



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

May 25, 2023 <i>Decision</i>	1546 Grandview Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5629-006-012 <i>APN</i>
PADR-000939-2023 <i>Case Number</i>	Nareg Khodadadi <i>Applicant</i>
Kasey Conley <i>Case Planner</i>	Ani Muradyan <i>Owner</i>

Project Summary

The applicant is proposing to construct an 1,840-square-foot one-story addition at the rear of the existing 1,604-square-foot, one-story, single-family residence designed in the Minimal Traditional style and built in 1946. The project will also include a covered patio at the rear of the building, replacement of windows and doors, and an ADA accessible ramp at the front entrance.

The property is a contributor to South Cumberland Heights Historic District.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because it is a minor addition to an existing building. It is also exempt as a Class 31 "Historic Restoration or Rehabilitation" pursuant to Section 15331 of the State CEQA Guidelines because the project will result in the residence remaining a contributor to the South Cumberland Heights Historic District.

Existing Property/Background

The property is in the RI (Low Density Residential) Zone District I and in the South Cumberland Heights Historic District. The South Cumberland Heights Historic District was designated in November 2021 and the existing one-story residence is identified as a contributor to the district.

Staff Recommendation

Approve

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI-I-HD FAR District: I

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	15,248 square feet	5,700-35,880 square feet	17,925 square feet
Setback	47'	25'-150'	50'4"
House size	2,355 square feet	1,341-4,926 square feet	3,482
Floor Area Ratio	0.15	0.07-0.31	0.19
Number of stories	1	1-2	1

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

The addition is appropriately located directly behind the existing house. The addition is stepped in at the north façade from the original corner of the building as well as at the south façade behind the existing attached garage. The additions remain out of the interior setbacks and no alterations to the front setback will occur.

Garage Location and Driveway

yes **n/a** **no**

If "no" select from below and explain:

- Predominant pattern on block

- Compatible with primary structure
- Permeable paving material
- Decorative paving

The existing garage will remain with a 180 square-foot addition at the rear achieved by elongating the existing hipped-roof form which dies into the new roof over the proposed addition along this side.

Landscape Design

- yes** **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

- yes** **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition is appropriately located behind the house and is stepped in from the existing corners to create a differential between the existing and new.
- The street front setback along Grandview Avenue will not be altered.
- Landscaping and trees along the front façade will be retained and the site will exceed the required minimum 40% open space requirement.
- The addition at the rear of the garage will not alter the existing garage’s appearance or its relationship with the existing house/lot.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

- yes** **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Though the addition is large, it is entirely located behind the existing house. The new roof is somewhat visible at the southern end of the primary façade and along the side facades, but its simple hipped form is lower in height than the original roof, ensuring that the massing of the new does not overpower the existing.

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

The new roof form that is visible over the attached garage at the south mirrors the existing roof forms, is lower in height than the original roof, and is approximately 85 feet from the public right-of-way minimizing its visibility.

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The entirety of the addition is set behind the existing residence, while also stepping in at the corners to ensure that the new massing is minimally visible and respectful of the existing.
- The new roof is simple in design, lower than the main existing roof form, and matches the existing pitch and hipped form.
- The proposed project relates to its surrounding context by remaining a one-story single-family residence with no mass or scale impacts to surrounding buildings.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

A new ADA compliant entry ramp will be added to the entryway of the building retaining most of the existing stairs for continued use. The form of the ramp will follow the existing curved, concrete walkway that leads from the driveway to the entrance. This addition is a minimal alteration of the entryway where all other materials and features will be retained.

Windows

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Existing windows will be replaced with new fiberglass windows that match the existing operation, location, and design of the original windows. New windows, where visible from the street, will be hung and recessed in the openings, with sills and a single, horizontal muntin in each sash as seen on the original windows.

Privacy

yes **n/a** **no**

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If "no" select from below and explain:

- Textures and colors reinforce design

- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

The house is currently clad in a non-original textured stucco. The existing house and the addition will be clad in La Habra stucco with a smooth finish for a uniformed look appropriate to the style and period.

Paving Materials

- yes** **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

- yes** **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

No new lighting is proposed at the front of the property and equipment and trash enclosures are properly screened or out of view.

Ancillary Structures

- yes** **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design and architectural concept of the addition will be consistent with the character of the existing residence.
- The finish materials are appropriate to the Minimal Traditional style including smooth stucco finish and composition shingle roofing.
- The window replacements proposed at the front of the house and the new windows and openings at the side facades of the existing house and the addition are consistent with the style and period of the house.

Glendale Historic District Design Guidelines Analysis

Staff believes the current proposal meets the Historic District Design Guidelines and is therefore appropriate to the contributing property. In conformance with the Massing & Additions section for Minimal Traditional style properties, the addition is located to the rear of the existing house. The new hipped roof at the rear will have limited visibility and, though partially visible from the public right-of-way, is lower than the existing roof height so it does not detract from or overwhelm the original building volume. The roof and exterior cladding of the proposed addition will echo the original and be compatible with existing building. The proposed fiberglass windows will mirror the few existing original windows in operation, location, and divided light pattern. Because most of the windows proposed for replacement are not original, the new windows will help make the house more consistent with its style and period of construction. In accordance with the Architectural Details section, the addition is restrained with little to no ornamentation while the existing details on the primary, such as the brick, horizontal wood siding, and hexagonal bay window, will all be retained.

Secretary of the Interior's Standards for Rehabilitation Analysis

Staff believes the proposed work complies with the Rehabilitation Standards as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

- The property was developed as a single-family residence and will remain a single-family residence.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- The historic appearance and all character-defining features of the property will be retained.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

- The addition will be a simple design, in keeping with that of the existing residence, and will not add any elements that create a false sense of history.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

- The property has seen little change over time and no changes since construction have acquired historic significance.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

- All existing character-defining features at the front portion of the house will remain, including the asymmetrical massing, horizontal wood cladding, brick wainscoting, recessed stoop with brick steps and paneled walls, and hexagonal bay window. The existing side facades make only a limited contribution to the overall character of the property as they are simple in design, yet the addition at the rear is stepped in at either corner of the original building to retain and respect the original volume.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

- As discussed above, no character-defining features will be altered or removed as part of the project. The brick entrance steps will be partially covered with the new ADA compliant ramp, yet most of them will remain visible. The replacement of the windows with compatible windows matching the existing operation, location, and divided-light pattern is appropriate to the building.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

- Not applicable.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

- Not applicable.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- No character-defining features or materials that characterize the property will be destroyed due to the construction of the proposed addition. The asymmetrical massing, horizontal wood cladding, brick wainscoting, recessed stoop with brick steps and paneled walls, and hexagonal bay window will all be retained. The addition will be contained to the rear of the existing building and is differentiated by stepping in the new from the existing building form. The existing residence has minimal ornamentation, and the simple aesthetic of the proposed addition works to minimize its appearance, making the new massing and scale more compatible. The new work will maintain the existing character of the Minimal Traditional style and is compatible with the existing massing, size, scale, and architectural features.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

- The single-family residence could be returned to its original size and shape in the future. The walls at the rear and the south facades would require reconstruction, but the simple design of these facades, which are documented in this application, would allow for a faithful replication.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Return for Redesign**. The following conditions are recommended as part of the approval:

Conditions

No conditions are proposed for this project.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. South Cumberland Heights Historic District DPR Form

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREON WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

RESIDENTIAL ADDITION & REMODEL MURADYAN RESIDENCE

1546 GRANDVIEW AVE. GLENDALE, CA 91201

SITE MAP



NOTES

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLWING :

1. RETAINING WALL OF BLOCK FENCE WALL
2. GRADING WORK
3. SWIMMING POOL
4. A SEPARATE STRUCTURE
5. SHORING
6. DEMOLITION

SCOPE OF WORK

- RESIDENTIAL REMODEL (1,604 SQ. FT.) AND ADDITION OF 1840 SQ. FT. AREA TO EXT'G SFD.
- NEW BASEMENT (MECHANICAL ROOM/STORAGE) (2,439 SQ. FT.)
- NEW COVERED PATIO (450 SQ.FT.)
- ADDITION TO EXT'G 2 CAR GARAGE (180 SQ. FT.)
- REPLACEMENT OF ALL WINDOWS & DOOR

SHEET INDEX

ARCHITECTURAL SHEETS:

- A0.1 COVER SHEET
- A0.2 GREEN & SECURITY NOTES
- A1.1 PROPOSED SITE PLAN
- A2.0 EXT'G FLOOR PLAN
- A2.1 EXT'G ROOF PLAN
- A2.2 DEMO PLAN & CALCULATIONS
- A2.3 PROPOSED FLOOR PLAN
DOOR & WINDOW SCHEDULE
PROPOSED BASEMENT PLAN
- A2.4 PROPOSED ROOF PLAN
- A2.5 REFLECTED CEILING PLAN
- A2.7 ARCH'L & ROOF DETAILS
- A2.8 MATERIALS SPECIFICATION SHEETS
- A3.1 EXT'G & NEW FRONT WEST ELEVATION
- A3.2 EXT'G & NEW SOUTH ELEVATION
- A3.3 EXT'G & NEW REAR WEST ELEVATION
- A3.4 EXT'G & NEW NORTH ELEVATION
- A4.1 BUILDING SECTIONS

MECHANICAL SHEETS:

- T1 TITLE 24
- T1 TITLE 24

STRUCTURAL SHEETS :

- S-1 GENERAL NOTES
- S-2.1 STANDARD DETAILS
- S-2.2 STANDARD DETAILS
- S-2.3 STANDARD DETAILS
- S-3 FOUNDATION PLAN
- S-4 ROOF AND FRAMING PLAN

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	17,925 SQ. FT.
EXT'G RESIDENCE	1,604 SQ. FT.
EXT'G 2 CAR GARAGE	400 SQ. FT.
EXT'G FRONT COVERED PORCH	33 SQ. FT.
PROPOSED ADDITION	1,840 SQ. FT.
GARAGE ADDITION	190 SQ. FT.
NEW BASEMENT FLOOR	2,060 SQ. FT.
REAR COVERED PATIO	757 SQ. FT.
TOTAL LIVING AREA	3,444 SQ. FT.
TOTAL GARAGE AREA	590 SQ. FT.

FLOOR AREA RATIO

MAX. 30% (OF 10,000) - 3,000 SQ. FT.	LIVING AREA (3,444 SQ. FT.)	
MAX. 10% (OF 7,925) - 792.5 SQ. FT.	+ GARAGE (80 SQ. FT.)	
	= 3,534 SQ.FT.	
TOTAL MAX.	3,792.5 SQ. FT.	20%

LOT COVERAGE RATIO

MAX. 40% - 7,140 SQ. FT.	LIVING AREA (3,444 SQ. FT.)	
	GARAGE AREA (590 SQ. FT.)	
	EXT'G PORCH (33 SQ. FT.)	
	REAR COVERED PATIO (757 SQ. FT.)	
	TOTAL: 4,824 SQ. FT.	27%
	LOT AREA (17,925 SQ. FT.)	

LANDSCAPE RATIO

MIN. 40% - 7,140 SQ. FT.	LANDSCAPED AREA (12,341 SQ. FT.)	69%
	LOT AREA (17,925 SQ. FT.)	

ZONING

R11

APN

5629-006-012

TRACK

NO 7108

OCCUPANCY

RESIDENCE - R3
GARAGE - U

CONSTRUCTION TYPE

V-B

YEAR BUILT

1946

FIRE SPRINKLERS

MAIN RESIDENCE - YES

NUMBER OF STORIES

1

FIRE ZONE

NO

CA CLIMATE ZONE

9

PROJECT SHALL COMPLY W/ THE 2016 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2017 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

PROJECT INFORMATION

PROJECT LOCATION
1546 GRANDVIEW AVE.
GLENDALE, CA 91201

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE ST. UNIT: E
GLENDALE, CA 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM

OWNER
1546 GRANDVIEW AVE.
GLENDALE, CA 91201

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"
RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

ROOFTOP EQUIPMENT IS PROHIBITED IN THIS ZONE.

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/ OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. FIRE SPRINKLERS: PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.

3. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM. BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.

4. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (2) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND /OR NFPA 720 STANDARDS. 2016 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

5. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

6. REQUIRED FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE LISTED BELOW. FOR ALL INSPECTIONS, CALL 818-548-4810

7. FIRE PERMITS: THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT:

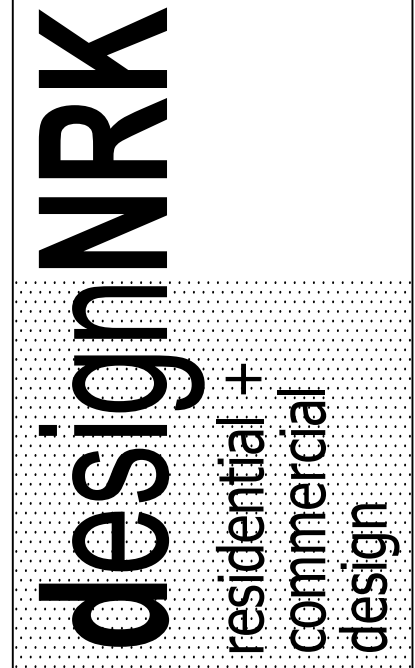
- FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH (BEFORE COVERING ANY PIPING)
- FIRE SPRINKLER FINAL
- FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

8. ADDITIONAL REQUIRED GFD INSPECTIONS: FOR INSPECTIONS, CALL 818-548-4810. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE: FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS FIRE DEPARTMENT ACCESS, SMOKE DETECTORS.

REVISIONS:

1	-

213 n. orange st. ste: e
glendale, ca 91203
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COVER SHEET
MURADYAN RESIDENCE
1546 GRANDVIEW AVE. GLENDALE, CA 91201

DATE: 03/2023
DRAWN BY: NRK
JOB NO. 19045

SHEET NO.
A0.1

THIS DOCUMENT IS PROPERTY OF DESIGNNRX. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF DESIGNNRX. A NOTICE OF BUILDING BEFORE ANY CONSTRUCTION WORK.

GREEN NOTES :

Community Development Department Building and Safety Division 2019 CALGreen Code			FORM GRN 4
RESIDENTIAL MANDATORY MEASURES NEW, ADDITION AND ALTERATION			
<p>The 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen) requires all of the following provisions. These provisions apply to all new constructed residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings such as apartments, condominiums, hotels and motels. These provisions also apply to the additions and alterations of existing residential buildings that increase the buildings conditioned area, volume, or size.</p> <p>Please incorporate these requirements into the plans and sign the compliance statement at the end of this document. Provisions that are underlined and boldfaced shall be shown on the construction documents. The information listed here is an outline of the Mandatory Measures. For complete requirements and possible exceptions, please refer to the 2019 CALGreen Code. Code sections in bold are City of Glendale additional mandatory CALGreen amendments.</p>			
ITEM #	CODE SECTION	REQUIREMENTS	
Chapter 1 – ADMINISTRATION			
101.3.1 Scope			
Applies to ALL newly constructed residential buildings; low-rise, high-rise and hotels/motels.			
Chapter 3 – GREEN BUILDING			
301.3 Addition and Alterations			
<ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration. 			
Chapter 4 – RESIDENTIAL MANDATORY MEASURES			
Division 4.1 – Planning and Design			
Site Development (Sec. 4.106)			
1	4.106.1	General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.	
2	4.106.2	Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site: <ol style="list-style-type: none"> Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system or gutter, water shall be filtered by use of a barrier system or waste approved by the City. Compliance with all NPDES and City of Glendale Storm Water Management Ordinance. <p>Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or part of a larger common plan of development which in total disturbs one acre or more of soil.</p>	

Residential Mandatory Checklist Page 2 of 8 Updated: 01/01/2020

Community Development Department Building and Safety Division 2019 CALGreen Code			FORM GRN 4
Division 4.2 – Energy Efficiency			
4.201.1 Scope			
This project shall comply with all applicable energy efficiency requirements as set forth in the 2019 California Energy Code.			
Division 4.3 – Water Efficiency and Conservation			
Indoor Water Use (Sec. 4.303)			
10	4.303.1	Indoor water use. Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents: <ol style="list-style-type: none"> Water closets. Maximum 1.28 gallons per flush. Urinals. Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flush. Single showerheads. Maximum flow rate of 2.0 gallons per minute at 80 psi. Multiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi. Lavatory faucets in common and public use areas. Maximum flow rate of 1.2 gallons per minute at 80 psi. Lavatory faucets in common and public use areas. Maximum flow rate of 0.5 gallons per minute at 60 psi. Meating faucets. Maximum flow rate of 1.8 gallons per minute at 80 psi. Kitchen faucets. Maximum flow rate of 1.8 gallons per minute at 80 psi. <p>Plumbing fixtures and fittings shall be installed in accordance with the 2019 California Plumbing Code and shall meet the applicable standards referenced in Table 1707.1.1 of the California Plumbing Code.</p> <p>Note: All non-potable plumbing fixtures in any residential project shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a Certificate of Occupancy.</p>	

Residential Mandatory Checklist Page 5 of 8 Updated: 01/01/2020

SECURITY NOTES :

