



**CITY OF GLENDALE, CALIFORNIA**  
Community Development

633 E. Broadway, Suite 103  
Glendale, CA 91206-4311  
Tel. (818) 548-2140  
glendaleca.gov

April 14, 2023

Nareg Khodadadi  
213 N. Orange Street, Unit E  
Glendale, CA 91203

**RE: 1055 SHERLOCK DRIVE  
ADMINISTRATIVE DESIGN REVIEW CASE NO. PADR-000694-2022**

Dear Mr. Khodadadi:

The Director of Community Development will render a final decision on or after **April 24, 2023**, for the following project:

**PROJECT DESCRIPTION:** To add a total of 790 square feet at the front of the existing 1,840 square-foot one-story, single-family residence (built in 1946) and a new 500 square-foot attached, two-car garage on a 9,261 square-foot lot, located in the R1R - I zone (Restricted Residential - Floor Area Ratio I).

**STAFF RECOMMENDATION: APPROVE WITH CONDITIONS**

*For more information or to submit comments, please contact the case planner, Aileen Babakhani, at 818-937-8331 or [ababakhani@glendaleca.gov](mailto:ababakhani@glendaleca.gov).*

Comments must be received prior to **April 24, 2023**, in order to be considered by the Director.

**DECISION:** A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206.

Sincerely,

Aileen Babakhani  
Planner

A handwritten signature in black ink, appearing to read "Aileen", is written over the typed name and title.



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

<b>April 24, 2023</b> <i>Decision Date</i>	<b>1055 SHERLOCK DRIVE</b> <i>Address</i>
<b>Administrative Design Review (ADR)</b> <i>Review Type</i>	<b>5618-007-028</b> <i>APN</i>
<b>PADR-000694-2022</b> <i>Case Number</i>	<b>NAREG KHODADADI</b> <i>Applicant</i>
<b>Aileen Babakhani, Planner</b> <i>Case Planner</i>	<b>RUBEN LIMONJYAN</b> <i>Owner</i>

#### **Project Summary**

To add a total of 790 square feet at the front of the existing 1,840 square-foot one-story, single-family residence (built in 1946) and a new 500 square-foot attached, two-car garage on a 9,261 square-foot lot, located in the R1R - I zone (Restricted Residential - Floor Area Ratio I).

#### **Environmental Review**

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 (e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 50% of the floor area of the structure before the addition.

#### **Existing Property/Background**

The project site is a 9,261 square-foot relatively flat, interior lot, and irregular in shape, which is located at the west side of Sherlock Drive. The north portion of the lot is located within the City of Burbank. The lot was developed in 1946 with the existing 1,842 square-foot one-story house and attached two-car garage. The proposal is to convert the existing garage to a new bedroom, add 790 square feet of habitable space to the front of the house, and build a new 500 square-foot two-car attached garage. The new garage and driveway will be flipped to the north side of the lot from the current location at the south. The project also includes interior remodeling and relandscaping at the front yard.

The property does not appear eligible for historic designation at the federal, state, or local level and is therefore not considered a historic resource under the California Environmental Quality Act (CEQA).

#### **Staff Recommendation**

Approve with Conditions

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**Last Date Reviewed / Decision**

First time submittal for final review.

**Zone: RIR FAR District: I**

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

Building Combination (Single Family) Permit No. BSFD-004413-2023.

**Site Slope and Grading**

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

**Neighborhood Survey**

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	12,718 sq. ft.	6,160 sq. ft. – 25,935 sq. ft.	9,261 sq. ft.
Setback	32 feet	23 feet – 40 feet	15 feet
House size	2,482 sq. ft.	1,842 sq. ft. – 3,160 sq. ft.	2,632 sq. ft.
Floor Area Ratio	0.20	0.03 - 0.36	0.28
Number of stories	1- to 2-stories	1 to 2 stories (12% of homes are two-story)	one-story

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

### **Yards and Usable Open Space**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

### **Garage Location and Driveway**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

### **Landscape Design**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

A condition of approval is added to provide landscape design to specify the plant species and ground cover for the new landscaped area to be complementary to building design, compliance with the MWEL and GMC 30.31.010, and meet the Urban Forestry requirements for the landscaping near the new street trees.

A condition of approval is added for the project to meet the Urban Forestry requirements for the removal of the existing street trees and planting two new trees.

### **Walls and Fences**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

## Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed addition will extend the existing building footprint toward the street and is appropriate to the existing site and the surrounding neighboring properties, because it follows the predominant pattern in the neighborhood and will not alter the existing site planning significantly.
- The location of the new garage and driveway are consistent with predominant pattern on street and are compatible with primary structure.
- There are no indigenous protected trees on the site or within 20 feet of the site and the majority of the existing landscaping and existing pool at the rear will remain unchanged. The existing mature street tree (deodar cedar tree) will be removed due to the construction of the new driveway. A condition of approval is added for the project to meet the Urban Forestry requirements for the removal of the existing street tree and replacement with two new street trees. A condition of approval is also added to provide landscape design to specify the plant species and ground cover for the new landscaped area to be complementary to building design, compliance with the MWEL0 and GMC 30.31.010, and meet the Urban Forestry requirements for the landscaping near the new street trees.
- A part of the existing boundary wall (plastered CMU wall) will be removed from the street front setback to comply with the street front setback regulations. The project does not propose any new boundary wall at this area and the remaining part of the existing boundary wall is appropriate to the style/color/material of the overall design concept.

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## Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

### Building Relates to its Surrounding Context

yes    n/a    no

*If "no" select from below and explain:*

- Appropriate proportions and transitions
- Impact of larger building minimized

### Building Relates to Existing Topography

yes    n/a    no

*If "no" select from below and explain:*

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

### **Consistent Architectural Concept**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

Concept governs massing and height

### **Scale and Proportion**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

### **Roof Forms**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Roof reinforces design concept
- Configuration appropriate to context

### **Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the one-story addition are consistent with the existing house and surrounding neighborhood, which consists of one and two-story houses.
- The proposed addition and exterior remodel are consistent with the existing contemporary architectural concept.
- The addition will increase the height by 2-feet and the new height will be consistent with other houses in the area and will not create any overbearing mass that could impact neighboring properties.
- The proposed hipped roof of the addition reinforces the design concept, matches the existing pitch, and is appropriate to the context. The flat roof area and framing elements at the entry provide a more contemporary appearance without overwhelming the more traditional forms of the existing house.

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### **Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

### Entryway

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

### Windows

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

### Privacy

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

### Finish Materials and Color

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

### Paving Materials

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

A condition of approval is added to provide a cutsheet for the new decorative walkway and driveway finish to be architecturally consistent with the proposed design and style.

### **Lighting, Equipment, Trash, and Drainage**

- yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

### **Ancillary Structures**

- yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Design consistent with primary structure
- Design and materials of gates complement primary structure

A condition of approval is added to provide the details and design of the steel side gates, consistent with overall design concept.

### **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition’s design, detailing, finish materials, and colors including wall stone veneer (Ivory color), stucco finish, and windows are consistent with the architectural concept and are appropriate to the surrounding neighborhood. The design of the new entry door and garage door are consistent with the design concept. A condition of approval is added to provide a cutsheet for the new decorative walkway and driveway finish to be architecturally consistent with the proposed design and style.
- The project’s new entryway creates an appropriate focal point by using a flat roof design with a horizontal stucco framing element. The entryway is well integrated and avoids a sense of monumentality.
- The new windows will be fiberglass (black color) with an appropriate combination of fixed and horizontal sliding windows. According to the provided Window Detail No. 2 on sheet A4.1 (See Attachment 1), the windows will be recessed in the exterior walls without exterior trim.



- The location and design of the proposed light fixtures are appropriate to the design. The project drawings also include the appropriate location of the downspouts and gutters.
  - The project drawings indicate new steel side gate at the sides of the house, facing the street. However, no drawing is provided to show the detail and design of the gates. A condition of approval is added to provide details and design of the side gates, consistent with the overall design concept.
  - The HVAC equipment and trash storage are well located and are out of public view.
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### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

#### **Conditions**

1. Provide a cutsheet for the new decorative walkway and driveway finish to be architecturally consistent with the proposed style of the house.
  2. Obtain required permits form Urban Forestry for the removal of the existing street tree and installation of two new street trees.
  3. Provide landscape design and specify the plant species and ground cover for the new landscaped area to be complementary to building design, compliance with the MWEL0 and GMC 30.31.010, and meet the Urban Forestry requirements for the landscaping near the new street trees.
  4. Provide details and design of the new steel side gates, consistent with the overall design concept.
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#### **Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Comments from Urban Forestry Section

# RESIDENTIAL REMODEL AND ADDITION LIMONJYAN RESIDENCE

1055 SHERLOCK DR., GLENDALE, CA 91501

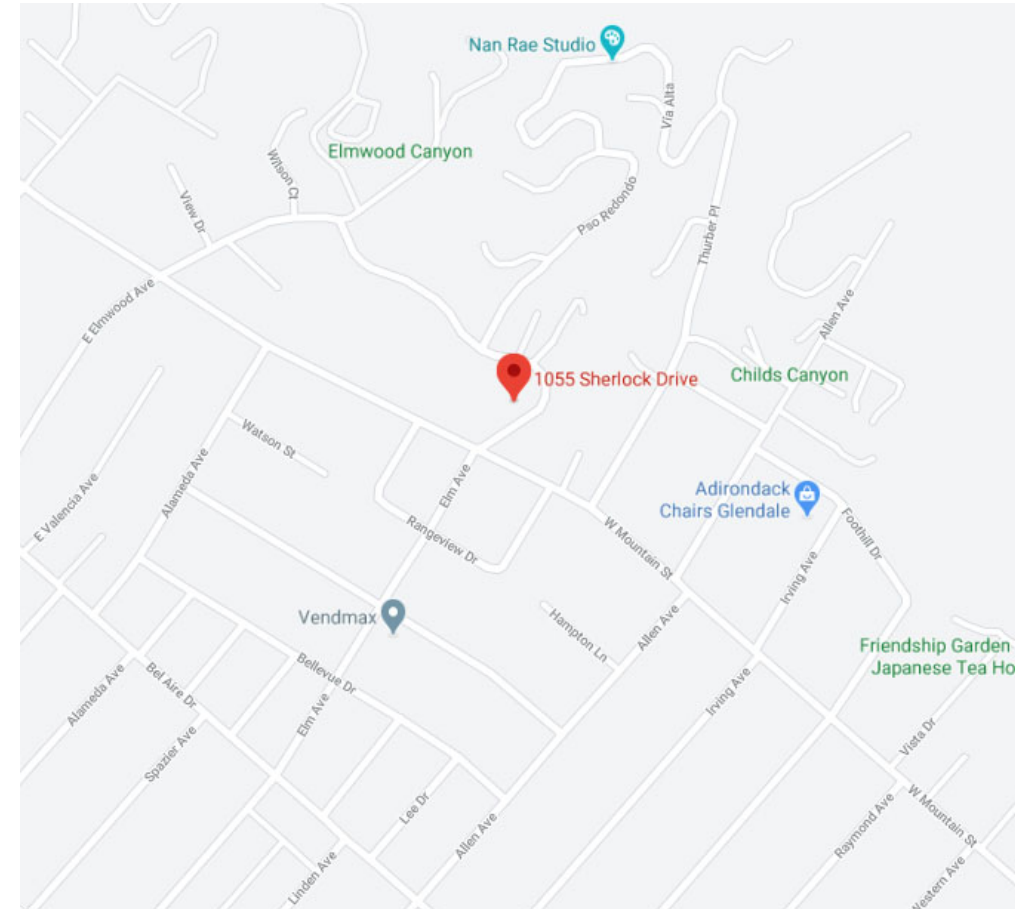
## CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

NO NEW ROOF TOP EQUIPMENT ALLOWED

## SITE MAP



## PROJECT FLOOR PLAN AREA & DATA

LOT AREA	9,261 SQ. FT.
EXT'G SINGLE FAMILY DWELLING	1,842 SQ. FT.
EXT'G GARAGE TO S.F.D.	390 SQ. FT.
NEW ADDITION TO S.F.D.	400 SQ. FT.
NEW 2-CAR GARAGE	500 SQ. FT.
TOTAL LIVING AREA	2,632 SQ. FT.
TOTAL COVERED AREA	3,132 SQ. FT.

FLOOR AREA RATIO MAX. 30% - 2,763 SQ.FT.	TOTAL LIVING AREA (2,632 SQ.FT.) LOT AREA (9,261 SQ. FT.)	28.5 %
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LOT COVERAGE RATIO MAX. 40% - 3,684 SQ.FT.	TOTAL COVERED AREA (3,132 SQ. FT.) LOT AREA (9,261 SQ. FT.)	34 %
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LANDSCAPE RATIO MIN. 40% - 3,684 SQ.FT.	LANDSCAPED AREA 355+1,352+1,141+ 180+657= (3,685 SQ. FT.) LOT AREA (9,261 SQ. FT.)	40 %
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LEGAL DESCRIPTION TR=3691 FOR DESC  
SEE ASSESSOR'S MAPS POR OF LOT 11

ZONING R1R-I  
APN 5618-007-028  
OCCUPANCY RESIDENCE - R3  
GARAGE - U  
CONSTRUCTION TYPE V-B  
YEAR BUILT 1946  
NUMBER OF STORIES 1  
FIRE ZONE YES  
CA CLIMATE ZONE 9

### APPLICABLE CODES

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

## PROJECT INFORMATION

PROJECT LOCATION  
1055 SHERLOCK DRIVE  
GLENDALE, CA 91501

OWNER  
LIMONJYAN  
1055 SHERLOCK DRIVE  
GLENDALE, CA 91501

PROJECT DESIGNER  
DESIGNNRK  
213 N. ORANGE ST. UNIT: E  
GLENDALE, CA 91203  
OFFICE : 818.823.7286  
FAX : 888.424.8125  
E-MAIL : INFO@DESIGNNRK.COM

## SCOPE OF WORK

- RESIDENTIAL REMODEL (120 SQ. FT.)
- CONVERT EXT'G 2-CAR GARAGE TO LIVING AREA (390 SQ. FT.)
- ADDITION OF 400 SQ. FT. TO EXT'G 1,842 SQ. FT. SINGLE FAMILY DWELLING (TOTAL NEW AREA 2,632 SQ. FT. WITH 3 BEDS, AND 3.5 BATHS)
- NEW 2-CAR GARAGE (500 SQ. FT.)

