



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

May 31, 2023
Decision Date

1434 E. Maple Street
Address

Administrative Design Review (ADR)
Review Type

5683-003-016
APN

PADR-000877-2023
Case Number

Brendan Cox
Applicant

Chloe Cuffel, Planning Associate
Case Planner

TMD Properties LLC
Owner

Project Summary

The project proposes a new two-story, 3,604 square-foot two-unit multi-family residential dwelling unit with attached garages on the ground level located at the rear of a 9,000 square-foot lot. Presently, the lot is developed with a one-story single-family-dwelling at the front of the lot, which will remain. The new two-unit structure features two, two-car attached garages (one per unit) on the ground level located behind the existing house.

ENVIRONMENTAL DETERMINATION: The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption, pursuant to Section 15303 (b) of the State CEQA Guidelines because the proposal is in an urbanized area and proposes the construction of a new two-unit multi-family residential building.

Existing Property/Background

Originally developed in 1950 with a single-family house, the project site is a 9,000 square-foot rectangular lot with 40-feet of frontage on E. Maple Street. The existing dwelling is a one-story, 790 square-foot single-family residence with an attached two-car garage. The subject site is located in southeast Glendale on the southern side of E. Maple Road and east of S. Verdugo Road. The neighborhood features a mix of single- and multi-family residences, with several two-story multi-family developments. The four properties directly surrounding the subject site are developed with two-story multi-family buildings.

The site contains two driveways: a 20-foot long driveway on the west side, leading directly to the attached garage of the single-family-dwelling, and a second, much longer driveway on the eastern side that leads to the rear of the property—both are accessed from E. Maple Street.

Early Glendale permit records show a new garage was constructed in 1921 and labelled as a “temporary dwelling.” An additional garage permit was pulled in 1926 at the rear of the property. The existing 1,033 square-foot house with an attached garage were built

circa 1950, and the rear part of the lot has remained vacant. The existing house does not appear to be eligible for designation at the local, state, or federal level and is therefore not considered a historic resource under CEQA.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R2250

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

Yards and Usable Open Space

yes **n/a** **no**

If "no" select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Access to the new the garage is provided from an existing concrete driveway that is accessed from E. Maple Street. As a consideration, the concrete driveway should incorporate decorative paving elements (such as brick, stone, stamped concrete) to enhance the appearance viewed from the street.

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

A wood picket fence is proposed to delineate outdoor space between the two units on the eastern side of the property.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new two-story residential building and attached garages are appropriately located at the rear of the site.
- The new units will be integrated with the existing site conditions and relate to the existing front welling and surrounding properties in the neighborhood.
- The proposed building is appropriately setback from the existing primary residence and property lines.
- The site provides the required landscaping and incorporates pavers and required private and outdoor common open space..

- Overall, the placement of the new building at the rear of the site is appropriate because it respects the front house and adjoining properties through setback as recommended by the Comprehensive Design Guidelines. Also, areas not occupied by buildings will be landscaped with the exception of the driveways and walkways.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

For better design integration, a condition is included to revise the roof plan to ensure that all roof eaves have the same depth and consider adding layers to the roof form to be more consistent with the primary dwelling, removing the tacked-on gables above the patios if necessary. And bring the roof on the first-story all the way to the second-story balconies for a more natural flow.

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new building is located behind the existing front unit, which is appropriately setback from the street. Having this generous setback appropriately punches the taller new mass toward the rear of the site and will respect the single-family house at the front and adjoining properties.
- Overall, the proposed building's mass and scale, its overall height of approximately 24 feet, proportions, and architectural concept of the project are consistent with the existing residence and the neighborhood context.
- The facades of the new units minimize a boxy profile through the use of varying forms, offsets and recesses. A mix of materials, stucco and stone cladding at the base integrates with the existing house and the neighborhood context. design shows articulation in the building forms. The front entry doors and balconies are pushed in creating movement in the building.
- The new building is designed with a hipped roof form. For better design integration with the existing house, a condition is included to revise the roof form and provide a better overall design that more naturally match the primary dwelling.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Lighting detail is not depicted on the plans. A condition is included to provide a cut sheet corresponding to proposed light on the new building and show lighting on the new building for staff review and approval.

Ancillary Structures

yes n/a no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the design and detailing of the new building at the rear are compatible with the contemporary style of the existing house through the use of architectural treatments, materials, windows, and colors.
- The new unit will feature an asphalt shingle roof material, and the exterior walls will be stucco with new stone cladding at the base and vine trellis frames on all four facades. Overall, the proposed color material palette integrates well with other buildings in the neighborhood, which are painted with neutral colors. The proposed design and materials are compatible with and appropriate to the existing style of the house on the site and the neighborhood.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. Revise the roof plan to ensure that all roof eaves have the same depth and consider adding layers to the roof form to be more consistent with the primary dwelling, removing the tacked-on gables above the patios if necessary. And bring the roof on the first-story all the way to the second-story balconies for a more natural flow.
2. That specifications (cut sheets) for the exterior lighting fixtures on the new building and locations shall be submitted to staff for review and approval prior to plan check submittal. The exterior lighting should be appropriate to and consistent with the style of the new building; limit their location to the main entry and patio doors.
3. Paint the gutters to match the adjacent wall color.
4. That all new fences/wall/gates be clearly shown on the plans for staff review and approval prior to plan check submittal.

Attachments

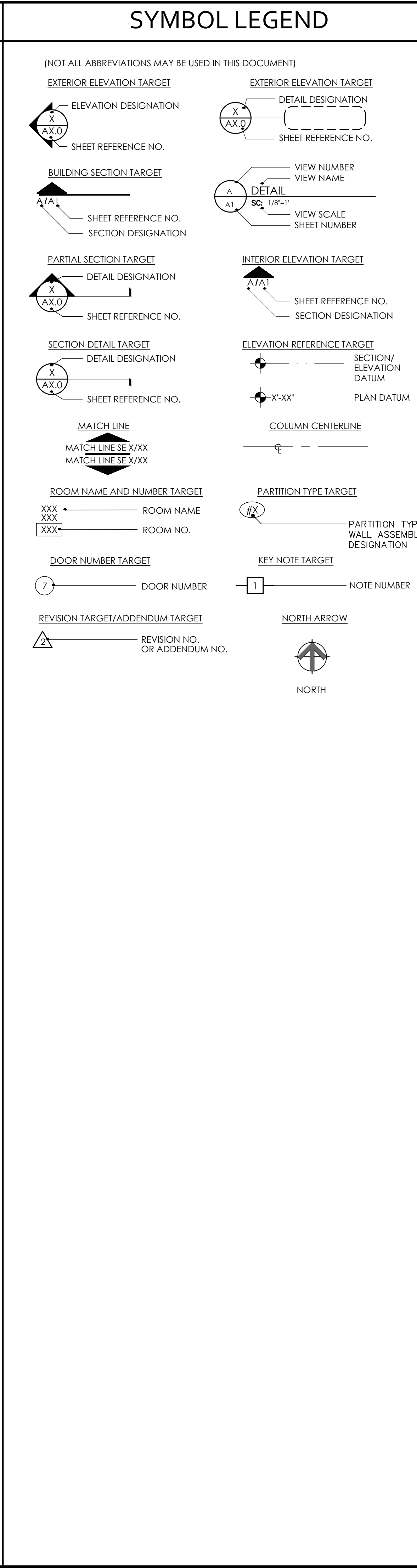
1. Reduced Plans
2. Location Map
3. Photos

GENERAL NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS OF EVERY TYPE WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS.
- THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL NOT HAVE CONTROL, OF AND WILL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE, NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS.
- ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS IE: STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- WORK WILL BE COORDINATED WITH ALL TRADES IN ORDER TO AVOID INTERFERENCE, AND AVOID OMISSIONS.
- ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS.
- LAYOUT ALL PARTITIONS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS WILL BE INSTALLED AS NOTED ON THE DRAWINGS.
- EACH SUBCONTRACTOR WILL AMEND AND MAKE GOOD AT HIS OWN COST, ANY DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/OR HIS SUPPLIED MATERIALS.
- VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT, IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE CONSTRUCTION MANAGER BEFORE PROCEEDING WITH THAT WORK.
- CONTRACTORS SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKES PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.
- ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS.
- ALL FINISHED FLOOR ELEVATIONS REFER TO ARCHITECTURAL DRAWINGS ONLY. REFER TO CIVIL DRAWINGS FOR RELATIONSHIP TO PROJECT BENCHMARK(S).
- ANY ADDITIONS OR CHANGES TO WORK MUST BE AUTHORIZED IN WRITING BY THE CONSTRUCTION MANAGER. NO ALTERATIONS WILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN ORDER BY THE CONSTRUCTION MANAGER.
- WEATHER CONDITIONS: CONTRACTORS WILL PROTECT ALL PARTS OF THEIR WORK FROM WEATHER DAMAGE DUE TO FROST, RAIN, HEAT, ETC. AND WILL MAKE GOOD TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AND/OR GENERAL CONTRACTOR ANY PORTION OF THE WORK WHICH MAY HAVE BECOME DAMAGED.
- SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED OSHA STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL BE HELD HARMLESS BY THE OWNER, GENERAL CONTRACTOR AND RELATED AWARDED TRADES ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCRUED ON THIS PROPERTY DURING THE PRE/ACTUAL/POST CONSTRUCTION PHASES OF THIS PROJECT.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM FINISH AT THE END OF EACH WORKING DAY.
- TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS TYPICALLY.
- PAINT ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS IN ROOMS WHERE INDICATED ON ROOM FINISH SCHEDULE. PAINT BEHIND ALL MOVEABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELOCATE ITEMS.
- ALL WEATHER - EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.
- ALL PLAN DIMENSIONS ARE TO FINISHED FACE OF FINISHED WALLS, FACE OF MASONRY, AND CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
- VERIFY ALL ELEVATIONS AND DIMENSIONS OF STRUCTURAL ELEMENTS WITH ARCHITECTURAL DRAWINGS. IN CASE OF CONFLICT, NOTIFY ARCHITECT. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THEM. ALL DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ABBREVIATIONS