Community Development Department Building and Safety Division 2019 CALGreen Code			FORM GRN 4
SECURITY STANDARDS – RESIDENTIAL			
<p>The following buildings shall comply with the Security Provisions:</p> <ol style="list-style-type: none"> New residential buildings of all types. Additions or alterations to residential buildings of all types. Multiple family dwelling units converted to privately owned family units (condominiums or cooperatives). <p>2. Identify all security openings clearly on plans. The symbol "M" may be used, but any system which clearly defines security openings will be acceptable.</p> <ol style="list-style-type: none"> Security Openings are defined as: <ol style="list-style-type: none"> All exterior doors of residential buildings. The door leading from garage into attached dwelling units. Entrance doors to individual apartments or condominiums from a public area. Any glazed opening within 40" of any door locking mechanism in the closed mechanism. Louvered windows within 12" vertically or 6" horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure. Openings or windows into public parking areas. All operable windows. See Item a below. <p>3. Provide details and specifications for all swinging doors in security openings.</p> <ol style="list-style-type: none"> Specify thickness, type, and materials as applicable for wood, metal, and glass doors. Specify deadbolts with hardened inserts; dead-locking latch key-operated locks on exterior; locks operable without key, special knowledge or special effort on interior; and type, throw, and embedment of deadbolts for single swing doors, active leaf of Dutch door. Show means of securing inactive leaf of double door and upper leaf of Dutch door. <p>4. Architect shall specify sliding glass doors and operable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition of the California Building Code.</p> <p>5. Show the method of securing metal or wood overhead or sliding doors.</p> <p>6. For multiple family dwellings, show illuminated diagram on plans as specified in General Notes, Item 12.2.</p>			

Residential Mandatory Checklist Page 1 of 4 Rev 01/20 - Page 1 of 4

Community Development Department Building and Safety Division 2019 CALGreen Code			FORM GRN 4
Division 4.3 – Water Efficiency and Conservation			
Indoor Water Use (Sec. 4.303)			
10	4.303.1	Indoor water use. Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents: <ol style="list-style-type: none"> Water closets. Maximum 1.28 gallons per flush. Urinals. Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flush. Single showerheads. Maximum flow rate of 2.0 gallons per minute at 80 psi. Multiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi. Lavatory faucets in common and public use areas. Maximum flow rate of 1.2 gallons per minute at 80 psi. Lavatory faucets in common and public use areas. Maximum flow rate of 0.5 gallons per minute at 60 psi. Meating faucets. Maximum flow rate of 1.8 gallons per minute at 80 psi. Kitchen faucets. Maximum flow rate of 1.8 gallons per minute at 80 psi. <p>Plumbing fixtures and fittings shall be installed in accordance with the 2019 California Plumbing Code and shall meet the applicable standards referenced in Table 1707.1.1 of the California Plumbing Code.</p> <p>Note: All non-potable plumbing fixtures in any residential project shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a Certificate of Occupancy.</p>	

Residential Mandatory Checklist Page 2 of 8 Updated: 01/01/2020

Community Development Department Building and Safety Division 2019 CALGreen Code			FORM GRN 4
Division 4.4 – Material Conservation and Resource Efficiency			
4.401.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.5 – Environmental Quality			
Fireplaces (Sec. 4.503)			
18	4.503.1	Fireplaces. Any masonry gas fireplace shall be direct vent sealed combustion type. New wood burning masonry fireplaces are not allowed per SCAQMD Rule 445.	

Residential Mandatory Checklist Page 5 of 8 Updated: 01/01/2020

Community Development Department Building and Safety Division 2019 CALGreen Code			FORM GRN 4
Division 4.6 – Natural Light and Ventilation			
4.601.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.7 – Natural Light and Ventilation			
4.701.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.8 – Natural Light and Ventilation			
4.801.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.9 – Natural Light and Ventilation			
4.901.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.10 – Natural Light and Ventilation			
4.1001.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.11 – Natural Light and Ventilation			
4.1101.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.12 – Natural Light and Ventilation			
4.1201.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.13 – Natural Light and Ventilation			
4.1301.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.14 – Natural Light and Ventilation			
4.1401.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.15 – Natural Light and Ventilation			
4.1501.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.16 – Natural Light and Ventilation			
4.1601.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.17 – Natural Light and Ventilation			
4.1701.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.18 – Natural Light and Ventilation			
4.1801.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.19 – Natural Light and Ventilation			
4.1901.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.20 – Natural Light and Ventilation			
4.2001.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.21 – Natural Light and Ventilation			
4.2101.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.22 – Natural Light and Ventilation			
4.2201.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.23 – Natural Light and Ventilation			
4.2301.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.24 – Natural Light and Ventilation			
4.2401.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.25 – Natural Light and Ventilation			
4.2501.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.26 – Natural Light and Ventilation			
4.2601.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.27 – Natural Light and Ventilation			
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This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.28 – Natural Light and Ventilation			
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Division 4.29 – Natural Light and Ventilation			
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This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.30 – Natural Light and Ventilation			
4.3001.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.31 – Natural Light and Ventilation			
4.3101.1 Scope			
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Division 4.32 – Natural Light and Ventilation			
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4.3701.1 Scope			
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This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
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4.3901.1 Scope			
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Division 4.40 – Natural Light and Ventilation			
4.4001.1 Scope			
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Division 4.41 – Natural Light and Ventilation			
4.4101.1 Scope			
This project shall comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).			
Division 4.42 – Natural Light and Ventilation			
4.4201.1 Scope			
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4.4301.1 Scope			
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Division 4.89 – Natural Light and Ventilation			
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Division 4.90 – Natural Light and Ventilation			
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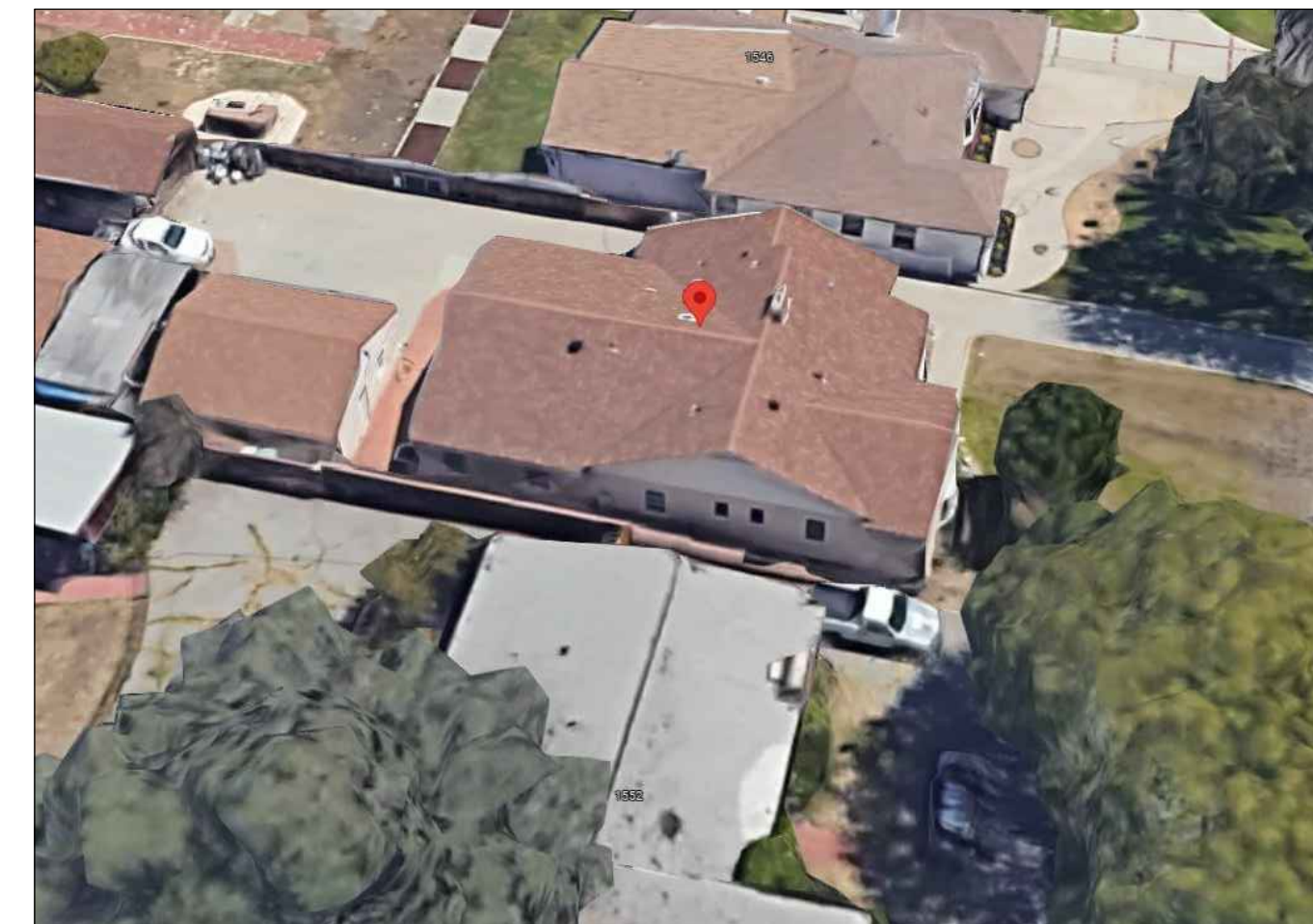
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AERIAL VIEW 1



REAR VIEW 3



AERIAL VIEW 5



FRONT VIEW 2



REAR AERIAL VIEW 4



LEFT VIEW 6

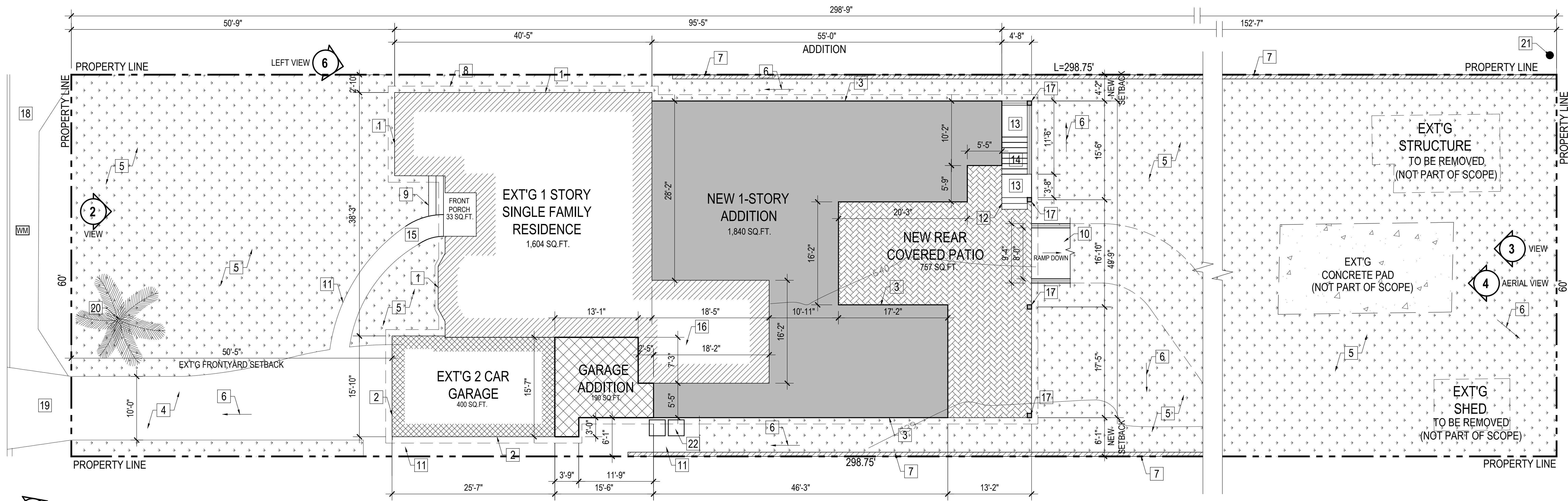
AERIAL VIEW



SITE PLAN KEYED NOTES

1. EXT'G FLOOR WALL LINE
2. EXT'G GARAGE WALL LINE
3. NEW ADDITION WALL LINE
4. EXT'G CONC. DRIVEWAY TO REMAIN
5. EXT'G LAWN LANDSCAPING TO REMAIN
6. DIRECTION OF SHEET FLOW MIN 2%
7. EXT'G CMU WALL FENCE TO REMAIN
8. OUTLINE OF NEW ROOF (SEE ROOF PLAN)
9. EXT'G CONC. STEPS
10. REAR ACCESS RAMP LOCATION TO BE TIED UP WITH NEW HARDSCAPING WORK (ADA COMPLIANT 1:12 MAX. SLOPE)
11. EXT'G CONC. WALKWAY
12. CONTINUED STEP DOWN TO CONC. LANDING
13. NEW CONCRETE LANDING
14. NEW CONCRETE STAIRS TO BASEMENT
15. NEW ENTRY RAMP TO BE TIED UP WITH EXT'G WALKWAY (ADA COMPLIANT)
16. EXT'G WATER METER LOCATION
17. NEW STUCCO WRAPPED COLS, TYP. OF 4
18. EXT'G SIDE WALK
19. EXT'G DRIVEWAY APRON TO REMAIN
20. EXT'G TREES TO REMAIN
21. EXT'G POWER POLE LOCATION
22. TRASH BIN LOCATIONS

- EXT'G 1-STORY RESIDENCE
- PROPOSED ADDITION
- EXT'G GARAGE
- GARAGE ADDITION
- EXT'G LANDSCAPING
- NEW COVERED PATIO
- WATER METER



PROPOSED SITE PLAN

SCALE : 1/8" = 1'-0"

REVISIONS:

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888.424.8125 f.
www.designNRK.com
info@designNRK.com

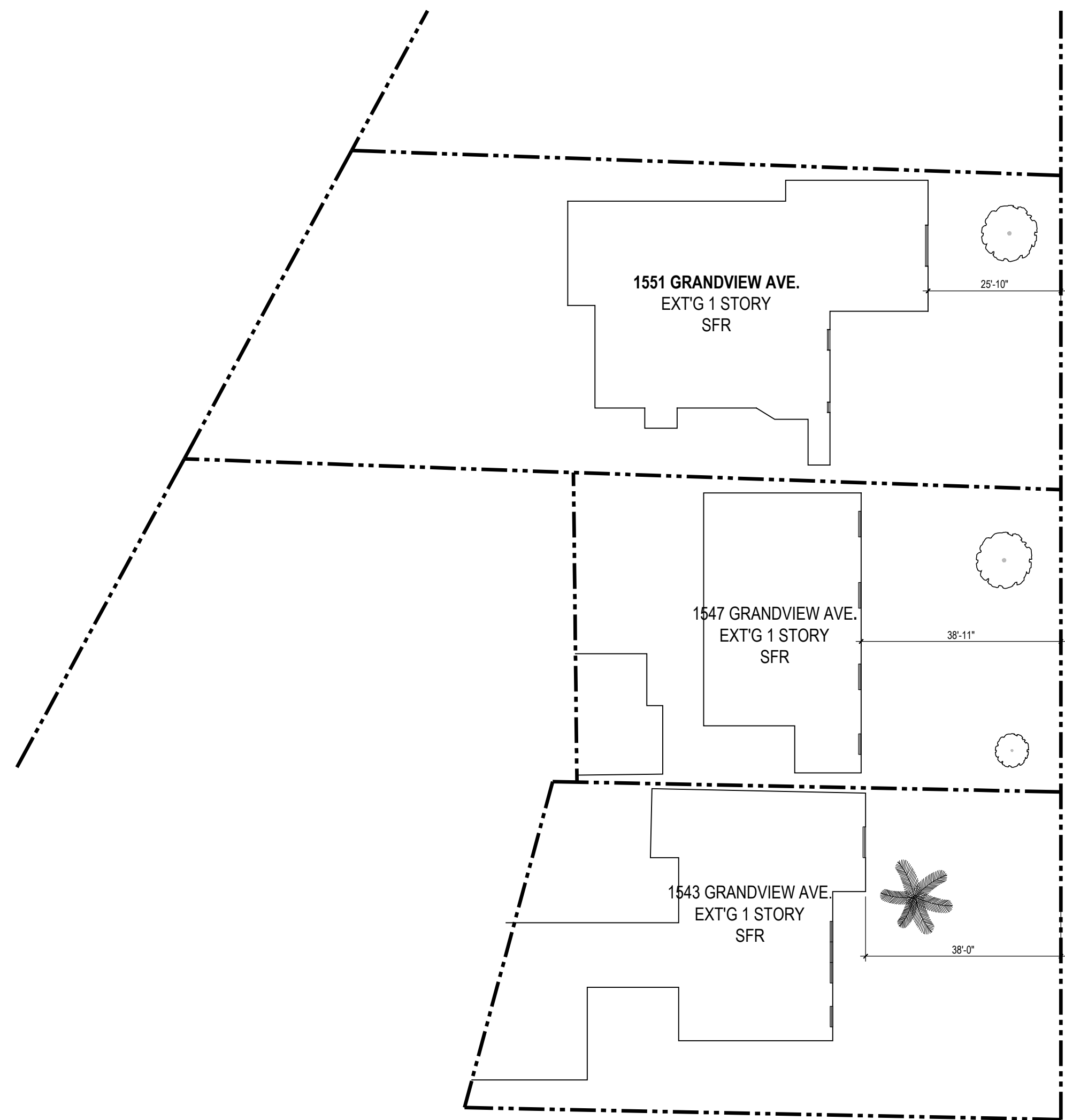
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commercial
design