## SITE PLAN KEYNOTES

- EXT'G FLOOR WALL LINE
- NEW GARAGE DOOR LOCATION
- NEW ADDITION TO S.F.D.
- NEW GARAGE LINE
- EXT'G ROOF LINE
- NEW CLASS 'A' TO MATCH EXT'G
- EXT'G CONC. WALKWAY
- NEW DRIVEWAY - DECORATIVE PAVERS FINISH
- DIRECTION OF SHEET FLOW MIN. 2%
- NEW PATIO ROOF LINE
- EXT'G FENCE FOR POOL WITH SELF-LATCHING GATE
- EXT'G LAWN LANDSCAPING TO REMAIN
- EXT'G 6'-0" BLOCK WALL TO REMAIN
- NEW LANDSCAPING
- EXT'G AC UNITS
- TRASH BIN AREA
- EXT'G POOL EQUIPMENT LOCATION
- PROPERTY LINE
- EXT'G CONC. HARDSCAPE
- NEW CONC. STEPS
- NEW APRON
- EXT'G PORTION OF BLOCK WALL TO BE REMOVED
- NEW STEEL GATE
- NEW TREES (2) DEODAR CEDARS (CEDRUS DEODARA)

## SHEET INDEX

### ARCHITECTURAL SHEETS:

A0.1	COVER SHEET, SITE PLAN & ROOF PLAN
A0.2	GREEN & SECURITY NOTES
A1.1	EXT'G SITE PLAN
A1.2	NEIGHBORING PROPERTIES
A1.3	PHOTOS OF EXT'G HOUSE
A2.0	EXT'G FLOOR AND DEMO PLAN
A2.1	PROPOSED FLOOR PLAN DOOR & WINDOW SCHEDULE
A2.2	EXT'G AND PROPOSED ROOF PLANS
A3.0	EXT'G ELEVATIONS
A3.1	PROPOSED ELEVATIONS
A4.1	SECTIONS & DETAIL

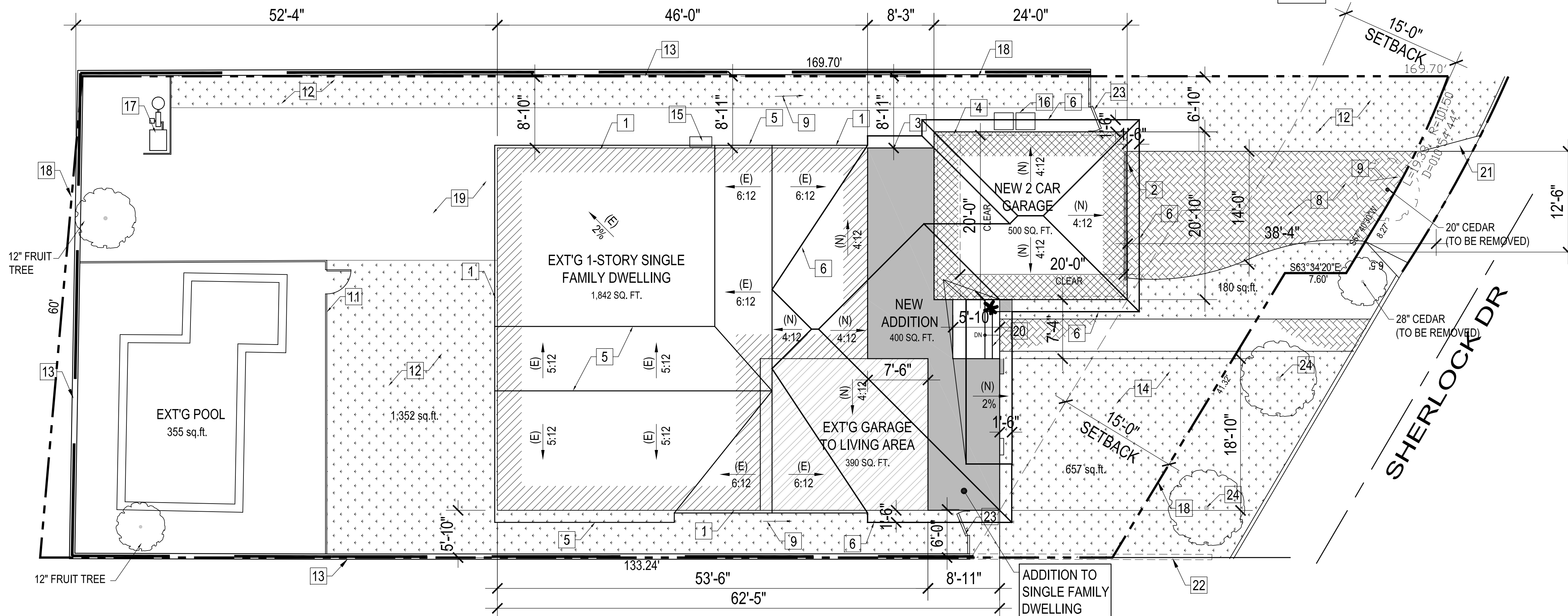
### ENERGY CALCULATIONS SHEETS:

T1	TITLE 24
T2	TITLE 24

### STRUCTURAL SHEETS:

S-1	GENERAL NOTES
S-2.1	STANDARD DETAILS
S-2.2	STANDARD DETAILS
S-2.3	STANDARD DETAILS
S-3	FOUNDATION PLAN
S-4	ROOF AND FRAMING PLAN

- EXT'G SINGLE FAMILY DWELLING
- EXT'G GARAGE TO CONVERT TO LIVING AREA
- NEW ADDITION
- NEW 2-CAR GARAGE
- LANDSCAPING



## SITE PLAN & ROOF PLAN

SCALE : 1/8" = 1'-0"

## FIRE DEPT. NOTES

- ADDRESS NUMBERS:** APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
- SMOKE DETECTORS:** SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.
- EGRESS:** ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- CARBON MONOXIDE DETECTORS:** SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

## GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.  
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

APPLICATION FOR WHICH NO PERMIT IS ISSUED WITHIN ONE (1) YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2.CRC)  
EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL.  
FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF GLENDALE'S FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.

- A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING :
1. RETAINING WALL OF BLOCK FENCE WALL
  2. GRADING WORK
  3. SWIMMING POOL
  4. A SEPARATE STRUCTURE

REVISIONS:


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designnrk  
residential +  
commercial  
design

COVER SHEET, SITE PLAN & ROOF PLAN

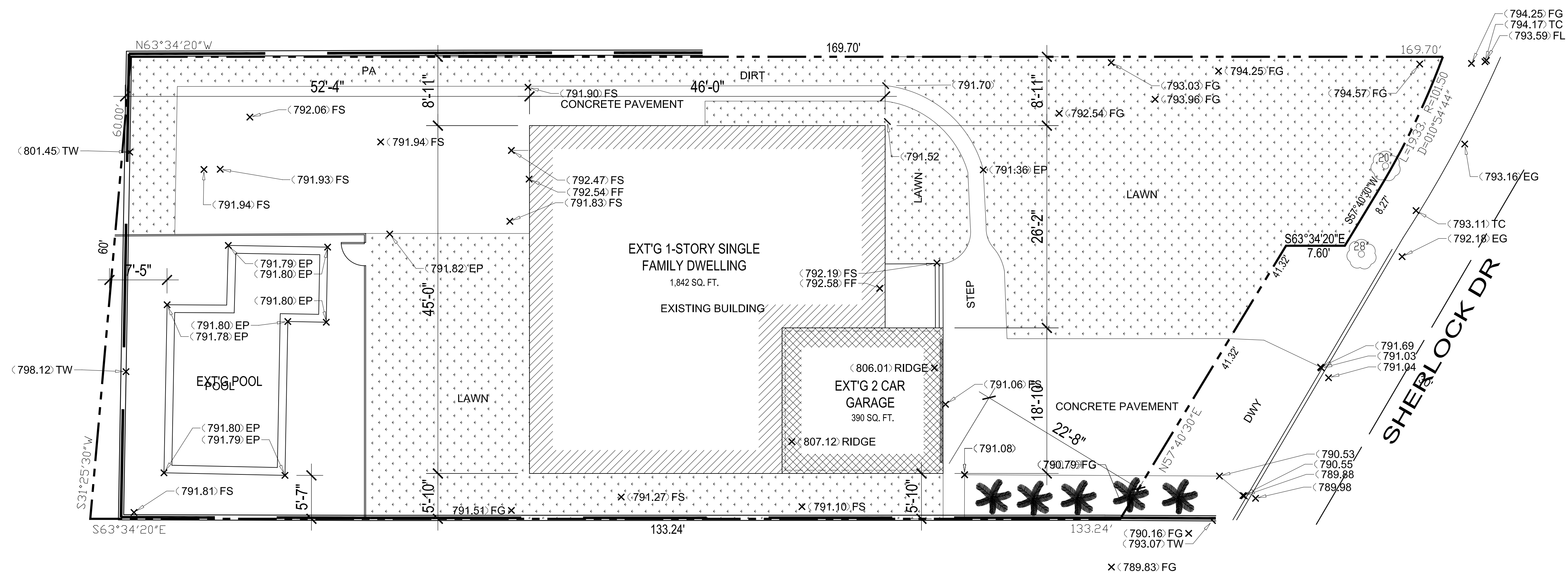
LIMONJYAN RESIDENCE  
1055 SHERLOCK DR., GLENDALE, CA 91501

DATE: 08/2020  
DRAWN BY: NRK  
JOB NO. 20080

SHEET NO.  
A0.1



THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



**EXT'G SITE PLAN**  
SCALE : 1/8" = 1'-0"

REVISIONS:


213 n. orange st. ste. e  
glendale, ca 91203  
818.823.7286 o.  
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**designNRK**  
residential +  
commercial  
design

EXT'G SITE PLAN

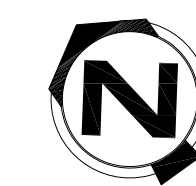
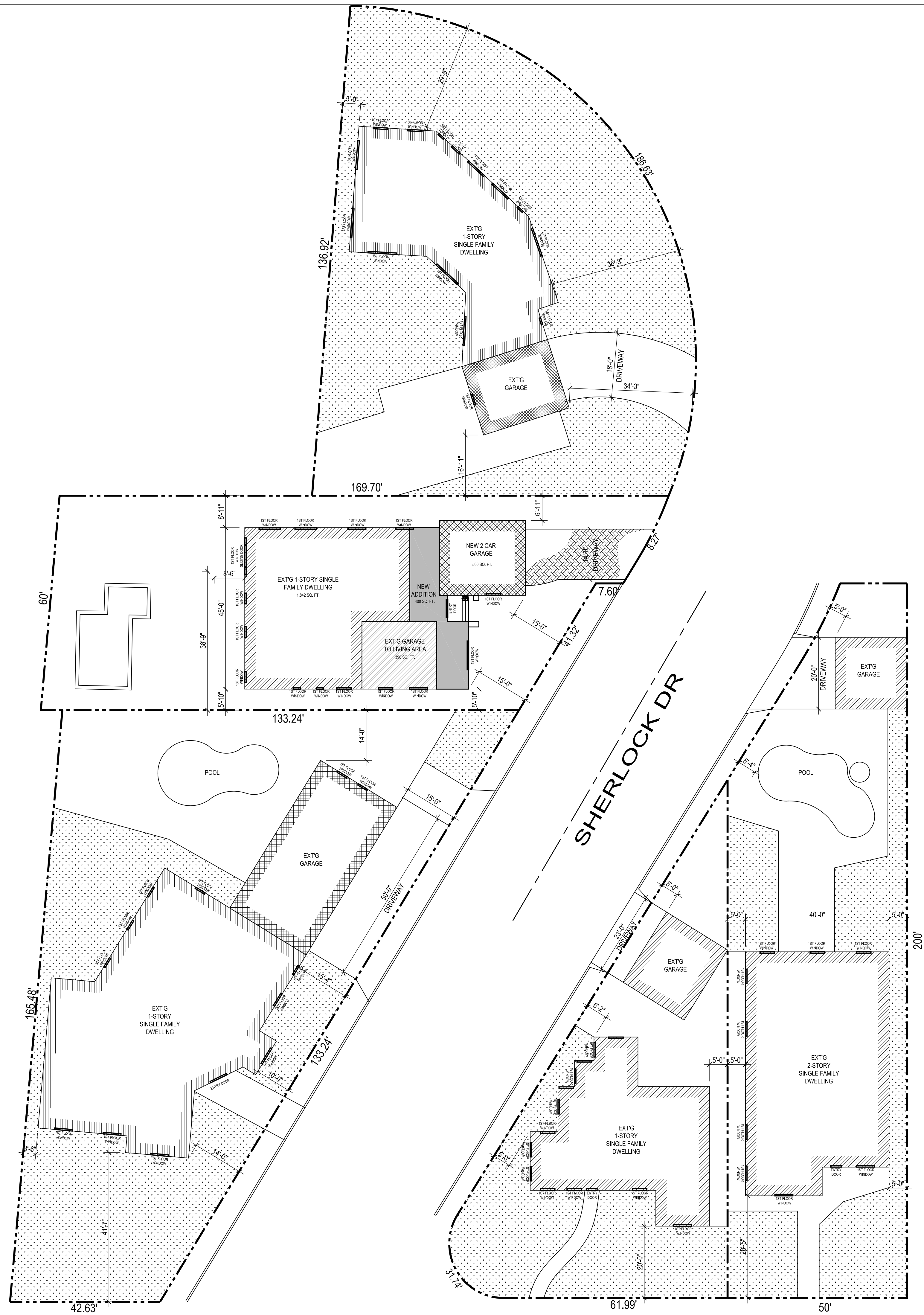
**LIMONJYAN RESIDENCE**

1055 SHERLOCK DR., GLENDALE, CA 91501

DATE:	08/2020
DRAWN BY:	NRK
JOB NO.	20080

SHEET NO.  
**A1.1**

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**NEIGHBORING PROPERTIES**  
SCALE : 1/16" = 1'-0"

REVISIONS:

213 n. orange st. ste: e  
glendale, ca 91203  
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residential +  
commercial  
design

NEIGHBORING PROPERTIES  
**LIMONJYAN RESIDENCE**  
1055 SHERLOCK DR., GLENDALE, CA 91501

DATE:	08/2020
DRAWN BY:	NRK
JOB NO.	20080

SHEET NO.  
**A1.2**

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# 1055 SHERLOCK DR.