&	AND	I.D.	INTERIOR DESIGN
@	AT	IN.	INCH
A.B.	ANCHOR BOLT	INFO.	INFORMATION
A.C.	ASPHALTIC CONCRETE	INV.	INVERTED
A.C.I.	AMERICAN CONCRETE INSTITUTE	JT. or JNT	JOINT
ACP	ACOUSTIC CEILING PANEL	JST.	JOIST
A.D.A.A.G.	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES	L	ANGLE
A.F.F.	ABOVE FINISH FLOOR	LB. or #	POUNDS
ALUM.	ALUMINUM	L.G.	LONG
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	MAT.	MATERIAL
A.Q.T.	ABRASIVE QUARRY TILE	MAX.	MAXIMUM
ARCH.	ARCHITECTURAL	M.B.	MACHINE BOLT
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS	MEZZ.	MEZZANINE
		MIN.	MINIMUM
		MISC.	MISCELLANEOUS
BLK'G	BLOCKING	MPH	MILES PER HOUR
B.N.	BOUNDARY	M.S.B.	MAIN SWITCH BOARD
BM.	BEAM	MTL.	METAL
B.O.J.	BOTTOM OF JOIST	(N)	NEW
B.U.R.	BUILT UP ROOFING	NO. or #	NUMBER
BOTT. or (B)	BOTTOM	N.I.C.	NOT IN CONTRACT
C	CONDUIT	N.I.S.	NOT TO SCALE
C.I. or #	CENTER LINE	O.C.	ON CENTER
C.B.B.	CEMENTITIOUS BACKER BOARD	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
C.D.	CORE DRILL	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED
C.J.	CONTROL JOINT (COLD JOINT)	O.H.	OPPOSITE HAND
CLG.	CEILING	OPNG.	OPENING
CLR.	CLEAR	P.C.	PLUMBING CONTRACTOR
C.M.U.	CONCRETE MASONRY UNIT	P. CONTR.	PLASTIC LAMINATE OR PARALLAM (BEAM)
COL.	COLUMN	P. LAM	PLATE
CONC.	CONCRETE	PL.	PROPERTY LINE
CONN.	CONNECTION	PLYWD.	PLYWOOD
CONSTR.	CONSTRUCTION	PK	PAIR
CONSTR. JT.	CONSTRUCTION JOINT	PSF.	POUNDS PER SQ. FOOT
CONT.	CONTINUOUS	PSI.	POUNDS PER SQ. INCH
CONTR.	CONTRACTOR	Q.T.	QUARRY TILE
COMP	COMPACTED (ION)	R.A.D. or (R)	RADIUS
C.T.	CERAMIC TILE	REINF.	REINFORCEMENT
DBL	DOUBLE	S.C.	SAW-CUT JOINT
DEG. or °	DEGREE	SCHD.	SCHEDULE
DIA. or Ø	DIAMETER	SHT.	SHEET
DIAG.	DIAGONAL	SIM.	SIMILAR
DIM.	DIMENSION	SM	SHEET METAL
DWG.(S)	DRAWING(S)	SMS	SHEET METAL SCREW
(E)	EXISTING	SPEC.(S)	SPECIFICATION(S)
EA.	EACH	SQ.	SQUARE
E.C.	ELECTRICAL CONTRACTOR	SQ. IN.	SQUARE INCH
E.F.	EACH FACE	SQ. FT.	SQUARE FOOT
EL.	ELEVATION	S.S.	STAINLESS STEEL
EN.	EDGE NAIL	STD.	STANDARD
E.O.C.	EDGE OF COUNTER / EDGE OF EQUIPMENT	STL.	STEEL
EQ. or =	EQUAL	STRUCT.	STRUCTURAL
E.S.	EACH SIDE	SUSP.	SUSPENDED
EXP.	EXPANSION	SYM.	SYMMETRICAL
FACT.	FACTORY	(T)	TOP
F.D.	FLOOR DRAIN	TEMP.	TEMPERED (TEMPERATURE)
FDN.	FOUNDATION	THK.	THICKNESS
F.F.	FINISHED FLOOR	T & G	TONGUE & GROOVE
F.F.L.	FINISHED FLOOR LEVEL	T.N.	TOE NAIL
F.G.	FLOAT GLASS	T.O.B.	TOP OF BEAM
F.R.	FLOOR	T.O.C.	TOP OF CURB
FIN.	FINISH	T.O.F.	TOP OF FOOTING
F.N.	FIELD NAIL	T.O.PL.	TOP OF PLATE
F.O.B.	FACE OF BEAM	T.O.S.	TOP OF SLAB
F.O.F.	FACE OF FINISH	T.O.W.	TOP OF WALL
F.O.J.	FACE OF JOIST	TYP.	TYPICAL
F.O.M.	FACE OF MASONRY	U.B.C.	UNIFORM BUILDING CODE
F.O.P.	FACE OF POST	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	U.S.P.	UNDER SEPARATE PERMIT
F.R.P.	FIBERGLASS REINFORCED PANEL	VERT. OR (V)	VERTICAL
F.S.	FLOOR SINK	VINYL	VINYL
FT.	FEET	W.C.	WALLCOVERING
FIG.	FOOTING	W/	WITH
GA.	GAUGE (GAGE)	WD.	WOOD
G.B.	GYPSPUM BOARD	W.G.B.	WATER RESISTANT GYPSPUM BOARD
G.C.	GENERAL CONTRACTOR	W.B.	WALK-IN BOX
CALV.	GALVANIZED	WT.	WEIGHT
G.I.	GALVANIZED IRON	W.M.	WELDED WIRE MESH
GLB.	GLUE-LAMINATED BEAM		
H.D.	HUB DRAIN		
HDR.	HEADER		
HDW.	HARDWARE		
HGR.	HANGER		
HGT. or HT.	HEIGHT		
H.M.	HOLLOW METAL		
HORIZ. or H	HORIZONTAL		
H.S.B.	HIGH STRENGTH BOLT		



RESIDENTIAL ADDITION FOR:

Maple Street - 2 Unit

1434 E MAPLE STREET
GLENDALE CA 91205



PROJECT SUMMARY

SCOPE OF WORK:
A NEW SINGLE TWO-STORY BUILDING WITH TWO (2) RESIDENTIAL DWELLING UNITS TO INCLUDE INTERIOR/EXTERIOR WALLS, DOORS, WINDOWS, CEILING, ROOF, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. NEW CONCRETE DRIVEWAY.

PROJECT DATA
 GLENDALE APN: 5683003014
 ZONING: R-2250 MEDIUM DENSITY RESIDENTIAL
 LEGAL DESCRIPTION: TRACT # 2176 E 40 FT OF N 150 FT OF LOT 9 THE NORTHERLY 150 FEET OF THE EASTERLY 60 FEET OF LOT 9 OF TRACT NO. 2176, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 27, PAGE 54 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER

OCCUPANCY: R-3
USE: RESIDENTIAL (2 UNITS)

GROSS BUILDING AREA: 3,604 S.F.

AREA OF WORK: 1ST FLOOR : 1,852 S.F.
2ND FLOOR : 1,752 S.F.

ZONE NAME: R-2250
FLOOR AREA RATIO MAX: 0.85
LOT SIZE: 9,000 SQ. FT.
PROPOSED & EXISTING BLDG: 5,644 SQ. FT.
FLOOR AREA RATIO TOTAL: 0.63

APPLICABLE BUILDING CODES:
 BUILDING: 2019 CALIFORNIA BUILDING CODE
 RESIDENTIAL: 2019 CALIFORNIA RESIDENTIAL CODE
 EXISTING: 2019 CALIFORNIA EXISTING BUILDING CODE
 FIRE: 2019 CALIFORNIA FIRE CODE
 PLUMBING: 2019 CALIFORNIA PLUMBING CODE
 MECHANICAL: 2019 CALIFORNIA MECHANICAL CODE
 ELECTRICAL: 2019 CALIFORNIA ELECTRICAL CODE
 ACCESSIBILITY: 2019 CALIFORNIA BUILDING CODE
 ENERGY: 2019 CALIFORNIA CODE OF REGULATIONS TITLE 24
 GREEN: 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 MUNICIPAL: GLENDALE MUNICIPAL CODE - TITLE 30, ZONING CODE

BUILDING DATA:
CONSTRUCTION TYPE: V-B
AUTOMATIC SPRINKLER SYSTEM: NO
NUMBER OF STORIES: 2

SHEET INDEX

GENERAL	
G100	COVER SHEET
ARCHITECTURAL	
A001	SITE PLAN - EXISTING / NEW
A101	FIRST FLOOR / SECOND FLOOR PLAN
A103	ROOF PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A301	BUILDING SECTIONS
A602	SITE PHOTOS

PROJECT DIRECTORY

TENANT:
 CBC DEVELOPMENT CO.
 201 SANTA MONICA BOULEVARD
 SANTA MONICA, CA 90401
 CONTACT: BRENDAN COX
 T: (949) 724-9531
 EMAIL: BRENDAN.COX@MILLENDERWHITE.COM

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 914 E KATELLA AVENUE
 ANAHEIM, CA 92807
 CONTACT: SHANNA
 T: (714) 385-1835
 EMAIL: SHANNA@PEICA.COM

STRUCTURAL:
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 914 E KATELLA AVENUE
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 CONTACT: TBD
 T: (714) 385-1835
 EMAIL: TBD

ENGINEER (MEP):
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 ANAHEIM, CA 92807
 CONTACT: TBD
 T: (714) 385-1835
 EMAIL: TBD

DEFERRED SUBMITTALS

REVISIONS	
ISSUE	DATE
PLANNING REV	08/09/22
PLANNING REPLY	08/12/22
PLANNING REV	10/12/22
PLANNING REPLY	11/16/22

CONSULTING ENGINEERS
 STRUCTURAL, MECHANICAL, PLUMBING,
 ELECTRICAL, CIVIL, SURVEYING,
 ARCHITECTURAL

914 E. KATELLA AVENUE
 ANAHEIM, CALIFORNIA 92805
 P (714) 385-1835, F (714) 385-1834
 www.peica.com

CBC Development Co.

201 Santa Monica Blvd
 Santa Monica, CA 90401
 661-644-1767

Stamp:
 LICENSED ARCHITECT
 ARIC D. GLESS
 No. 11855
 STATE OF CALIFORNIA
 11/18/22

CITY SUBMITTAL
 BUILDING DEPARTMENT REVISIONS HAVE NOT BEEN ADDED TO THESE CONSTRUCTION DRAWINGS. THE ARCHITECT AND HIS CONSULTANTS ASSUME NO RESPONSIBILITY FOR CONSTRUCTION PERFORMED FROM THESE DRAWINGS.

