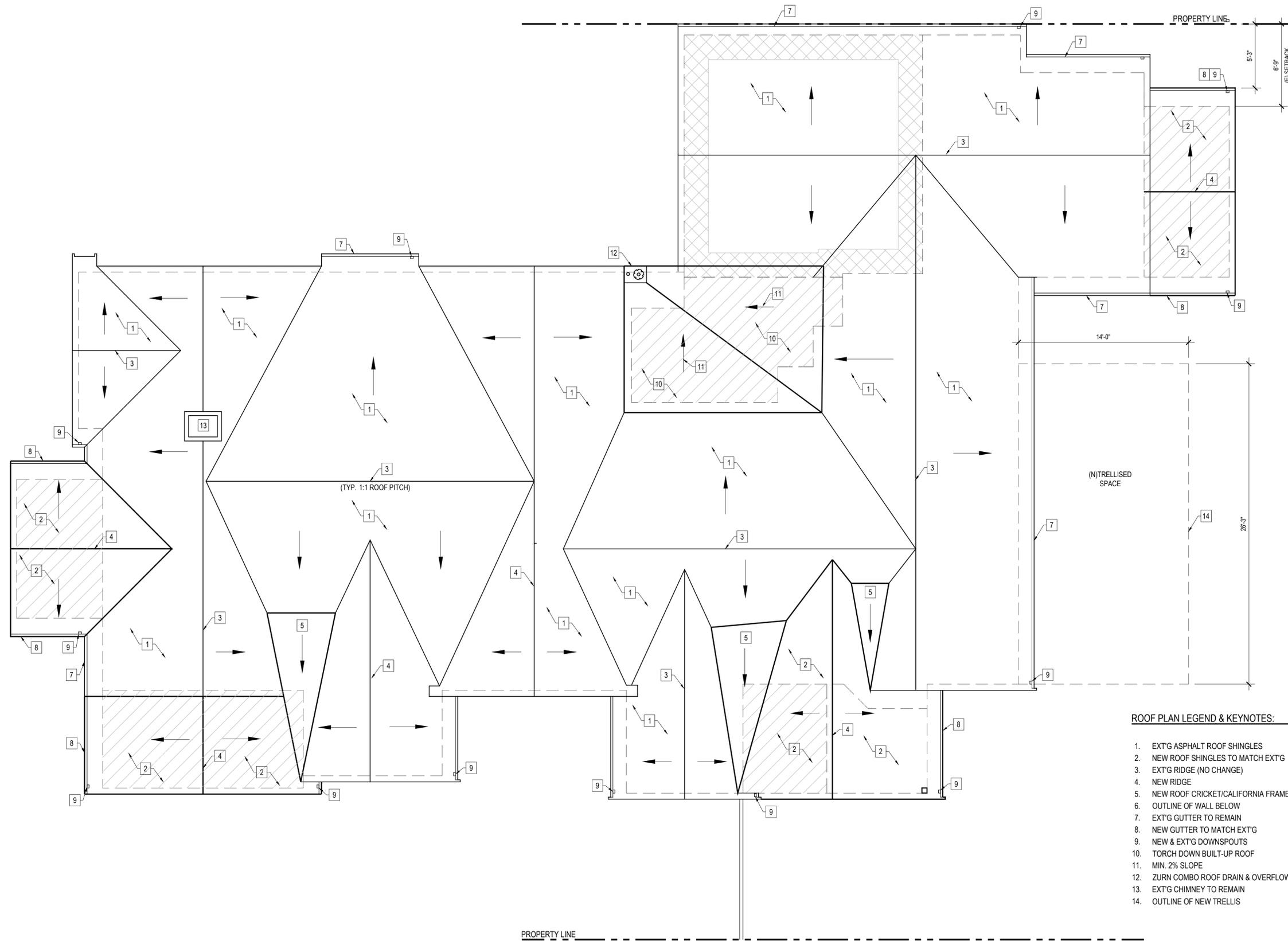
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PROPOSED FLOOR PLAN
NAZARIAN RESIDENCE
1635 DON CARLOS AVE GLENDALE, CA 91208

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ROOF PLAN LEGEND & KEYNOTES:

1. EXT'G ASPHALT ROOF SHINGLES
2. NEW ROOF SHINGLES TO MATCH EXT'G
3. EXT'G RIDGE (NO CHANGE)
4. NEW RIDGE
5. NEW ROOF CRICKET/CALIFORNIA FRAME
6. OUTLINE OF WALL BELOW
7. EXT'G GUTTER TO REMAIN
8. NEW GUTTER TO MATCH EXT'G
9. NEW & EXT'G DOWNSPOUTS
10. TORCH DOWN BUILT-UP ROOF
11. MIN. 2% SLOPE
12. ZURN COMBO ROOF DRAIN & OVERFLOW
13. EXT'G CHIMNEY TO REMAIN
14. OUTLINE OF NEW TRELLIS

PROPOSED ROOF PLAN

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PROPOSED ROOF PLAN

NAZARIAN RESIDENCE
1635 DON CARLOS AVE GLENDALE, CA 91208

DATE:	06/2021
DRAWN BY:	NRK
JOB NO.:	20039

SHEET NO.
A2.4

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WINDOW SCHEDULE

MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
		YES / NO	BRONZE	YES	YES						NO	NO													
A	6	—	—	2'-6"	4'-0"	ALUM.	FIBERGLASS	—	SINGLE HUNG	BLOCK-FRAME	•	•	YES / NO	BRONZE	YES	YES	—	NO	—	WOOD	YES	NO	0.32	0.25	4 DIVIDED LITES EACH PANEL
B	3	—	—	2'-0"	4'-0"	ALUM.	VINYL	—	SINGLE HUNG	BLOCK-FRAME	•	•	YES / NO	BRONZE	YES	YES	—	NO	—	WOOD	YES	NO	0.32	0.25	4 DIVIDED LITES EACH PANEL
C	3	2'-0"	4'-0"	2'-0"	4'-0"	WOOD	VINYL	SINGLE HUNG	SINGLE HUNG	BLOCK-FRAME	•	•	YES	BRONZE	YES	YES	YES	NO	WOOD	WOOD	YES	NO	0.32	0.25	4 DIVIDED LITES EACH PANEL
D	3	—	—	3'-0"	5'-0"	ALUM.	VINYL	—	SINGLE HUNG	BLOCK-FRAME	•	•	YES	BRONZE	NO	YES	—	NO	—	WOOD	YES	NO	0.32	0.25	9 DIVIDED LITES EACH PANEL
E	2	—	—	2'-0"	3'-0"	ALUM.	VINYL	—	SINGLE HUNG	BLOCK-FRAME	•	•	NO	BRONZE	NO	NO	—	NO	—	WOOD	YES	NO	0.32	0.25	SINGLE LITE EACH PANEL
F	1	—	—	4'-0"	1'-6"	—	VINYL	—	SLIDER	BLOCK-FRAME	•	•	NO	BRONZE	NO	YES	—	NO	—	WOOD	YES	NO	0.32	0.25	4 DIVIDED LITES EACH PANEL
G	1	—	—	5'-0"	3'-0"	ALUM.	VINYL	—	SLIDER	BLOCK-FRAME	•	•	NO	BRONZE	NO	YES	—	NO	—	WOOD	YES	NO	0.32	0.25	4 DIVIDED LITES EACH PANEL

WINDOW NOTE:

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER SHGC IN THE CALCULATIONS.

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

NEW WINDOWS TO HAVE EXTERNAL GRID - INTERNAL GRID NOT ALLOWED.

NEW WATER FIXTURE NOTES

EFFECTIVE JANUARY 1 2014, AS A CONDITION OF FINAL PERMIT APPROVAL BY BUILDING & SAFETY THE PERMIT APPLICANT SHALL REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES W/ WATER CONSERVING PLUMBING FIXTURE (SENATE BILL 407)

NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS :

A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.28 GALLONS PER FLUSH.

B) ANY URINAL MANUFACTURED TO USE MORE THAN 1.0 GALLONS PER FLUSH.

C) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.0 GALLONS / MIN.

D) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 1.8 GALLONS / MIN.

E) ANY LAVATORY FAUCETS ARE TO FLOW MORE THAN 1.5 GALLONS / MIN.

ADDITIONAL NOTES

THE FIRE-RESISTANCE RATED EXTERIOR WALL FOR ANY DWELLING OR ACCESSORY BUILDING LESS THAN 5 FEET FROM THE PROPERTY LINE SHALL BE 1-HOUR. THE WALL SHALL BE RATED FOR EXPOSURE FROM BOTH SIDES. INTERIOR FINISH MATERIAL OF 5/8 TYPE X DRYWALL IS REQUIRED. (CRC TABLE 302.1(1))

STAIR TREAD WIDTH (10 INCHES MINIMUM) AND RISER HEIGHT (7.75 INCHES MAXIMUM). HANDRAILS SHALL BE 34"-38" ABOVE TREAD NOSING FOR FLIGHTS WITH 4 OR MORE RISERS. HANDGRIPS SHALL BE OF 1 1/4 INCHES TO 2 INCHES IN DIAMETER. (CRC 311.7.8)

TITLE-24 ENERGY REQUIREMENTS

GARAGES, LAUNDRY OR UTILITY ROOMS MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND CONTROLLED BY AN OCCUPANT SENSOR.