SITE PLAN & ROOF PLAN
MURADYAN RESIDENCE
1546 GRANDVIEW AVE. GLENDALE 91201

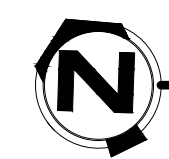
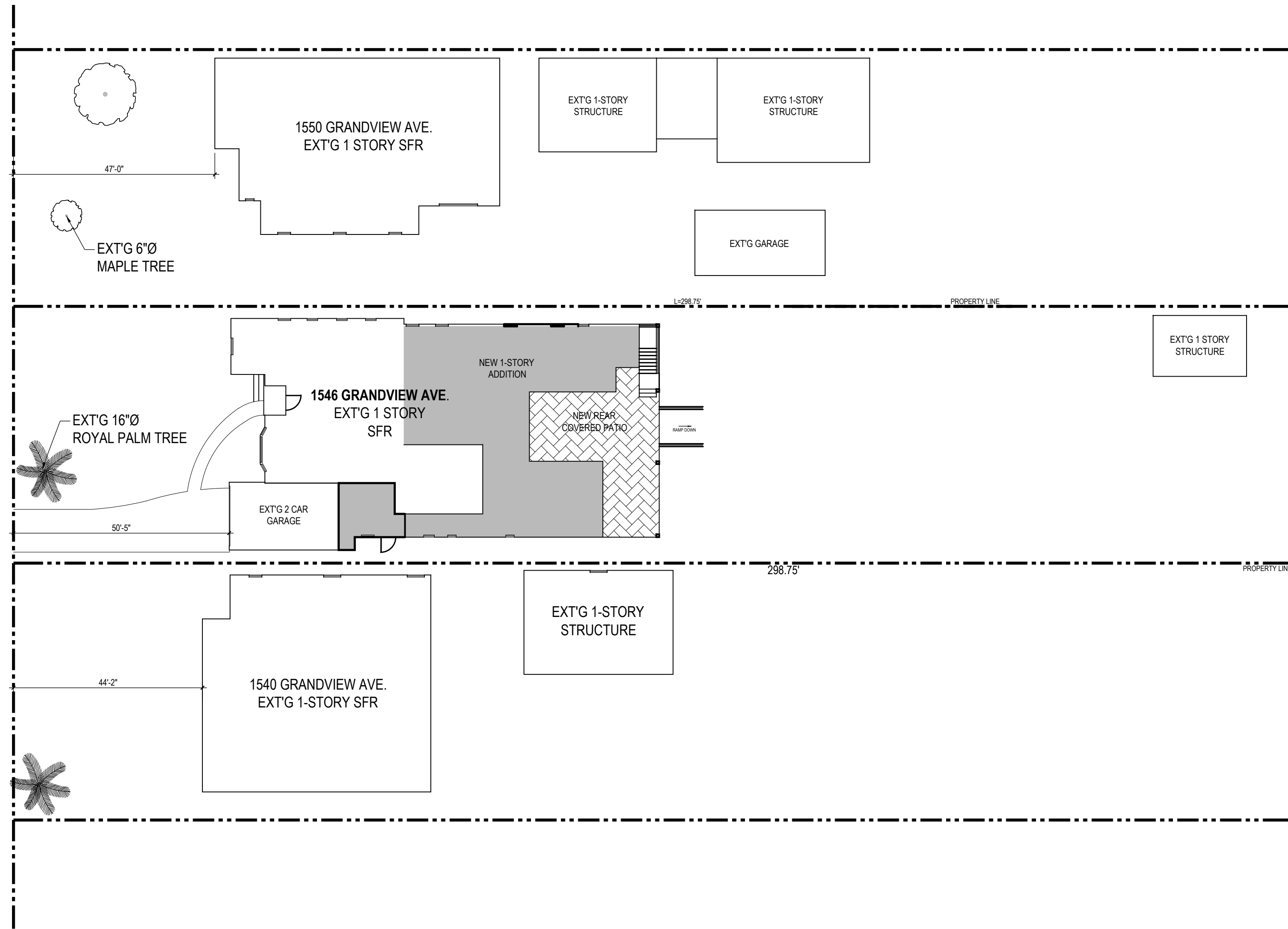
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GRANDVIEW AVENUE



NEIGHBORHOOD MAP

SCALE: 1"= 20'-0"

REVISIONS:

1	-
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NEIGHBORHOOD MAP

MURADYAN RESIDENCE

1546 GRANDVIEW AVE. GLENDALE 91201

DATE: 04/2023

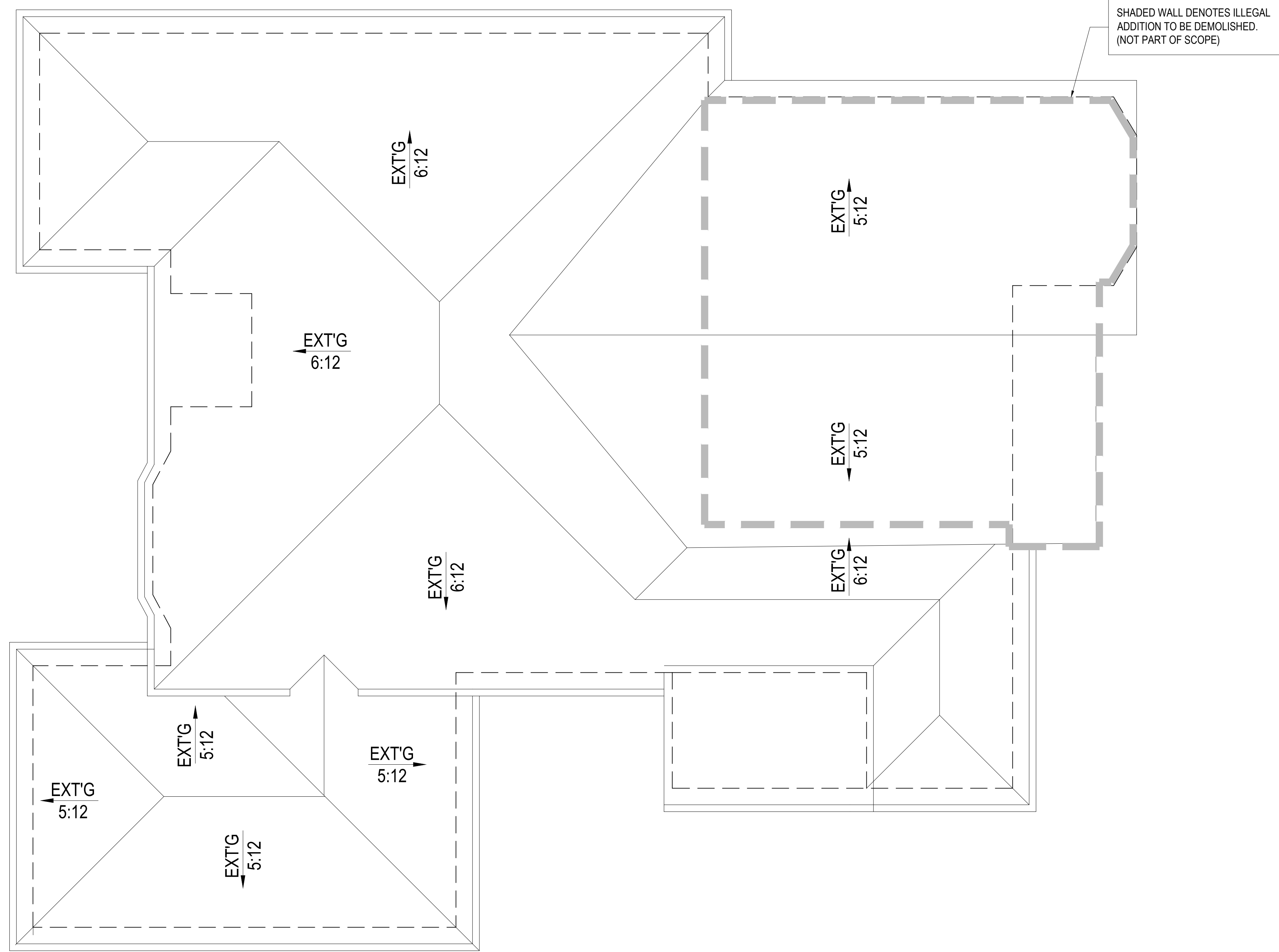
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EXISTING ROOF PLAN

SCALE : 1/4" = 1'-0"

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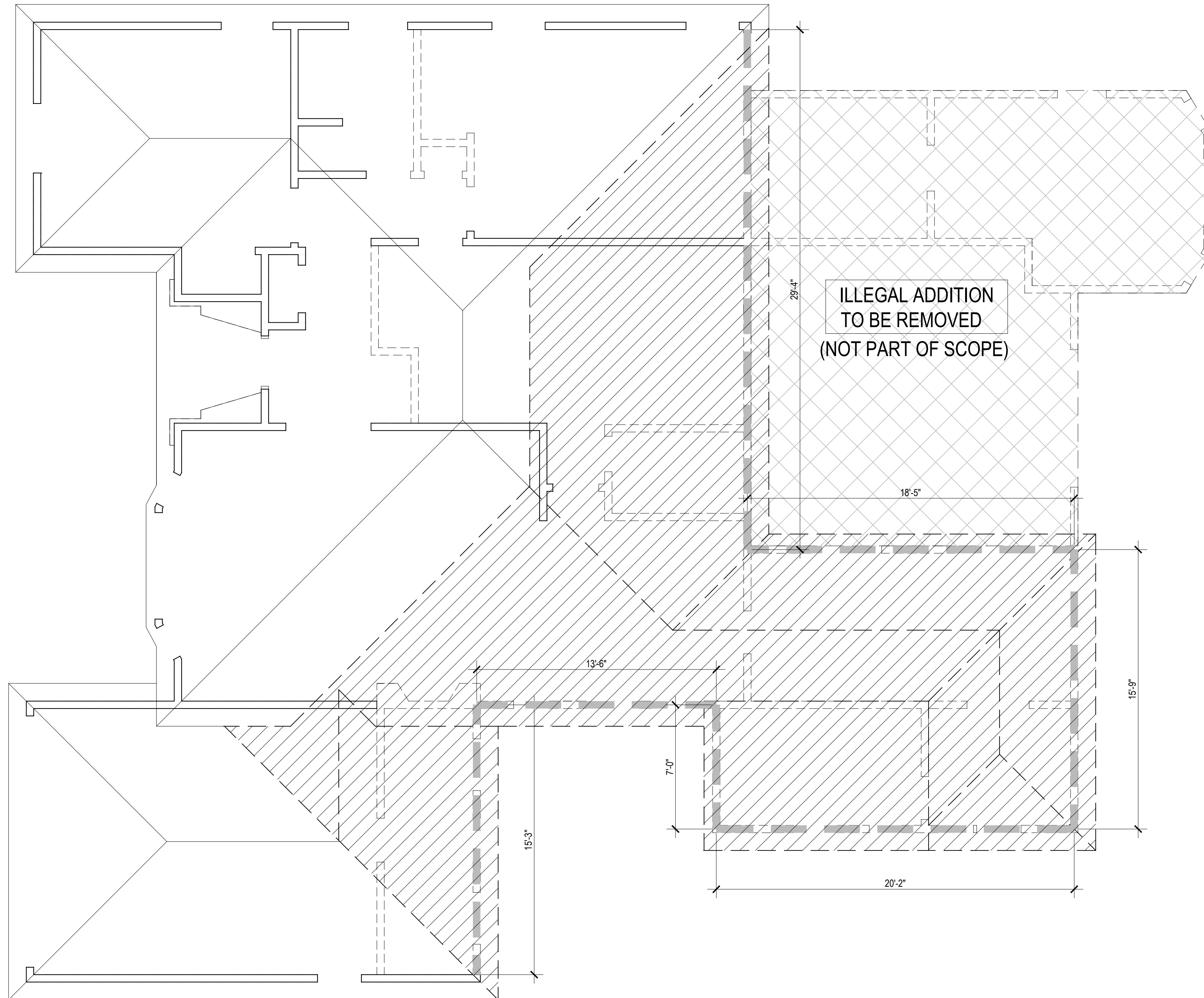
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EXT'G FLOOR PLANS
MURADYAN RESIDENCE
 1546 GRANDVIEW AVE. GLENDALE, CA 91201

DATE:	04/2023
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DEMO PLAN AND CALCULATIONS

SCALE : 1/4" = 1'-0"

DEMO CALCULATIONS :

EXT'G TOTAL EXTERIOR WALL AREA :	
265'-10" (LINEAR FT.) @ 9'-0" AVERAGE WALL :	2,392 SQ. FT.
EXTERIOR WALLS TO BE REMOVED:	
119'-4" (LINEAR FT.) @ 9'-0" AVERAGE WALL :	1,074 SQ. FT.
PERCENTAGE	45%
EXT'G TOTAL ROOF STRUCTURE AREA :	2,328 SQ. FT.
ROOF STRUCTURE TO BE REMOVED OR ALTERED :	1,003 SQ. FT.
PERCENTAGE	43%
TOTAL EXTERIOR WALL & ROOF AREA :	4,720 SQ. FT.
TOTAL WALL AREA & ROOF AREA TO BE REMOVED :	2,077 SQ. FT.
OVERALL PERCENTAGE OF DEMOLITION	44%

- EXT'G ROOF STRUCTURE TO BE REMOVED OR ALTERED
- EXT'G EXTERIOR WALLS TO BE REMOVED
- EXT'G WALLS TO REMAIN
- EXT'G WALLS TO BE DEMOLISHED

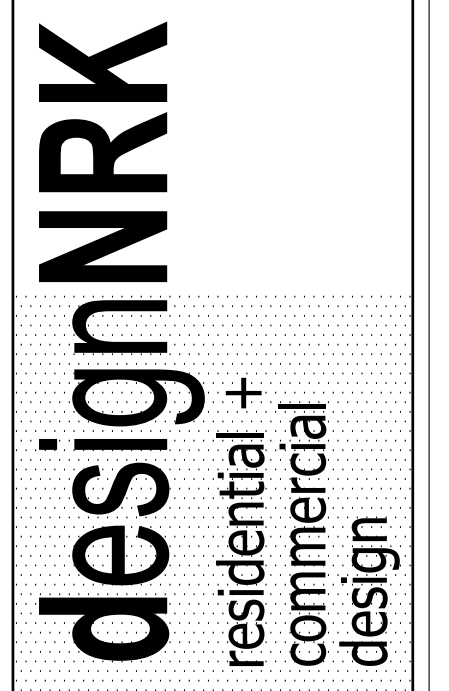
DEMOLITION NOTE :

- ALL DOOR/WINDOWS ARE TO BE REPLACED WITH **NEW** AS PART OF SCOPE OF WORKS. SEE DOOR-WINDOW SCHEDULE.
- PATCH UP WALL OPENINGS WHERE OCCURS.
- REMOVE ALL EXT'G FIXTURES AS SPECIFIED ON THE PLAN. INCLUDES ALL EXT'G FITTINGS & EXT'G PLUMBING LINE.