Project : New Residential Building

MAPLE STREET 2 UNIT
 1434 E MAPLE STREET
 GLENDALE, CA 91205

COVER SHEET

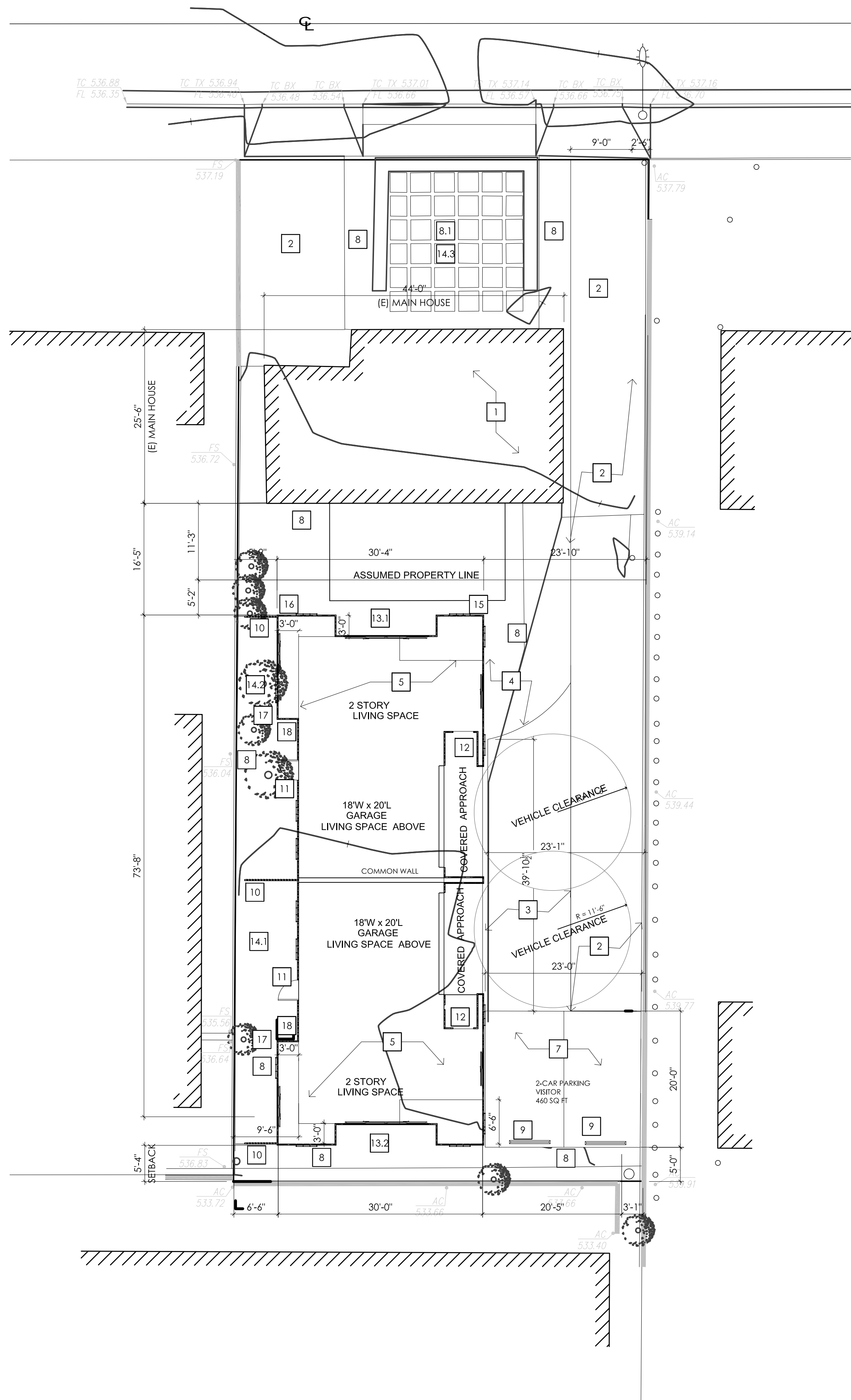
Project Manager: CR
 Date: 11-3-22
 Scale: AS NOTED
 Project Number: A.2200161

SHEET NUMBER

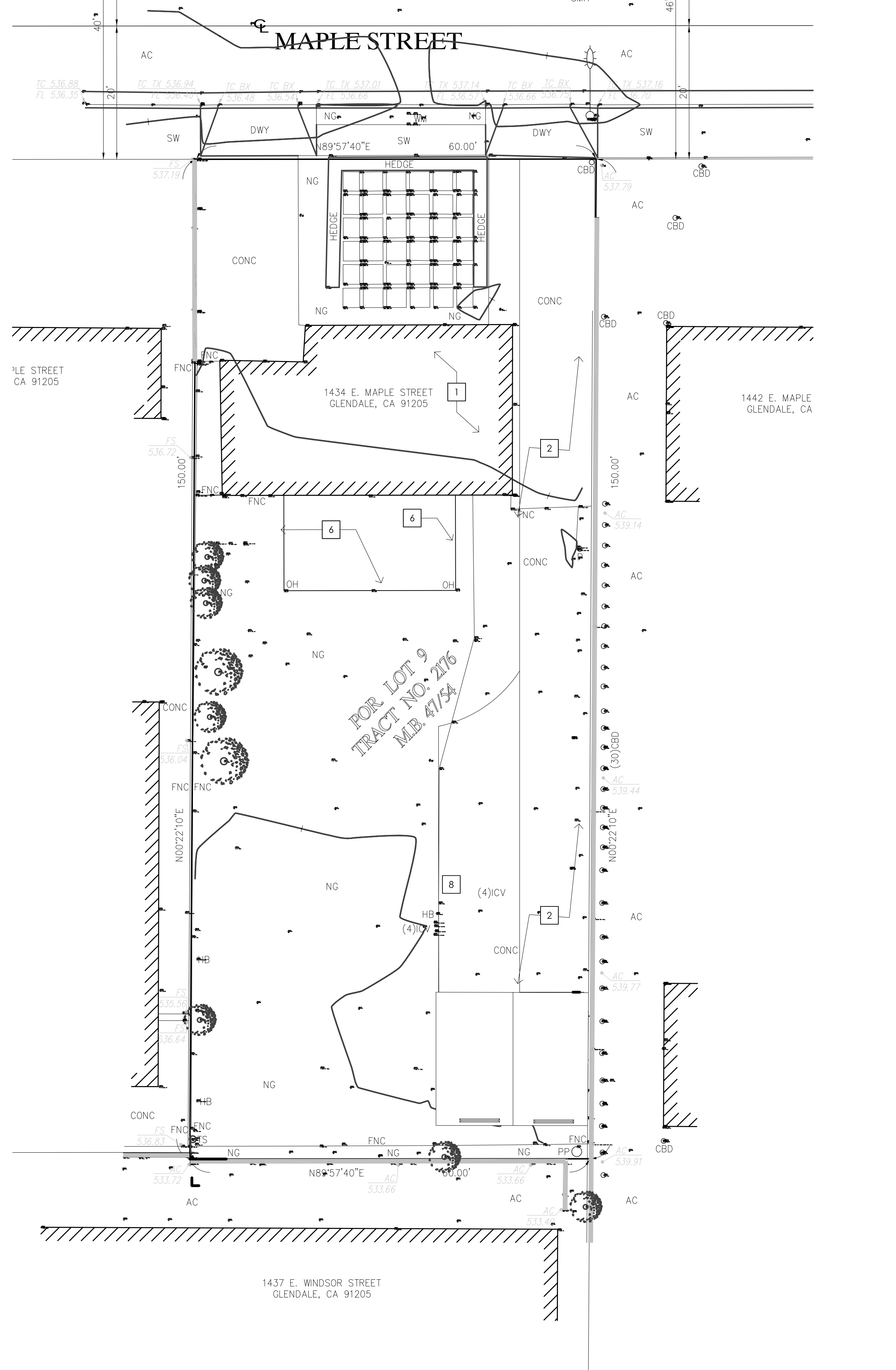
G100

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DATE: 11/10/2022
 PLOT DATE/TIME: 11/10/2022 3:10 PM
 USERNAME: J:\CADD\DEVELOPMENT\CON\2200161-1-MAPLE STREET 2 UNIT-CONSTRUCTION DOCUMENTS\CADD\ARCHITECTURAL\CD1117\20220161_A001.dwg



PROPOSED SITE PLAN 2
 1/8"=1'-0"



EXISTING SITE PLAN 1
 1/8"=1'-0"

PROJECT DATA

NEW CONSTRUCTION	
BUILDING AREA CALCULATIONS:	
BUILDING TOTAL:	3,696 SQ. FT.
1ST FLOOR TOTAL:	1,845 SQ. FT.
2ND FLOOR TOTAL:	1,851 SQ. FT.
UNIT AREA CALCULATIONS:	
2 UNITS TOTAL:	2,488 SQ. FT.
1ST UNIT TOTAL:	1,244 SQ. FT.
2ND UNIT TOTAL:	1,244 SQ. FT.
GARAGE:	
2 UNITS TOTAL:	720 SQ. FT.
1ST UNIT TOTAL:	360 SQ. FT.
2ND UNIT TOTAL:	360 SQ. FT.
EXISTING RESIDENCE	
LIVING SPACE	790 SQ. FT.
SINGLE GARAGE	243 SQ. FT.

PROJECT DATA	
GLENDALE APN:	5683003016
ZONING:	R-2250
LEGAL DESCRIPTION:	TRACT # 2176 E 40 FT OF N 150 FT OF LOT 9
OCCUPANCY:	MEDIUM DENSITY RESIDENTIAL
USE:	RESIDENTIAL

BUILDING DATA:	
CONSTRUCTION TYPE:	V-B
AUTOMATIC SPRINKLER SYSTEM:	NO
NUMBER OF STORIES:	2
GROSS BUILDING AREA:	
1ST FLOOR :	3,604 S.F.
2ND FLOOR :	1,852 S.F.
	1,752 S.F.

ZONING:	R-2250
FLOOR AREA RATIO MAX:	0.85
LOT SIZE:	9,000 SQ. FT.
PROPOSED & EXISTING BLDG:	4,633 SQ. FT.
FLOOR AREA RATIO (F.A.R.) TOTAL:	0.51

EXISTING 1-UNIT BLDG. FOOTPRINT:	1,049 SQ. FT.
PROPOSED 2 UNIT BLDG FOOTPRINT:	1,852 SQ. FT.
TOTAL BUILDING COVERAGE:	2,901 SQ. FT.
TOTAL BUILDING COVERAGE:	0.32

(E) CONCRETE DRIVEWAY WEST -	400 SQ. FT.
(E) CONCRETE DRIVEWAY EAST -	1180 SQ. FT.
(N) CONCRETE PARKING PAD S/E -	400 SQ. FT.
TOTAL HARDSCAPE	1980 SQ. FT.
(N) PRIVATE SOFTSCAPE 14.1	283 SQ. FT.
(N) PRIVATE SOFTSCAPE 14.2	487 SQ. FT.
(N) PRIVATE SOFTSCAPE 14.3	602 SQ. FT.
TOTAL PRIVATE	1402 SQ. FT.
(N) COMMON SOFTSCAPE 13.1	632 SQ. FT.
(N) COMMON SOFTSCAPE 13.2	344 SQ. FT.
TOTAL COMMON	1016 SQ. FT.
TOTAL SOFTSCAPE	2367 SQ. FT.
TOTAL SOFTSCAPE RATIO	.26

CONSTRUCTION NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. (E) - INDICATES EXISTING CONSTRUCTION.
3. (N) - INDICATES NEW CONSTRUCTION.
4. RETAINING WALLS / POOLS / SPAS / JACUZZIS / BOUNDARY WALLS / FENCES / TRELLIS / PATIO COVERS REQUIRE SEPARATE PERMITS.
5. NO OAK, BAY, OR SYCAMORE TREES ON OR WITHIN 20 FEET OF THE PROPERTY.
6. NO CONFLICT WITH POWER-LINES OR EASEMENTS ON OR ADJACENT TO PROPERTY.