BEDROOMS, LIVING ROOMS, FAMILY ROOMS, AND OTHER ROOMS USED FOR LIVING AND SLEEPING MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, OR DIMMERS MAY BE INSTALLED.

EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED.

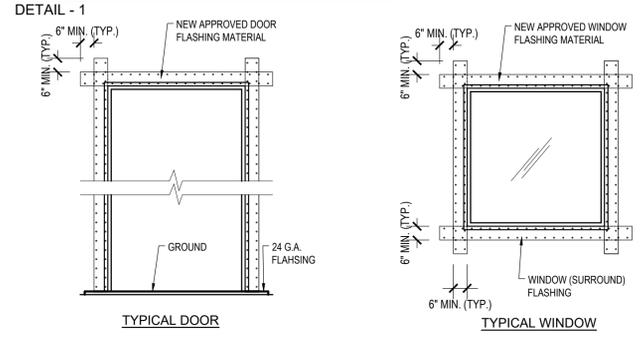
A MINIMUM OF 50% OF THE LUMINARIES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY.

INSULATION TYPES :
EXTERIOR WALL - R-15
RAISED FLOOR - R-19
CEILING - R-30

DOOR SCHEDULE

MARK	NO. OF UNIT	DOOR				U-FACTOR	SHGC FACTOR	NOTES		
		SIZE		GLAZE					FINISH	
		WD	HGT	THK	DUAL					TEMP
1	1	6'-0"	8'-0"	1 3/4"			PAINTED	ARCHED DOUBLE DOOR (FRONT)		
2	2	6'-0"	6'-8"	1 3/4"	•	•	PAINTED	EXTERIOR FRENCH DOORS-SWING TYPE		
3	1	20'-0"	6'-8"	1 3/4"	•	•	PAINTED	EXTERIOR TELESCOPING GLASS DOOR		
4	2	2'-8"	6'-8"	1 3/4"			PAINTED	EXTERIOR FRENCH DOOR SINGLE LITE		
5	1	2'-8"	6'-8"	1 3/8"			PAINTED	20-MIN FIRE-RATED SELF-CLOSING, SELF-LATCHING		
6	7	2'-8"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR		
7	2	2'-6"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR		
8	1	5'-4"	6'-8"	1 3/8"			PAINTED	DOUBLE DOOR		
9	2	2'-8"	6'-8"	1 3/8"			PAINTED	POCKET DOOR		
10	1	3'-0"	6'-8"	1 3/8"			PAINTED	POCKET DOOR		
11	1	3'-6"	6'-8"	1 3/8"			PAINTED	DOUBLE DOOR		
12	3	7'-0"	6'-8"	1 3/8"			PAINTED	SLIDING CLOSET DOOR		
13	1	16'-0"	7'-0"	1 3/4"			PAINTED	GARAGE DOOR		
14	1	10'-0"	6'-8"	1 1/2"	•	•	-	0.32	0.25	INTERIOR GLASS SLIDER DOOR SYSTEM
15	1	2'-0"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR		

NEW WINDOW & DOOR FLASHING



REPLACED WITH NEW WINDOW

EXT'G TO BE REMOVED

EXT'G TO BE REMOVED

EXT'G TO BE REMOVED



IMAGE 1



IMAGE 2



IMAGE 3

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glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
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DOOR & WINDOW SCHEDULE

NAZARIAN RESIDENCE
 1635 DON CARLOS AVE GLENDALE, CA 91208

DATE: 06/2021
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CUSTOM FRONT DOOR • SOLID WOOD, FRENCH • SINGLE WITH 2 SIDELITES • DB-552G 2SL CST

Clear Beveled Glass-Flat arch single door with two sidelites
Clear Beveled Glass

Model	Design	External Dimensions (in.)	Wood Finish	Glass	Price
DB-552G 2SL CST	Single with 2 Sidelites	65 x 98 x 4-9/16	Mahogany with Dark Mahogany Finish	Clear Beveled	Custom

shown in mahogany wood with dark mahogany finish

QUOTE

close up

Drag Image to View Details

How To Measure Door

Door Care Set... more info

- Mahogany Wood
- Furniture Quality Finish
- Insulated, Beveled, Clear Glass
- Raised Double Hip Wood Panels
- Raised Wood Traditional Mouldings
- Aluminum Adjustable Threshold in Oil Rubbed Bronze Finish
- Solid Wood Frame/Jamb
- Brass Ball Bearing Hinges in Oil Rubbed Bronze Finish
- Q-Lon Weather Strip Insulation
- Continuous Frame Construction



SIMILAR DOOR STYLE @ MAIN ENTRY



EXT'G SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



MORE OPTIONS

Bellagio 16 1/2" High Bronze Upbridge Arm Outdoor Wall Light

SIMILAR EXTERIOR LIGHT SCONE (TYP. OF 2)
@NEW ENTRY



NEW SOUTH (FRONT) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

- S.B.O = SELECTED BY OWNER
T.M.E. = TO MATCH EXISTING
- EXT'G GRADE
 - NEW DOOR (SEE SCHEDULE)
 - NEW WINDOW (SEE SCHEDULE)
 - EXT'G WINDOW TO BE REPLACED
 - EXT'G GUTTER TO REMAIN
 - EXT'G ROOF TO REMAIN
 - NEW CLASS 'A' ROOF TO MATCH EXT'G (GAF ASPHALT SHINGLES)
 - EXT'G CHIMNEY TO REMAIN
 - NEW LANDING (W/ STEPS)
 - NEW TRELLIS
 - EXISTING STEP TO REMAIN
 - NEW STUCCO TO MATCH EXT'G
 - EXT'G STUCCO TO REMAIN
 - NEW GUTTERS & DOWNSPOUT TO MATCH EXT'G
 - NEW PLANTERBOX
 - NEW EXTERIOR LIGHTING (S.B.O)
 - CONCRETE PLANTER & STEPS SMOOTH FINISH

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818.823.7286 o.
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EXT'G & NEW SOUTH (FRONT) ELEVATION

NAZARIAN RESIDENCE

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EXT'G EAST ELEVATION
SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

S.B.O = SELECTED BY OWNER
T.M.E. = TO MATCH EXISTING

1. EXT'G GRADE
2. NEW DOOR (SEE SCHEDULE)
3. NEW WINDOW (SEE SCHEDULE)
4. EXT'G WINDOW TO BE REPLACED
5. EXT'G GUTTER TO REMAIN
6. EXT'G ROOF TO REMAIN
7. NEW CLASS 'A' ROOF TO MATCH EXT'G (GAF ASPHALT SHINGLES)
8. EXT'G CHIMNEY TO REMAIN
9. NEW LANDING (W/ STEPS)
10. NEW TRELLIS
11. EXISTING STEP TO REMAIN
12. NEW STUCCO TO MATCH EXT'G
13. EXT'G STUCCO TO REMAIN
14. NEW GUTTERS & DOWNSPOUT TO MATCH EXT'G
15. NEW PLANTERBOX
16. NEW EXTERIOR LIGHTING (S.B.O)
17. CONCRETE PLANTER & STEPS SMOOTH FINISH
18. NEW ATTIC VENT



NEW EAST ELEVATION
SCALE : 1/4" = 1'-0"