REVISIONS:

1	-
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DEMO PLANS AND CALCULATIONS

MURADYAN RESIDENCE

1546 GRANDVIEW AVE. GLENDALE, CA 91201

DATE:	04/2023
DRAWN BY:	NRK
JOB NO.	19045

SHEET NO.
A2.2

WINDOW SCHEDULE

MARK	NO. OF UNIT	EXTG SIZE		PROPOSED SIZE		EXTG MATERIAL	NEW MATERIAL	EXTG OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	HORIZONTAL DIVIDE Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXTG EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW W/IN 18" OF FLOOR OR 40" OF DOOR Y/N	MEANS OF EGRESS	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP														
A	5	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	SINGLE HUNG	BLOCKED	•	•	YES	BLACK	NO	YES	—	YES	—	WOOD	NO	NO / YES	YES	0.32	0.25	NEW WINDOW
B	5	—	—	2'-6"	3'-6"	—	FIBERGLASS	—	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	YES	YES	—	YES	—	WOOD	NO	NO	NO	0.32	0.25	OBSCURED GLASS
C	1	—	—	4'-6"	4'-6"	—	FIBERGLASS	—	FIXED	BLOCKED	•	•	NO	BLACK	NO	NO	—	YES	—	WOOD	NO	NO	NO	0.32	0.25	OBSCURED/CLEAR GLASS
D	1	—	—	7'-0"	3'-0"	—	FIBERGLASS	—	CSM-FIX-CSM	BLOCKED	•	•	NO	BLACK	NO	YES	—	YES	—	WOOD	NO	NO	NO	0.32	0.25	NEW WINDOW
E	2	—	—	3'-0"	4'-6"	—	FIBERGLASS	—	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	NO	YES	—	YES	—	WOOD	NO	NO	NO	0.32	0.25	NEW WINDOW
F	1	—	—	2'-6"	3'-8"	—	FIBERGLASS	—	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	NO	YES	—	YES	—	WOOD	NO	NO	NO	0.32	0.25	NEW WINDOW
G	1	—	—	3'-0"	4'-0"	—	FIBERGLASS	—	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	NO	YES	—	NO	WOOD	WOOD	NO	NO	NO	0.32	0.25	NEW WINDOW
H	2	2'-0"	5'-0"	2'-0"	5'-0"	WOOD	FIBERGLASS	SINGLE HUNG	SINGLE HUNG	BLOCKED	•	•	NO	BLACK	YES	YES	YES	NO	WOOD	WOOD	NO	NO	NO	0.32	0.25	REPLACED W/NEW (SAME SIZE)
I	1	6'-0"	5'-0"	6'-0"	5'-0"	WOOD	FIBERGLASS	FIXED	FIXED	BLOCKED	•	•	NO	BLACK	YES	NO	YES	NO	WOOD	WOOD	NO	NO	NO	0.32	0.25	REPLACED W/NEW (SAME SIZE)
J	1	3'-0"	4'-6"	3'-0"	4'-6"	VINYL	FIBERGLASS	SINGLE HUNG	SINGLE HUNG	BLOCKED	•	•	YES	BLACK	YES	YES	YES	NO	WOOD	WOOD	NO	NO	NO	0.32	0.25	REPLACED W/NEW (SAME SIZE)
K	3	—	—	2'-0"	3'-6"	—	FIBERGLASS	—	AWNING	BLOCKED	•	•	NO	BLACK	NO	NO	—	YES	—	WOOD	NO	NO	NO	0.32	0.25	NEW WINDOW@ BASEMENT

WINDOW NOTE:

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1) THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

DOOR SCHEDULE

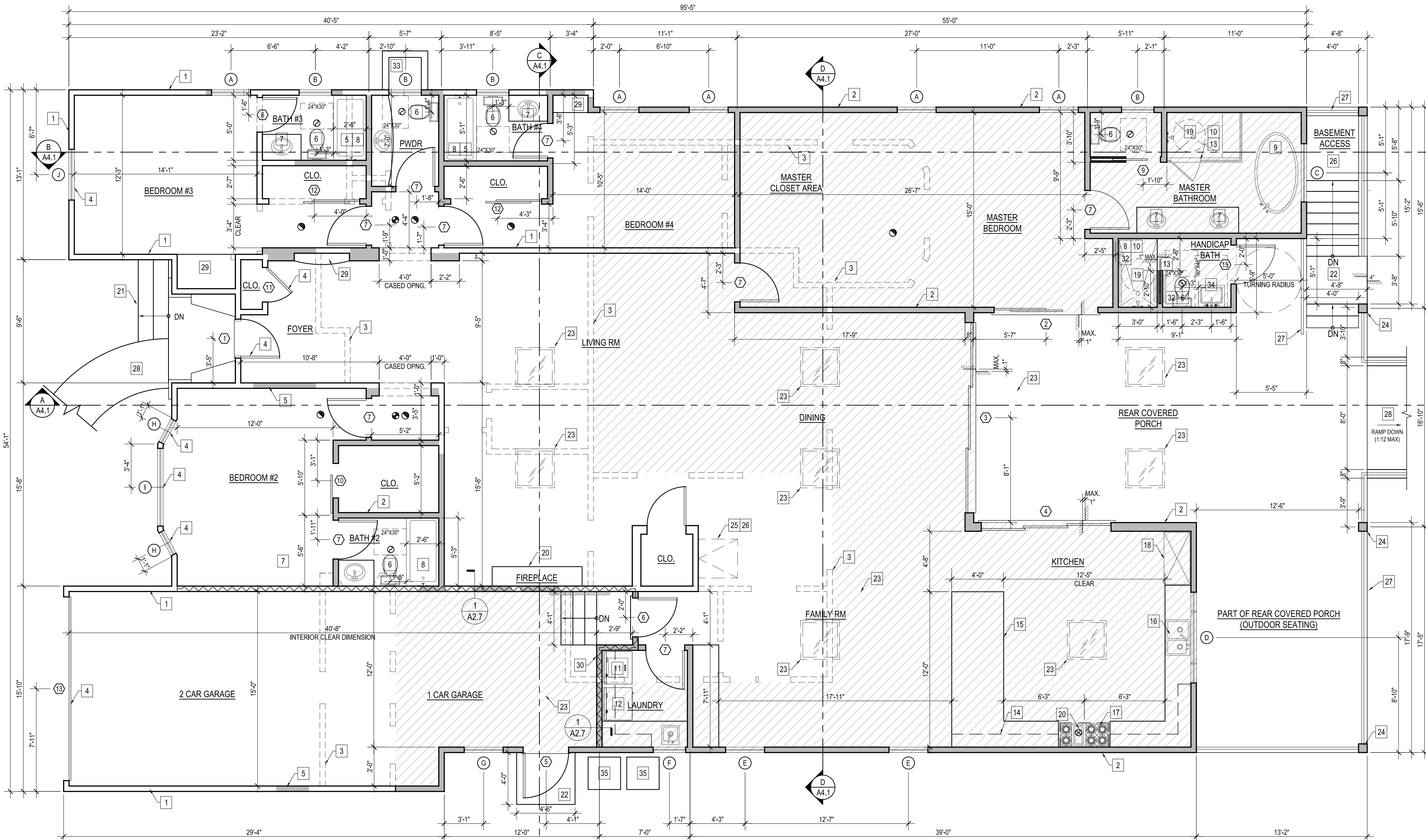
MARK	NO. OF UNIT	DOOR			GLAZE	FINISH	NOTES
		SIZE	THK	TEMP			
(1)	1	3'-0"	6'-8"	1 3/4"	•	PAINTED	NEW CUSTOM MADE DOOR (SEE A2.8)
(2)	1	8'-0"	6'-8"	1 3/4"	•	PAINTED	EXTERIOR SLIDING DOOR
(3)	1	12'-0"	8'-0"	1 3/4"	•	PAINTED	EXTERIOR BI-PASS SLIDER (3 PANELS)
(4)	1	10'-0"	6'-8"	1 3/4"	•	PAINTED	EXTERIOR BI-PASS SLIDER (3 PANELS)
(5)	1	3'-6"	6'-8"	1 3/4"	•	PAINTED	EXTERIOR GARAGE ACCESS DOOR
(6)	1	3'-0"	6'-8"	1 3/4"	•	PAINTED	SELF-CLOSING, SELF-LATCHING, 20 MIN. FIRE RATED DOOR
(7)	9	3'-0"	6'-8"	1 3/8"	•	PAINTED	INTERIOR PASSAGE DOOR
(8)	1	2'-8"	6'-8"	1 3/8"	•	PAINTED	INTERIOR PASSAGE DOOR/REPLACEMENT ONLY
(9)	1	2'-8"	6'-8"	1 3/8"	•	PAINTED	POCKET DOOR
(10)	1	2'-8"	6'-8"	1 3/8"	•	PAINTED	BARN TYPE INTERIOR DOOR
(11)	1	2'-8"	6'-8"	1 3/8"	•	PAINTED	INTERIOR DOOR
(12)	2	7'-0"	6'-8"	1 3/8"	•	PAINTED	SLIDING CLOSET DOOR
(13)	1	14'-2"	7'-0"	1 3/8"	•	PAINTED	EXTG GARAGE DOOR (TO BE DETERMINED)
(14)	1	3'-0"	6'-0"	1 3/4"	•	PAINTED	BASEMENT ACCESS DOOR
(15)	1	3'-0"	6'-8"	1 3/4"	•	PAINTED	HANDICAP BATHROOM (EXTERIOR)

FLOOR PLAN KEYED NOTES :

- (S.B.O.) SELECTED BY OWNER OR CONTRACTOR
1. EXT'G WALLS TO REMAIN
 2. NEW WALLS
 3. EXT'G WALLS TO BE REMOVED (SEE DEMO PLAN)
 4. EXT'G DOOR/WINDOW TO BE REPLACED
 5. NEW TUB (S.B.O.)
 6. NEW TOILET (S.B.O.)
 7. NEW SINK (S.B.O.)
 8. NEW TILE 3 WALLS TO CEILING
 9. NEW FREESTANDING TUB (S.B.O.)
 10. NEW SHOWER
 11. NEW WASHER (S.B.O.)
 12. NEW DRYER (S.B.O.)
 13. CATEGORY II (TEMPERED GLASS) SHWR DOOR & ENCL. FRAMELESS & SLIDER
 14. NEW BASE AND UPPER CABINETS
 15. NEW ISLAND-STONE TILE COUNTERTOP
 16. NEW DOUBLE SINK (S.B.O.)
 17. NEW RANGE (S.B.O.)
 18. NEW REFRIGERATOR (S.B.O.)
 19. 30" MIN. SHOWER CLEARANCE
 20. WALL MOUNTED FIREPLACE (S.B.O.)
 21. EXT'G CONC. STEPS
 22. NEW CONCRETE LANDING
 23. NEW FIXED SKYLIGHTS (S.B.O.)
 24. NEW 8x8 STUCCO WRAPPED COLS. (4)
 25. NEW ROOF ACCESS HATCH LOCATION
 26. NEW FLOOR HATCH BASEMENT ACCESS
 27. NEW 42" HEIGHT METAL GUARDRAIL
 28. PROPOSED RAMP TO BE INCORPORATED WITH HARDSCAPE/LANDSCAPING DESIGN
 29. BUILT-IN DESK OR SHELVING
 30. NEW 1-HR FIRE RATED SEPARATION WALL
 31. NEW 18" X 24" CRAWL SPACE ACCESS
 32. NEW SS GRAB BARS
 33. NEW 18" X 24" CRAWL SPACE ACCESS
 34. NEW STD. HANGING SINK (S.B.O.)
 35. TRASH BIN LOCATIONS

WALL / SYMBOL LEGEND

- NEW WALL
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- 1-HR SEPARATION WALL BET. R3/U OCCUPANCY (FIRE RATED)
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- CEILING HEIGHTS
- 24"x30" WATER CLOSET CLEARANCE/ LAVATORY CLEARANCE
- 36" SQ. FLOOR ACCESS HATCH TO BASEMENT/ROOF ACCESS HATCH
- FIXED SKYLIGHT LOCATIONS SIZES VARY (3'-0" SQ., 4'-0" X 6'-0")



PROPOSED FLOOR PLAN

SCALE : 1/4" = 1'-0"

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PROPOSED FLOOR PLAN & DOOR/WINDOW SCHEDULE

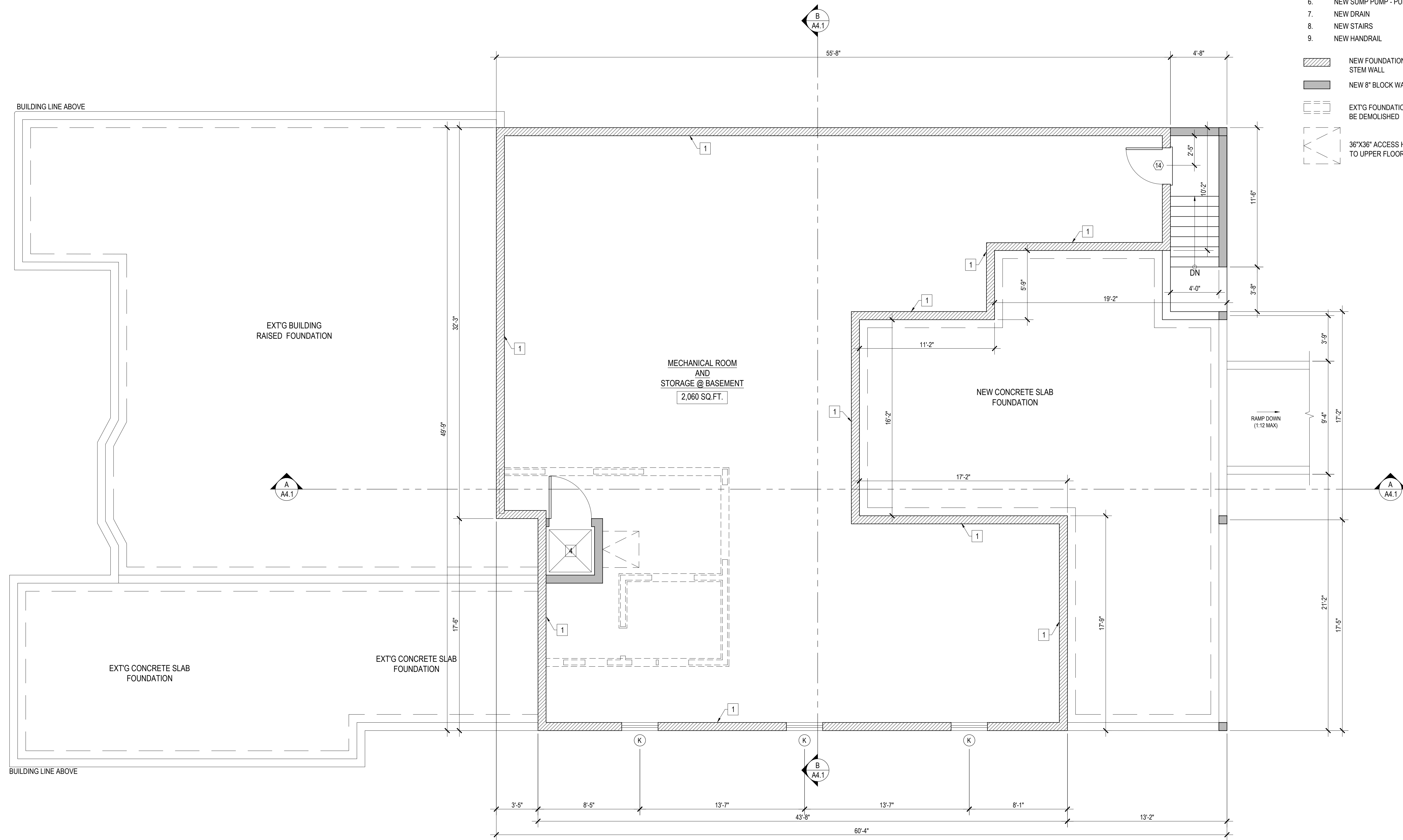
MURADYAN RESIDENCE

1546 GRANDVIEW AVE. GLENDALE, CA 91201

DATE: 04/2023
 DRAWN BY: NRK
 JOB NO. 19045

SHEET NO.
A2.3

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FLOOR PLAN KEYNOTES
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. NEW CONCRETE WALLS
2. PROPERTY LINE
3. NEW WALL
4. WHEELCHAIR LIFT
5. NEW BASEMENT ACCESS
6. NEW SUMP PUMP - PUMP TO DAYLIGHT
7. NEW DRAIN
8. NEW STAIRS
9. NEW HANDRAIL

- NEW FOUNDATION STEM WALL
- NEW 8" BLOCK WALL
- EXT'G FOUNDATION TO BE DEMOLISHED
- 36"X36" ACCESS HATCH TO UPPER FLOOR

REVISIONS:

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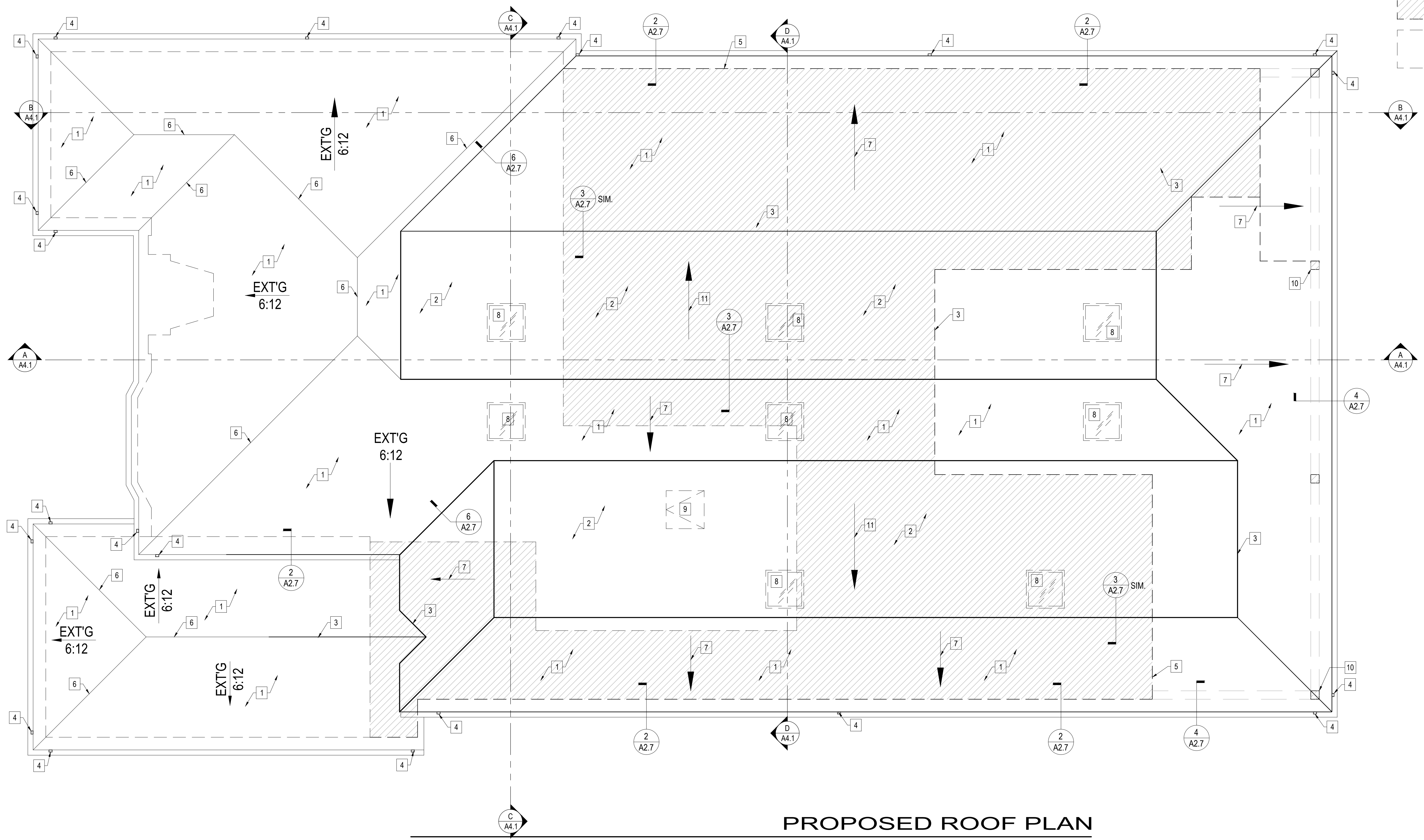
PROPOSED BASEMENT FLOOR
MURADYAN RESIDENCE
1546 GRANDVIEW AVE. GLENDALE, CA 91201