KEYNOTES

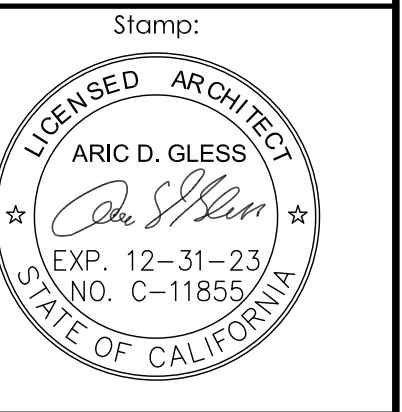
1	(E) BUILDING TO REMAIN	11	CONCRETE LANDING
2	(E) DRIVEWAY TO REMAIN - CONCRETE	12	COVERED ENTRY LANDING
3	(N) DRIVEWAY CONCRETE PAVING	13	COMMON OPEN SPACE 13.1 - 124 S.F. 13.2 - 349 S.F.
4	(E) DRIVEWAY TO BE REMOVED	14	PRIVATE OPEN SPACE 14.1 - 293 S.F. 14.2 - 487 S.F. 14.3 - 612 S.F.
5	LINE OF 2nd FLOOR		
6	(E) GAZEBO TO BE MODIFIED	15	WATER VALVES
7	(N) CONCRETE VISITOR PARKING PAD	16	UTILITY METER
8	LANDSCAPE AREA (GROUND COVER)	17	ELECTRICAL PANELS/ MAIN FEED
8.1	LANDSCAPE PAVERS	18	AC PAD
9	(N) CONCRETE PARKING BUMPER	19	EXISTING PAVERS
10	(N) FENCING - WOOD PICKET		



914 E. KATELLA AVENUE
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 661-644-1767



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Project : New Residential Building:
MAPLE STREET 2 UNIT
 1434 E MAPLE STREET
 GLENDALE, CA 91205

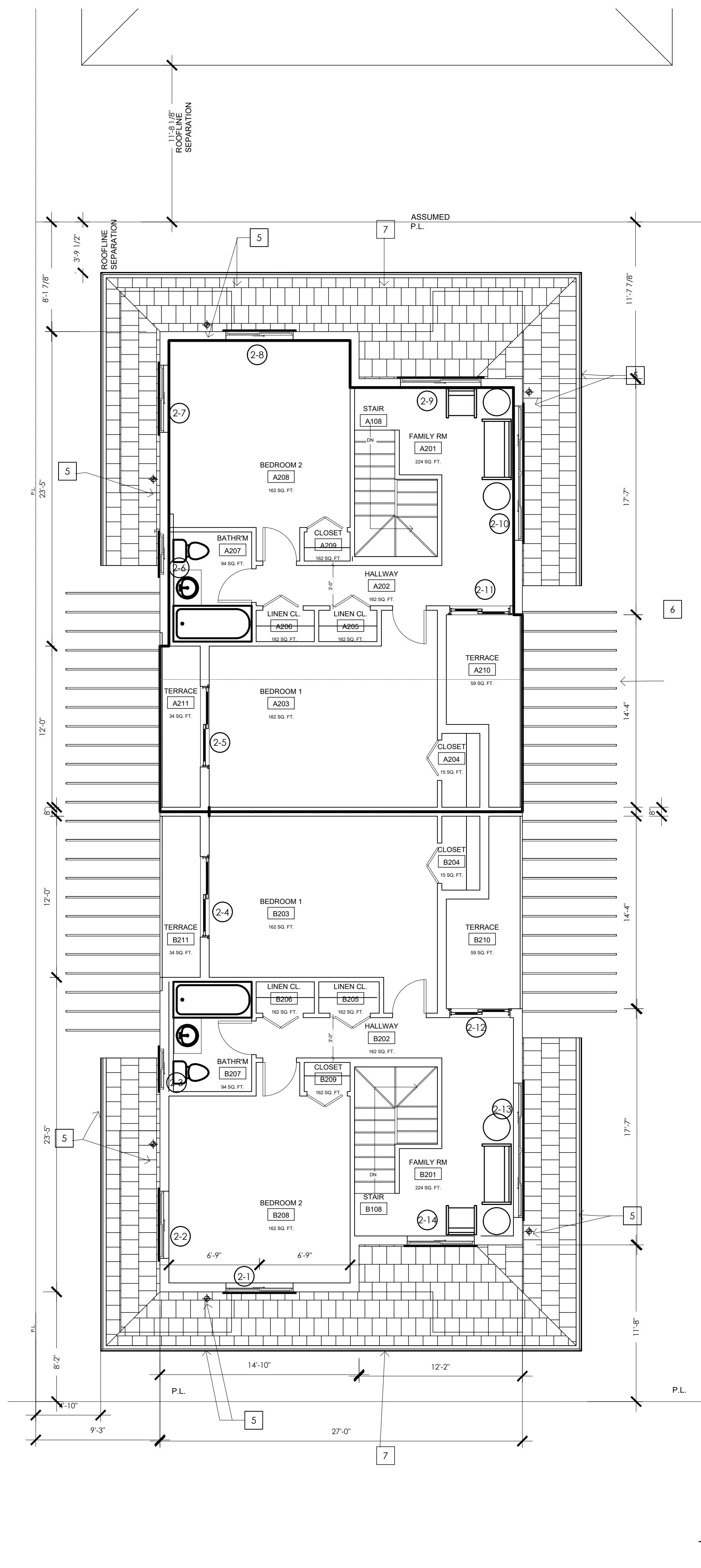
REVISIONS	
DATE	ISSUE
08/09/22	PLANNING REV
08/12/22	PLANNING REPLY
10/12/22	PLANNING REV
11/16/22	PLANNING REPLY

Project Manager:	CR
Date:	11-3-22
Scale:	AS NOTED
Project Number:	A.2200161
Sheet Title:	PROPOSED SITE PLAN

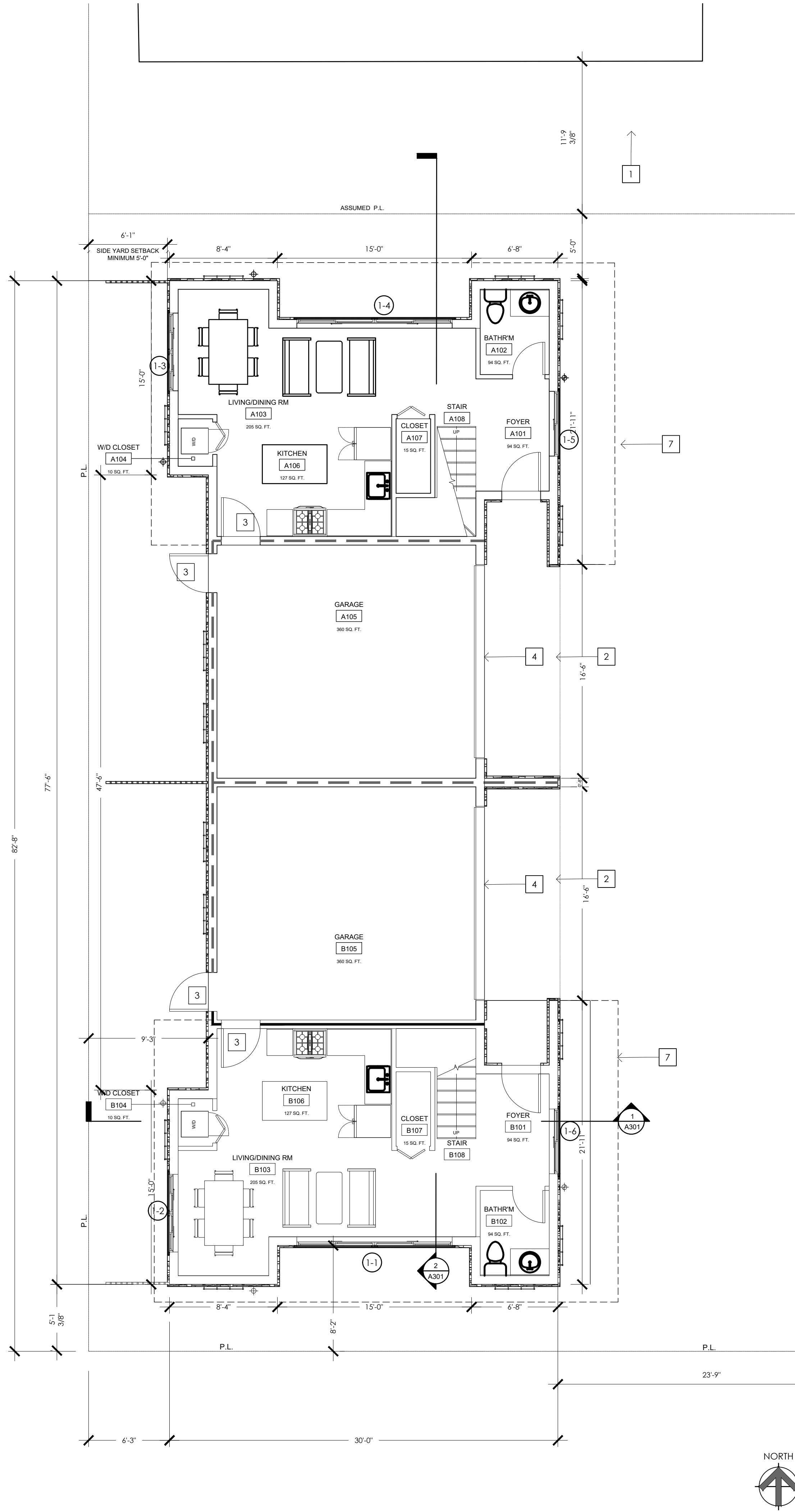
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A001

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USER NAME: C:\ADMIN\BANKS
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 FILENAME: J:\C\DEVELOPMENT\CON\2200161-1-1\MAPLE STREET 2 UNIT-CONSTRUCTION\DOCUMENTS\ARCHITECTURAL\CD\11-17-2020\A1-A101 FLOOR PLAN 182.DWG



2ND FLOOR PLAN 2



1ST FLOOR PLAN 1

KEYNOTES

- 1 EXISTING BUILDING
- 2 LINE OF TERRACE ABOVE
- 3 1 HR RATED DOORS
- 4 AUTOMATIC GARAGE DOOR
- 5 GUTTER / DOWNSPOUT - COLOR MATCH
- 6 METAL TRELLIS
- 7 FIRST FLOOR ROOF LINE

LEGEND

(N) 1 HR RATED WALL

CONSTRUCTION NOTES

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3. (N) - INDICATES NEW CONSTRUCTION.