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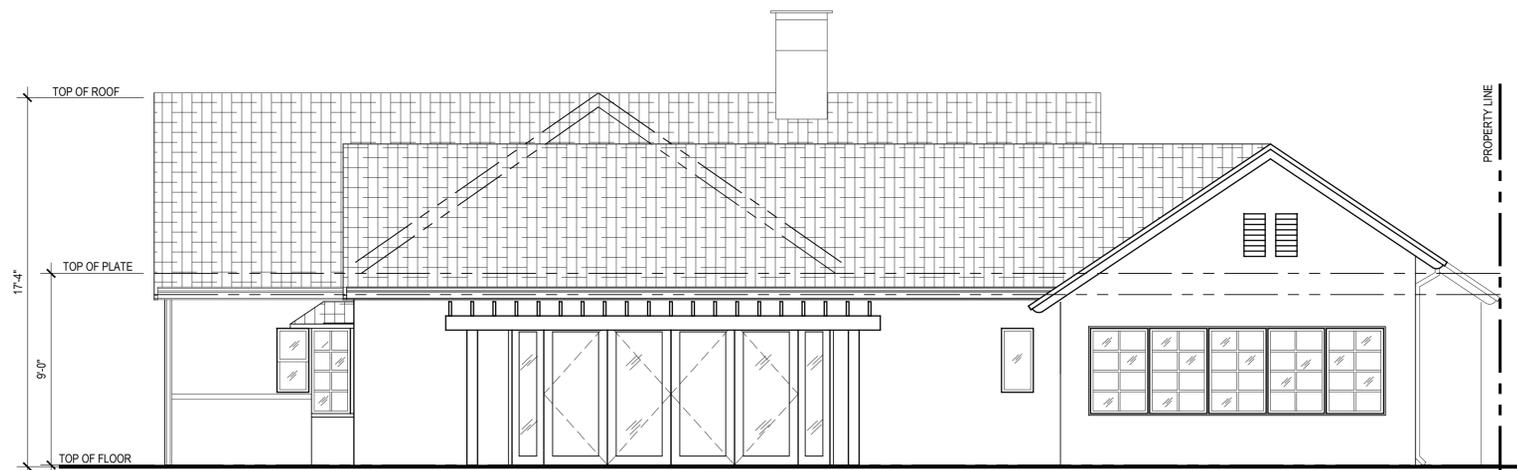
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EXISTING & NEW EAST ELEVATION
NAZARIAN RESIDENCE
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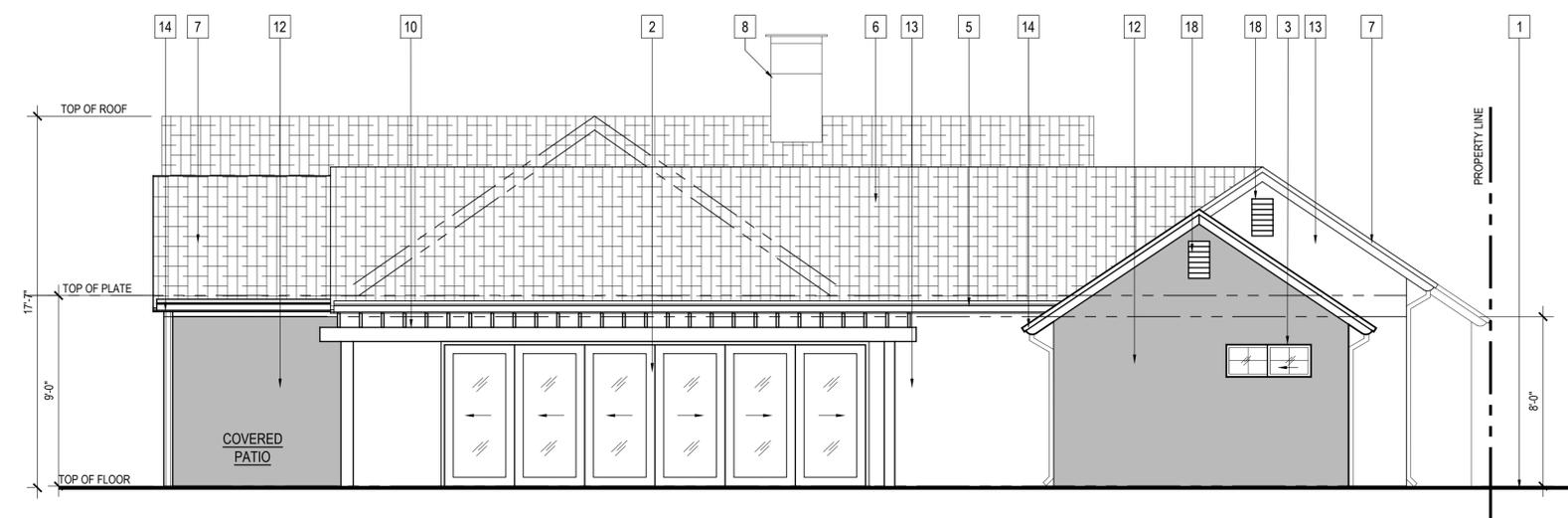
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EXT'G NORTH ELEVATION
SCALE : 1/4" = 1'-0"



NEW NORTH (REAR) ELEVATION
SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

- S.B.O = SELECTED BY OWNER
T.M.E. = TO MATCH EXISTING
1. EXT'G GRADE
 2. NEW DOOR (SEE SCHEDULE)
 3. NEW WINDOW (SEE SCHEDULE)
 4. EXT'G WINDOW TO BE REPLACED
 5. EXT'G GUTTER TO REMAIN
 6. EXT'G ROOF TO REMAIN
 7. NEW CLASS 'A' ROOF TO MATCH EXT'G (GAF ASPHALT SHINGLES)
 8. EXT'G CHIMNEY TO REMAIN
 9. NEW LANDING (W/ STEPS)
 10. NEW TRELLIS
 11. EXISTING STEP TO REMAIN
 12. NEW STUCCO TO MATCH EXT'G
 13. EXT'G STUCCO TO REMAIN
 14. NEW GUTTERS & DOWNSPOUT TO MATCH EXT'G
 15. NEW PLANTERBOX
 16. NEW EXTERIOR LIGHTING (S.B.O)
 17. CONCRETE PLANTER & STEPS SMOOTH FINISH
 18. NEW ATTIC VENT

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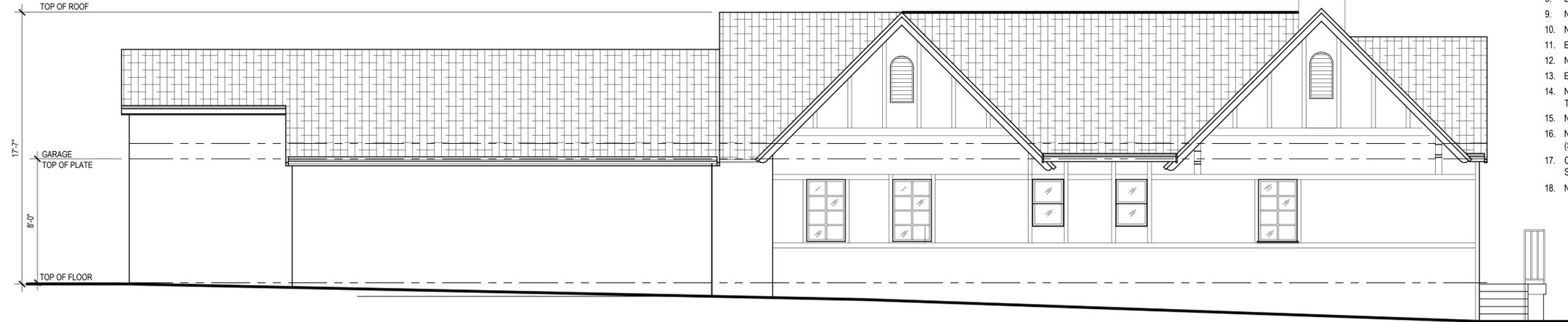
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EXT'G & NEW NORTH ELEVATION
NAZARIAN RESIDENCE
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EXT'G WEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

S.B.O = SELECTED BY OWNER
T.M.E. = TO MATCH EXISTING

1. EXT'G GRADE
2. NEW DOOR (SEE SCHEDULE)
3. NEW WINDOW (SEE SCHEDULE)
4. EXT'G WINDOW TO BE REPLACED
5. EXT'G GUTTER TO REMAIN
6. EXT'G ROOF TO REMAIN
7. NEW CLASS 'A' ROOF TO MATCH EXT'G (GAF ASPHALT SHINGLES)
8. EXT'G CHIMNEY TO REMAIN
9. NEW LANDING (W/ STEPS)
10. NEW TRELLIS
11. EXISTING STEP TO REMAIN
12. NEW STUCCO TO MATCH EXT'G
13. EXT'G STUCCO TO REMAIN
14. NEW GUTTERS & DOWNSPOUT TO MATCH EXT'G
15. NEW PLANTERBOX
16. NEW EXTERIOR LIGHTING (S.B.O)
17. CONCRETE PLANTER & STEPS SMOOTH FINISH
18. NEW ATTIC VENT



NEW WEST ELEVATION

SCALE : 1/4" = 1'-0"

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EXT'G & NEW WEST ELEVATION

NAZARIAN RESIDENCE

1635 DON CARLOS AVE GLENDALE, CA 91208

DATE: 06/2021
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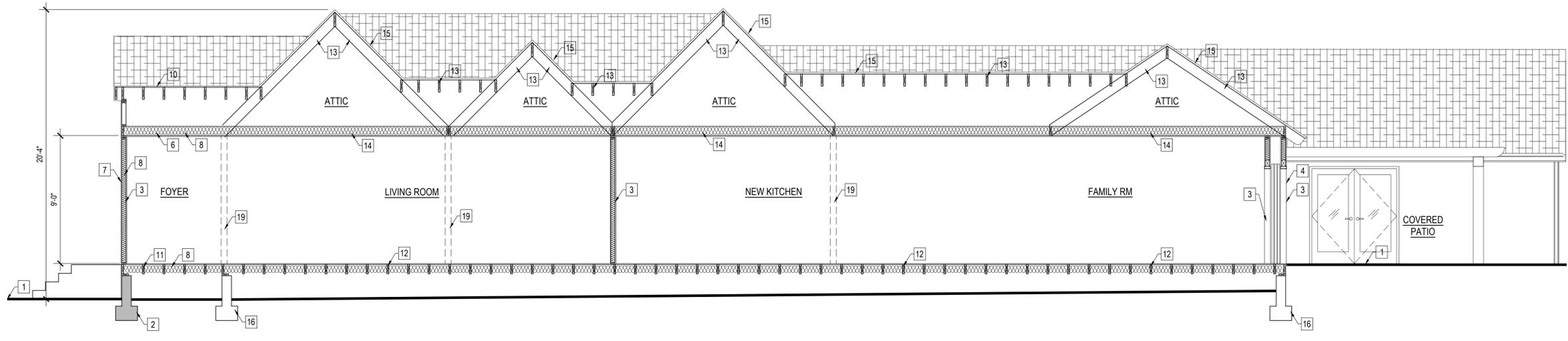
SECTIONS