PROPOSED BASEMENT FLOOR PLAN
SCALE : 1/4" = 1'-0"

DATE: 04/2023
DRAWN BY: NRK
JOB NO. 19045

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A2.4

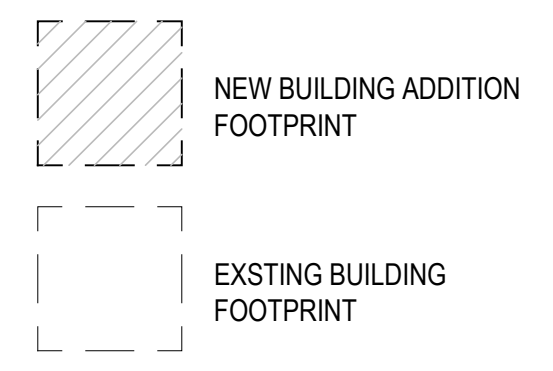
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PROPOSED ROOF PLAN
SCALE : 1/4" = 1'-0"

ROOF PLAN KEYNOTES
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. ALL NEW CLASS "A" ASPHALT COMP. SHINGLES TO REPLACE ENTIRE ROOF. COLOR & MATERIAL (S.B.O) CERTAINTED OR APPROVED EQUAL.
2. NEW CLASS "A" HOT MOP OR ROLLED ROOFING FOR FLAT ROOF - MIN. 2% SLOPE
3. NEW ROOF STRUCTURE
4. NEW GUTTER & DOWNSPOUT
5. BUILDING FOOT PRINT BELOW
6. EXISTING ROOF STRUCTURE TO REMAIN
7. EXT'G SLOPE TO REMAIN @ 6:12 PITCH
8. NEW SKYLIGHT LOCATIONS (SIZES VARY) VELUX FS (SEE SKYLIGHT INFO A-2.7)
9. ROOF HATCH ACCESS LOCATION
10. POST LOCATION BELOW
11. 2% MIN. SLOPE



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PROPOSED ROOF PLAN

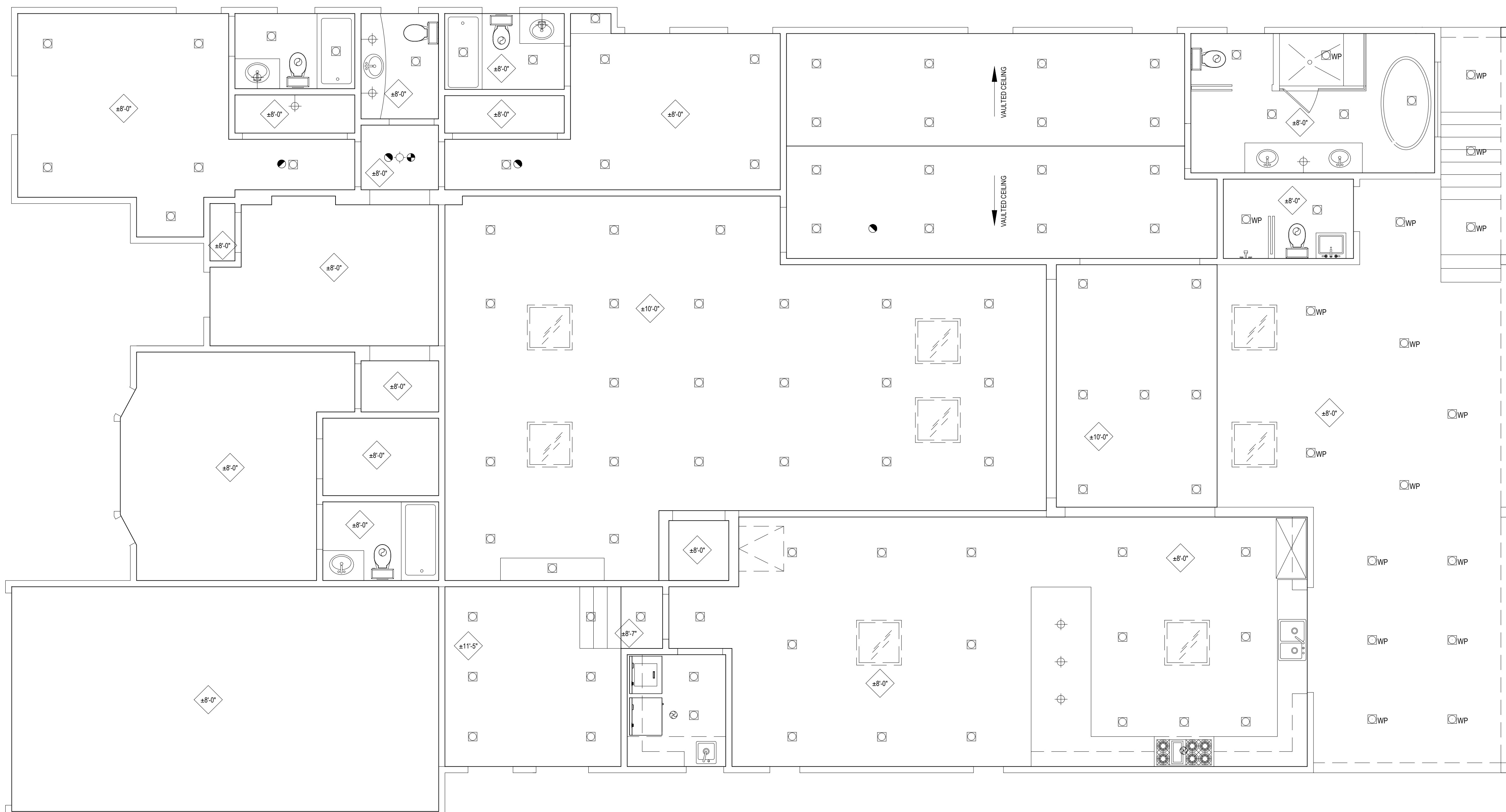
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ROOF PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. NEW CLASS "A" ROOF: CERTAINTED ASPHALT SHINGLES ICC ESR-1389 OR APPROVED EQUAL. COLOR (S.B.O.)
2. EXT'G 4:12 ROOF PITCH
3. NEW METAL GUTTERS (S.B.O.)
4. DOWNSPOUT LOCATIONS
5. OUTLINE OF WALL BELOW
6. EXT'G RIDGE TO REMAIN
7. (16) O'HAGIN COMPOSITION SHINGLE VENTS
MODEL: LOW PROFILE TAPERED STANDARD W/ 1/4" SCREEN. 2021 ICC-ES LEGACY REPORT SBCC1-9650A CITY OF LOS ANGELES RR25497 (CSI#10230)
8. NEW RIDGE (SEE ROOF FRAMING)
9. NEW VELUX FIXED FLAT ROOF SKYLIGHT MODEL FCM 3434 ICC ESR 4108
10. NEW VELUX FIXED FLAT ROOF SKYLIGHT MODEL FCM 4646 ICC ESR 4108

RCP/LIGHTING LEGEND :

- RECESSED FIXTURE
- RECESSED FIXTURE WEATHER PROOF
- CEILING MOUNTED
- CEILING (HANGED) FIXTURE
- WALL MOUNTED
- 4'-0" X 6'-0" FIXED SKYLIGHT
- 3'-0" X 3'-0" FIXED SKYLIGHT
- FLAT CEILING (HEIGHT)
- VAULTED CEILING
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- EXHAUST FAN (S.B.O.) MIN. 100 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- 36"X36" CEILING ACCESS HATCH TO ROOF

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REFLECTED CEILING PLAN

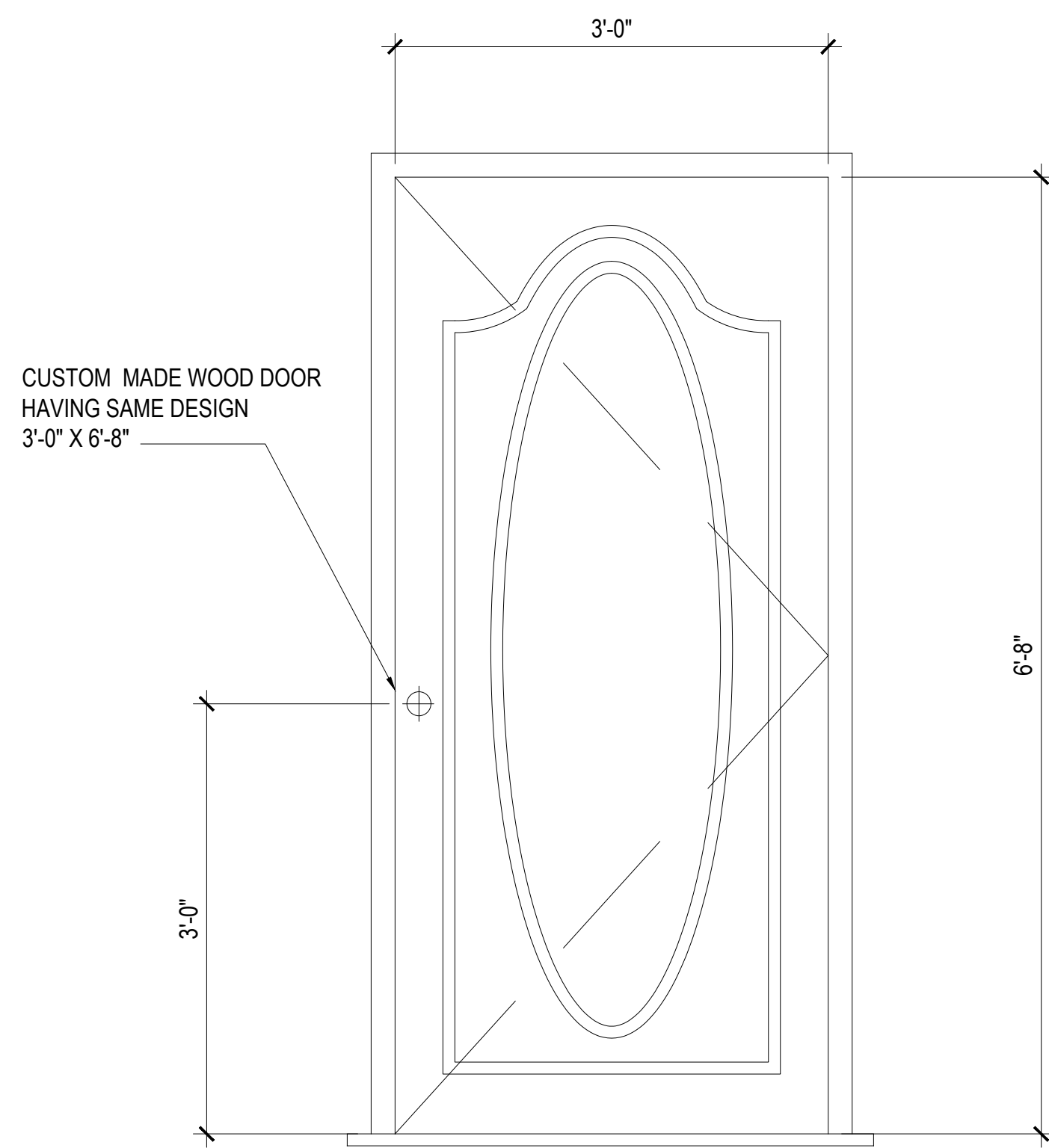
MURADYAN RESIDENCE
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REFLECTED CEILING PLAN

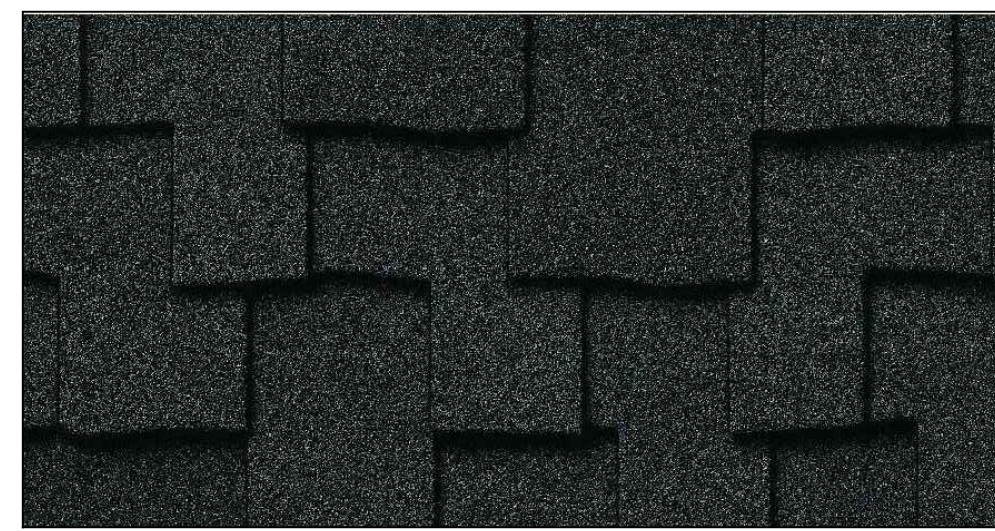
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A2.6



GO VISIT : www.custommade.com



CERTAINTEED PRESIDENTIAL SHAKE SERIES CHARCOAL BLACK

CertainTeed Technical Data Sheet

Presidential® Shake® & Presidential® Shake® TL Shingles

PRODUCT INFORMATION

Presidential® Shake® TL, with its sculpted rustic edges, is constructed using three laminated layers of the industry's strongest, most durable materials, making it one of the thickest, toughest and best looking shingles on the market. It has the beauty of a wood shake with less cost and better performance. It is designed to resist blow off in high wind conditions up to 110-mph with normal installation and 130-mph with special installation.

Presidential® Shake® with its unique sculpted tab, provides the distinct styling, depth and dimension of wood shakes. It is constructed using two laminated layers of the industry's strongest, most durable roofing materials. It is designed to resist blow off in high wind conditions up to 110-mph with normal installation and 130-mph with special installation.

Presidential Shake TL AR (Algae Resistant) and Presidential Shake AR (Algae Resistant) shingles help protect against staining or discoloration caused by algae.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: It is recommended to apply these shingles at slopes of 4° per foot slope and greater in order to achieve optimum appearance. Low slope applications (2:12 to 4:12) of Presidential TL shingles require CertainTeed's WinterGuard® Waterproofing Shingle Underlayment, or its equivalent meeting ASTM D1970, be applied to the entire deck surface, according to application instructions provided with the product and on the shingle package. For low slope applications of Presidential Shake shingles apply CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent, or two layers of 30" wide felt shingle underlayment (product meeting ASTM D226, D4869 or ASTM D6757) lapped 19", over entire deck according to the application instructions provided with the product. In areas where icing along the eaves can cause the back-up of water (all slopes), apply WinterGuard, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21° per foot, use nine nails and apply spots of roofing cement under each shingle tab, according to application instructions provided with the product and the shingle package.

Product Composition: Presidential Shake TL and Presidential Shake shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. The laminated pieces are firmly adhered in a special tough asphaltic cement. These fiber glass based shingles have self-sealing adhesive applied.

Applicable Standards:
ASTM D3018 Type 1
ASTM D2445
ASTM E108 Class A Fire Resistance
ASTM D3161 Class F Wind Resistance
ASTM D7158 Class H Wind Resistance
UL 790 Class A Fire Resistance
ICC-ES ESR-1366 & ESR-2537

CSA Standard A123.5
CANULC D107 Class A Fire Resistance
Miami-Dade County Product Control Approved
(Pres Shake - all plants)
(Pres Shake TL - Shakopee only)
Florida Product Approval # FL5444
Meets ITD Window Requirements

Technical Data Sheet
Presidential® Shake® & Presidential® Shake® TL Shingles Page 2 of 2

Technical Data:

	Presidential Shake	Presidential Shake TL
Weight/Square (approx.):	350 lb.	489 lb.
Dimensions (overall):	14 1/4" x 40"	14 1/4" x 40"
Shingles/Square:	90	90
Weather Exposure:	4"	4"

INSTALLATION

Detailed installation instructions are supplied on each bundle of Presidential Shake and Presidential Shake TL shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

IMPORTANT NOTE: Presidential Starter or an approved alternative starter system must be used for the two-layered starter course.

Hips and Ridges: For a complementary color, use Cedar Crest® or CertainTeed's enhanced high profile accessory shingle, Mountain Ridge® shingles of a like color for capping the hips and ridges.

MAINTENANCE: Presidential Shake TL and Presidential Shake shingles require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Other roofs should be looked at more frequently.