WINDOW SCHEDULE

SEE SHEETS A202 FOR WINDOW SCHEDULE

CONSULTING ENGINEERS
 STRUCTURAL, MECHANICAL, PLUMBING,
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CBC Development Co.

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Stamp:

11/18/22

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Project : New Residential Building:
MAPLE STREET 2 UNIT
 1434 E MAPLE STREET
 GLENDALE, CA 91205

REVISIONS	
ISSUE DATE	ISSUE DATE
PLANNING REV 08/09/22	
PLANNING REPLY 08/12/22	
PLANNING REV 10/12/22	
PLANNING REPLY 11/16/22	

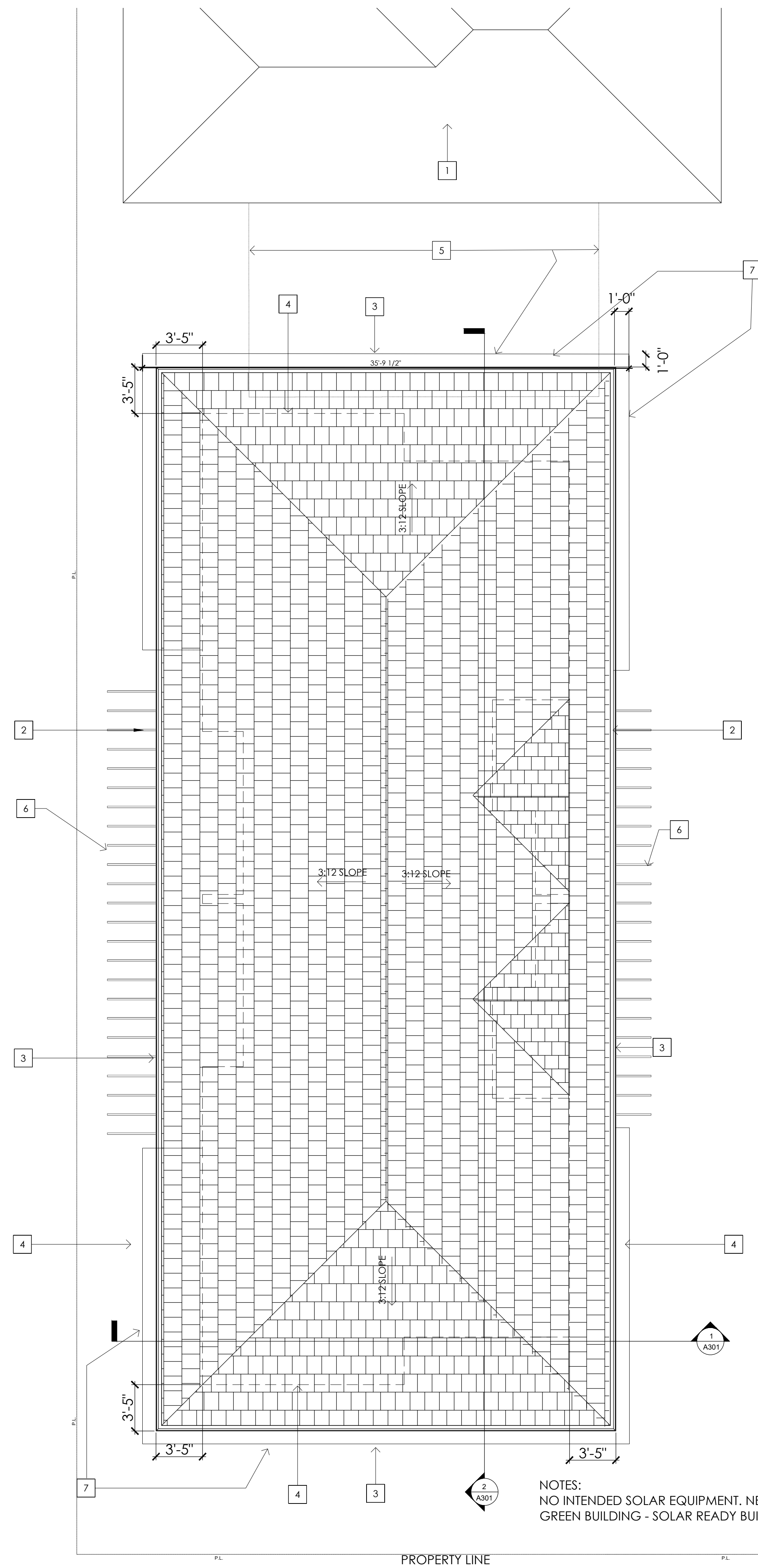
Project Manager:	CR
Date:	11-3-22
Scale:	AS NOTED
Project Number:	A.2200161

SHEET NUMBER

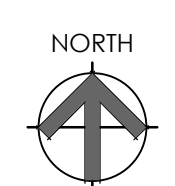
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NOTES:
 NO INTENDED SOLAR EQUIPMENT. NEW BLDG TO COMPLY WITH "CA GREEN BUILDING - SOLAR READY BUILDINGS"



ROOF PLAN 1
1/4"=1'-0"

LEGEND




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Stamp:



LICENCED ARCHITECT
 ARIC D. GLESS
 EXP. 12-31-23
 NO. C-118555
 STATE OF CALIFORNIA

11/18/22

KEYNOTES

- 1 (E) ROOF TO REMAIN
- 2 (N) ASPHALT SHINGLE ROOF
- 3 GUTTER AND DOWNSPOUT
- 4 LINE OF 2ND FLOOR WALL BELOW
- 5 (E) PATIO COVER TO BE REMOVED
- 6 METAL TRELLIS BELOW
- 7 1st FLOOR ROOF BELOW

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Project : New Residential Building:
MAPLE STREET 2 UNIT
 1434 E MAPLE STREET
 GLENDALE, CA 91205

REVISIONS	
ISSUE	DATE
PLANNING REV	08/09/22
PLANNING REPLY	08/12/22
PLANNING REV	10/12/22
PLANNING REPLY	11/16/22

Project Manager:	CR
Date:	11-3-22
Scale:	AS NOTED
Project Number:	A.2200161

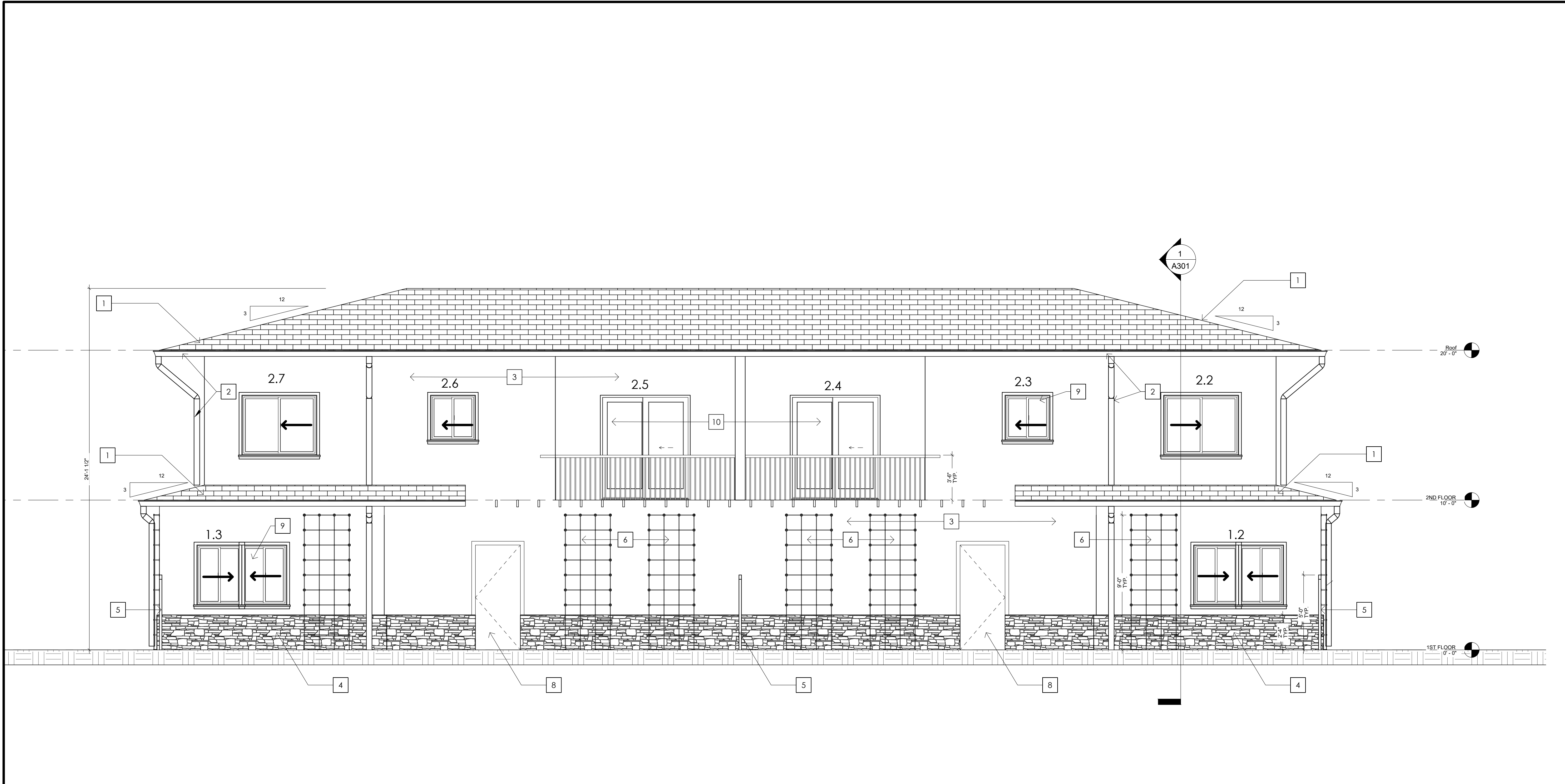
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A102