WEST NEIGHBOR



EXT'G GARAGE



EAST SIDE NEIGHBOR

EAST SIDE NEIGHBOR

REVISIONS:

213 n. orange st. ste. e  
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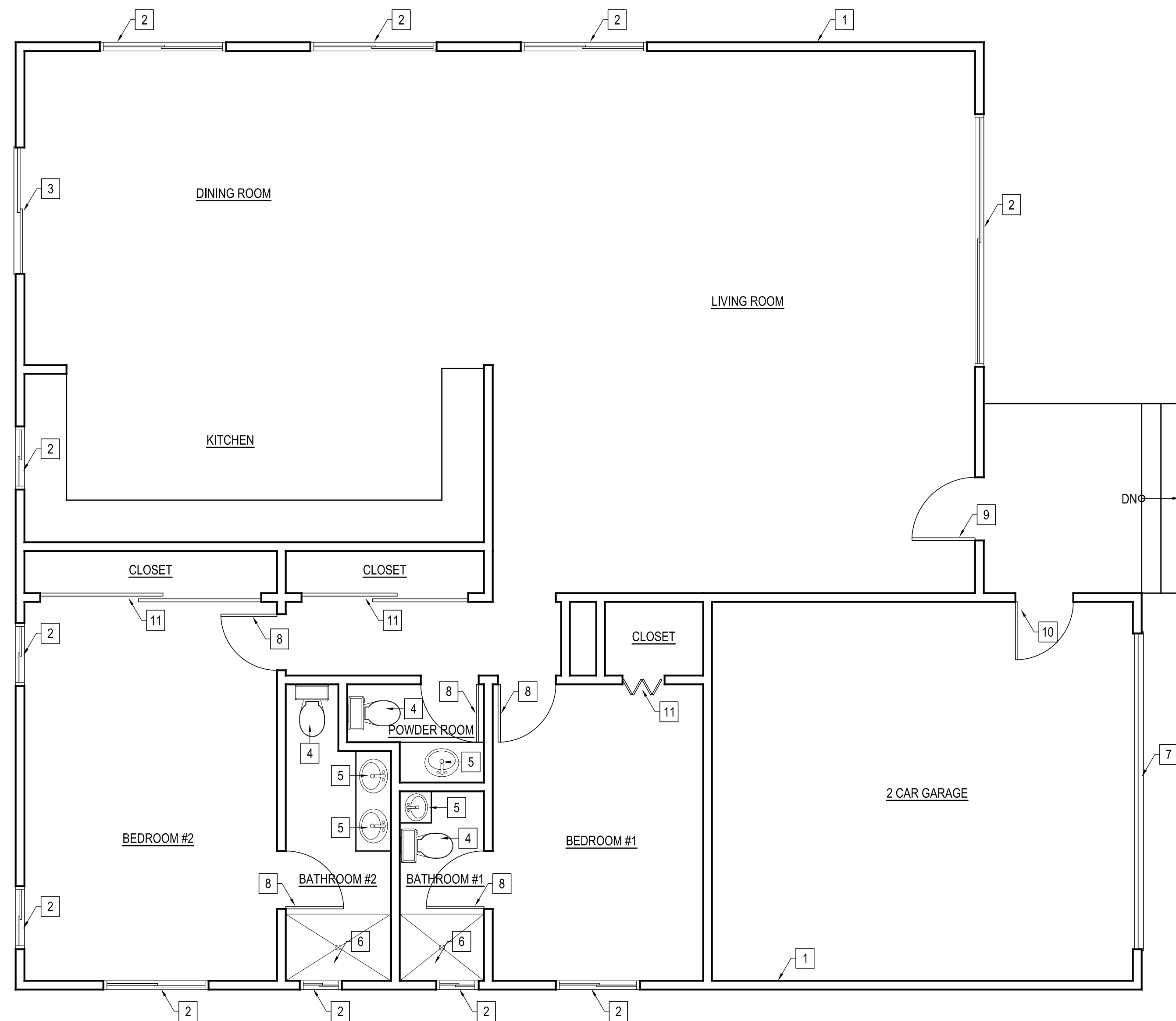
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PHOTOS OF THE EXT'G HOUSE  
**LIMONJAN RESIDENCE**  
1055 SHERLOCK DR., GLENDALE, CA 91501

DATE: 08/2020  
DRAWN BY: NRK  
JOB NO. 20080

SHEET NO.  
**A1.3**

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**EXT'G FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

**DEMO CALCULATIONS FOR PLANNING :**

EXT'G EXTERIOR WALL AREA :	197' (LINEAR FT.) @ 9'-0" AVERAGE WALL HEIGHT:	1,773 SQ. FT.
EXTERIOR WALLS TO BE REMOVED 57'-0" :		513 SQ. FT.
EXT'G ROOF STRUCTURE AREA :		1,842 SQ. FT.
ROOF STRUCTURE TO BE REMOVED :		475 SQ. FT.
TOTAL EXT'G EXTERIOR WALL & ROOF AREA :	1,773 SQ. FT (WALL) + 1,842 SQ. FT. (ROOF)	3,615 SQ. FT.
TOTAL AREA TO BE REMOVED :	513 SQ. FT (WALL) + 475 SQ. FT. (ROOF)	988 SQ. FT. (27%) TOTAL

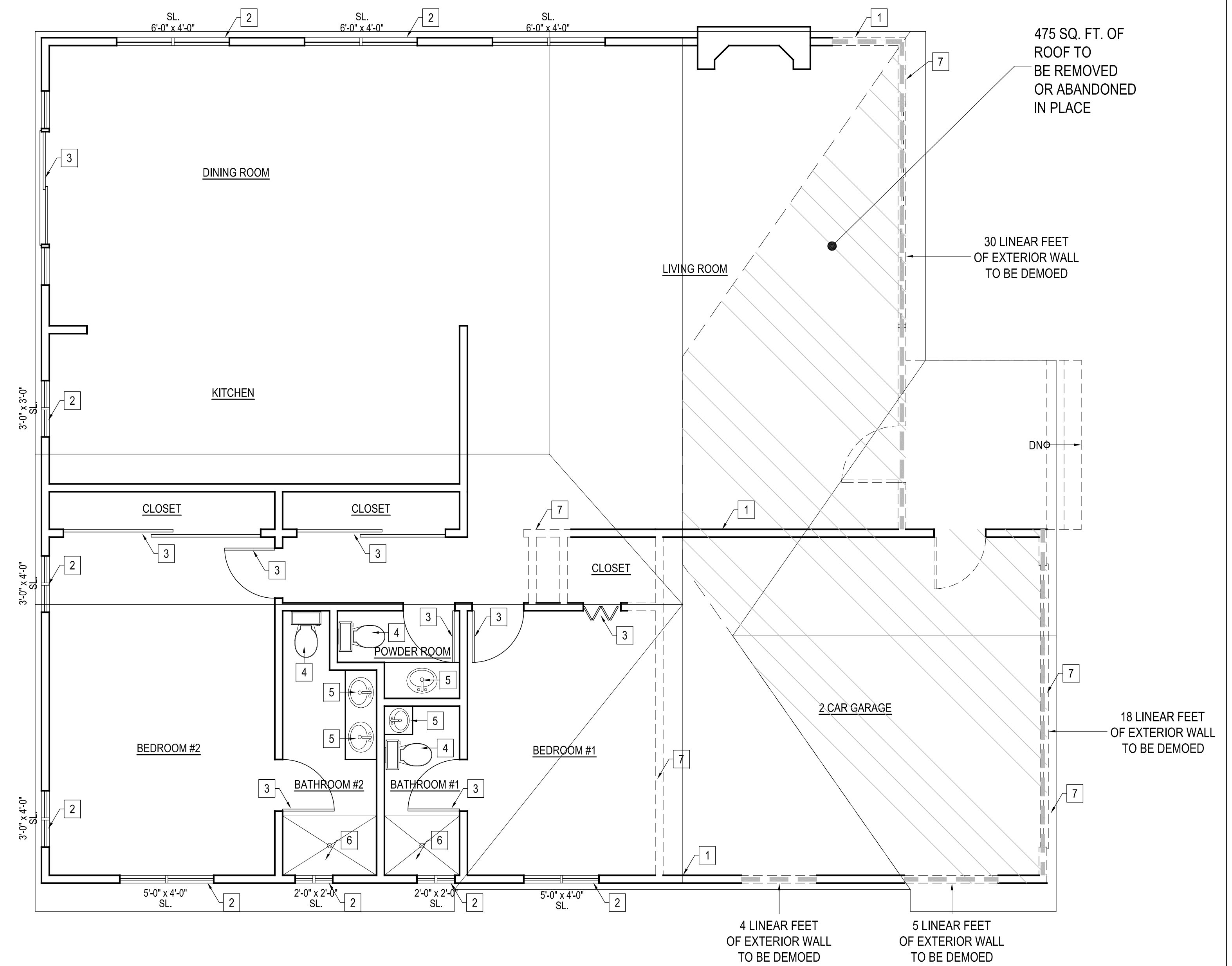
**FLOOR PLAN LEGEND :**

- WALLS TO REMAIN
- AREA OF EXT'G ROOF TO BE REMOVED
- EXT'G EXTERIOR WALLS TO BE REMOVED
- EXT'G INTERIOR WALLS TO BE REMOVED

**FLOOR PLAN KEYED NOTES :**  
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. EXT'G WALLS TO REMAIN
2. EXT'G WINDOW TO BE REMAIN
3. EXT'G DOOR TO REMAIN
4. EXT'G TOILET
5. EXT'G SINK
6. EXT'G SHOWER
7. EXT'G WALLS TO BE DEMOED

- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED



**DEMO PLAN**  
SCALE : 1/4" = 1'-0"

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EXT'G FLOOR AND DEMO PLANS  
**LIMONJYAN RESIDENCE**  
1055 SHERLOCK DR., GLENDALE, CA 91501

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## WINDOW SCHEDULE

MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SDJ) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	1	—	—	6'-0"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	•	•	NO	BLACK	YES	NO	—	NO	STUCCO	STUCCO	YES	NO	0.32	0.25	
(B)	1	—	—	5'-0"	4'-0"	—	FIBERGLASS	—	SLIDING	NAIL ON	•	•	YES	BLACK	NO	NO	—	NO	STUCCO	STUCCO	YES	NO	0.32	0.25	
(C)	1	—	—	4'-0"	2'-0"	—	FIBERGLASS	—	SLIDING	NAIL ON	•	•	NO	BLACK	NO	NO	—	NO	STUCCO	STUCCO	YES	NO	0.32	0.25	OBSCURED GLASS
(D)	2	—	—	2'-0"	6'-8"	—	FIBERGLASS	—	FIXED	NAIL ON	•	•	NO	BLACK	NO	NO	—	NO	STUCCO	STUCCO	YES	YES/NO	0.32	0.25	
(E)	2	—	—	5'-0"	4'-0"	—	FIBERGLASS	—	SLIDING	NAIL ON	•	•	NO	BLACK	NO	NO	—	NO	STUCCO	STUCCO	YES	NO	0.32	0.25	
(F)	1	—	—	4'-0"	4'-0"	—	FIBERGLASS	—	SLIDING	NAIL ON	•	•	NO	BLACK	YES	NO	—	NO	STUCCO	STUCCO	YES	NO	0.32	0.25	

### WINDOW NOTE:

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.

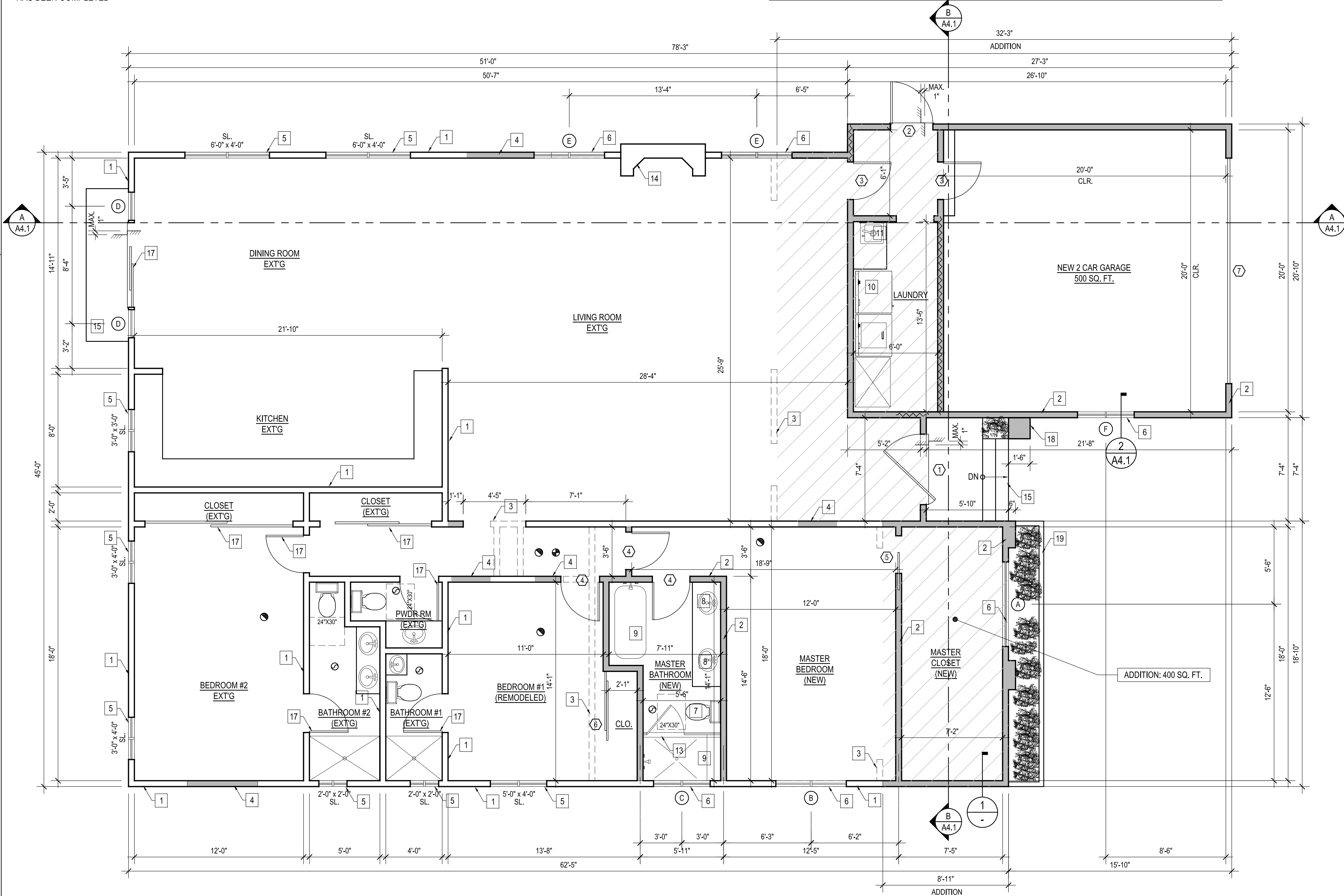
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