NAZARIAN RESIDENCE

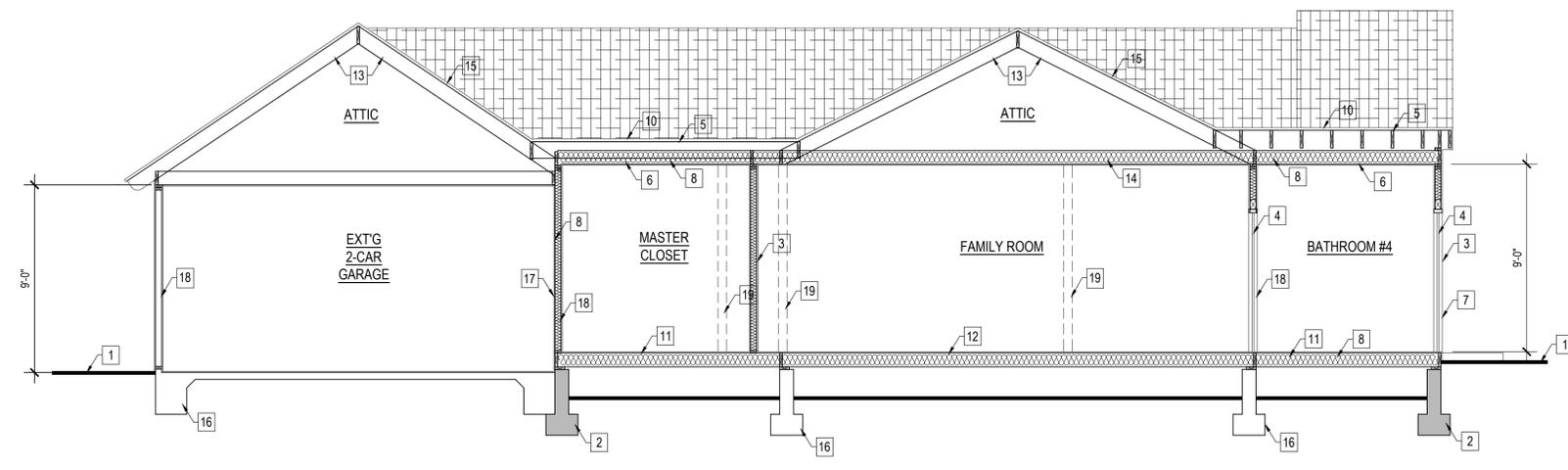
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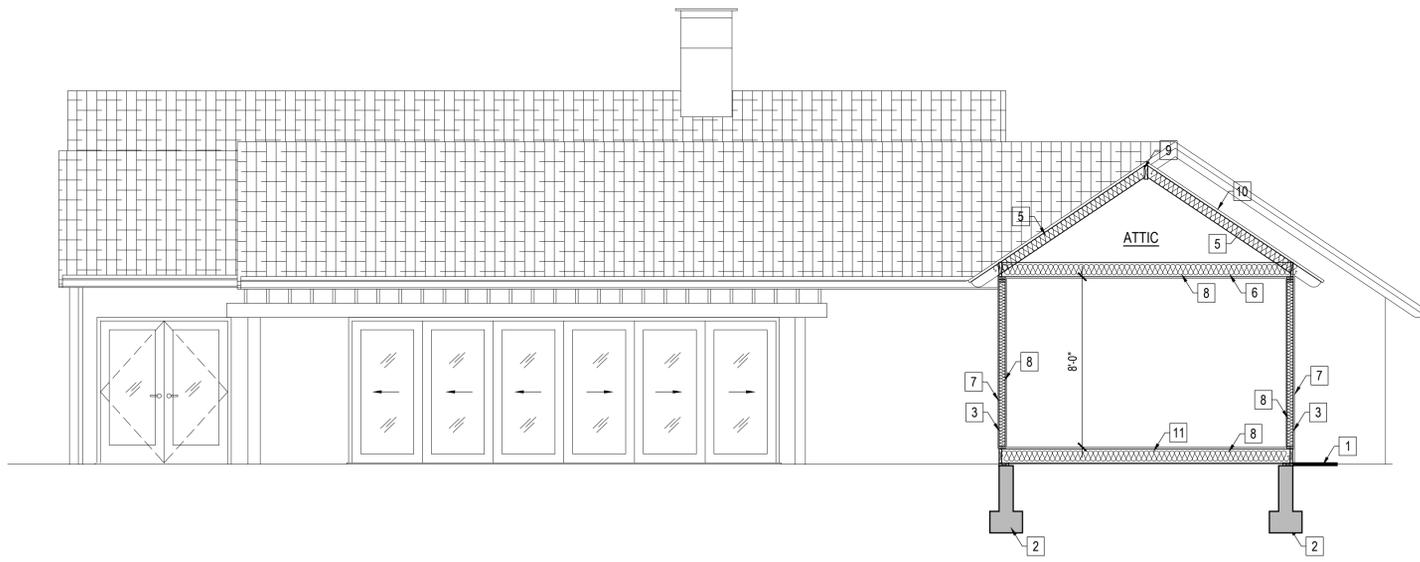
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SECTION A-A
SCALE : 1/4" = 1'-0"



SECTION B-B
SCALE : 1/4" = 1'-0"



SECTION C-C
SCALE : 1/4" = 1'-0"

- CROSS SECTION KEY NOTES**
1. EXT'G GRADE
 2. NEW FOUNDATION PER PLAN
 3. NEW STUD WALL
 4. NEW WINDOW / DOOR OPENING
 5. NEW 2" x ROOF RAFTERS
 6. NEW 2" x CEILING JOISTS
 7. NEW 7/8" STUCCO TO MATCH EXT'G SFD
 8. NEW INSULATION
 9. NEW RIDGE BOARD
 10. NEW CLASS 'A' ROOF TO MATCH EXT'G (GAF ASPHALT SHINGLES)
 11. NEW FLOOR JOISTS
 12. EXT'G FLOOR JOISTS TO REMAIN
 13. EXT'G ROOF RAFTERS TO REMAIN
 14. EXT'G CEILING JOISTS TO REMAIN
 15. EXT'G CLASS 'A' ROOF TO REMAIN
 16. EXT'G FOUNDATION TO REMAIN
 17. 5/8" TYPE 'X' GYP BOARD FOR 1-HOUR FIRE
 18. EXT'G STUD WALL TO REMAIN
 19. EXT'G WALL TO BE REMOVED

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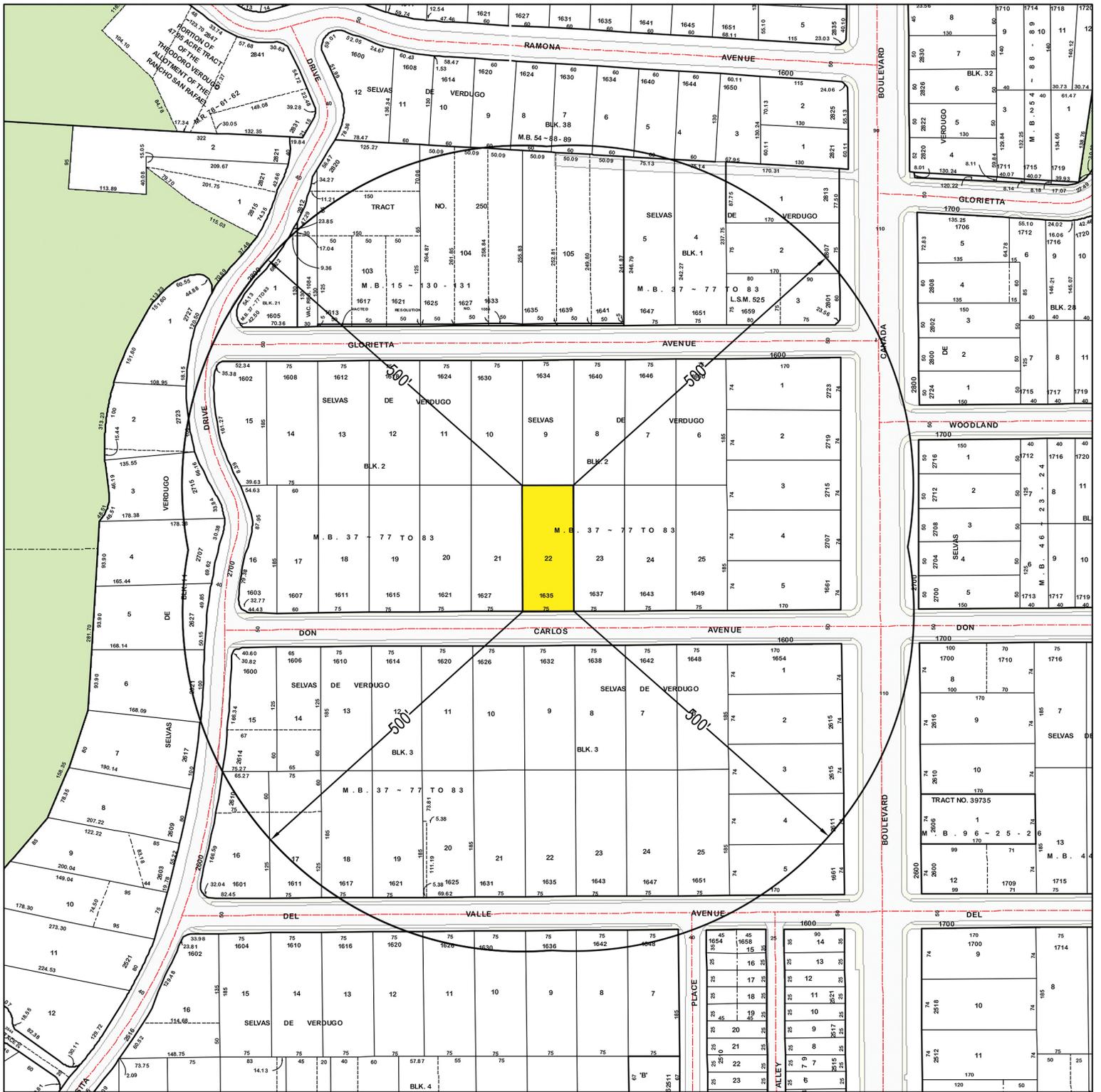
PERCEPTIVE RENDERING