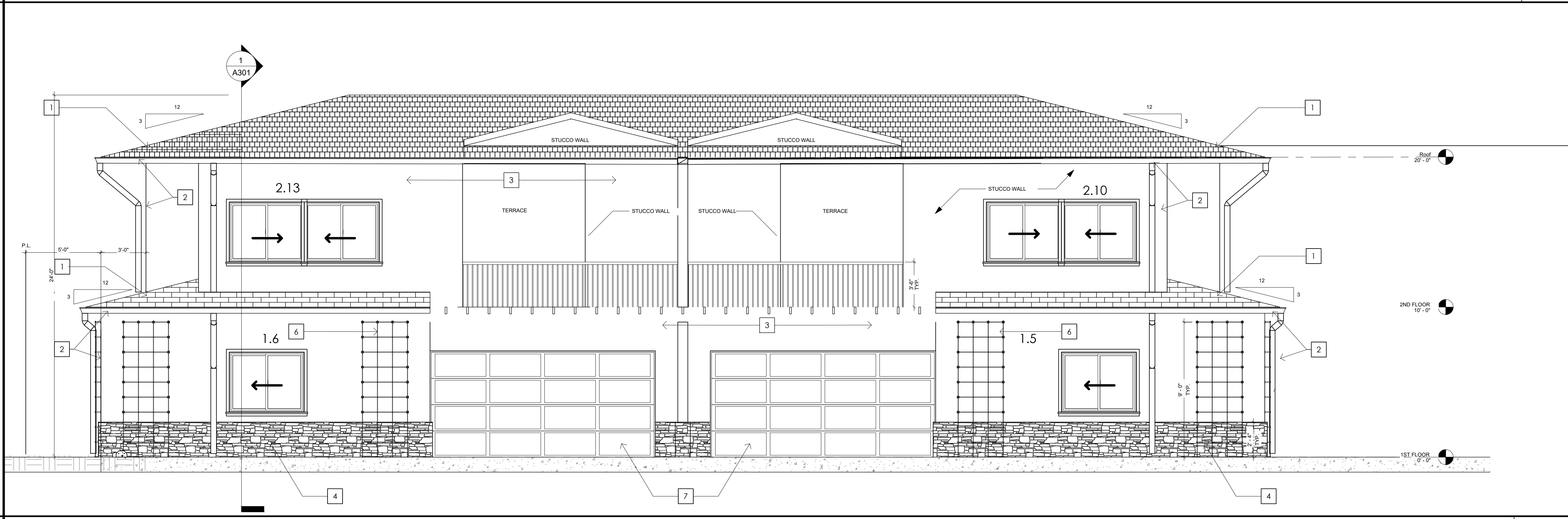
CONSTRUCTION NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. (E) - INDICATES EXISTING CONSTRUCTION.
3. (N) - INDICATES NEW CONSTRUCTION.
4. EXTERIOR FINISH MATERIALS (PRODUCT, COLOR, FINISH) OF NEW/MODIFIED ACCESSORY BUILDINGS WILL MATCH THE MAIN HOUSE.
5. ***NO NEW ROOFTOP EQUIPMENT IS ALLOWED***

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WEST ELEVATION 2
1/4"=1'-0"



EAST ELEVATION 1
1/4"=1'-0"

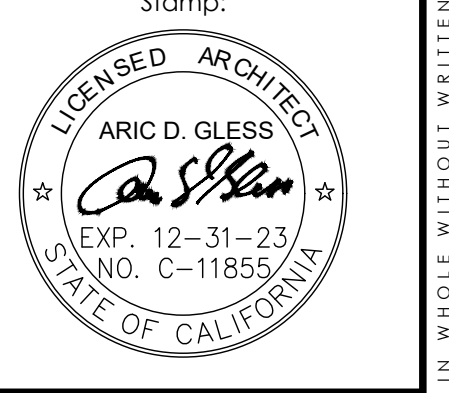
KEYNOTES

- 1 ASPHALT SHINGLE ROOF - BRAND/ STYLE CHOSEN BY OWNER
- 2 G.I. GUTTER AND DOWNSPOUT - PAINT TO MATCH EAVE
- 3 PLASTER STUCCO - COLOR CHOSEN BY OWNER
- 4 STACKED STONE - ELDERADO STONE - STYLE CHOSEN BY OWNER
- 5 WOOD FENCE
- 6 VINE TRELLIS FRAME
- 7 METAL GARAGE DOOR - FACTORY FINISH COLOR
- 8 FIBERGLAS DOOR - COLOR AND DESIGN CHOSEN BY OWNER
- 9 ALUMINUM FRAME DOUBLE-GLAZED WINDOW - CHOSEN BY OWNER
- 10 SLIDING GLASS DOOR - COLOR AND DESIGN CHOSEN BY OWNER

LEGEND



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Project : New Residential Building:
MAPLE STREET 2 UNIT
1434 E MAPLE STREET
GLENDALE, CA 91205

REVISIONS	
ISSUE DATE	
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PLANNING REPLY 08/12/22	
PLANNING REV 10/12/22	
PLANNING REPLY 11/16/22	

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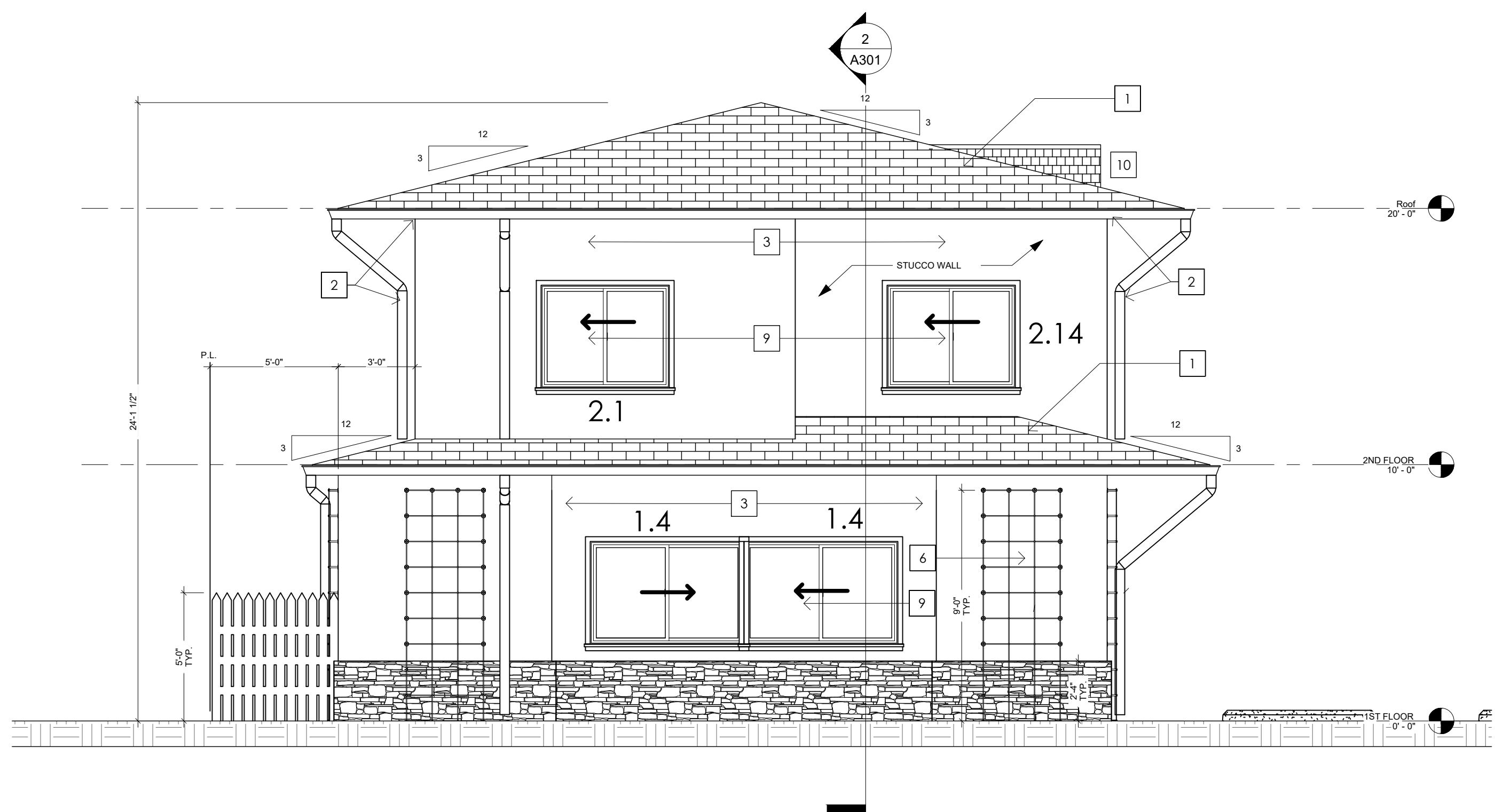
SEE SHEET A202 FOR GLAZING SCHEDULE