## DOOR SCHEDULE

MARK	NO. OF UNIT	DOOR			GLAZE		FINISH	NOTES
		WD	HGT	THK	DUAL	TEMP		
(1)	1	5'-0"	8'-0"	1 3/4"	•	•	PAINTED	5' WIDE PIVOT DOOR
(2)	1	3'-0"	6'-8"	1 3/4"	•	•	PAINTED	EXTERIOR DOOR
(3)	2	2'-8"	6'-8"	1 3/8"			PAINTED	20-MIN FIRE RATED, SELF-CLOSING, SELF-LATCHING DOOR
(4)	3	2'-8"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR
(5)	1	2'-8"	6'-8"	1 3/8"			PAINTED	POCKET DOOR
(6)	1	7'-6"	6'-8"	1 3/8"			PAINTED	SLIDING CLOSET DOOR
(7)	1	16'-0"	7'-0"	1 3/4"			PAINTED	GARAGE DOOR



## PROPOSED FLOOR PLAN

SCALE : 1/4" = 1'-0"

### FLOOR PLAN KEYED NOTES :

(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. EXT'G WALLS TO REMAIN
2. NEW WALLS
3. EXT'G WALLS TO BE REMOVED
4. EXT'G DOOR / WINDOW OPENING TO BE CLOSED
5. EXT'G WINDOW TO REMAIN
6. NEW WINDOW
7. NEW TOILET (S.B.O.)
8. NEW SINK (S.B.O.)
9. NEW TUB OR SHOWER (TILE TO CEILING)
10. NEW WASHER AND DRYER
11. NEW UTILITY SINK
12. NEW ISLAND
13. CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL. FRAMELESS & SLIDER
14. EXT'G FIREPLACE TO REMAIN
15. CONCRETE LANDING WITH STEPS
16. NEW FIRE RATED WALL
17. 5/8" TYPE 'X' GYP BOARD ON THE GARAGE SIDE
18. EXT'G DOOR TO REMAIN
19. NEW POST / COLUMN
20. NEW PLANTER

### WALL / SYMBOL LEGEND

- NEW WALL
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- FIRE RATED WALL
- 5/8" TYPE 'X' GYP BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- WATER CLOSET CLEARANCE

### NEW WATER FIXTURE NOTES

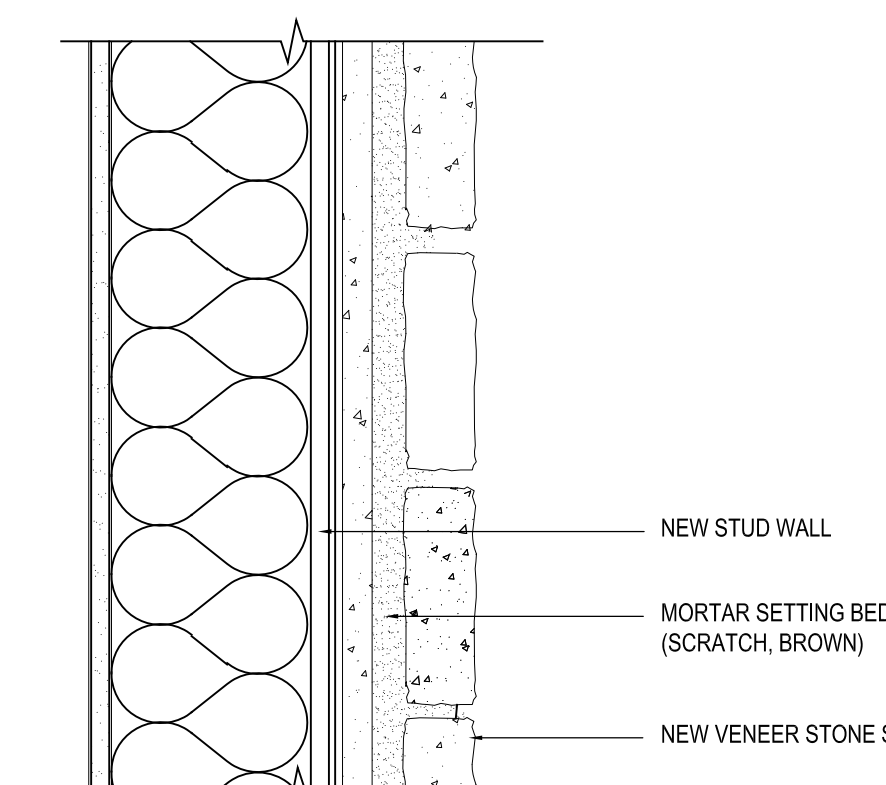
EFFECTIVE JANUARY 1 2014, AS A CONDITION OF FINAL PERMIT APPROVAL BY BUILDING & SAFETY THE PERMIT APPLICANT SHALL REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES W/ WATER CONSERVING PLUMBING FIXTURE (SENATE BILL 407)

NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS :

- A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.28 GALLONS PER FLUSH.
- B) ANY URINAL MANUFACTURED TO USE MORE THAN 1.0 GALLONS PER FLUSH.
- C) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.0 GALLONS / MIN.
- D) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 1.8 GALLONS / MIN.
- E) ANY LAVATORY FAUCETS ARE TO FLOW MORE THAN 1.5 GALLONS / MIN.

### TITLE-24 ENERGY REQUIREMENTS

GARAGES, LAUNDRY OR UTILITY ROOMS MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND CONTROLLED BY AN OCCUPANT SENSOR. BEDROOMS, LIVING ROOMS, FAMILY ROOMS, AND OTHER ROOMS USED FOR LIVING AND SLEEPING MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, OR DIMMERS MAY BE INSTALLED. EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED. 100% OF THE LUMINARIES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY. INSULATION TYPES: EXTERIOR WALL - R-15 RAISED FLOOR - R-19 CEILING - R-30



NEW STONE VENEER DETAIL - 1  
SCALE : NTS

### REVISIONS:

1	-	-	-
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PROPOSED FLOOR PLAN & DOOR/WINDOW SCHEDULE

LIMONJYAN RESIDENCE

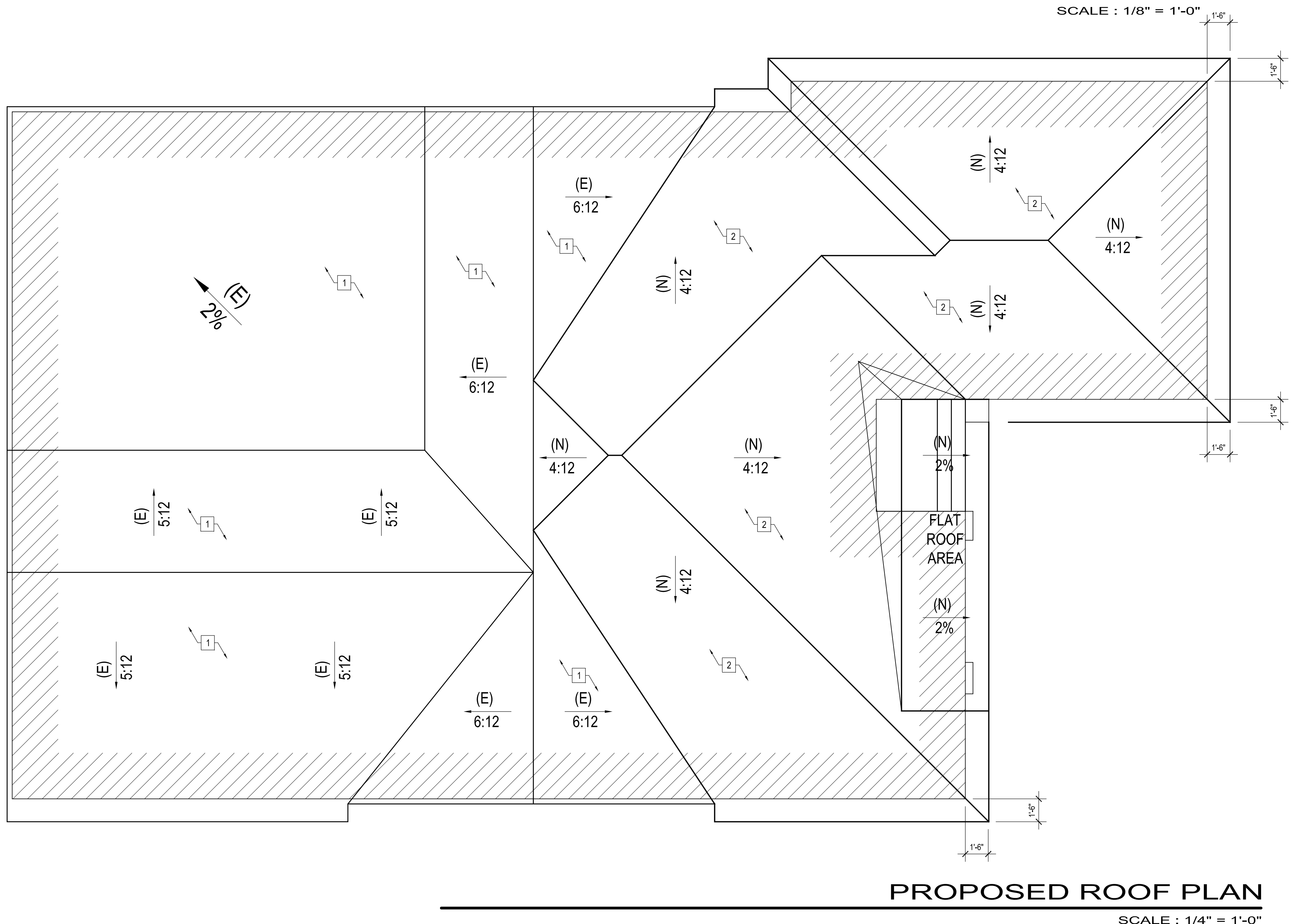
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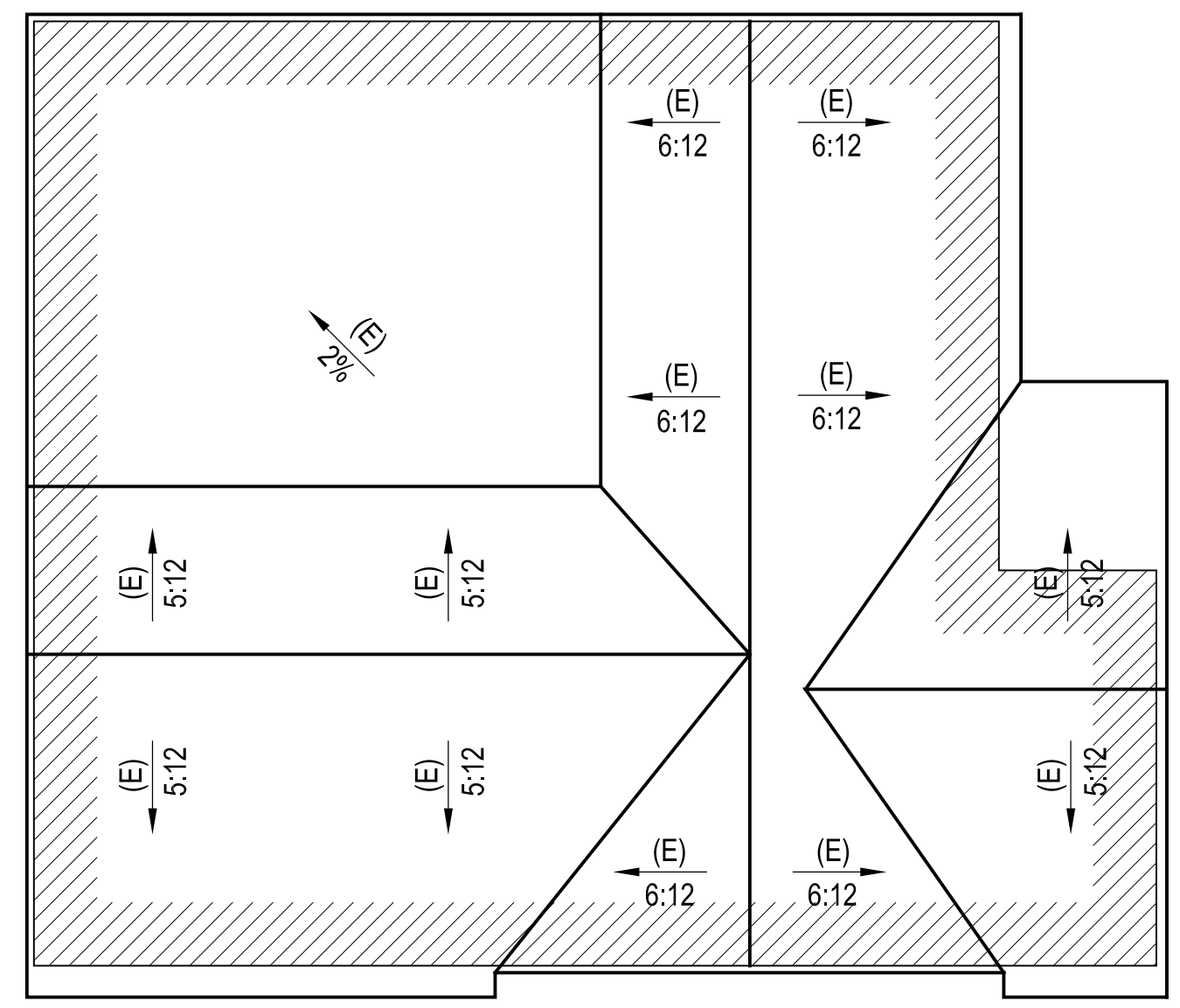


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**PROPOSED ROOF PLAN**

SCALE : 1/4" = 1'-0"



**EXT'G ROOF PLAN**

SCALE : 1/8" = 1'-0"