WARRANTY

Presidential Shake and Presidential Shake TL carry a lifetime limited transferable warranty against manufacturing defects for the original homeowner when applied to stated CertainTeed application instructions. In addition, both Presidential Shake TL and Presidential Shake shingles also carry 10-years of SureStart™ Protection. Presidential AR and Presidential TL AR shingles carry a 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty sheet (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

TECHNICAL SUPPORT

Technical Service Department: 1-800-345-1145
e-mail: rservices@certainteed.com

FOR MORE INFORMATION
Customer Experience Team: 800-233-8990
e-mail: certainteed@certainteed.com

Web site: www.certainteed.com
See us at our on-line specification writing tool, Certaspec, at www.certainteed.com/certaspec

CertainTeed
20 Moores Road
Malvern, PA 19355
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LA HABRA STUCCO 40 DOVE GREY (66)BASE 200

LaHabra®

Swirl Smooth Fine Coarse
Perma-Flex Stucco Grade Acrylic Finish

Test Method	CCASTM Criteria	Results
Unassisted Handing ASTM G151 (Formely ASTM G20)	100% Pass after 2000 hours when viewed under 1x magnification	Pass @ 2000 hours
Flexibility (Moduli Bend) ASTM D522, Method B	No Requirement	88" Diameter
Freeze/Thaw Resistance*	ASTM D2445 No delamination effects at 10 cycles when viewed under 1x magnification	Pass @ 10 cycles
Soak Resistance	ASTM D2446 No Requirement	Pass @ 8,000 Cycles
Yellowing after 2000 Hr UV Exposure	ASTM E911 Individual components shall each have a film area of 25, and index developed - 60	65 - 65 Ppt

* Tested with LaHabra Basecoat

DESCRIPTION:
■ 100% acrylic-based textured finish.
■ Dirt Pick-up Resistance (DPR): The surface of the finish hardens and does not soften again under heat. The non-sticky surface provides high resistance to accumulation of dirt, mold, and pollutants.

USES:
Exterior finish coat over:
■ Properly prepared stucco, masonry and concrete surfaces.

COMPOSITION:
■ 100% acrylic polymer.
■ Aggregate: Pure crushed marble, marbles.
■ Water-based VOC compliant. Meets SCANDIA Rule 11.3 when using Perma USA Non-VOC Colors.
■ Pigment base: Titanium dioxide.
■ Colors: LaHabra standard colors or tinted to desired custom color.

CONTAINER:
65 lb. (29.5 kg) net weight in plastic pails.
■ Storage: Protect from direct sunlight and freezing at all times.
■ Do not walk path more than 3 pails high.
■ Shelf Life: Reference Perma USA Expiration Date of Products Technical Bulletin.

REMOVAL:
■ For previously painted surfaces, all loose and chalking paint must be removed, and glossy surfaces dulled.
■ New concrete and masonry must be clean and cured a minimum of 28 days.
■ Check concrete surface for alkalinity and treat. Any form-release agents or bond breakers must be removed.
■ Portland Cement Plaster must be clean and cured a minimum of 7 days in accordance with LaHabra Finishall Specifications.
■ Unwet concrete or masonry can be wetted with Stucco Level Coat.
■ For interior drywall, prepare as for painting.
■ Perma USA recommends the use of primers to enhance the appearance and uniformity of the finish, improve coverage and reduce the chances of efflorescence. This is especially true when using dark colors or finishes with a large aggregate. If specified prime with Perma USA Primer or Variance VarPrime Sealer, refer to Product Data Sheet.
■ For additional options, contact Perma USA Technical Services Department.

COVERAGE:
Depending on the condition of the substrate and method of application, approximate coverages per gal are:
Smooth
Aggregate size: 0.5mm
280-300 ft² (26-28 m²)
Swirl
Aggregate size: 1.5mm
120-135 ft² (11-12.5 m²)
Coarse
Aggregate size: 1.0mm
130-145 ft² (14-15 m²)
DRYING TIME:
24 hours under normal conditions. High humidity and low temperatures extend drying time.

CLEANUP:
Wash solids prior to drying. Clean tools and equipment with water prior to drying.

SURFACE PREPARATION:
■ Remove surface contaminants such as dust or dirt without damaging the substrate.

■ Use a clean stainless steel trowel and apply a uniform coat the thickness of the largest aggregate size of the finish.
■ Check concrete surface for alkalinity and treat. Any form-release agents or bond breakers must be removed.
■ Portland Cement Plaster must be clean and cured a minimum of 7 days in accordance with LaHabra Finishall Specifications.
■ Unwet concrete or masonry can be wetted with Stucco Level Coat.
■ For interior drywall, prepare as for painting.
■ Perma USA recommends the use of primers to enhance the appearance and uniformity of the finish, improve coverage and reduce the chances of efflorescence. This is especially true when using dark colors or finishes with a large aggregate. If specified prime with Perma USA Primer or Variance VarPrime Sealer, refer to Product Data Sheet.
■ For additional options, contact Perma USA Technical Services Department.

MIXING:
■ Use clean equipment for mixing and preparation.
■ Stir to obtain a homogeneous consistency using a heavy-duty 12-in. (318mm) drill with a roll-free paddle at 400-500 rpm. Avoid air entrainment.
■ Add liquid color to the pail of finish. Make sure all of the color is added by rinsing out the color vial with water (1/2 of the vial's volume) into the pail.
■ Add the amount of water needed (up to a maximum of 16 oz. per pail) to achieve finish texture. To avoid color variations, add the same amount of water to each pail of finish.

APPLICATION:
■ Read the entire label before using this product.
■ Always maintain a wet edge and work to corners or joints. For best color consistency, use finish with the same batch number within a wall section. For more information, see Technical Bulletin "Resolving Acrylic Finishes".
■ Keep container closed when not in use.

TESTING:
■ Testing: LaHabra Fine, Swirl and Coarse Finishes: Use a clean plastic float or a stainless steel trowel. Continuously dry clean the plastic float or steel trowel while texturing. Use consistent pressure and motion to achieve the desired texture.
■ Texturing: Smooth Finish:
■ Optional: Level stucco brown coats with Stucco Level Coat and let dry prior to finish application.
■ Smooth Finish cannot generally be floated. Texture will be "as troweled".
■ Smooth Finish can be troweled smooth to simulate the texture of limestone.

WARNING:
■ Read complete Warning information printed on product container prior to use.
■ For medical emergency information, call 1-800-644-8300.
■ For more information on handling this product refer to Safety Data Sheet (SDS). The most current SDS and Product Data Sheet (PDS) can be found on our website. This Product Data Sheet has been prepared in good faith on the basis of information available at the time of publication. It is intended to provide users with information about the guidelines for the proper use and application of the covered products under normal environmental and working conditions. Because each project is different, Perma USA, Inc. cannot be responsible for the consequences of variations in such conditions, or for unforeseen conditions.

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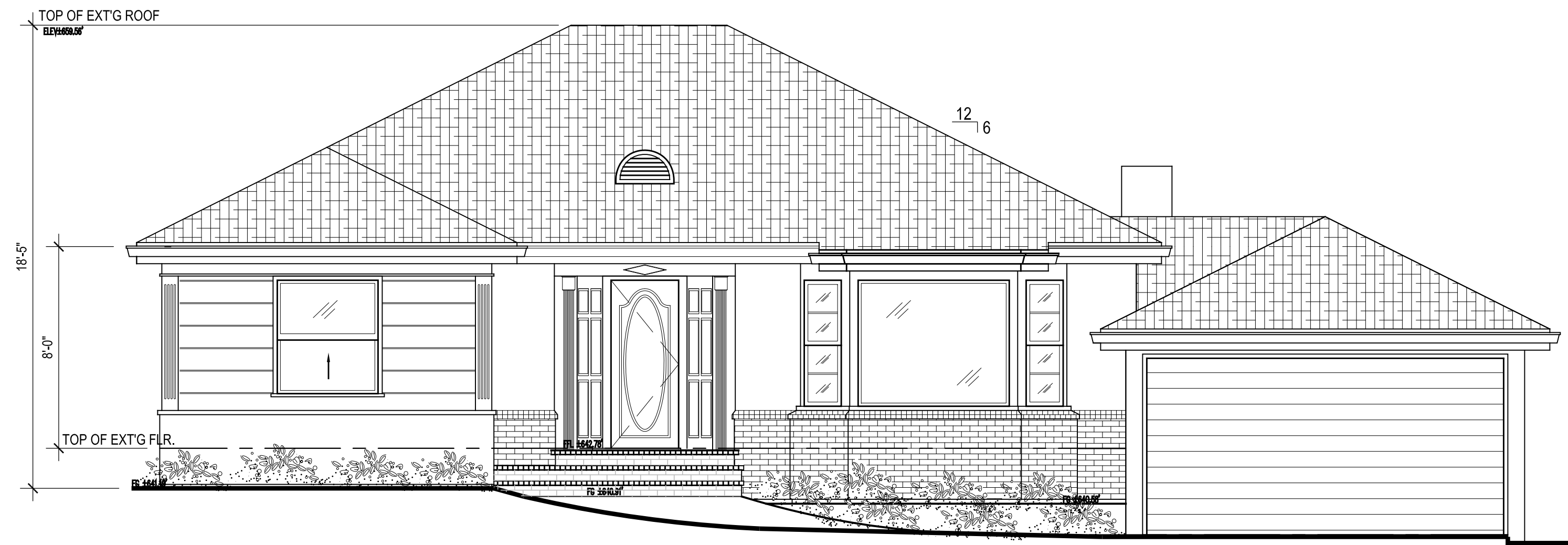
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MATERIAL SPEC SHEETS
MURADYAN RESIDENCE
1546 GRANDVIEW AVE. GLENDALE, CA 91201

DATE: 04/2023
DRAWN BY: NRK
JOB NO. 19045

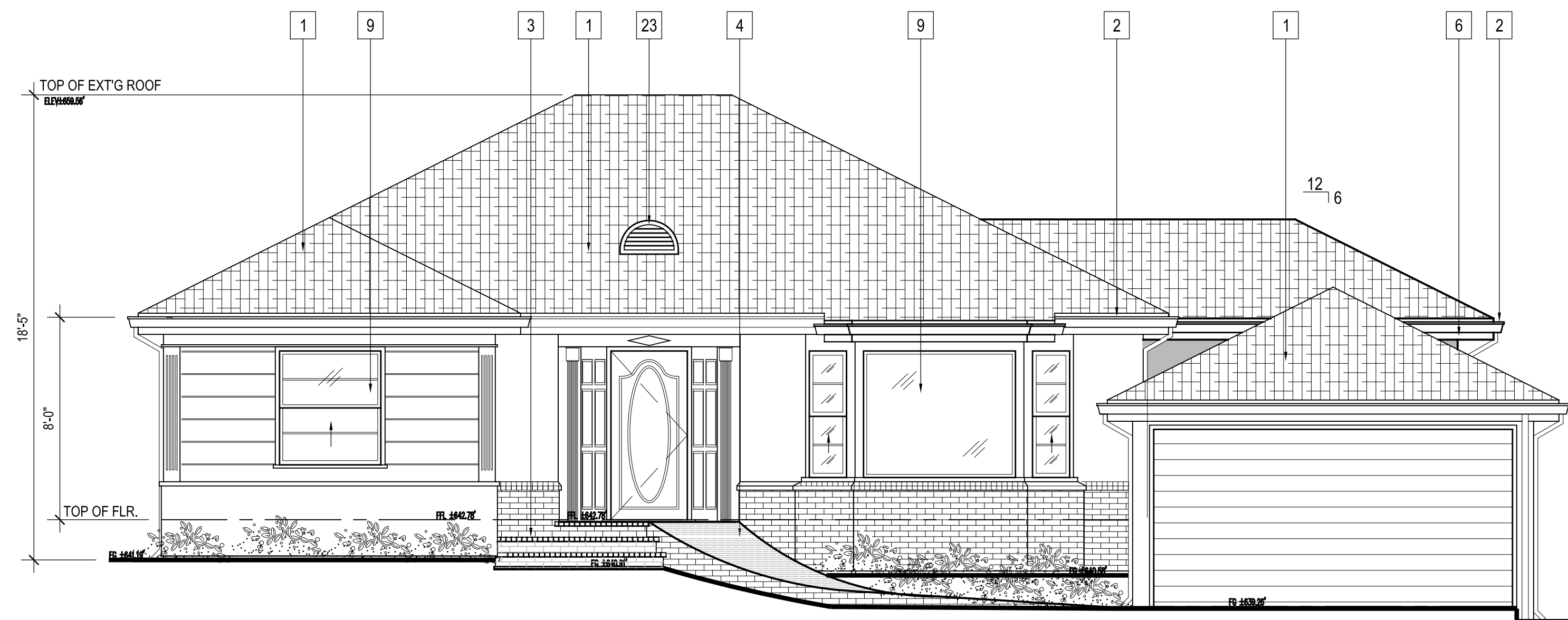
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EXISTING WEST (FRONT) ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED WEST (FRONT) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

S.B.O.(SELECTED BY OWNER)

1. ALL NEW CLASS "A" ASPHALT COMP. SHINGLES TO REPLACE ENTIRE ROOF. COLOR & MATERIAL (S.B.O) CERTAINTED OR APPROVED EQUAL. (SEE SHEET A2.8)
2. ALL NEW GUTTERS & DOWNSPOUT
3. EXT'G BRICK STEPS TO REMAIN
4. NEW ACCESS RAMP TO BE INCORPORATED WITH THE NEW HARDSCAPING/LANDSCAPING WORK
5. NEW STUCCO PLASTER WALL (SEE SHEET A2.8)
6. NEW 2"X FASCIA
7. NEW CLASS "A" HOT MOP OR ROLLED ROOFING
8. NEW DOOR (SEE SCHEDULE)
9. NEW WINDOW (SEE SCHEDULE)
10. NEW SKYLIGHT (SEE ROOF PLAN)
11. PATCH-UP WALL OPENINGS
12. NEW METAL WEEP SCREED
13. NEW CONCRETE STEPS
14. NEW STUCCO PLASTERED COLUMN (TYP.OF 3)
15. NEW 36" TO 42" HIGH METAL GUARDRAIL
16. NEW 12"x24" HALF MOON DORMER VENTS
17. NEW CONCRETE LANDING
18. NEW 16"x 5" UNDER FLOOR VENTS
19. LINE OF BASEMENT BELOW
20. EXT'G GRADE
21. EXT'G FLOOR VENTS TO REMAIN
22. NEW 18"x24" CRAWL SPACE ACCESS W/ CONC. CURB (SEE DET.8/A2.7)
23. EXT'G DORMER VENT TO REMAIN

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EXISTING & PROPOSED WEST ELEVATION

MURADYAN RESIDENCE

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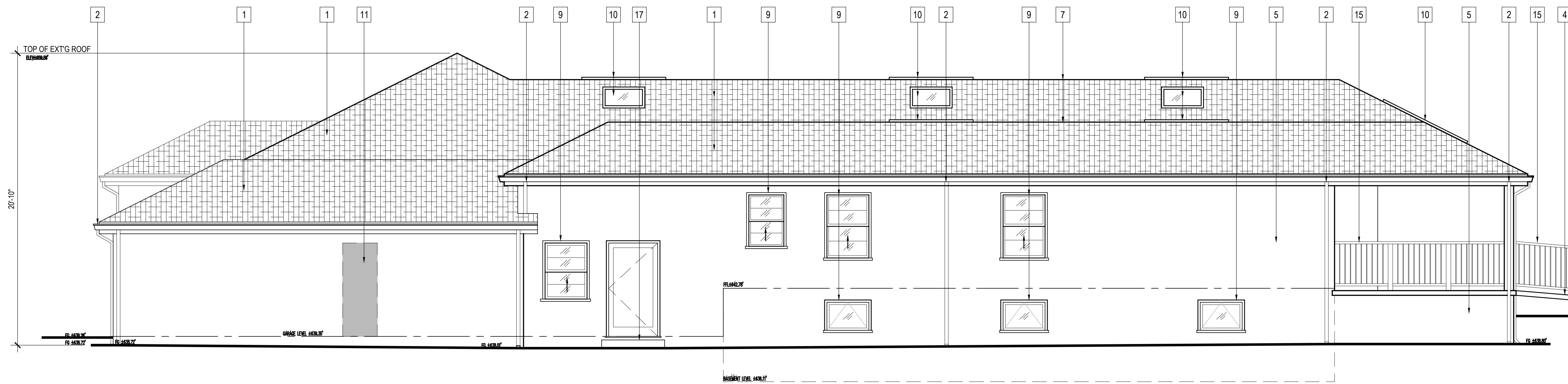
EXISTING SOUTH ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

S.B.O.(SELECTED BY OWNER)

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9. NEW WINDOW (SEE SCHEDULE)
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19. LINE OF BASEMENT BELOW
20. EXT'G GRADE
21. EXT'G FLOOR VENTS TO REMAIN
22. NEW 18"x24" CRAWL SPACE ACCESS W/ CONC. CURB (SEE DET.8/A2.7)
23. EXT'G DORMER VENT TO REMAIN



PROPOSED SOUTH ELEVATION

SCALE : 1/4" = 1'-0"