Project Manager:	CR
Date:	11-3-22
Scale:	AS NOTED
Project Number:	A.2200161

SHEET NUMBER
A201

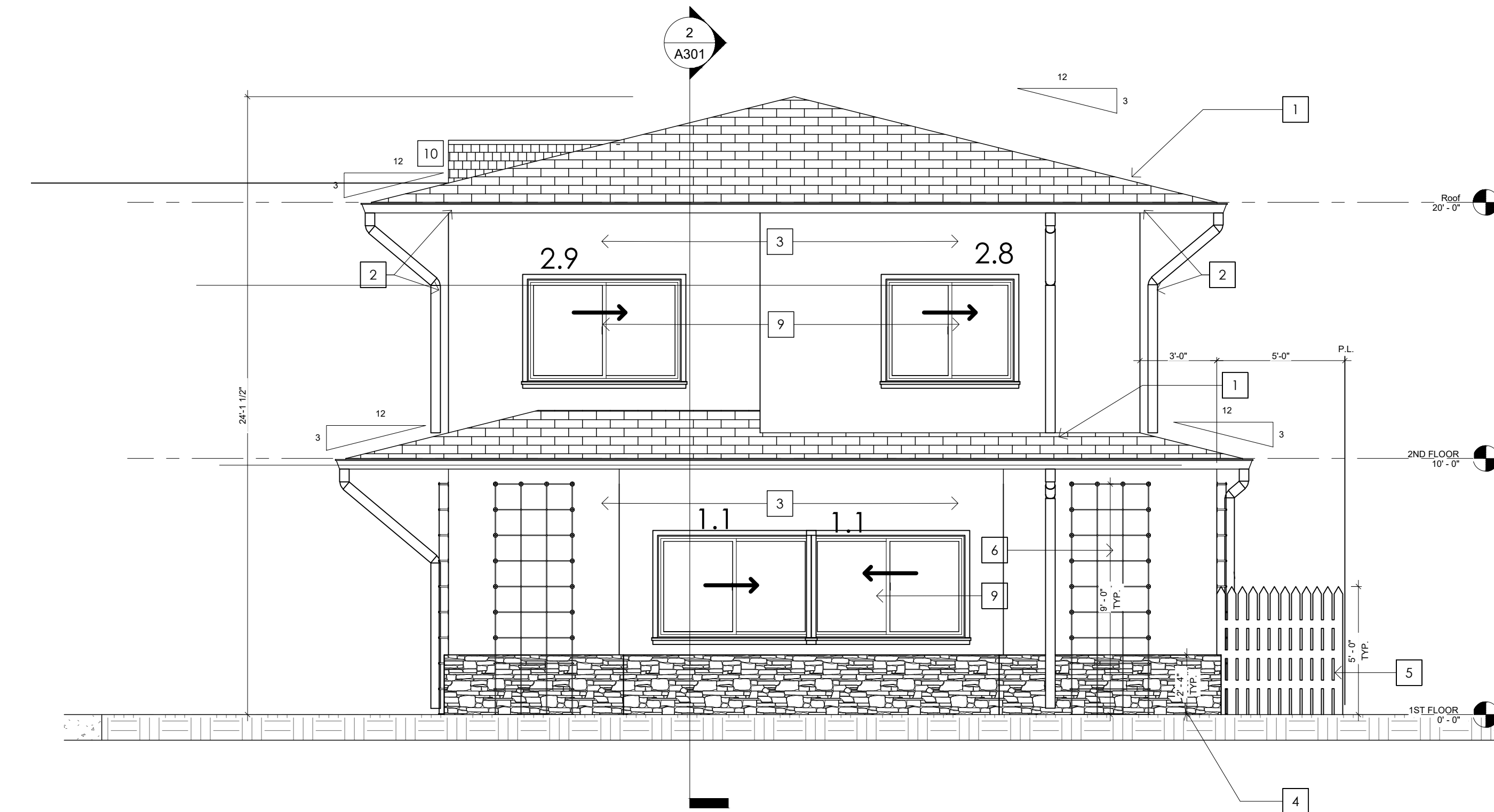
USER NAME: CONSULTING ENGINEERS
 PLOT NUMBER: 11/18/2022 11:53 AM
 PROJECT NAME: CBC DEVELOPMENT CONSULTING ENGINEERS - MAPLE STREET 2 UNIT - CONSTRUCTION DOCUMENTS ARCHITECTURAL CD01.17.2020161_0201 ELEVATIONS.DWG

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SOUTH ELEVATION 2
1/4"=1'-0"

- ### KEYNOTES
- 1 ASPHALT SHINGLE ROOF - BRAND/ STYLE CHOSEN BY OWNER
 - 2 G.I. GUTTER AND DOWNSPOUT - PAINT TO MATCH EAVE
 - 3 PLASTER STUCCO - COLOR CHOSEN BY OWNER
 - 4 STACKED STONE - ELDORADO STONE - STYLE CHOSEN BY OWNER
 - 5 WOOD FENCE
 - 6 VINE TRELLIS FRAME
 - 7 NOT USED - NO GARAGE DOORS ON THESE ELEVATIONS
 - 8 NOT USED - NO DOORS ON THESE ELEVATIONS
 - 9 ALUMINUM FRAME DOUBLE-GLAZED WINDOW - CHOSEN BY OWNER
 - 10 HIPROOF AT BALCONY



NORTH ELEVATION 1
1/4"=1'-0"

- ### LEGEND
- Stamp:

 11/18/22
- ### CITY SUBMITTAL
- BUILDING DEPARTMENT REVISIONS HAVE NOT BEEN ADDED TO THESE CONSTRUCTION DRAWINGS. THE ARCHITECT AND HIS CONSULTANTS ASSUME NO RESPONSIBILITY FOR CONSTRUCTION BIDS OR CONSTRUCTION PERFORMED FROM THESE DRAWINGS.

- ### CONSTRUCTION NOTES
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 - (E) - INDICATES EXISTING CONSTRUCTION.
 - (N) - INDICATES NEW CONSTRUCTION.
 - EXTERIOR FINISH MATERIALS (PRODUCT, COLOR, FINISH) OF NEW/MODIFIED ACCESSORY BUILDINGS WILL MATCH THE MAIN HOUSE.
 - *NO NEW ROOFTOP EQUIPMENT IS ALLOWED***

NUMBER	TYPE	WIDTH/ HEIGHT	MATERIAL	VISIBLE FROM STREET	OPERATION	FRAME	EXTERNAL GRID	EDGE DETAIL	BEDROOM	ENERGY EFFICIENT	TEMPERED GLASS	WITHIN 18" OF FLOOR	WITHIN 40" OF DOOR
1.1	SGW	2-5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
1.2	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
1.3	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
1.4	SGW	2-5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
1.5	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	YES
1.6	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	YES
2.1	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	YES
2.2	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	YES
2.3	SGW	2/0 X 3/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	YES
2.4	SGD	2-3/0 X 6/8	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	YES	YES	YES
2.5	SGD	2-3/0 X 6/8	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	YES	YES	YES
2.6	SGW	2/0 X 3/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	YES	NO	YES
2.7	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
2.8	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
2.9	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	NO	NO	NO
2.10	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	YES	NO	NO
2.11													
2.12													
2.13	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	YES	NO	YES
2.14	SGW	5/0 X 4/0	VINYL	NO	SLIDING	ALUMINUM	NA	NA	NO	YES	YES	NO	YES

WINDOW SCHEDULE 3
1/4"=1'-0"

CONSULTING ENGINEERS
 STRUCTURAL, MECHANICAL, PLUMBING,
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 914 E. KATELLA AVENUE
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Project : New Residential Building:
MAPLE STREET 2 UNIT
 1434 E MAPLE STREET
 GLENDALE, CA 91205

REVISIONS	
ISSUE DATE	DATE
PLANNING REV	08/09/22
PLANNING REPLY	08/12/22
PLANNING REV	10/12/22
PLANNING REPLY	11/16/22

Project Manager: CR
 Date: 11-3-22
 Scale: AS NOTED
 Project Number: A2200161
 Sheet Title: ELEVATIONS

SHEET NUMBER

A202

USER NAME: CONSULTING ENGINEERS
 PLOT DATE/TIME: 11/18/2022 11:52 AM
 PLOT FILE NAME: A:\CITY SUBMITTAL\A2200161\A2200161_A202 ELEVATIONS.DWG

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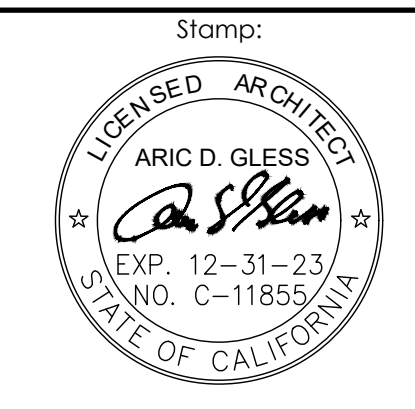
USER NAME: CONSULTING ENGINEERS
 PLOT DATE/TIME: 11/16/2022 10:38 AM
 FILENAME: J:\CADD\DEVELOPMENT\CON\2200161-1\MAPLE STREET 2 UNIT - CONSTRUCTION\DOCUMENTS\CADD\ARCHITECTURAL\CDD\11-17-2020\A1_A301 BUILDING SECTIONS.DWG

KEYNOTES

- 1 ASPHALT SHINGLE ROOF - BRAND/ STYLE CHOSEN BY OWNER
- 2 G.I. GUTTER AND DOWNSPOUT - PAINT TO MATCH EAVE
- 3 (N) 1 HR RATED CONSTRUCTION
- 4 STACKED STONE - ELDORADO STONE - STYLE CHOSEN BY OWNER
- 5 WOOD FENCE
- 6 VINE TRELLIS FRAME
- 7 PROPERTY LINE FENCE



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Project : New Residential Building:
MAPLE STREET 2 UNIT
 1434 E MAPLE STREET
 GLENDALE, CA 91205

REVISIONS	
ISSUE	DATE
PLANNING REV	08/09/22
PLANNING REPLY	08/12/22
PLANNING REV	10/12/22
PLANNING REPLY	11/16/22

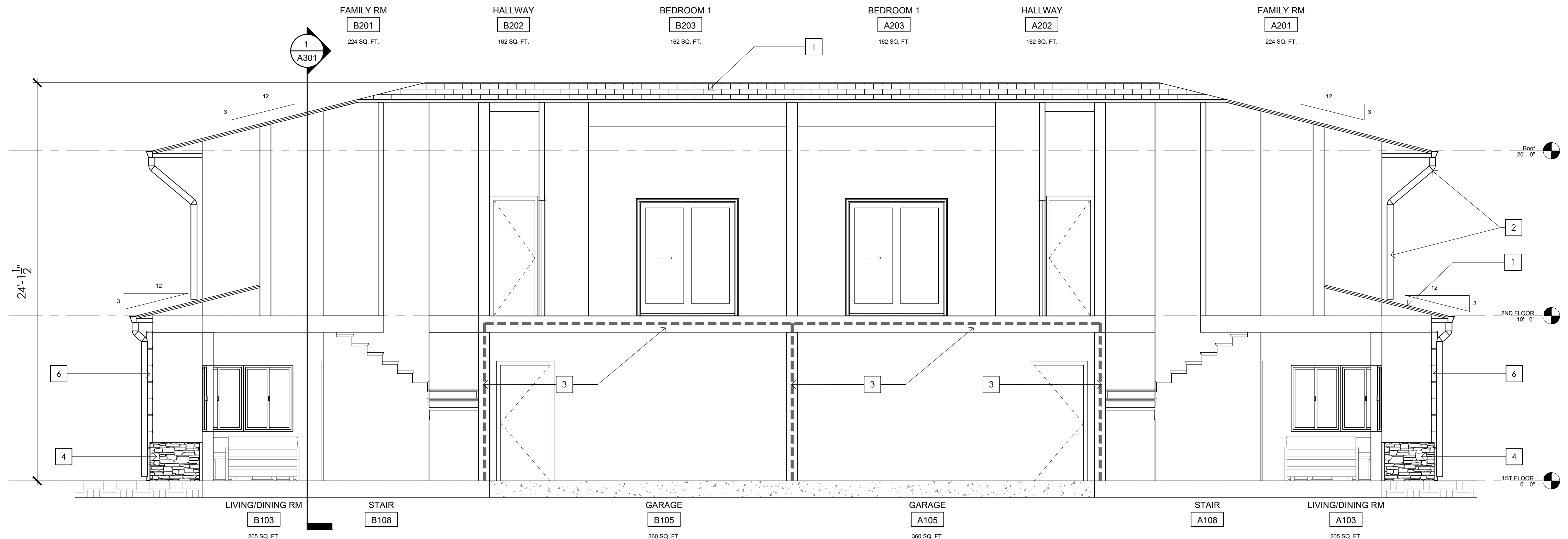
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Date:	11-3-22
Scale:	AS NOTED
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SHEET NUMBER