**ROOF PLAN KEYED NOTES :**

1. EXT'G ROOF TO REMAIN (ASPHALT SHINGLES)
2. NEW CLASS 'A' ROOF TO MATCH EXT'G ASPHALT SHINGLES

REVISIONS:

1	
2	

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EXT'G AND PROPOSED ROOF PLANS

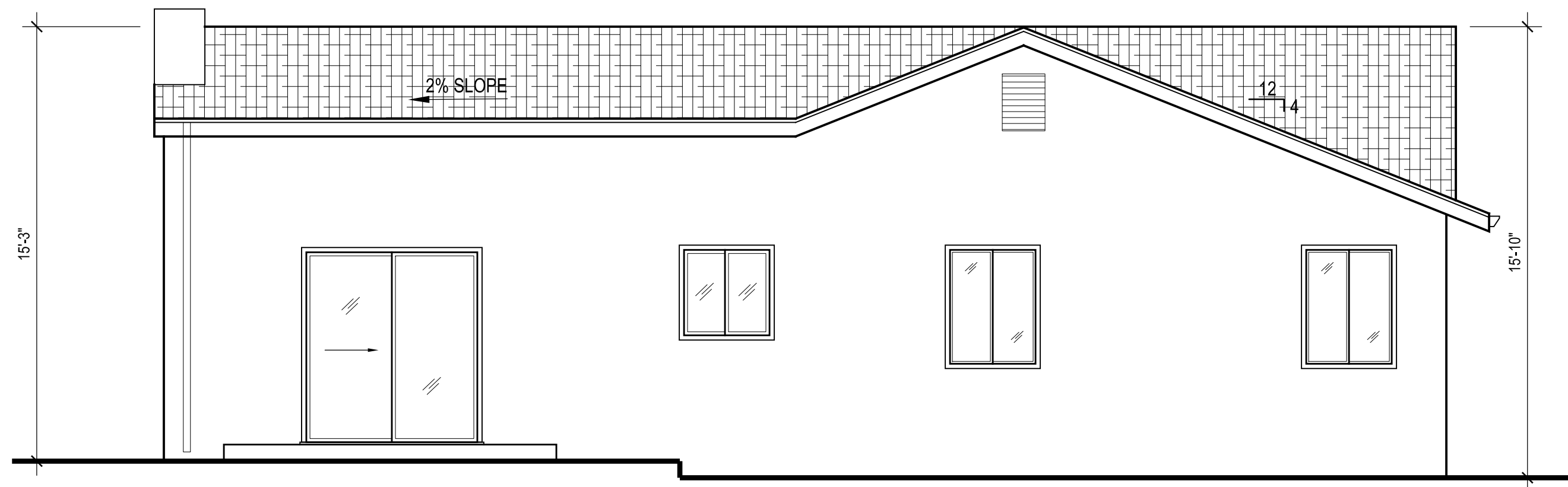
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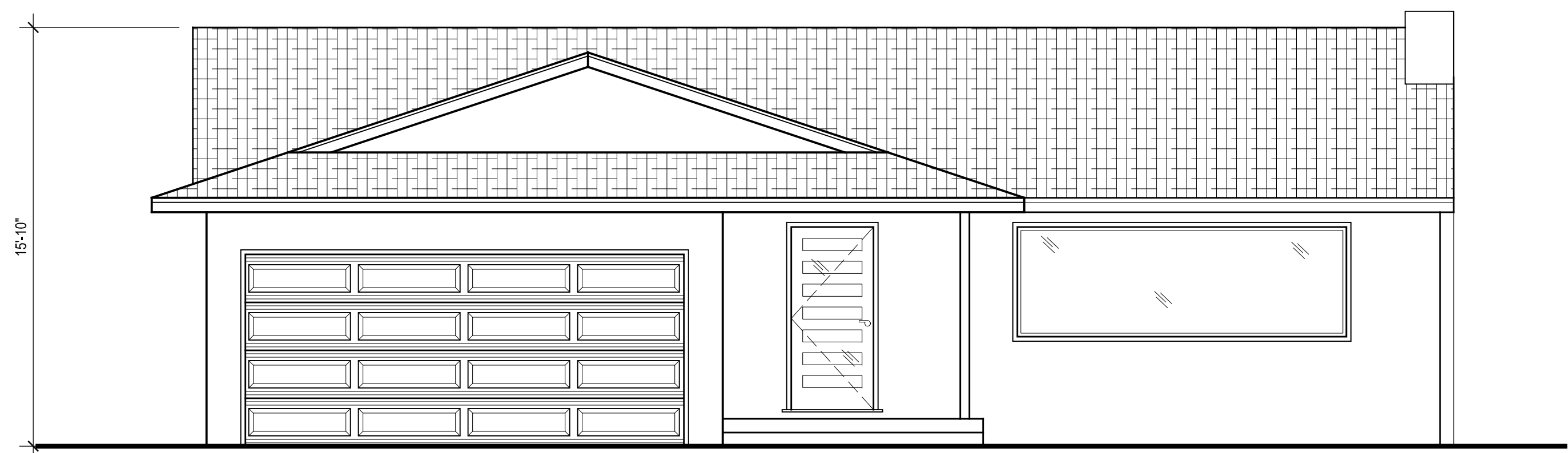
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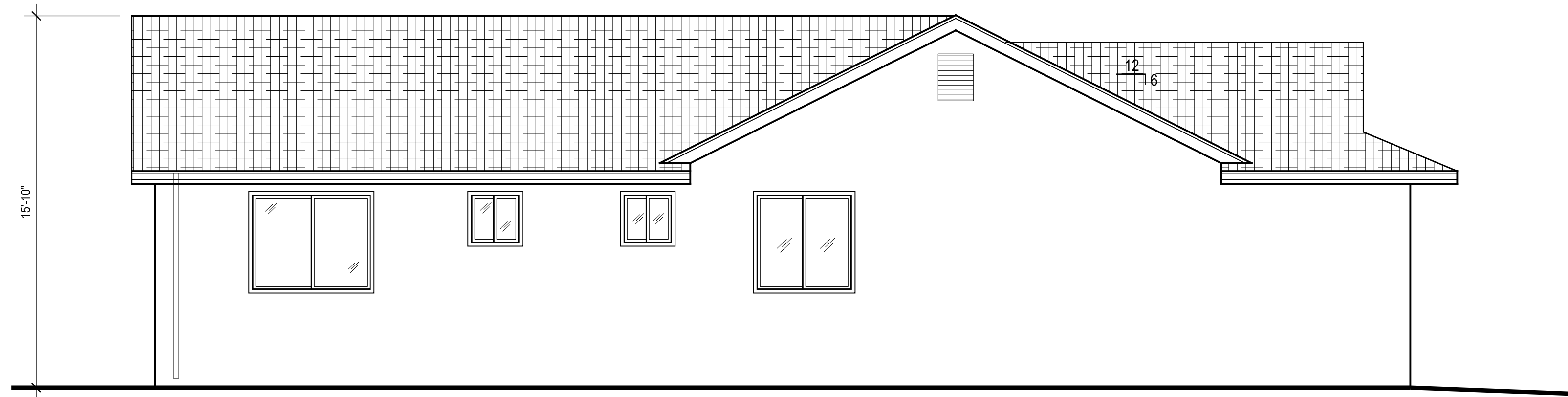
**EXT'G WEST ELEVATION**

SCALE : 1/4" = 1'-0"



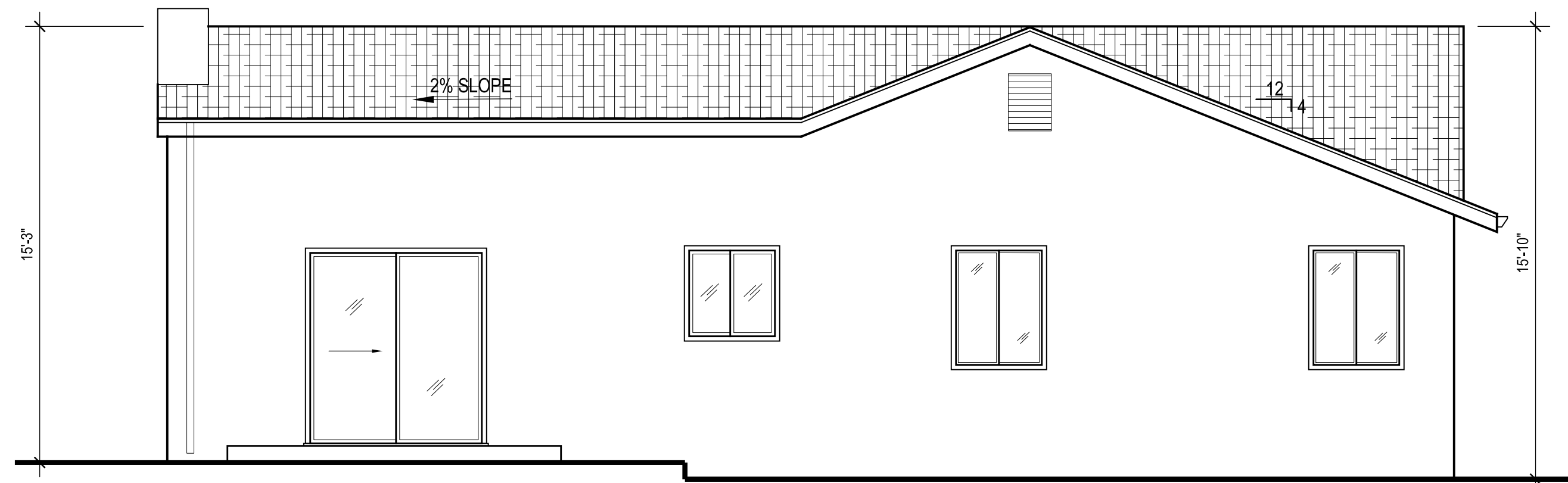
**EXT'G EAST ELEVATION**

SCALE : 1/4" = 1'-0"



**EXT'G SOUTH ELEVATION**

SCALE : 1/4" = 1'-0"



**EXT'G WEST ELEVATION**

SCALE : 1/4" = 1'-0"

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EXT'G EXTERIOR ELEVATIONS

**LIMONJYAN RESIDENCE**

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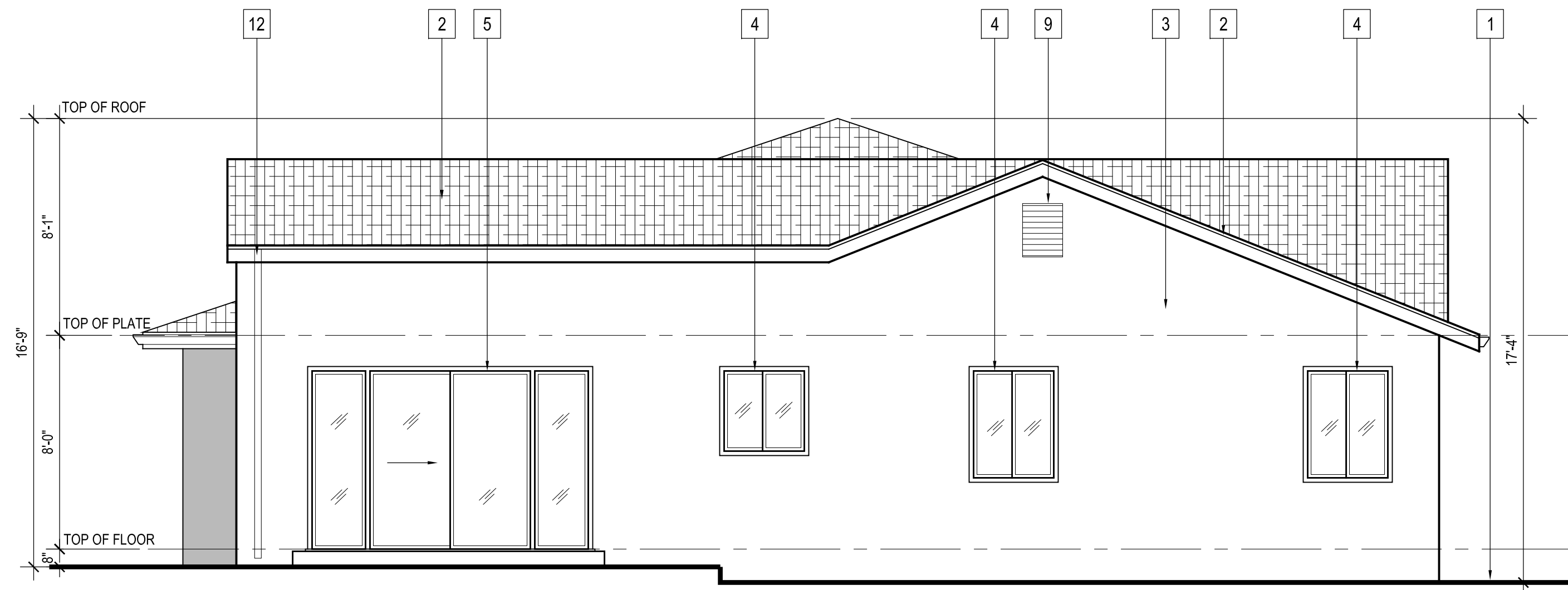
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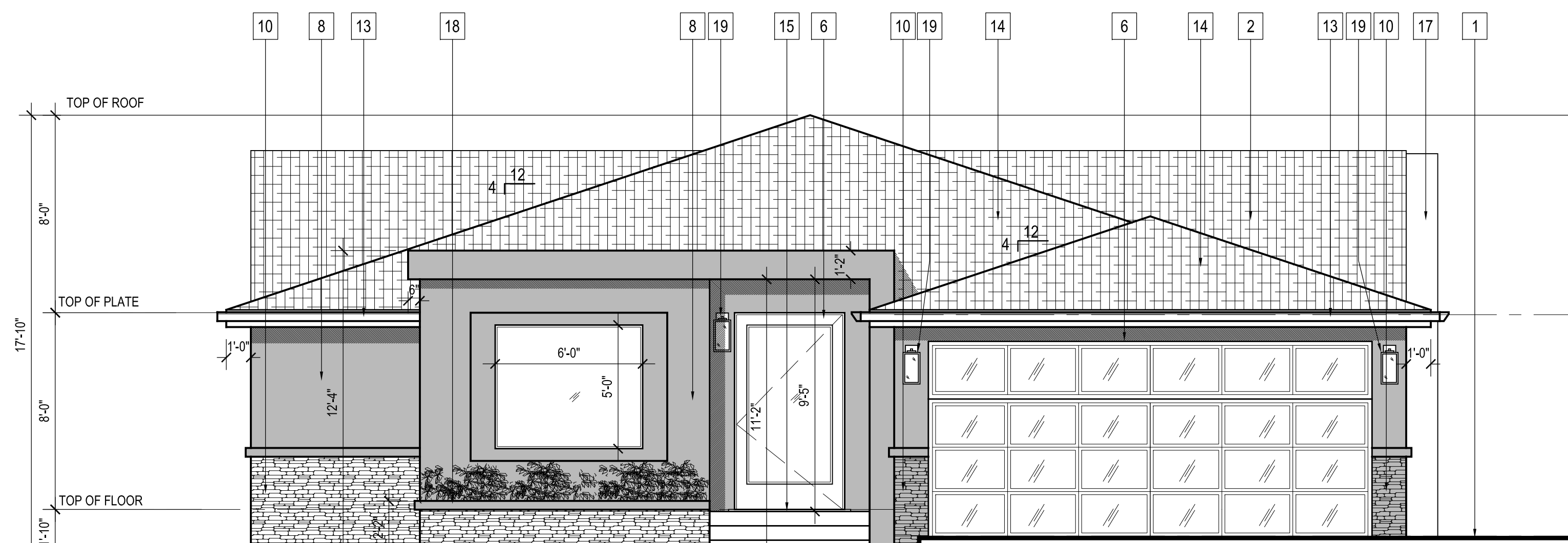
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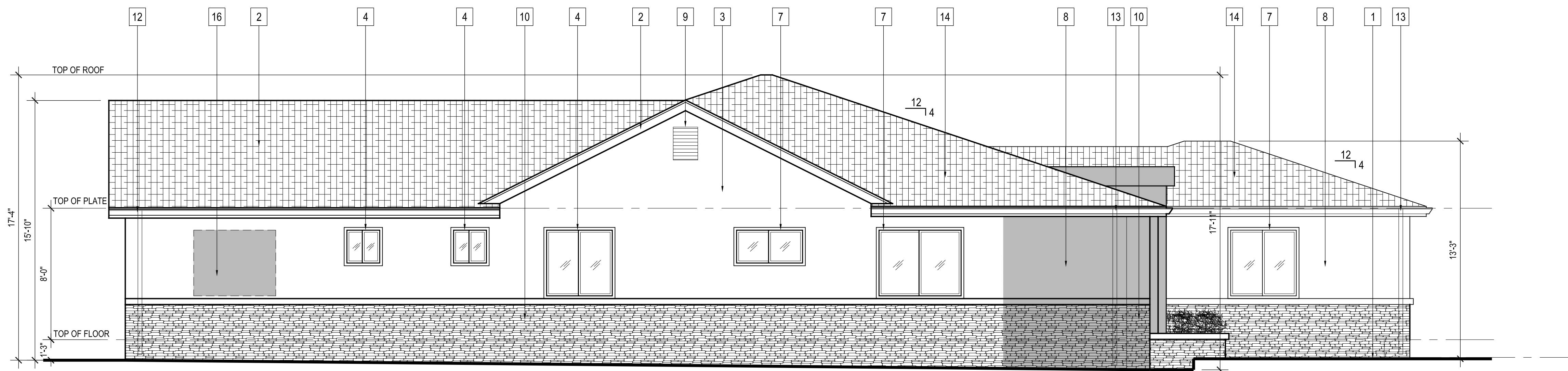
**WEST ELEVATION**