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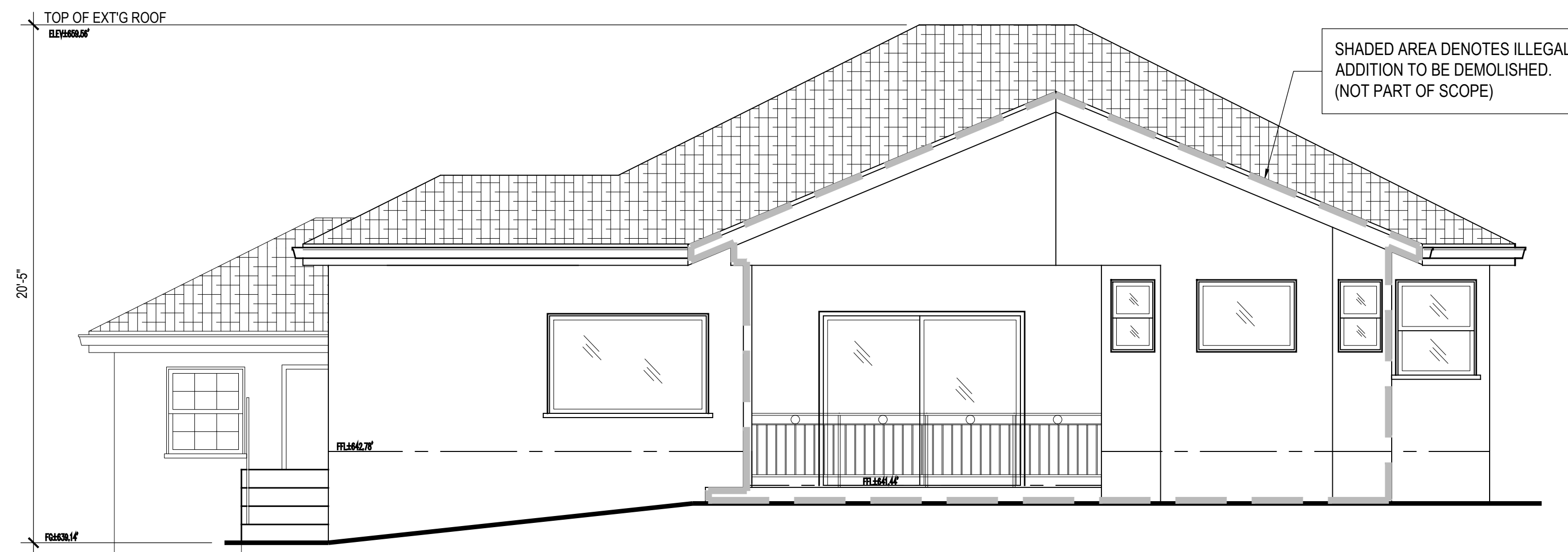
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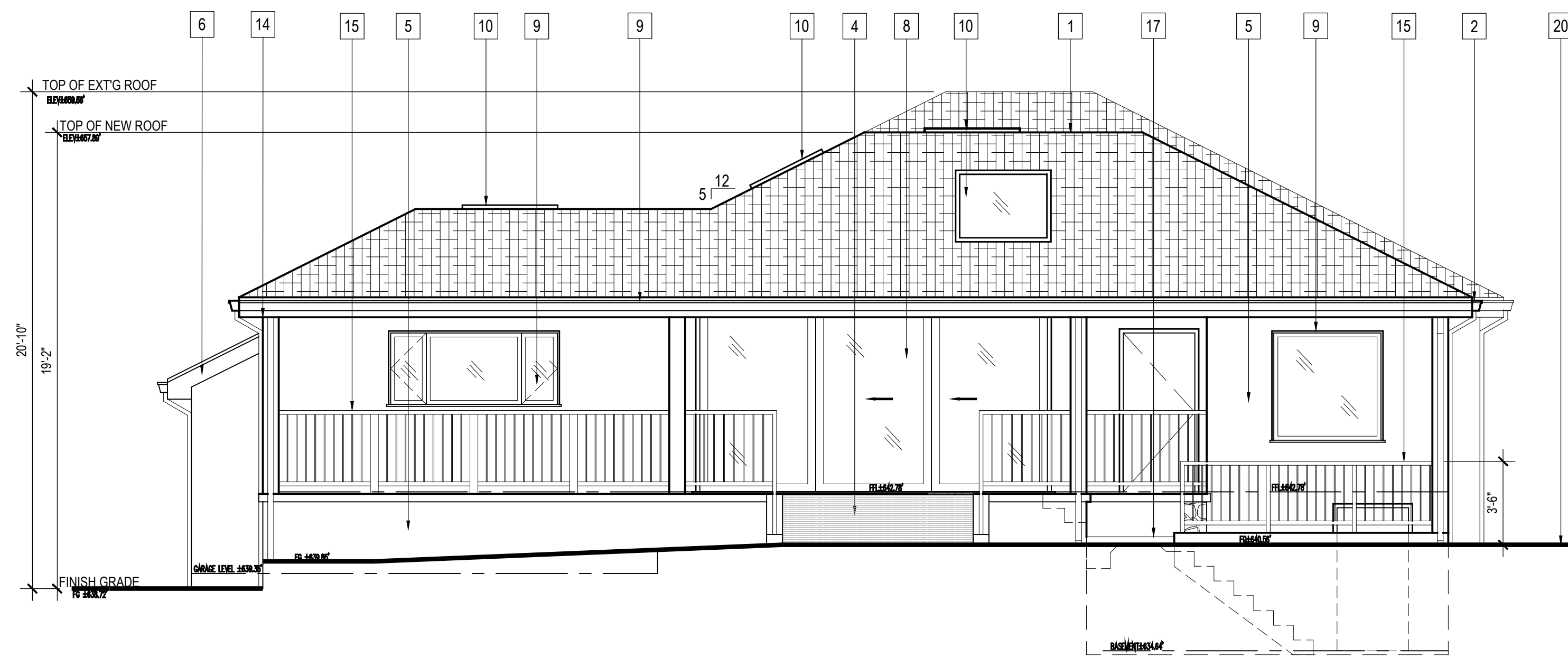
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A3.2

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EXISTING EAST (REAR) ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED EAST (REAR) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

S.B.O.(SELECTED BY OWNER)

1. ALL NEW CLASS "A" ASPHALT COMP. SHINGLES TO REPLACE ENTIRE ROOF. COLOR & MATERIAL (S.B.O) CERTAINTED OR APPROVED EQUAL. (SEE SHEET A2.8)
2. ALL NEW GUTTERS & DOWNSPOUT
3. EXT'G BRICK STEPS TO REMAIN
4. NEW ACCESS RAMP TO BE INCORPORATED WITH THE NEW HARDSCAPING/LANDSCAPING WORK
5. NEW STUCCO PLASTER WALL (SEE SHEET A2.8)
6. NEW 2"X FASCIA
7. NEW CLASS "A" HOT MOP OR ROLLED ROOFING
8. NEW DOOR (SEE SCHEDULE)
9. NEW WINDOW (SEE SCHEDULE)
10. NEW SKYLIGHT (SEE ROOF PLAN)
11. PATCH-UP WALL OPENINGS
12. NEW METAL WEEP SCREED
13. NEW CONCRETE STEPS
14. NEW STUCCO PLASTERED COLUMN (TYP.OF 3)
15. NEW 36" TO 42" HIGH METAL GUARDRAIL
16. NEW 12"x24" HALF MOON DORMER VENTS
17. NEW CONCRETE LANDING
18. NEW 16"x 5" UNDER FLOOR VENTS
19. LINE OF BASEMENT BELOW
20. EXT'G GRADE
21. EXT'G FLOOR VENTS TO REMAIN
22. NEW 18"x24" CRAWL SPACE ACCESS W/ CONC. CURB (SEE DET.8/A2.7)
23. EXT'G DORMER VENT TO REMAIN

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EXISTING & NEW EAST ELEVATION
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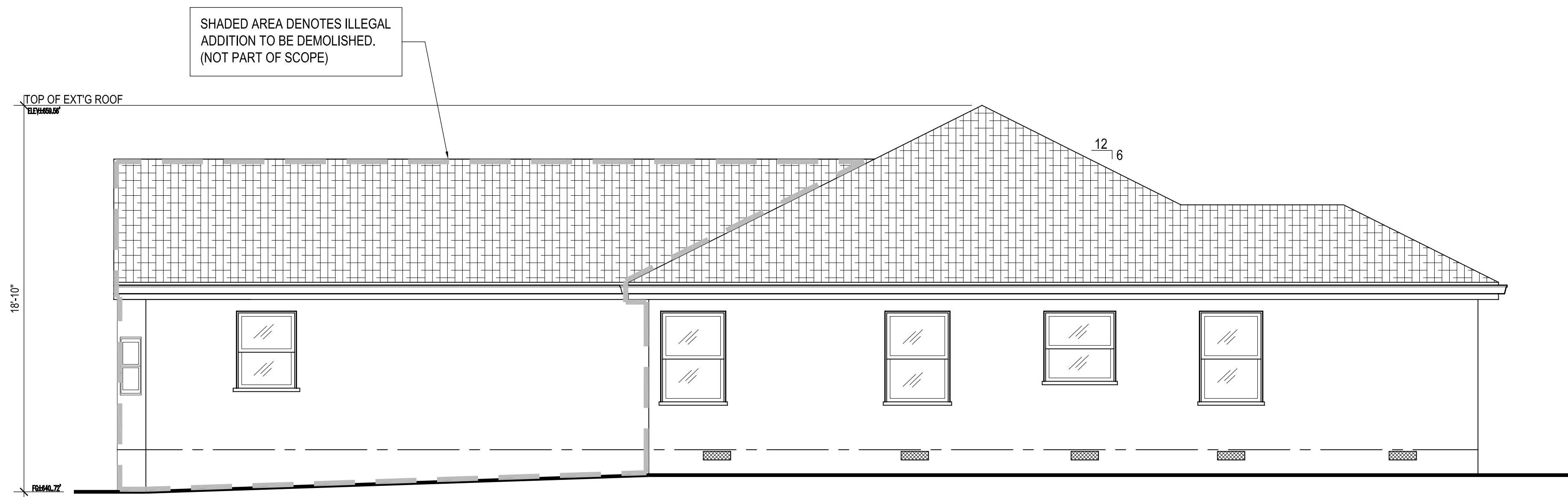
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SHEET NO.
A3.3

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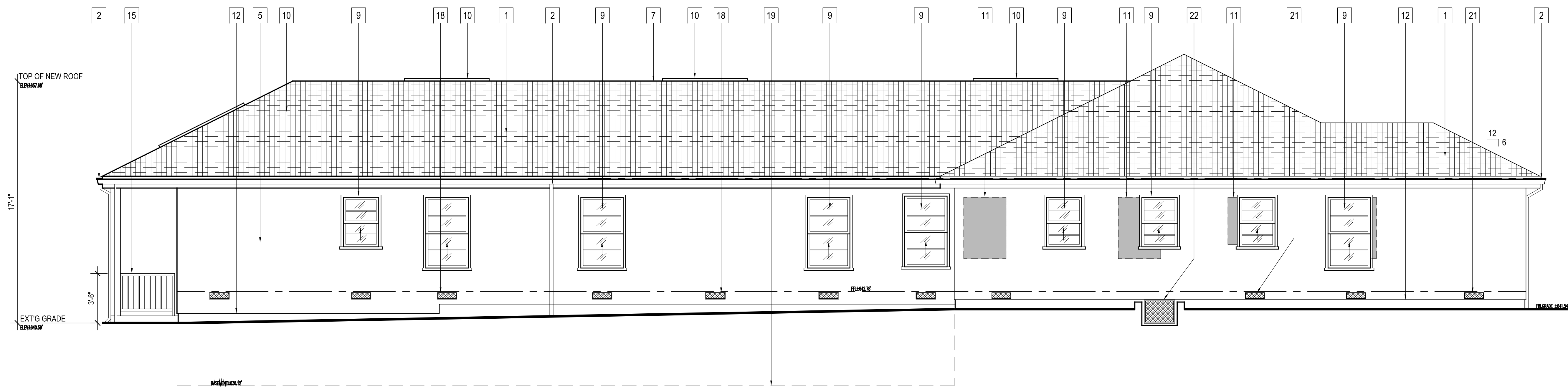
ELEVATION KEYED NOTES

- S.B.O.(SELECTED BY OWNER)
1. ALL NEW CLASS "A" ASPHALT COMP. SHINGLES TO REPLACE ENTIRE ROOF. COLOR & MATERIAL (S.B.O.) CERTAINTED OR APPROVED EQUAL. (SEE SHEET A2.8)
 2. ALL NEW GUTTERS & DOWNSPOUT
 3. EXT'G BRICK STEPS TO REMAIN
 4. NEW ACCESS RAMP TO BE INCORPORATED WITH THE NEW HARDSCAPING/LANDSCAPING WORK
 5. NEW STUCCO PLASTER WALL (SEE SHEET A2.8)
 6. NEW 2"X FASCIA
 7. NEW CLASS "A" HOT MOP OR ROLLED ROOFING
 8. NEW DOOR (SEE SCHEDULE)
 9. NEW WINDOW (SEE SCHEDULE)
 10. NEW SKYLIGHT (SEE ROOF PLAN)
 11. PATCH-UP WALL OPENINGS
 12. NEW METAL WEEP SCREED
 13. NEW CONCRETE STEPS
 14. NEW STUCCO PLASTERED COLUMN (TYP.OF 3)
 15. NEW 36" TO 42" HIGH METAL GUARDRAIL
 16. NEW 12"x24" HALF MOON DORMER VENTS
 17. NEW CONCRETE LANDING
 18. NEW 18"x 5" UNDER FLOOR VENTS
 19. LINE OF BASEMENT BELOW
 20. EXT'G GRADE
 21. EXT'G FLOOR VENTS TO REMAIN
 22. NEW 18"x24" CRAWL SPACE ACCESS W/ CONC. CURB (SEE DET.8/A2.7)
 23. EXT'G DORMER VENT TO REMAIN



EXISTING NORTH ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE : 1/4" = 1'-0"

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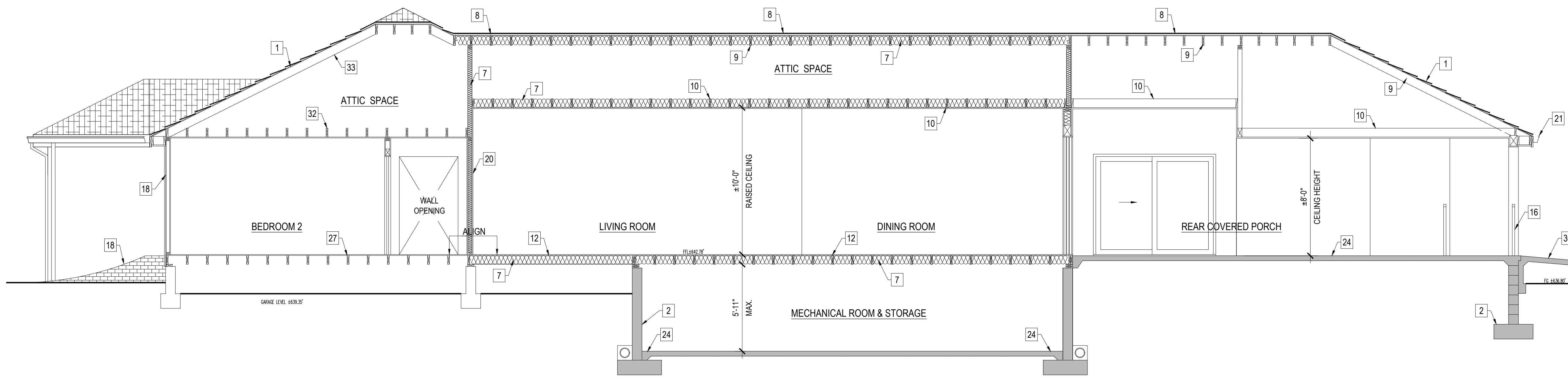
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EXISTING & NEW NORTH ELEVATION
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1546 GRANDVIEW AVE. GLENDALE, CA 91201