NAZARIAN RESIDENCE

1635 DON CARLOS AVE GLENDALE, CA 91208

DATE:	06/2021
DRAWN BY:	NRK
JOB NO.	20039

SHEET NO.
A5.1



LOCATION MAP

LEGEND

SUBJECT PROPERTY(IES)

SITE LOCATION: 1635 DON CARLOS AVE
GLENDALE, CA 91208

APN: 5614-005-022



SCALE: 1"=200'

DATE: Sep 25, 2021

PREPARED BY:



412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921



PHOTOGRAPHIC SURVEY MAP

LEGEND

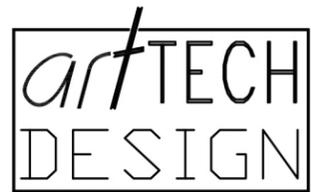
- SUBJECT PROPERTY
- A. 1635 DON CARLOS AVE
- B. 1637 DON CARLOS AVE
- C. 1643 DON CARLOS AVE
- D. 1649 DON CARLOS AVE
- E. 1661 DON CARLOS AVE
- F. 1654 DON CARLOS AVE
- G. 1648 DON CARLOS AVE
- H. 1642 DON CARLOS AVE
- I. 1638 DON CARLOS AVE
- J. 1632 DON CARLOS AVE
- K. 1626 DON CARLOS AVE
- L. 1620 DON CARLOS AVE
- M. 1614 DON CARLOS AVE
- N. 1610 DON CARLOS AVE
- O. 1606 DON CARLOS AVE
- P. 1611 DON CARLOS AVE
- Q. 1615 DON CARLOS AVE
- R. 1621 DON CARLOS AVE
- S. 1627 DON CARLOS AVE
- 1-STORY
- 2-STORY

SITE LOCATION:
1635 DON CARLOS AVE
GLENDALE, CA 91208

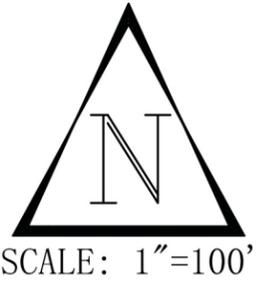
5614-005-022

DATE: Sep 27, 2021

PREPARED BY:



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GLENDALE, CA 91204
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NEIGHBORHOOD SURVEY FOR: 1635 DON CARLOS AVE

KEY	ADDRESS	PARCEL NUMBER	PROPERTY TYPE	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF
A(SITE)	1635 DON CARLOS AVE	5614-005-022	SFD	13,875	2,866	21%	1	45	SHINGLE
B	1637 DON CARLOS AVE	5614-005-023	SFD	13,875	3,922	28%	2	45	SHINGLE
C	1643 DON CARLOS AVE	5614-005-024	SFD	13,875	3,293	24%	2	35	SPANISH TILE
D	1649 DON CARLOS AVE	5614-005-025	SFD	13,875	3,314	24%	2	30	SHINGLE
E	1661 DON CARLOS AVE	5614-005-005	SFD	12,580	3,203	25%	1	20	SPANISH TILE
F	1654 DON CARLOS AVE	5614-006-001	MULTI FAMILY	12,580	3,715	30%	1	20	SHINGLE
G	1648 DON CARLOS AVE	5614-006-006	SFD	13,875	2,022	15%	1	40	SHINGLE
H	1642 DON CARLOS AVE	5614-006-007	SFD	13,875	2,307	17%	2	40	SPANISH TILE
I	1638 DON CARLOS AVE	5614-006-008	SFD	13,875	2,409	17%	1	46	TILE
J	1632 DON CARLOS AVE	5614-006-009	SFD	13,875	1,236	9%	1	50	SHINGLE
K	1626 DON CARLOS AVE	5614-006-010	SFD	13,875	1,952	14%	1	40	TILE
L	1620 DON CARLOS AVE	5614-006-011	SFD	13,875	2,985	22%	1	40	SHINGLE
M	1614 DON CARLOS AVE	5614-006-012	SFD	13,875	2,085	N/A	2	40	SHINGLE
N	1610 DON CARLOS AVE	5614-006-013	SFD	13,875	2,877	21%	1	35	SHINGLE
O	1606 DON CARLOS AVE	5614-006-014	SFD	8,125	1,400	17%	1	40	SHINGLE
P	1611 DON CARLOS AVE	5614-005-018	SFD	13,875	2,356	17%	1	35	SPANISH TILE
Q	1615 DON CARLOS AVE	5614-005-019	SFD	13,875	3,122	23%	2	35	SHINGLE
R	1621 DON CARLOS AVE	5614-005-020	SFD	13,875	1,526	11%	1	40	SHINGLE
S	1627 DON CARLOS AVE	5614-005-021	SFD	13,875	2,792	20%	1	40	SHINGLE
				13,484	2,537	19%	1	39	
1 (Site) Proposed*	1635 DON CARLOS AVE	5614-005-022	SFD	13,875	3,387	24%	1	40'-9"	SHINGLE
NOTE: PROPOSED & F NOT CALCULATED IN AVERAGE									



A. 1635 DON CARLOS AVE



B. 1637 DON CARLOS AVE



C. 1643 DON CARLOS AVE



D. 1649 DON CARLOS AVE



E. 1611 DON CARLOS AVE



F. 1654 DON CARLOS AVE



G. 1648 DON CARLOS AVE



H. 1642 DON CARLOS AVE



I. 1638 DON CARLOS AVE



J. 1632 DON CARLOS AVE



K. 1626 DON CARLOS AVE



L. 1620 DON CARLOS AVE



M. 1614 DON CARLOS AVE



N. 1610 DON CARLOS AVE



O. 1606 DON CARLOS AVE



P. 1611 DON CARLOS AVE



Q. 1615 DON CARLOS AVE



R. 1621 DON CARLOS AVE



S. 1627 DON CARLOS AVE

December 10, 2020
Job Number: 2583-001
Historical Resource Evaluation for
1635 Don Carlos Avenue, Glendale, CA 91208

MEMORANDUM FOR THE RECORD

2.6 2583-001.M01

TO: Ms. Arini Nazarian

FROM: Sapphos Environmental, Inc.
(Ms. Kasey Conley and Ms. Carrie Chasteen)

SUBJECT: Historical Resource Evaluation for 1635 Don Carlos Avenue,
Glendale, CA 91208

ATTACHMENT: 1. Resumes of Key Personnel

EXECUTIVE SUMMARY

At the request of the property owner (Ms. Arini Nazarian), Sapphos Environmental, Inc. (Ms. Kasey Conley and Ms. Carrie Chasteen) conducted an evaluation of 1635 Don Carlos Avenue, Glendale (City), Los Angeles County (Assessor's Parcel Number [APN] 5614-005-022) to determine if the subject property meets the definition of a "historical resource" as defined in Section 15064.5(a) of the California Environmental Quality Act (CEQA) Guidelines. Ms. Conley and Ms. Chasteen meet the Secretary of the Interior's *Professional Qualifications Standards* in the fields of History and Architectural History. In order to inform this evaluation, a site visit was conducted on November 24, 2020. Previous Glendale Register of Historic Resources nominations for comparative properties were reviewed, and research was conducted using reliable information available through public and non-governmental agencies. The purpose of this research was to determine if the property meets the criteria for being determined eligible for listing in the California Register of Historical Resources (CRHR), as articulated in Section 15064.5(a)(3) of the CEQA Guidelines and/or for designation as a City Historic Resource. The property was not evaluated for inclusion in the National Register of Historic Places per the City's guidance. Based on this research the property does not possess sufficient historical or architectural significance to merit listing in the CRHR or City Register of Historic Resources. Additionally, the subject property has been substantially altered from original construction and therefore lacks integrity of design, materials, and workmanship. Because 1635 Don Carlos Avenue does not appear eligible for listing in these registers and has been substantially altered, it is not considered to be a "historical resource" as defined in Section 15064.5(a) of the CEQA Guidelines.