SCALE : 1/4" = 1'-0"



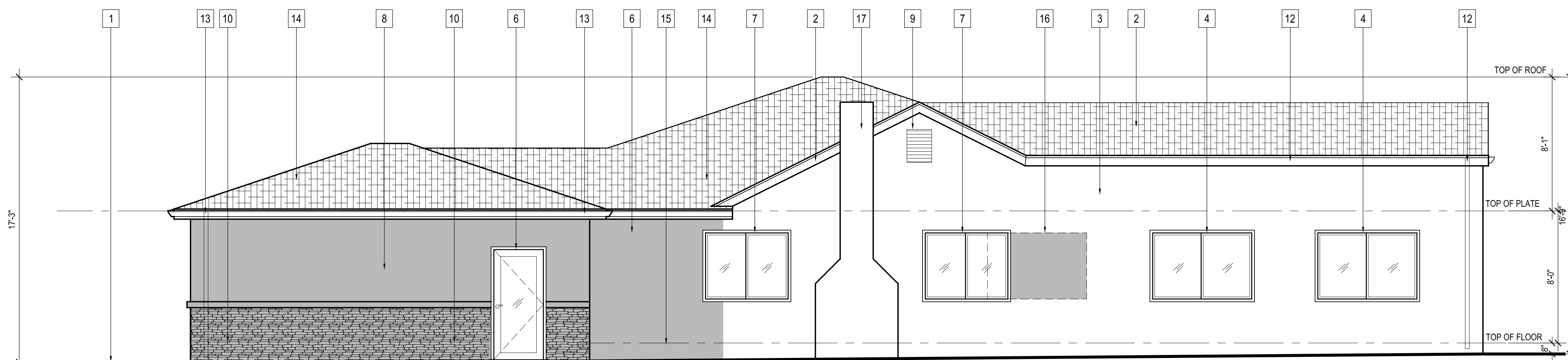
**EAST ELEVATION**

SCALE : 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE : 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE : 1/4" = 1'-0"

**ELEVATION KEYED NOTES**

1. EXT'G GRADE
2. EXT'G ROOF TO REMAIN
3. EXT'G STUCCO TO REMAIN
4. EXT'G WINDOW TO REMAIN
5. EXT'G DOOR TO REMAIN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW 7/8" STUCCO TO MATCH EXT'G DUNN-EDWARDS (SWISS COFFEE #F8F5E9)
9. EXT'G ATTIC VENT TO REMAIN
10. NEW IVORY COLOR STONE VENEER
11. EXT'G PROPERTY LINE
12. EXT'G GUTTER AND DOWNSPOUT
13. NEW GUTTER AND DOWNSPOUT
14. NEW CLASS 'A' ROOF TO MATCH EXT'G - ASPHALT SHINGLES (GAF: ESR-1475)
15. NEW LANDING WITH STEPS
16. EXT'G WINDOW OPENING TO BE CLOSED
17. EXT'G CHIMNEY TO REMAIN
18. NEW PLANTER
19. NEW OUTDOOR LIGHT

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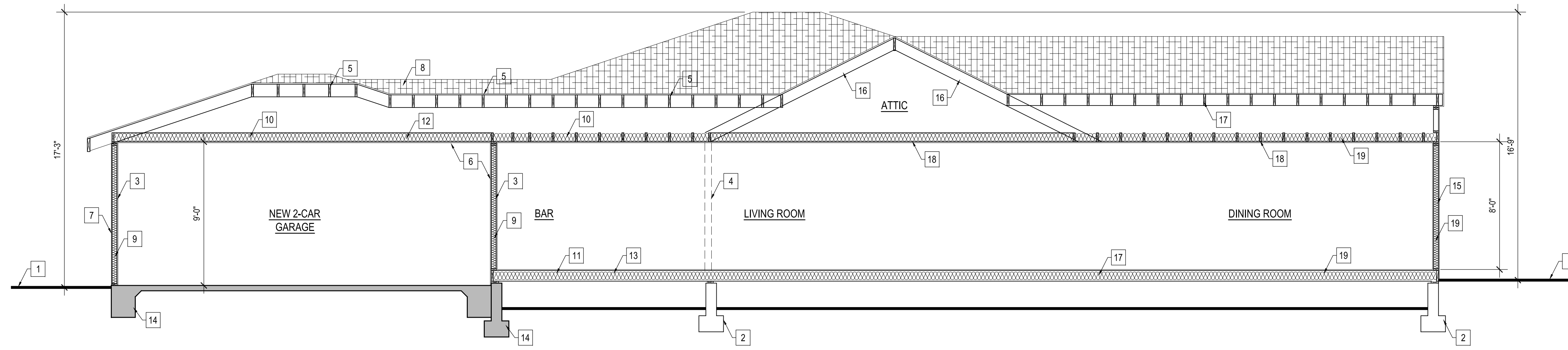
EXTERIOR ELEVATIONS

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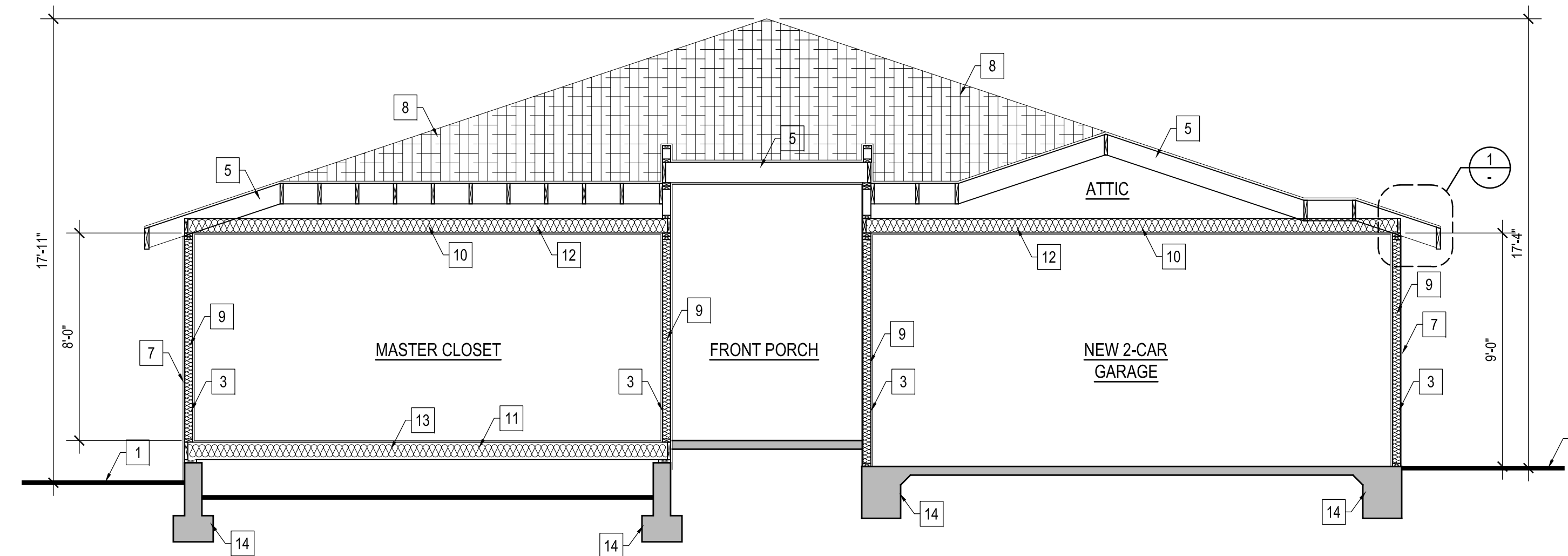


**SECTION A-A**

SCALE : 1/4" = 1'-0"

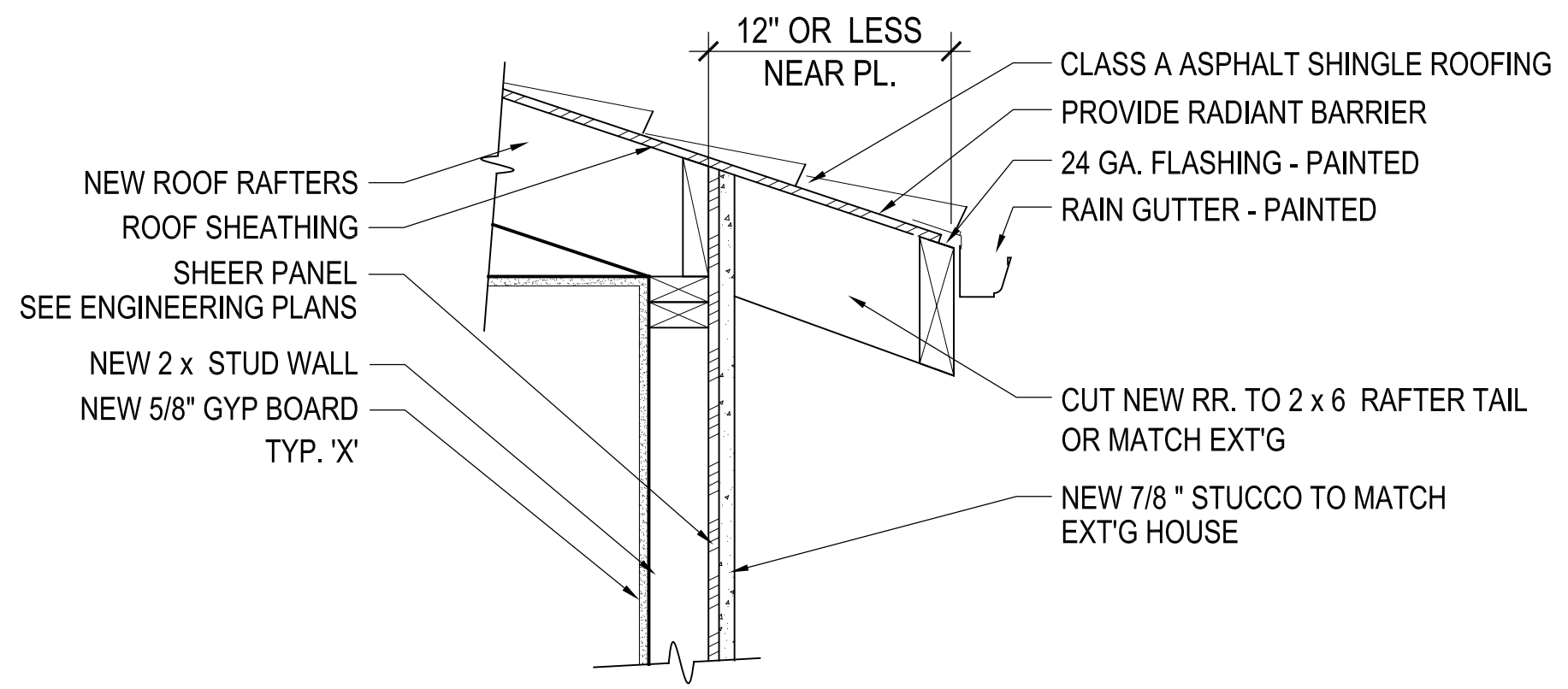
**CROSS SECTION KEY NOTES**

1. EXT'G GRADE
2. EXT'G CONC. FOUNDATION
3. NEW 2" x 4" STUD WALL
4. EXT'G WALL TO BE REMOVED
5. NEW 2" x ROOF RAFTER
6. NEW 5/8" TYPE 'X' GYP. BOARD
7. NEW STUCCO TO MATCH EXT'G
8. NEW CLASS 'A' ROOF ASPHALT SHINGLE TO MATCH EXT'G
9. NEW R -- INSULATION
10. NEW R -- INSULATION
11. NEW R -- INSULATION
12. NEW 2" x CEILING JOISTS
13. NEW 2" FLOOR JOIST
14. NEW CONC. FOOTING PER PLAN
15. EXT'G STUD WALL TO REMAIN
16. EXT'G R.R. TO REMAIN
17. EXT'G FLOOR JOISTS TO REMAIN
18. EXT'G CEILING JOISTS TO REMAIN
19. EXT'G INSULATION TO REMAIN