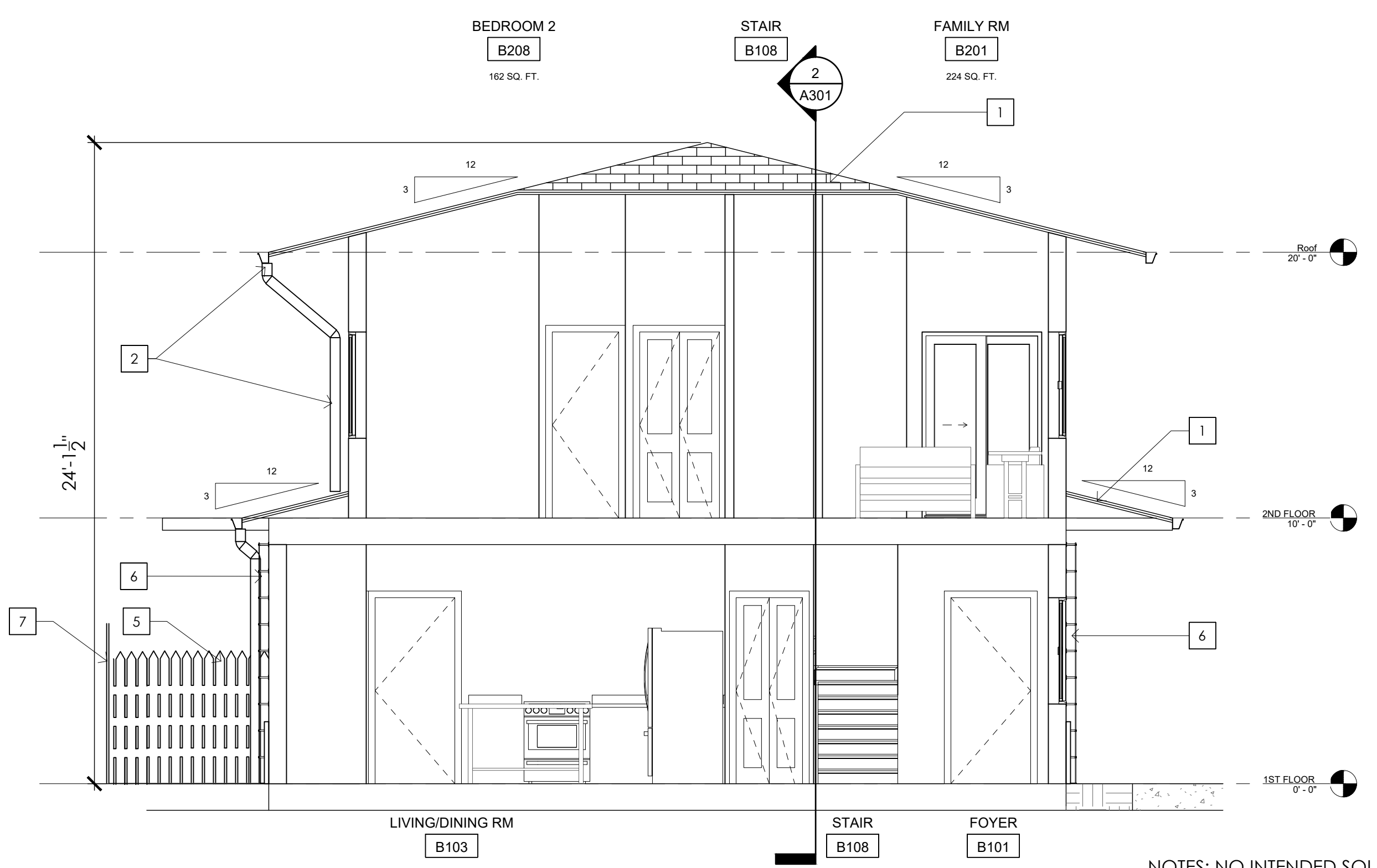
A301

BUILDING SECTIONS

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SECTION 2
1/4"=1'-0"



NOTES: NO INTENDED SOLAR EQUIPMENT.
A/C EQUIPMENT WILL BE ON GROUND.

SECTION 1
1/4"=1'-0"

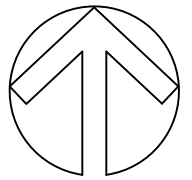
CONSTRUCTION NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. (E) - INDICATES EXISTING CONSTRUCTION.
3. (N) - INDICATES NEW CONSTRUCTION.

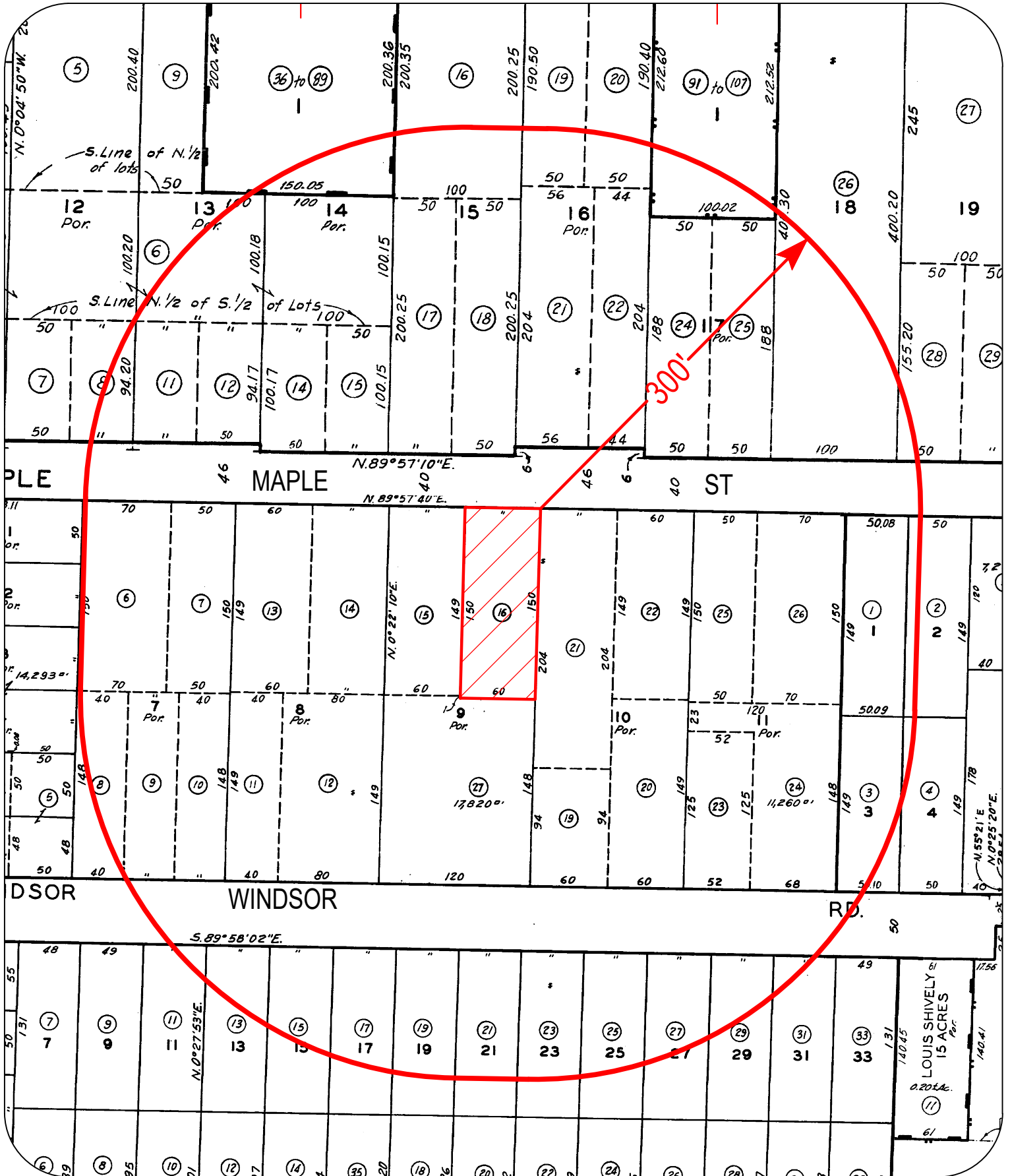
PROJECT INFORMATION

1434 E MAPLE ST.
GLENDALE, CA.
23-030

300' LOCATION MAP



SCALE 1" = 100'



EXISTING RESIDENTIAL DWELLING & ADU LOCATION



REAR LOT OF PROPERTY



AERIAL VIEW OF PROPERTY

EXISTING GARAGE & DRIVEWAY



WEST DRIVEWAY/PARKING



EAST DRIVEWAY/PARKING

ADJACENT RESIDENTIAL UNITS



ADJACENT RESIDENTIAL WEST



ADJACENT RESIDENTIAL EAST

CONSULTING ENGINEERS
STRUCTURAL, MECHANICAL, PLUMBING,
ELECTRICAL, CIVIL, SURVEYING,
ARCHITECTURAL

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CBC Development Co.

201 Santa Monica Blvd
Santa Monica, CA 90401
661-644-1767

Stamp:

11/18/22
CITY SUBMITTAL
BUILDING DEPARTMENT REVISIONS HAVE NOT BEEN ADDED TO THESE CONSTRUCTION DRAWINGS. THE ARCHITECT AND HIS CONSULTANTS ASSUME NO RESPONSIBILITY FOR CONSTRUCTION BIDS OR CONSTRUCTION PERFORMED FROM THESE DRAWINGS.

Project : New Residential Building:
MAPLE STREET 2 UNIT
1434 E MAPLE STREET
GLENDALE, CA 91205

REVISIONS	
ISSUE	DATE
PLANNING REV	08/09/22
PLANNING REPLY	08/12/22
PLANNING REV	10/12/22
PLANNING REPLY	11/16/22

Project Manager: CR
Date: 11-3-22
Scale: AS NOTED
Project Number: A.2200161

SHEET NUMBER
A601

USER NAME: CONSULTING ENGINEERS
 PLOT DATE/TIME: 11/18/2022 11:04 AM
 FILENAME: J:\CBC DEVELOPMENT\CON\2200161 - MAPLE STREET 2 UNIT - CONSTRUCTION DOCUMENTS\ARCHITECTURAL\CDD\11-17-2020\A1_A601.DWG

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