Corporate Office:
430 North Halstead Street
Pasadena, CA 91107
TEL 626.683.3547
FAX 626.628.1745

Billing Address:
P.O. Box 655
Sierra Madre, CA 91025

Web site:
www.sapphosenvironmental.com

INTRODUCTION

At the request of the property owner (Ms. Arini Nazarian), Sapphos Environmental, Inc. conducted an evaluation of 1635 Don Carlos Avenue Glendale, Los Angeles County (APN 5614-005-022), to determine if the subject property meets the definition of a “historical resource” as defined in Section 15064.5(a) of the California Environmental Quality Act (CEQA) Guidelines. This Memorandum for the Record (MFR) documents these identification and evaluation efforts.

In order to inform this evaluation, a site visit was conducted on November 24, 2020, by Sapphos Environmental, Inc. (Ms. Kasey Conley). Ms. Conley possesses a Bachelor of Arts in English from Rutgers University in New Jersey (2013) and a Masters in Heritage Conservation from the University of Southern California (2019). Ms. Conley meets the Secretary of the Interior’s *Professional Qualifications Standards* in the fields of Architectural History and has more than three years of experience conducting surveys, research, evaluating properties, and preparing regulatory compliance documents. Ms. Chasteen possesses a Bachelor of Arts in History from the University of South Florida (1997) and a Master of Science in Historic Preservation from the School of the Art Institute of Chicago (2001). Ms. Chasteen meets the Secretary of the Interior’s *Professional Qualifications Standards* in the fields of History and Architectural History and has more than 18 years of experience conducting surveys, research, evaluating properties, and preparing regulatory compliance documents (Attachment 1, *Resumes of Key Personnel*).

Research was conducted using reliable information available through public and non-governmental agencies, libraries, and other sources of published information including:

- City of Glendale Building and Safety, building permits;
- City of Glendale Public Library;
- Historical issues of the *Los Angeles Times*; and
- Internet.

The purpose of this research was to determine if the property meets the criteria for being determined eligible for listing in the California Register of Historical Resources (CRHR), as articulated in Section 15064.5(a)(3) of the CEQA Guidelines:

- A. Is associated with events that have made a significant contribution to the broad patterns of history and cultural heritage;
- B. Is associated with the lives of persons important in our past;
- C. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic value; or
- D. Has yielded or may be likely to yield information important in prehistory or history.

The property was also evaluated for designation as a City Historic Resource. The City Historic Resource eligibility criteria mirror the CRHR with the addition of resources that exemplify the early heritage of the City (Criterion E). Research was conducted to determine if the subject property exemplifies the early heritage of the City for designation as a City Historic Resource. The property was not evaluated for inclusion in the National Register of Historic Places per the City’s guidance.

HISTORY

The Glendale Improvement Society was formed in 1883, and the name “Glendale” was formally adopted in 1884. By 1887, the new community was platted and registered with Los Angeles County. The Glendale Improvement Society became inactive shortly thereafter but was revitalized in 1902 when Glendale was connected to the City of Los Angeles via the Pacific Electric Railway. The Pacific Electric Railway depot was constructed in 1906 and was located at the corner of Brand Boulevard and Broadway. With the ability to commute to Los Angeles for work and shopping, development in Glendale grew at a rapid pace including residential buildings, schools, and commercial buildings.¹

The subject property is part of the Selvas de Verdugo Tract, which was subdivided in 1917, and is in northern Glendale just east of the Verdugo Hills. The Glendale Eagle Rock Railway Line was extended into this area in 1910 and just one year prior, in anticipation, the Verdugo Canyon Tract had been platted. The land was eventually acquired by Frederick Newport in 1917 who re-opened and marketed the area for development as the Selvas de Verdugo Tract. This tract and area, known today as Verdugo Woodlands West, was highly advertised in the *Los Angeles Times* between 1917 and 1919 as a picturesque rural escape to the growing city life within Glendale. The re-opening was celebrated with Spanish dancers, music, and lectures on the history of Southern California as a nod to the history of the Verdugo family legacy. Substantial residential development in this area took place during the 1920s and 1930s, mirroring the residential boom south in Glendale, and extended to post-war years. Today the tract is a healthy mix of prominent Period Revival, Midcentury Modern, and Ranch-style homes.^{2,3}

PROPERTY OWNERSHIP AND OCCUPANCY

The current owner of the subject property is Arini Nazarian. A complete history of ownership and occupancy information for the subject property was not available as public buildings are closed due to the COVID-19 pandemic. According to the original building permit, the first owner of the property was Edwin Harington.⁴ The following presents owner and occupant information available from historic building permits and City directories (ancestry.com) (Table 1, *1635 Don Carlos Avenue Ownership History*):

¹ Galvin Preservation Associates. 2007. City of Glendale Reconnaissance Survey and Historic Context Statement of Craftsman Style Architecture 2006–2007 Certified Local Government Grant.

² The Verdugo Woodlands West Homeowners Association. “Woodlands History.” Accessed December 2020. Available at: <http://www.vwwhoa.org/woodlands-history/>

³ City of Glendale. July 2013. “Niodrara Drive Historic District Overlay Zone Designation Application.” Interdivisional Communication Staff Report. Accessed December 2020. Available at: <https://www.glendaleca.gov/home/showpublisheddocument?id=13035>

⁴ City of Glendale. Issued 27 September 1921. Permit No. 3909.

TABLE 1
1635 DON CARLOS AVENUE
OWNERSHIP HISTORY

Year	Name
1921	Edwin Harrington
1938	E.J. Jacques
1940	Edward Bertram
1972	Mr. S.B. Tuttle
1977	Donald Peters
1993	Anthony Lucarelli Eleanor Buckerfield
2003	Mary Yablousay

Edwin Harrington was 72 years old when he constructed the subject property and was retired. He lived at the residence with his wife and stepdaughter.⁵ Edward Bertram worked for Allied Carbons Ltd. located at 7543 Maie Avenue in Los Angeles.⁶ Allied Carbons Ltd., known today as General Carbon Company at the same address, specializes in the manufacturing of Lampblacks since 1931. Lampblack pigments are the second oldest form of black pigment known and is the oldest method of manufacturing black pigment.⁷ No information was found in historical issues of the *Los Angeles Times* or *Los Angeles Sentinel*, census records, or City directories for Mr. S.B. Tuttle, Donald Peters, Anthony Lucarelli, Eleanor Buckerfield, or Mary Yablousay to suggest they were significant personages.

BUILDING PERMIT HISTORY

The property was developed as part of the Selvas de Verdugo Tract which was recorded in September 1917 for owners George Hanna, C.W. Denny, and Homer W. Judson and marketed by the Frederick Newport Co. (see *History* section above).⁸ The tract was a re-subdivision of the Verdugo Canyon Tract which was recorded in 1910. George Hanna was named the Director of the State of Owensmouth in 1920 and dabbled in real estate throughout Los Angeles.⁹ No information was found to suggest C.W. Denny or Homer W. Judson were significant developers within the area.

According to the Los Angeles County Assessor and the original building permit, the property was improved in 1921 with a 1,462-square-foot residence with no architect listed and Maurice Opigez listed as the contractor.¹⁰ In 1938, the two-car garage was added with stucco siding, a gable roof, and a wood overhead door on the southern façade.¹¹ In 1940, an 8-foot by 9.8-foot addition was added

⁵ Ancestry.com. Year: 1930; Census Place: Glendale, Los Angeles, California; Page: 2A; Enumeration District: 0989; FHL microfilm: 2339862.

⁶ The National Archives in St. Louis, Missouri; St. Louis, Missouri; *WWII Draft Registration Cards for California, 10/16/1940-03/31/1947*; Record Group: *Records of the Selective Service System, 147*; Box: 145.

⁷ General Carbon Company. "About Us." Accessed December 2020. Available at: <https://www.generalcarboncompany.com/lampblacks.html>

⁸ Los Angeles County Department of Public Works. *Land Records Viewer*. Accessed December 2020. Available at: <https://pw.lacounty.gov/sur/nas/landrecords/tract/MB0037/TR0037-077.pdf>

⁹ *Los Angeles Times*. 28 May 1920. Display Advertisement 19, p. 15.

¹⁰ City of Glendale. Issued 27 September 1921. Permit No. 3909.