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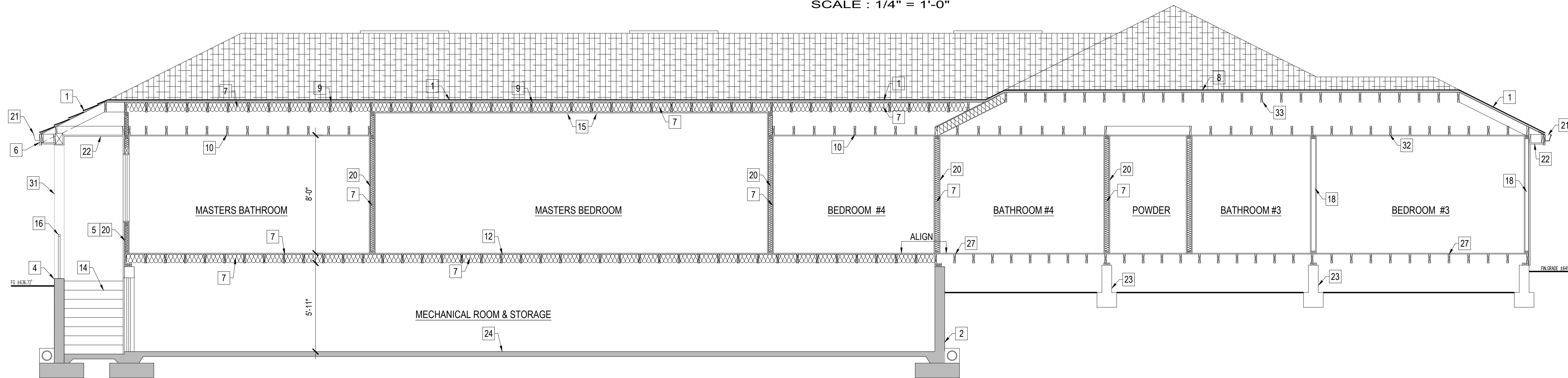
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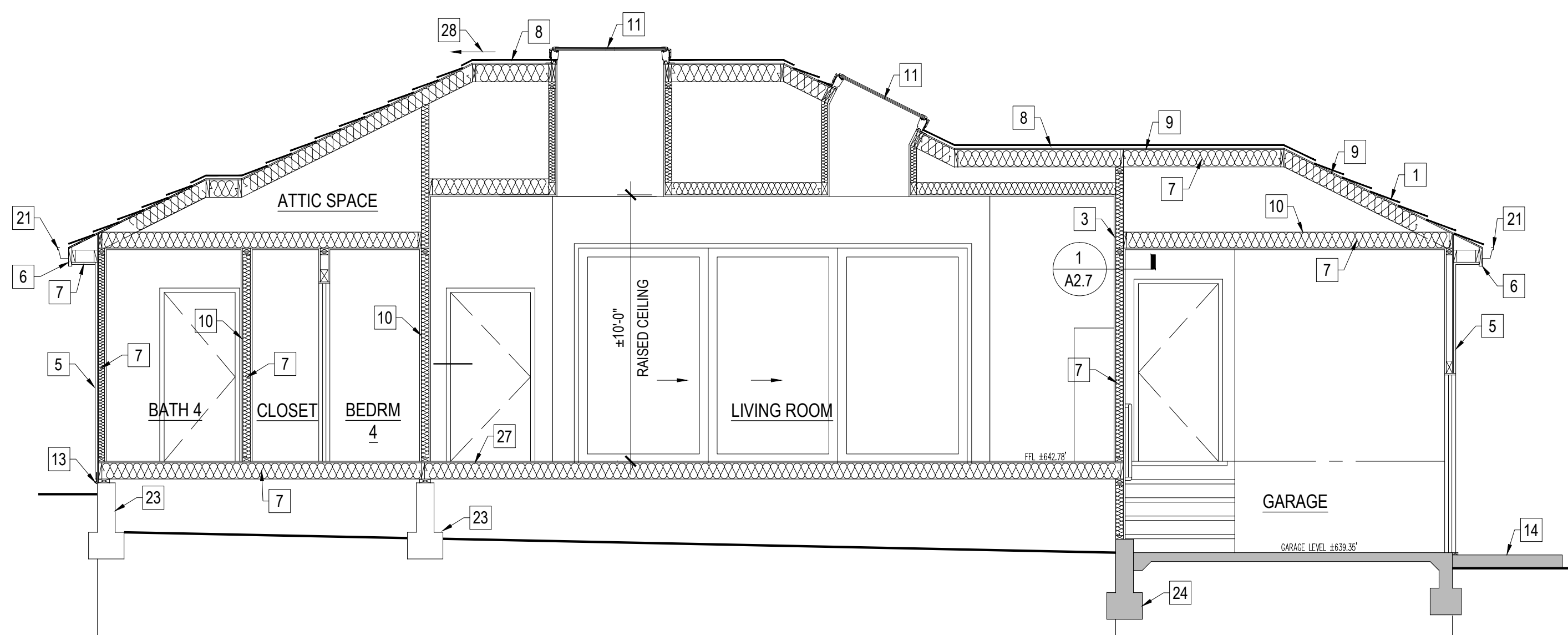
SECTION A-A

SCALE : 1/4" = 1'-0"



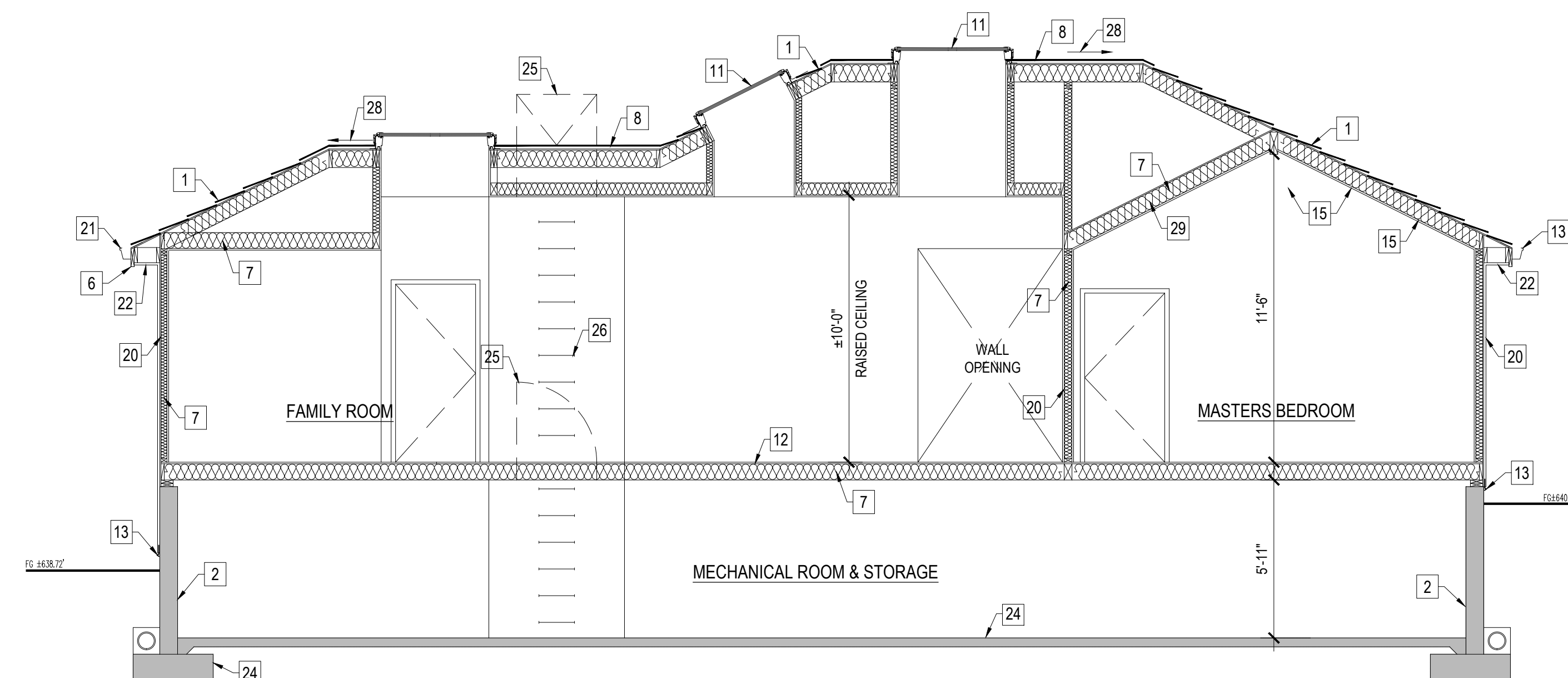
SECTION B-B

SCALE : 1/4" = 1'-0"



SECTION C-C

SCALE : 1/4" = 1'-0"



SECTION D-D

SCALE : 1/4" = 1'-0"

SECTION KEYED NOTES

S.B.O.(SELECTED BY OWNER)

1. ALL NEW CLASS "A" ASPHALT COMP. SHINGLES TO REPLACE ENTIRE ROOF. COLOR & MATERIAL (S.B.O.) CERTAINTED OR APPROVED EQUAL.
2. NEW CONCRETE BLOCK AND/OR STEM WALL
3. NEW 1-HR FIRE RATED WALL
4. NEW BLOCK WALL /STAIRWELL BASEMENT ACCESS
5. NEW STUCCO PLASTER WALL (SEE SHEET A2.8)
6. NEW 2" FASCIA (PAINTED)
7. NEW R-__ ROOF/CEILING INSULATION
NEW R-__ WALL INSULATION
NEW R-__ FLOOR INSULATION
8. NEW CLASS "A" HOT MOP OR ROLLED ROOFING
9. NEW 2"X RAFTERS
10. NEW 2"X CEILING JOIST
11. NEW SKYLIGHT (SEE ROOF PLAN)
12. NEW 2x F-J'S
13. NEW METAL WEEP SCREED (SEE DET. 7/A2.7)
14. NEW CONCRETE STEP(S) AND/OR LANDING
15. NEW VAULTED CEILING
16. NEW 36" TO 42" HIGH METAL GUARDRAIL
17. NEW ATTIC VENT/DORMER VENTS
18. EXT'G 2x WALL STUDS
19. NEW 16"x 5" UNDER FLOOR VENTS
20. NEW 2"x WALL STUDS
21. NEW GA.26 METAL GUTTER
22. STUCCO CEILING & UNDER-EAVES
23. EXT'G FOOTING TO REMAIN (SEE STRUCT'L)
24. NEW FOOTING/FOUNDATION SLAB
25. NEW 36"x36" ROOF/BASEMENT HATCH (BEHIND)
26. BUILT-IN ACCESS LADDER
27. EXT'G 2x F-J'S TO REMAIN (SEE STRUCT'L)
28. 2% MIN. SLOPE
29. 2"X FALSE RAFTER
30. ADA COMPLIANT RAMP 1:12 MAX. SLOPE TO BE INCORPORATED WITH HARDSCAPING & LANDSCAPING DESIGN
31. OUTLINE OF POST BEYOND
32. EXT'G 2x CEILING JOIST TO REMAIN
33. EXT'G 2x RAFTERS TO REMAIN

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EXISTING & NEW NORTH ELEVATION

MURADYAN RESIDENCE

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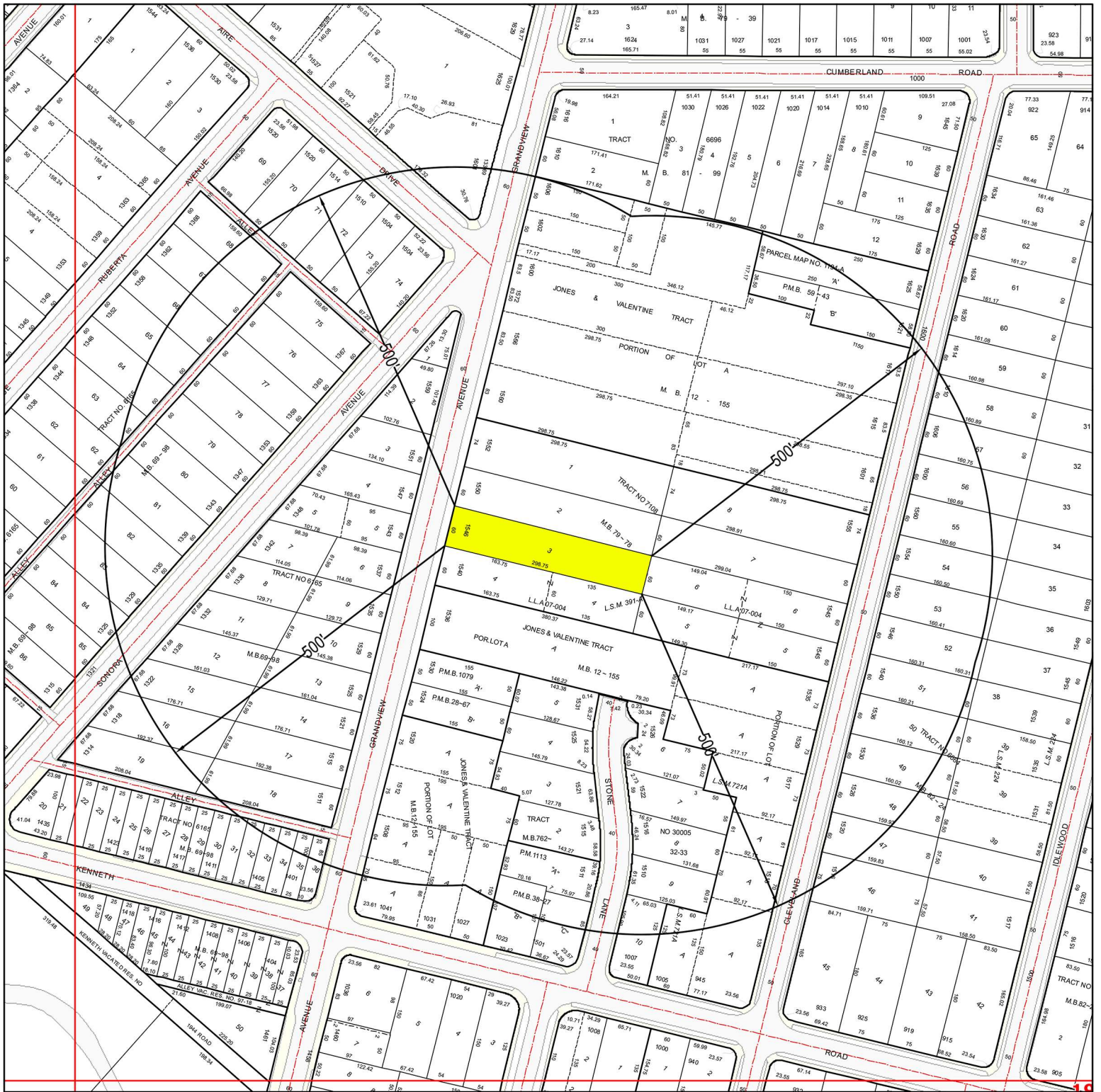












500' LOCATION MAP

LEGEND

SUBJECT PROPERTY(IES)



SITE LOCATION: 1546 GRANDVIEW AVE
GLENDALE, CA 91201

APN:

5629-006-012



SCALE: 1"=200'

DATE: Jan 26, 2023

PREPARED BY:



412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921



1. 1546 GRANDVIEW AVE



2. 1550 GRANDVIEW AVE



3. 1552 GRANDVIEW AVE



4. 1560 GRANDVIEW AVE



5. 1566 GRANDVIEW AVE



6. 1559 GRANDVIEW AVE



7. 1551 GRANDVIEW AVE



8. 1547 GRANDVIEW AVE



9. 1543 GRANDVIEW AVE



10. 1537 GRANDVIEW AVE



11. 1535 GRANDVIEW AVE



12. 1529 GRANDVIEW AVE



13. 1525 GRANDVIEW AVE



14. 1521 GRANDVIEW AVE



15. 1520 GRANDVIEW AVE



16. 1524 GRANDVIEW AVE



17. 1530 GRANDVIEW AVE



18. 1536 GRANDVIEW AVE



19. 1540 GRANDVIEW AVE

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____ 5D1
Other Listings _____
Review Code _____ Reviewer _____ Date _____

PRIMARY RECORD

*Resource Name or # (Assigned by recorder) 1546 Grandview Avenue

P1. Other Identifier: Element of South Cumberland Heights Historic District

*P2. Location: Not for Publication Unrestricted

*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ 1/4 of _____ 1/4 of Sec _____ B.M.

c. Address 1546 Grandview Avenue City Glendale Zip 91201

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) AIN: 5629-006-012

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Evaluation: Contributor
Property Type: Residential—Single-family
Siting: Set back—moderate
Primary Architectural Style: Minimal Traditional
Number of Stories: 1
Plan/Primary Facade: Irregular; Asymmetrical
Construction/Foundation: Wood-frame; Concrete
Cladding: Textured stucco, Brick, Wood tongue-and-groove
Roof Type/Material: Hipped, Composition shingle
Roof Features: Eaves—open
Chimney 1: Stucco—interior
Porch/Stoop 1: Stoop; Stucco, Brick; Light fixtures, Steps
Door 1: Single; Wood; Paneled, Partially glazed

Window 1: Bay—canted; Fixed, Double-hung; Wood; Multi-light
Window 2: Single; Single-hung; Aluminum
Window 3: Single; Double-hung; Wood; Multi-light
Hardscape: Walkway-Concrete; Driveway-Concrete
Landscape: Lawn, Mature vegetation
Garage: Attached, Metal door
Character-defining features: One story height, Asymmetrical massing and simple building forms, Horizontal wood siding and stucco wall cladding with brick accents, Recessed stoop with brick steps, Hipped roof, Wood bay window, Reeded pilasters, Brick and stucco wainscot, Attached garage
Related Features: None identified
Alterations: Other Alterations-Door replaced—primary, Windows replaced—some, Re-stuccoed
Integrity: Moderate

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other: _____

*P5a. Photograph or Drawing (Photograph required for buildings, structures, or objects)



P5b. Description of Photo: (view, date, accession #) View southeast, 8/13/2020

*P6. Date Constructed/Age and

Sources: Historic Prehistoric Both
1946. Los Angeles County Assessor

*P7. Owner and Address:

Not Recorded

*P8. Recorded by: (Name, affiliation, and address) Andrew Goodrich, Rosa Lisa Fry, Architectural Resources Group, 360 E. 2nd Street, Suite 225 Los Angeles, CA 90012

*P9. Date Recorded: 8/13/2020

*P10. Survey Type: (Describe)

Intensive Reconnaissance

*P11. Report Citation: (Cite survey report and other sources or enter "none".) South Cumberland Heights Historic District, Historic Resources Survey Report (ARG, 2021)

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure & Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photographic Record Other (List) _____