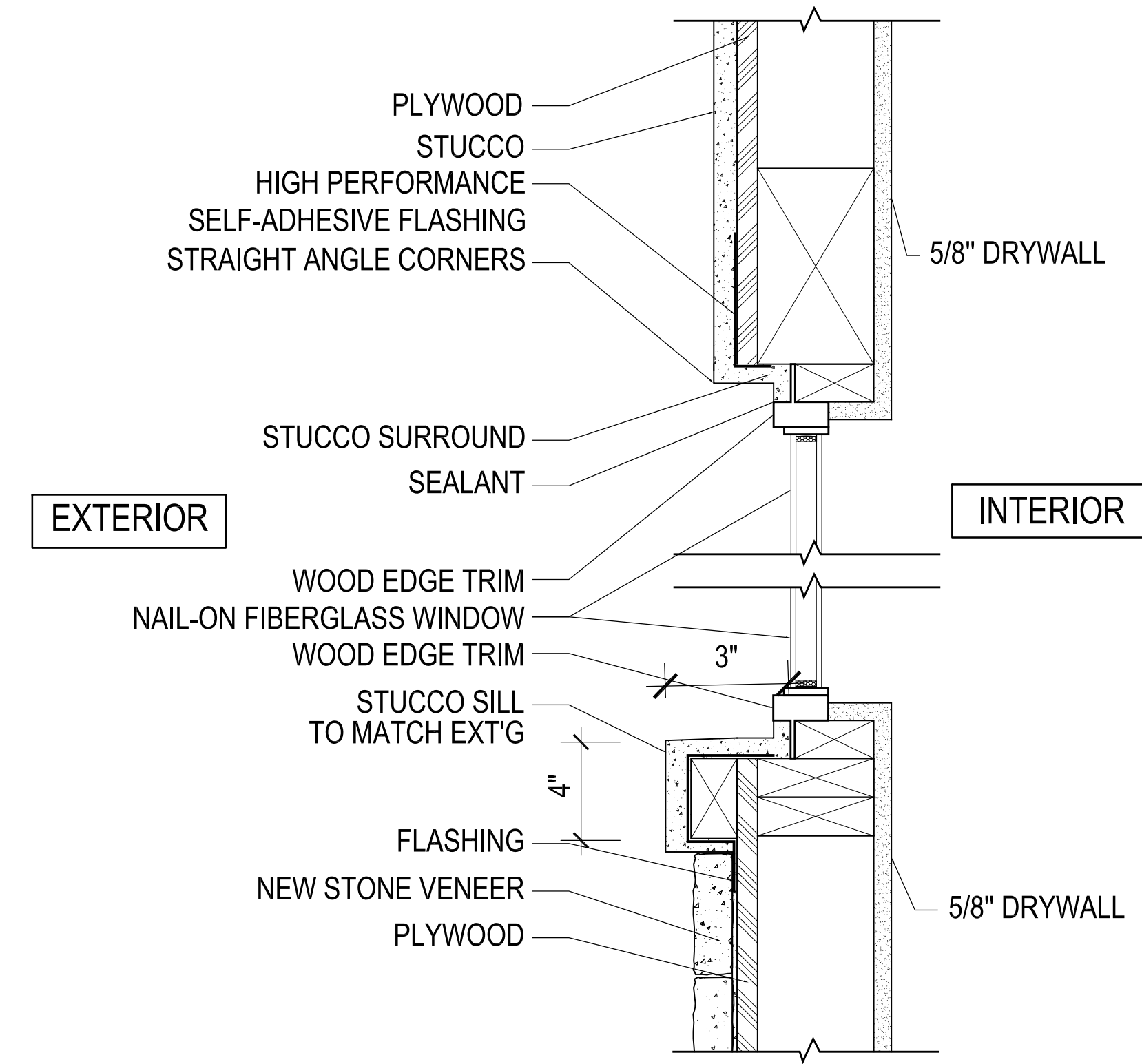
**SECTION B-B**

SCALE : 1/4" = 1'-0"



**NEW EAVE DETAIL - 1**

SCALE : NTS



**WINDOW DETAIL - 2**

SCALE : NTS

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SECTIONS & DETAIL

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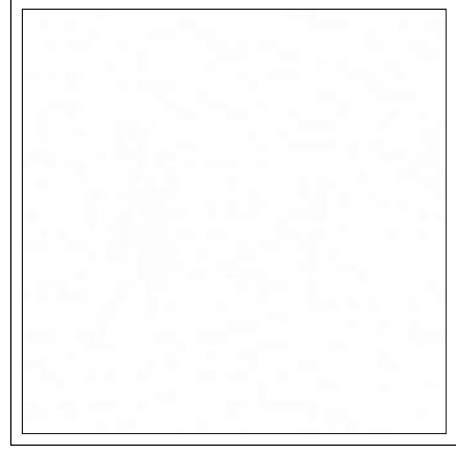
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ROOF:

GAF  
NAME: TIMERLINE  
MATERIAL: ASPHALT SHINGLE  
COLOR: CHARCOAL



HOUSE COLOR / NEW STUCCO :

COLOR: DUNN EDWARDS -  
DEW 341 SWISS COFFEE



WINDOWS:

MILGARD  
FIBERGLASS -  
COLOR: BLACK FRAME



EXTERIOR STONE SIDING:

PRESTIGE STONE PRODUCTS

1055 SHERLOCK DR.  
GLENDALE, CA 91501

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[16 FT Wide By 7 FT Tall Full View Garage Door Matt Black Finish With Clear Glass](#)



[Exterior Pivot Doors - Contractor Series - Glass - Pivot Door Company](#)

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# 1055 SHERLOCK DR.

WEST NEIGHBOR



EXT'G GARAGE



EAST SIDE NEIGHBOR

EAST SIDE NEIGHBOR

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PHOTOS OF THE EXT'G HOUSE  
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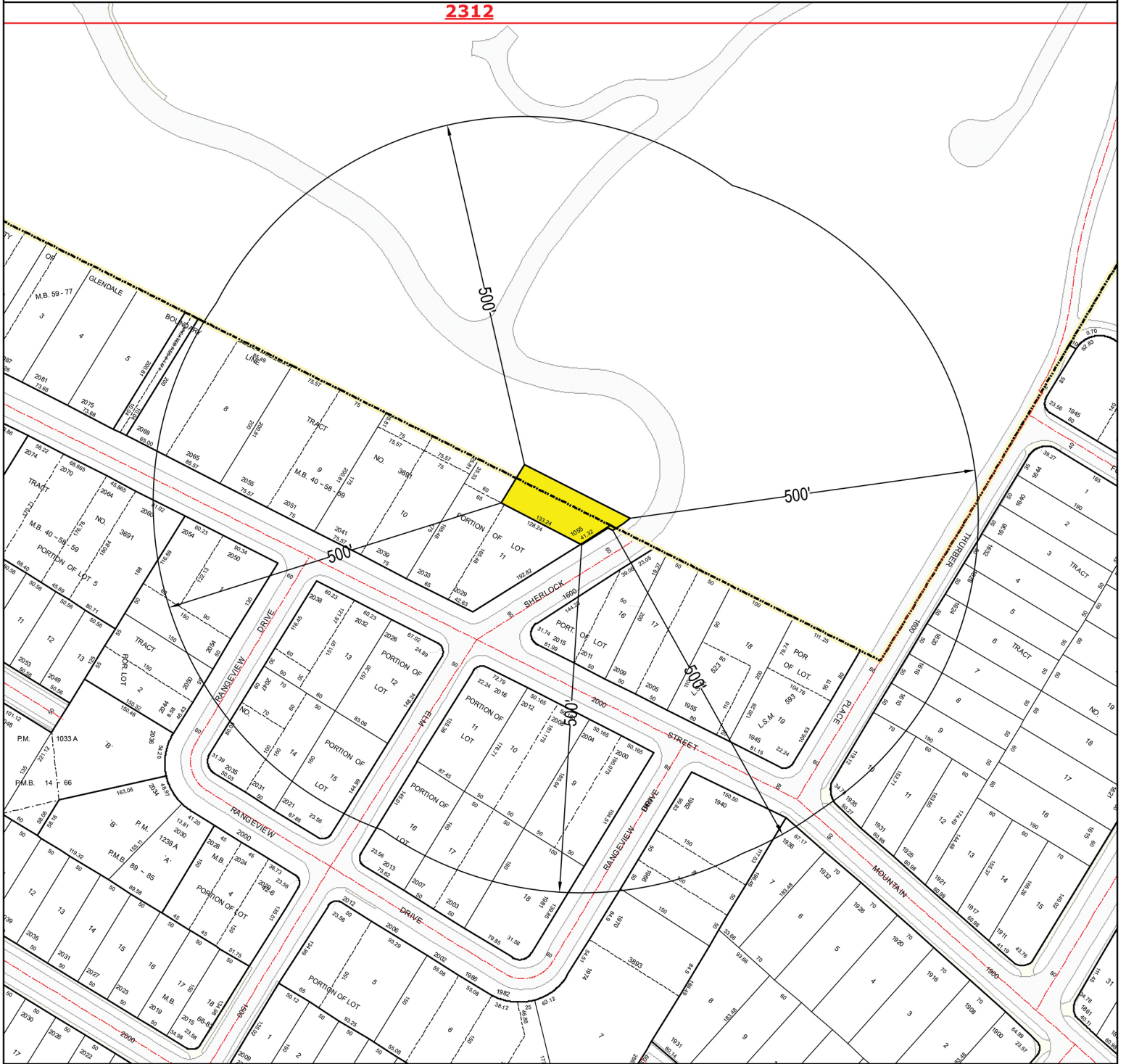
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SHEET NO.  
**A1.3**



# CITY OF GLENDALE BASEMAP ATLAS SHEET

2312



## 500' LOCATION MAP

### LEGEND

SUBJECT PROPERTY(IES)



SITE LOCATION: 1055 SHERLOCK DR  
GLENDALE, CA 91501

APN:

5618-007-028



SCALE: 1"=200'

DATE: Dec 05, 2022

PREPARED BY:




412 W. BROADWAY STE 206  
GLENDALE, CA 91204  
818-409-8921



# PHOTOGRAPHIC SURVEY MAP

## LEGEND

PHOTO & SURVEY LABEL	#
SUBJECT PROPERTY(IES)	"1"
2-STORY	

SITE LOCATION: 1055 SHERLOCK DR  
 GLENDALE, CA 91501

APN: 5618-007-028

DATE: Dec 05, 2022



SCALE: 1"=100'

PREPARED BY:



412 W. BROADWAY STE 206  
 GLENDALE, CA 91204  
 818-409-8921

# NEIGHBORHOOD SURVEY FOR:

# 1055 SHERLOCK DR

KEY	ADDRESS	PARCEL NUMBER	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF
1(SITE)	1055 SHERLOCK DR	5618-007-028	9,210	1,842	20%	1	23	ASPHALT SHINGLE
2	2029 W MOUNTAIN ST	5618-007-019	25,935	3,160	12%	1	40	CONC. TILE
3	2026 W MOUNTAIN ST	5620-007-006	13,188	2,080	16%	1	40	ASPHALT SHINGLE
4	2016 W MOUNTAIN ST	5620-007-004	14,706	2,698	18%	1	35	CONC. TILE
5	2015 W MOUNTAIN ST	5618-016-011	6,160	1,915	31%	1	20	CONC. TILE
6	2011 W MOUNTAIN ST	5618-016-012	9,100	2,776	31%	1	25	CONC. TILE
7	2033 W MOUNTAIN ST	5618-007-017	10,725	2,904	27%	2	40	SPANISH TILE
AVERAGE			12,718	2,482	20%	1	32	



1. 1055 SHERLOCK DR



2. 2029 W MOUNTAIN ST



3.2026 W MOUNTAIN ST



4.2016 W MOUNTAIN ST



5. 2015 W MOUNTAIN ST



6. 2011 W MOUNTAIN ST

**CITY OF GLENDALE  
INTERDEPARTMENTAL COMMUNICATION  
Community Development Department  
Request for Comments Form (RFC)**

DATE: January 13, 2023

DUE DATE: **January 30, 2023**

**NOTE:** If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Aileen Babakhani, Planner Tel. #                          Ext. 8331

PROJECT ADDRESS: 1055 SHERLOCK DRIVE  
(APN: 5618007028)

Applicant: Khodadadi, Nareg

Property owner: LIMONJYAN, RUBEN

**PROJECT DESCRIPTION:**

**A design Review Application to add an approximately 800 SF, one-story addition to the front of an existing one-story house. The project includes the relocation of the driveway and a new attached 2-car garage.**

**PLEASE CHECK:**

<input type="checkbox"/> A. CITY ATTORNEY	<input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)
<input checked="" type="checkbox"/> B. COMMUNITY DEVELOPMENT: <ul style="list-style-type: none"><li>(1) <b>Building &amp; Safety</b></li><li>(2) Neighborhood Services</li><li>(3) Design Review &amp; Historic</li><li>(4) Economic Development</li><li>(5) Housing</li><li>(6) Urban Design &amp; Mobility</li></ul>	<input checked="" type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION): <ul style="list-style-type: none"><li>(1) <b>Engineering &amp; Land Development</b></li><li>(2) <b>Traffic</b></li><li>(3) Facilities (city projects only)</li><li>(4) Integrated Waste</li><li>(5) <b>Maintenance Services/Urban Forester</b></li></ul>
<input checked="" type="checkbox"/> D. COMMUNITY SERVICES/PARKS:	<input type="checkbox"/> J. GLENDALE POLICE
<input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)	<input type="checkbox"/> K. OTHER: <ul style="list-style-type: none"><li>(1) STATE-Alcohol Beverage Control (ABC)</li><li>(2) Tribal Consultations (EIFs)</li><li>(3) City Clerk's Office</li></ul>
<input type="checkbox"/> F. <b>GLENDALE WATER &amp; POWER:</b> <ul style="list-style-type: none"><li>(1) Water</li><li>(2) Electric</li></ul>	

**ENTITLEMENT(S) REQUESTED**

Variance Case No.: \_\_\_\_\_  
AUP/CUP Case No.: \_\_\_\_\_  
ADR/DRB Case No.: PADR-000694-2022

Tentative Tract/Parcel Map No.: \_\_\_\_\_  
Zone Change/GPA: \_\_\_\_\_  
Other: \_\_\_\_\_

**INTER-DEPARTMENTAL COMMUNICATION  
PROJECT CONDITIONS AND COMMENTS**

**Project**  
**Address:** 1055 SHERLOCK DRIVE

**Project**  
**Case No.:** PADR-000694-2022

***If project comments are not received by the due date, it will be assumed that your department has no comments.***

***NOTE:*** Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

**COMMENTS:**

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions.  (See attached Dept. Master List)

**Date:** \_\_\_\_\_ 1/18/23 \_\_\_\_\_

**Print Name:** Loren Klick \_\_\_\_\_  
**Title:** Urban Forester \_\_\_\_\_ **Dept.** PWMS **Tel.:** x3416 \_\_\_\_\_

**a. ADDITIONAL COMMENTS:**

- 1.