¹¹ City of Glendale. Issued 5 January 1938. Permit No. 10907.

to the eastern façade as a bathroom.¹² In 1948, a permit was issued which added a 10-foot by 6-foot addition to the eastern end of the primary façade which altered the entire façade to an almost flush façade. It is assumed this is when the primary entrance was reoriented to the east.¹³ The permit highlights a concrete porch along the primary façade, which was extended for the new primary entrance. The pool at the rear of the property was added in 1977.¹⁴ In 1992, a permit was issued with a scope of work to “move walls, add bathroom, and reconfigure flat roof to gable,” but it is unclear where on the building this work was completed.¹⁵ Finally, an addition was added to the northern façade in 2010 which extended the recreation room to the north and added the pergola over the rear patio. A 1950s permit also cited a rear wood deck, which is no longer extant on the building. Unpermitted alterations include the replacement of original windows on all façades to vinyl units and the replacement of the wood overhead garage door with a metal roll-up door.

PROPERTY DESCRIPTION

The property located at 1635 Don Carlos Avenue is a Tudor Revival-style residential building constructed in 1923. The building measures 2,866 square feet (nearly twice the size of the original building), has an irregular footprint, and is set back approximately 75 feet from Don Carlos Avenue. The building is clad in stucco with half-timbering on most façades. The roof is side-gabled and steeply pitched with staggered composition shingles and little to no eave overhang. The building is situated one block east of the Verdugo Mountains (Figure 1, 1635 Don Carlos Avenue, Glendale, California).



Figure 1. 1635 Don Carlos Avenue, Glendale, California (view northwest)
SOURCE: Sapphos Environmental, Inc., 2020

¹² City of Glendale. Issued 14 November 1940. Permit No. 17416.

¹³ City of Glendale. Issued 21 January 1948. Permit No. 30981.

¹⁴ City of Glendale. Issue August 1977. Permit No. 34902.

¹⁵ City of Glendale. Issued 20 August 1992. Permit No. B10032354.

Primary Façade

The primary façade of the building is clad in stucco with half-timbering. A front-facing gable is located to the western end of the façade with plain vergeboard. An addition was added to the eastern portion of the façade in 1948 altering the scale of the projecting front-facing gable. Windows on the primary façade include a trio of vinyl single-hung windows to the west and a vinyl Chicago-style window to the east, added in 1948. Both windows have awning coverings. A concrete and stone masonry porch spans most of the façade with entrance stairs oriented to the east and west. The porch wraps around to the eastern façade to allow access to the primary entrance, which is an alteration from 1948 (Figure 2, *Primary Façade, 1635 Don Carlos Avenue*).



Figure 2. Primary Façade (view north), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

Entrance Detail

The primary entrance of the building is located on the eastern façade. It is accessed by the stone and concrete porch which wraps around to the primary façade. The entrance door is a non-original, wide, wood paneled door. A pair of vinyl single-hung windows with a prominent wood surround are located to the north of the entrance door (Figures 3A–B, *Entrance Detail, 1635 Don Carlos Avenue*).



Figure 3A. Entrance Detail (view northwest), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 3B. Entrance Detail (view west), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

Eastern Façade

Beyond the entrance, the eastern façade is divided into four bays with an 'E'-shape. The northern bay of the façade is located beyond a wood fence which allows access to the rear of the property. The projecting bays of the façade have prominent gables with half-timbering and wood louver vents. The southern projecting bay is dominated by a fixed multi-light wood window with prominent wood surrounds. The northern and southern façades of this projection have fixed multi-light vinyl windows. The central portion of the façade has been altered with three vinyl sliding windows and is covered

by heavy vegetation. The northern projection of the façade south of the fence is simple with two double-hung wood windows at the center and is an addition from 1940. The bottom panes of the windows are fogged with a starburst pattern. The final projection located north of the fence has a vinyl bay window covered by a hood clad in composition shingles and a wood pedestrian door (Figures 4A–D, *Eastern Façade, 1635 Don Carlos Avenue*).



Figure 4A. Eastern Façade (view southwest), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

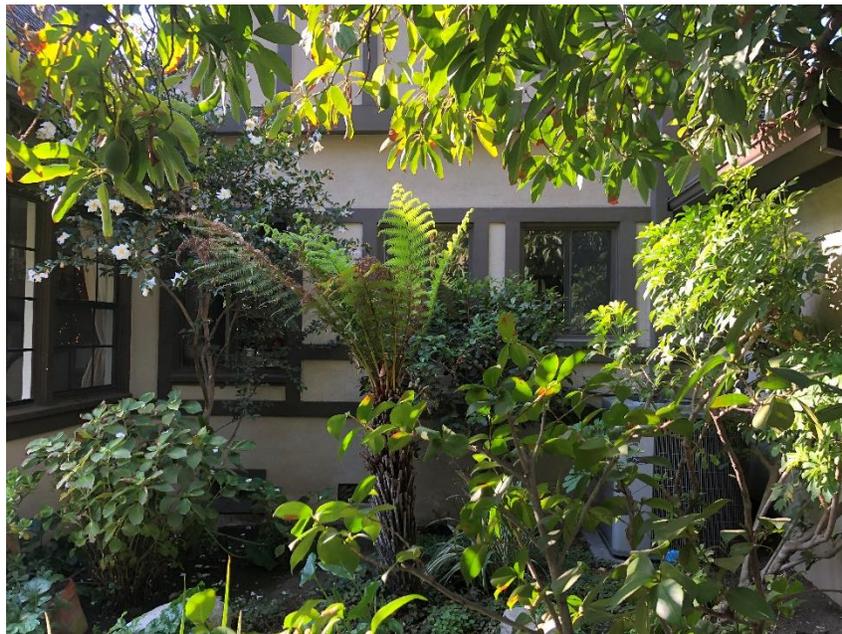


Figure 4B. Eastern Façade (view west), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 4C. Eastern Façade (view northwest), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 4D. Eastern Façade (view northwest), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

Northern (Rear) Façade

The northern (rear) façade is clad in stucco but lacks the half-timbering found on the rest of the façades. Based on this and other alterations, it appears this façade was re-stuccoed at an unknown date. The eastern end of the façade is dominated by two sets of wood single-light French doors with fixed side lights. A patio extends north from the doors and is covered by a wood pergola, an addition from 2010. The western end of the façade is an addition from 2010 and projects to the north with a front-facing gable and a ribbon of vinyl casement windows. Two square louver vents are in the gable. A wood painted glass window is tucked into the corner of the façade where the two bays meet (Figures 5A–D, *Northern Façade, 1635 Don Carlos Avenue*).



Figure 5A. Northern Façade (view southeast), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 5B. Northern Façade (view southwest), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 5C. Northern Façade (view south), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 5D. Northern Façade (view south), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

Western Façade

The western façade is clad in stucco with paired front-facing gables which have arched wood louver vents. The façade has vinyl single-hung windows with awning coverings and is mostly covered by dense vegetation (Figures 6A–B, *Western Façade, 1635 Don Carlos Avenue*).



Figure 6A. Western Façade (view northeast), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 6B. Western Façade (view southeast), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

Garage

The garage located on the western end of the parcel is clad in stucco with no half-timbering and a steeply pitched roof. The garage is not original to the construction of the building and was added in 1938 with stucco, a gabled roof, and a wood overhead door. A metal roll-up door is located on the southern façade, an alteration from an unknown date, and the garage is attached to the main building on the eastern end. The connection at the corner creates a small interior courtyard. The interior courtyard has multiple entrance doors which allow access to the garage, the residence, and the rear of the property (Figure 7, *Garage, 1635 Don Carlos Avenue*; Figure 8, *Garage Courtyard, 1635 Don Carlos Avenue*).



Figure 7. Garage (view north), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

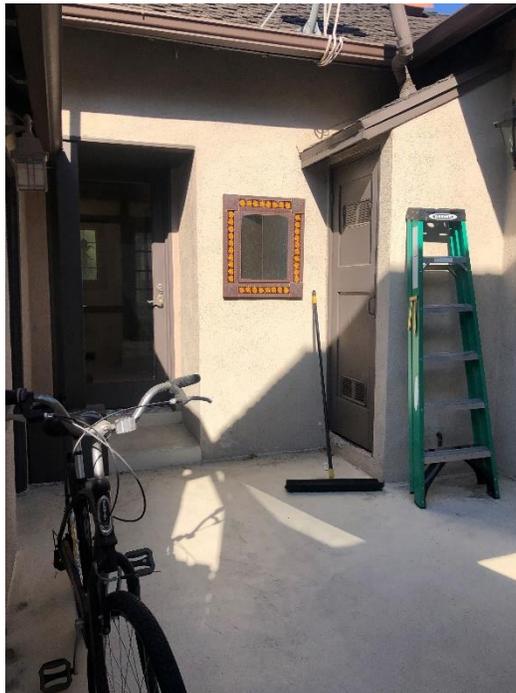


Figure 8. Garage Courtyard (view northeast), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

Pool and Rear Yard

A 440-square-foot pool was added to the northeast corner of the parcel in 1977. The pool is an irregular stadium shape with a fountain at the northern end and is encircled with a patio constructed of pavers. The yard extends to the west with grass and dense vegetation encloses the yard on the north, east, and west (Figure 9, *Pool, 1635 Don Carlos Avenue*; Figure 10, *Rear Yard, 1635 Don Carlos Avenue*).