**Site Description**

This project is located in a residential neighborhood, El Miradero. One mature deodar cedar tree in good condition is growing within the project boundary in the adjacent City right-of-way. A single Street Tree Permit will be required for the removal of one City tree.

**Indigenous Trees**

There appear to be no protected indigenous trees on the subject property or within 20' of the property at this time. Please include the note "There are no protected oak, bay, or sycamore trees on the property or within 20' of the property" on future project plans. An indigenous tree permit will not be required.

**City of Glendale Street Trees**

There is (1) existing deodar cedar (*Cedrus deodara*) located in the City right of way adjacent to the property. The tree is mature, and in good condition, and provides numerous benefits to the neighborhood.

Plans indicate the tree is proposed for removal due to the construction of a new driveway, as proposed construction to the home cannot occur without moving the driveway according to PW Forestry's understanding of the situation.

An inspection of the location revealed a number of unpermitted street trees within the City's right-of-way as well, in the form of a ficus hedge. These trees must be removed and relocated outside of the City's right-of-way.

As a condition of permitting removal of the (1) City tree, two (2) new deodar cedars (*Cedrus deodara*) must be planted within the City's right-of-way adjacent to the property. These trees must be at least 24" box in size and meet City planting standards (included).



**SUGGESTED CONDITIONS:**

Please follow the recommended City Standards and tree protections:

1. Please include the note “There are no protected oak, bay, or sycamore trees on the property or within 20’ of the property” on future project plans. An indigenous tree permit will not be required.
2. Contact Forestry staff at [lklick@glendaleca.gov](mailto:lklick@glendaleca.gov) to apply for a street tree permit once the project attains all required approvals.
3. Remove (1) existing City street tree during pre-construction after obtaining the street tree permit.
4. Remove or relocate existing illegal ficus plantings within the City’s right-of-way.
5. Plant two (2) deodar cedar (*Cedrus deodara*) trees within the City right of way, with precise locations to be selected by the developer and approved by PW Forestry
  - a. Tree shall be 24” box in size and meet City standards for nursery stock and planting specifications (attached).
  - b. Developer shall devise a long-term irrigation system specific to the new trees within the City right-of-way to ensure their establishment, development of deep roots, and long-term survival.
  - c. All of the above must be indicated on relevant plans.
  - d. Developer must the contact the Urban Forester at least 48 hours prior to trees being delivered in order to arrange for tree inspection.
6. Developer must see that all trees are in good condition at the time of project completion and obtain PW Forestry signoff.

If I may be of further assistance, please contact me at ext. 3416.

**b. CASE SPECIFIC CODE REQUIREMENTS:** (these are not standard code requirements)

- 1.

**c. SUGGESTED CONDITIONS:** (may or may not be adopted by the Hearing Officer)

- 1.

## TREE PLANTING STANDARDS AND SPECIFICATIONS

**Nursery Stock Standards.** The City shall make every effort to insure that it plants only vigorous, healthy trees which can easily be trained into an attractive natural form, with strong roots and good crown development. The specifications for acceptable nursery stock shall be as follows:

- All trees shall be true to type or botanical name as ordered or shown on planting plans.
- All trees should be of a size equivalent to that of a twenty four-inch (24") box sized containerized tree with a trunk caliper of one and one half inches (1 ½"), or greater, measured at six (6") inches above soil grade.
- All trees shall have a single, fairly straight trunk with a good taper and good branch distribution vertically, laterally and radially.
- All trees shall be healthy, have a form typical for the species or cultivar, be well rooted, and shall be properly trained.
- The root ball of all trees shall be moist throughout and the crown shall show no sign of moisture stress.
- All trees shall comply with Federal and State laws requiring inspection for plant diseases and pest infestations.
- No tree shall be accepted that has been severely topped, headed back, pollarded or lion-tailed.
- No tree shall be accepted that has co-dominant stems or excessive weak branch attachments that cannot be trained out without jeopardizing the natural form of the species.
- No tree shall be accepted that is root bound, shows evidence of girdling or kinking roots, or has "knees" (roots) protruding above the soil.

The City shall reserve the right to refuse any nursery stock that does not meet these standards, and may require any person who has planted such sub-standard trees, on City property or within City right-of-ways, to have these trees removed and replaced at that person's own expense.

**Planting Material Standards.** Unless otherwise approved by the Urban Forester, all City trees shall be planted using materials that meet the following criteria:

- Tree Stakes - Shall be two (2) sturdy, ten (10') foot long lodge pole pine stakes. Stakes will be placed on the outer edge of the root ball on either side of the tree, parallel to the curb or walkway or perpendicular to prevailing winds.
- Staking Ties - Shall be sixteen (16") to eighteen (18") inch rubber cinch ties to be fastened to each stake with galvanized roofing nails. Ties will be pulled around the tree's trunk in a manner that supports the top-heaviness of the canopy, but is loose enough to allow for free movement of the tree in the wind.
- Trunk Guards - An approved trunk guard shall be placed around the base of the trunk just above the soil grade. A trunk guard is a device used to deter mechanical damage, as a result of wounds inflicted on a tree's trunk by such devices as weed whips and lawnmowers.
- Wood Chip Mulch – All mulch shall be of a medium to fine grade, and shall be clean and free of rocks and debris.

**Tree Planting Specifications.** Most nursery tree stock in California is sold in a containerized form. The following guidelines are specific for containerized stock. If utilizing bare root or balled and burlaped trees, refer to the appropriate ISA guidelines for planting instructions.

All trees shall be planted immediately after the planting container has been removed. Containers shall not be cut or otherwise damaged prior to delivery of trees to the planting area.

The planting hole is one of the most important factors in establishing a healthy tree. Measure the width and depth of the root ball prior to digging. The diameter of the planting hole shall be dug at least two (2) times wider than that of the root ball. The depth of the planting hole shall be dug slightly shallower than the depth of the root ball to allow for the top two (2") inches of the root crown to remain above the finished grade of soil.

Before placing the tree into the planting hole, tamp down the base of the hole to allow the tree to stand straight and to avoid the potential of the tree settling below the finish grade. Scarify or scrape the sides of the planting hole to break down any glazing or compaction that may have occurred as a result of digging.

Position the tree in the hole so that the tree stands upright and the top of the root crown is slightly exposed above the grade. Then, backfill the planting hole with clean, native soil no higher than halfway up the rootball. Slightly tamp the soil to remove air pockets, but be sure not to compact the soil too much. Complete the backfilling to the finish grade. Once again, tamp the soil slightly to remove air pockets.

For planting in parkways, form a watering basin out of backfill material, approximately six (6") inches high. The basin shall be installed four (4") inches outside of and around the edge of the planting hole. This basin is not necessary when planting in tree wells.

Remove all nursery stakes, ties and ribbons from the tree, and install the planting materials as specified above.

A three (3") to four (4") inch layer of City approved wood chip mulch shall be placed within the planting basin/well of the tree. A space of three (3") inches shall be left between the tree's stem and the mulch layer to allow airflow and to restrict moisture from remaining static around the base of the trunk.

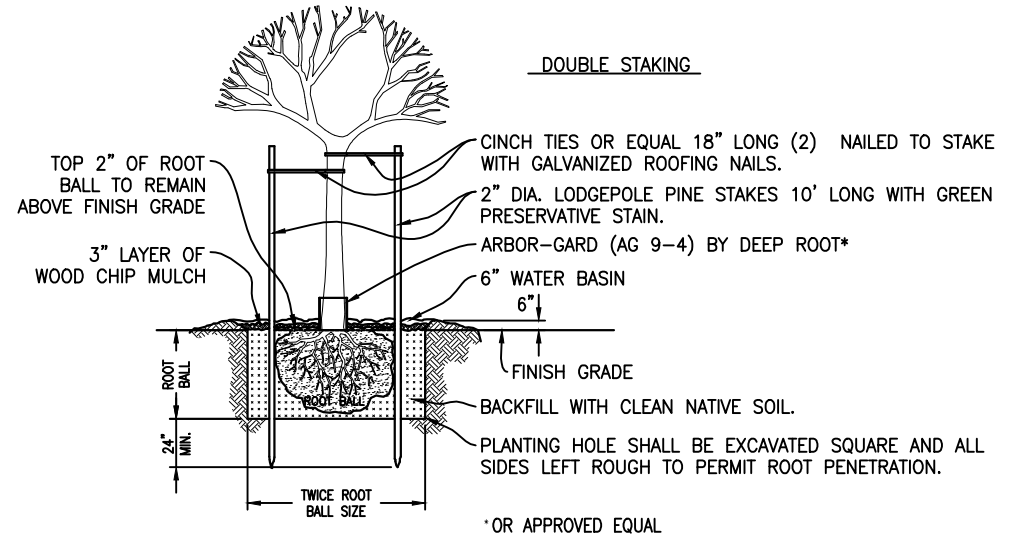
All new trees shall be given an initial deep watering, and provisions shall be made in the construction maintenance period for watering any new trees every seven (7) days or less as needed to keep the root zone moist, of an amount ranging from 5-20 gallons per watering, as needed to achieve deep root watering.

Tree stakes and ties should be removed from the tree within three years after planting, or when the circumference of the tree's trunk is equal to or exceeds the circumference of the stakes.

For specific details on proper planting procedures refer to the attached Standard for Tree Planting and Staking.

## TREE PLANTING NOTES:

1. DIG THE DIAMETER OF THE PLANTING HOLE AT LEAST TWO (2) TIMES WIDER THAN THAT OF THE ROOT BALL.
2. DIG THE DEPTH OF THE PLANTING HOLE SHALLOW ENOUGH TO ALLOW FOR THE TOP TWO (2") INCHES OF THE ROOT CROWN TO REMAIN ABOVE THE FINISH GRADE.
3. TAMP DOWN THE BASE OF THE HOLE TO ALLOW THE TREE TO STAND STRAIGHT AND TO AVOID THE POTENTIAL OF THE TREE SETTLING BELOW THE FINISH GRADE.
4. POUND TWO (2) LODGEPOLE PINE TEN (10') FOOT LONG STAKES TO A DEPTH OF TWENTY-FOUR (24") INCHES BELOW BOTTOM OF PLANTING HOLE. ENSURING THAT THE TOP OF THE STAKE IS SLIGHTLY BELOW THE LOWEST LATERAL LIMBS OF THE CANOPY.
5. ATTACH A MINIMUM OF TWO (2) INCH TIES TO TIE THE TREE TO THE STAKES, LEAVING THE TIES LOOSE ENOUGH AROUND THE TRUNK TO ALLOW THE TREES TO SWAY SLIGHTLY.
6. SCARIFY OR SCRAPE THE SIDES OF THE PLANTING HOLE.
7. BACKFILL THE PLANTING HOLE WITH CLEAN, NATIVE SOIL NO HIGHER THAN HALFWAY UP THE ROOTBALL. SLIGHTLY TAMP THE SOIL TO REMOVE AIR POCKETS, BUT BE SURE NOT TO COMPACT THE SOIL TOO MUCH.
8. COMPLETE THE BACKFILLING TO THE FINISH GRADE. ONCE AGAIN, TAMP THE SOIL SLIGHTLY TO REMOVE AIR POCKETS.
9. FORM A WATERING BASIN OUT OF BACKFILL MATERIAL, APPROXIMATELY SIX (6) INCHES HIGH. THE BASIN SHALL BE INSTALLED FOUR (4") INCHES OUTSIDE OF AND AROUND THE EDGE OF THE PLANTING HOLE.
10. REMOVE ALL NURSERY STAKES, TIES AND RIBBONS FROM THE TREE.
11. INSTALL A THREE (3") TO FOUR (4") INCHES LAYER OF CITY APPROVED WOOD CHIP MULCH WITHIN THE PLANTING BASIN OF THE TREE. A SPACE OF THREE (3") INCHES SHALL BE LEFT BETWEEN THE TREE'S STEM AND THE MULCH LAYER TO ALLOW AIRFLOW AND TO RESTRICT MOISTURE FROM REMAINING STATIC AROUND THE BASE OF THE TRUNK.
12. GIVE THE NEW TREE AN INITIAL DEEP WATERING.
13. ALL SPECIMEN PLANT MATERIALS, SHRUBS AND LAWN SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION.
14. SPECIMEN TREES IN BOXES SHALL BE GUARANTEED FOR (2) YEAR. UPON COMPLETION OF WORK APPROVED BY THE CITY OF GLENDALE, THE CONTRACTOR SHALL PERFORM A TWO-YEAR (2) MAINTENANCE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SKATING ALL SEWER, ELECTRICAL, WATER MAIN LINES, AND UTILITIES PRIOR TO PLANTING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
16. THE CONTRACTOR SHALL EXERCISE CARE WHILE WORKMEN ARE DIGGING AROUND.



## PLANTING TREE IN PARKWAY

NOT TO SCALE