Figure 9. Pool (view northwest), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*



Figure 10. Rear Yard (view east), 1635 Don Carlos Avenue
SOURCE: *Sapphos Environmental, Inc., 2020*

EVALUATION

Based upon a review of the history of Glendale and the construction history of this property, no historically significant events are known to have occurred at this site pursuant to Criterion A.

Persons who made demonstrably significant contributions to the nation, state, or region are not known to be associated with this property pursuant to Criterion B.

The residence is a Tudor Revival-style home constructed during the period of significance 1890–1940, yet it is a modest and non-distinctive example of the type. According to *A Field Guide to American Houses*, the commonly accepted authoritative book on residential architecture, the character-defining features of the Tudor Revival style of architecture are steeply pitched roof, usually side-gabled (less commonly hipped or front-gabled), façade dominated by one or more prominent front-facing gables, tall narrow windows, usually in multiple groups, with multi-pane glazing, massive chimneys, front door and/or entry porch with round or Tudor arches, decorative half-timbering.¹⁶ Yet, these are the basic character-defining features in identifying the style of architecture. Additional character-defining features such as herringbone brickwork, tall mullioned windows, high chimneys, jettied (overhanging) first floors above pillared porches, dormer windows supported by consoles, and even at times thatched roofs are more in line with significant and unique examples of the type. The subject property is a modest example of the type conveying the simple character-defining features and those features do not rise to a level of high-style to characterize the building as a distinctive type, period, or method of construction within Glendale. Furthermore, the building has been substantially altered including additions on the primary, eastern, and northern façades, replacement of original windows, and the reconfiguration of primary entrance. Over 1,400 square feet have been added to the building since its initial construction in 1921. The additions to the primary façade compromise the building's original design intent, pushing the front facing gable out of scale, adding an additional window, and reorienting the primary entrance to the eastern façade. Due to these alterations, the building conveys no integrity of design, materials, workmanship, feeling, or association. Therefore, the building is not eligible for listing under Criterion C.

The building was constructed using common building materials and techniques, and the site was graded during construction of the building. Therefore, the property is not likely to yield significant information regarding the prehistory and history of the area pursuant to Criterion D.

Glendale saw its biggest residential boom occur in the early-20th century, with the population growing from 13,536 in 1920 to 82,582 in 1940. The Salvas de Verdugo Tract (Verdugo Woodlands) was advertised as a rural retreat to the booming city life further south in Glendale and broader in Los Angeles. Yet, the subject property does not convey any direct association with the development of the tract, with the owners, or with Frederick Newport. Therefore, the property does not exemplify the early heritage of the City pursuant to Criterion E.

Integrity Considerations

The property located at 1635 Do Carlos Avenue has been substantially altered since its initial construction in 1921. The footprint of the building has heavily changed with an additional 1,400 square feet added along the primary, eastern, and northern façades. Most of the original windows has been replaced and the primary entrance was moved from the primary façade to the eastern façade. The building no longer conveys its original design intent and no longer retains integrity of

¹⁶ McAlester, Virginia and Lee. 1992. *A Field Guide to American Houses*. New York, NY: Alfred A. Knopf.

design, materials, workmanship, feeling, or association. The building has not been moved and is located 1 block east of the Verdugo Mountains in a quiet neighborhood which is still predominantly single-family housing, retaining integrity of setting and location. Based on this information, the subject property does not retain a high level of integrity.

CONCLUSION

Because 1635 Don Carlos Avenue, Glendale, Los Angeles County, California does not appear eligible for listing in the CRHR and the Glendale Register of Historic Resources and does not possess integrity, it is not considered to be a "historical resource" as defined in Section 15064.5(a) of the CEQA Guidelines.

Should there be any questions regarding the information contained in this MFR, please contact Ms. Conley at (626) 683-3547, extension 135.

***ATTACHMENT 1
RESUMES OF KEY PERSONNEL***

Carrie E. Chasteen, MS

Historic Resources Manager

Master of Science, (Historic Preservation), School of the Art Institute of Chicago, Chicago, Illinois

Bachelor of Arts (History and Political Science), University of South Florida, Tampa, Florida

- Cultural resource management and legal compliance
- History of California
- Architectural History
- Cultural History
- Identification and evaluation of the built environment
- Archival documentation
- Historic preservation consultation
- Certified Oregon Transportation Investment Act (OTIA) III CS3 Technical Lead
- Historic Preservation Commissioner, City of Pasadena
- Phi Alpha Theta National Honor Society

Years of Experience: 18+

Relevant Experience:

- *Historic Evaluation for 54 Parks, Golf Course, and Arboreta Project*
- *Historic Evaluation and Design Review for Fries Avenue Elementary School*
- *Los Angeles Union Station Forecourt and Esplanade Project*
- *Los Angeles Music Center*

Ms. Carrie Chasteen has more than 16 years of experience in the field of cultural resources management and the built environment, including project management, agency coordination, archival research, managing large surveys, preparation of Environmental Impact Statement/ Environmental Impact Report (EIS/EIR) sections, Mitigated Negative Declaration (MND) and Initial Study (IS) sections, peer review, and regulatory compliance. She has served as Principal Investigator / Principal Architectural Historian on projects throughout Los Angeles County. Ms. Chasteen meets and exceeds the Secretary of the Interior's *Professional Qualification Standards* in the fields of History and Architectural History. She has extensive experience with the City of Los Angeles Office of Historic Resources (OHR), California Office of Historic Preservation, California Department of Transportation (Caltrans), County of Los Angeles Department of Parks and Recreation, and various other state, county, and local government agencies.

On behalf of the County of Los Angeles (County) Department of Parks and Recreation, Ms. Chasteen is managing the documentation and evaluation of 54 parks, golf courses, and arboreta. The historic evaluations assess County facilities that were identified as priorities due to the age of the facility, architect of record, or affiliation with event of importance to the history of development of Los Angeles County. The historic evaluations consider eligibility for listing on the National Register of Historic Places, the California Register of Historical Resources, the standards provided in CEQA, and the County Register of Landmarks and Historic Districts. The results documented in the historic evaluations were used by the County to address future projects in the facilities, alter plans as needed, and to inform a Cultural Resources Treatment Plan (CRTP) and Worker Environmental Awareness Program (WEAP) training.

On behalf of the Los Angeles Unified School District (LAUSD), Ms. Chasteen prepared a historical evaluation of the Fries Avenue Elementary School. The evaluation tiered off the historic context and registration criteria developed for the award-winning LAUSD Historic Context Statement, 1870 to 1969. The property was determined to be a historical resource pursuant to CEQA. As a result, Ms. Chasteen also reviewed the design of the proposed campus revisions to determine if the proposed project complied with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*.

On behalf of the County of Los Angeles, Ms. Chasteen reviewed plans for the proposed renovation of the plaza at the Los Angeles Music Center. Design refinements were suggested and implemented in order to reduce impacts to the plaza and its character-defining features.

Ms. Chasteen is a member of the Society of Architectural Historians, National Trust, California Preservation Foundation, Los Angeles Conservancy, Pasadena Heritage, and currently serves as a City of Pasadena Historic Preservation Commissioner.

Kasey M. Conley, MHC

Architectural Historian

Master of Heritage

Conservation, USC, Los Angeles, CA

- *Identification and evaluation of built environment*
- *Cultural history*
- *History of California*
- *Archival documentation*
- *Historic preservation*

Years of Experience: 3

Relevant Experience:

- *CEQA documentation for Exposition Park and Descanso Master Plans*
- *Descanso Garden Historic District National Register Nomination*
- *Jane's Village Historic District Survey and Evaluation*
- *Manhattan Beach Context Statement*

Ms. Kasey Conley has three years of experience in the field of cultural resources management and the built environment, including archival research, district and resource surveys, preparation of National Register of Historic Places nominations, and regulatory compliance. She meets and exceeds the Secretary of the Interior's *Professional Qualifications Standards* in the fields of History and Architectural History.

Ms. Conley has served on projects in Los Angeles County and has experience with the California Office of Historic Preservation; the County of Los Angeles Department of Parks and Recreation; the City of Los Angeles; and various other state, county, and local government agencies.

Ms. Conley has prepared National Register nomination forms for historic districts such as Leimert Park in South Los Angeles and the Descanso Gardens Historic District in Pasadena and individual resources such as Engine Co. 54 in Hyde Park. Ms. Conley has supported the preparation of CEQA documents for the Exposition Park Master Plan and the Descanso Gardens Master Plan. Ms. Conley has worked on several historic resource assessment reports within the cities of Los Angeles, Glendale, San Marino, and Rancho Cucamonga. Ms. Conley has also worked with the County of Los Angeles in the survey and evaluation of the Jane's Village Historic District.