



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

<b>June 29, 2023</b> <i>Decision Date</i>	<b>1550 Royal Boulevard</b> <i>Address</i>
<b>Administrative Design Review (ADR)</b> <i>Review Type</i>	<b>5650-019-004</b> <i>APN</i>
<b>PADR-000689-2022</b> <i>Case Number</i>	<b>Arthur Israelian</b> <i>Applicant</i>
<b>Chloe Cuffel, Planning Associate</b> <i>Case Planner</i>	<b>Raffi Saroyan</b> <i>Owner</i>

#### **Project Summary**

The project proposes a 955 square-foot addition at the rear of an existing two-story, 2,544 square-foot single-family dwelling (built in 1950) with an attached 400 square-foot garage located on a 16,888 square-foot lot. The proposed addition includes expansion of the existing lower level (partial underground basement) by 518 square-feet and adding 440 square-feet to the existing upper level. The total floor area of the house with the addition combined will be 3,499 square-feet.

#### **Environmental Review**

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 50% of the floor area of the structure before the addition.

#### **Existing Property/Background**

Originally developed in 1950, the project site is a 16,888 square-foot, irregular-shape interior lot with frontage on Royal Boulevard, accessed via an existing circular driveway. The site is developed with a 2,544 square-foot, one-story single-family residence, and an attached 400 square-foot two-car garage.

#### **Staff Recommendation**

Approve with Conditions

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#### **Last Date Reviewed / Decision**

First time submittal for final review.

#### **Zone: R1R – FAR District: II**

Although this design review does not convey final zoning approval, the project has been

reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

### Active/Pending Permits and Approvals

None.

### Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

### Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	21,033 sq. ft.	12,300 sq. ft. – 51,860 sq. ft.	16,880 sq. ft.
Setback	44 feet	6 feet – 85 feet	36 feet
House size	2,940	1,672 sq. ft. – 4,345 sq. ft.	2,544 sq. ft.
Floor Area Ratio	0.16	0.08 – 0.24	0.15
Number of stories	11 homes are 1-story & 3 homes are 2-stories	1 to 2-stories	2-story

## DESIGN ANALYSIS

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### Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

#### Building Location

yes    n/a    no

*If "no" select from below and explain:*

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

#### Yards and Usable Open Space

yes    n/a    no

*If "no" select from below and explain:*

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized

- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

**Garage Location and Driveway**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

**Landscape Design (Existing Landscaping to Remain)**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

**Walls and Fences**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition is appropriately located at the rear of the house, not visible from the street. The site plan will not significantly change except for the portion of the house proposed to be expanded at the rear, featuring a 515 square-foot addition at the lower level, and a 440 square-foot addition to the existing upper level. The attached garage will remain in its current form at the front of the lot.
- The addition at the rear of the house will not alter the existing home’s appearance as viewed from the street, which is appropriate to the site and the neighborhood.
- The street front setback along Royal Boulevard will not be altered. Landscaping and trees along the front of the property will be retained and the project will comply with the minimum 40 percent landscape zoning regulation required for

the entire site. There is one existing Oak tree on the property located approximately 40 feet from the proposed addition, which will be preserved.

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### **Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

#### **Building Relates to its Surrounding Context**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Appropriate proportions and transitions
- Impact of larger building minimized

#### **Building Relates to Existing Topography**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

#### **Consistent Architectural Concept**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Concept governs massing and height

#### **Scale and Proportion**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

#### **Roof Forms**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Roof reinforces design concept
- Configuration appropriate to context

## Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the addition are consistent with and appropriate to the existing residence and the neighborhood.
- The entirety of the addition is set behind the existing residence, appropriately located at or below the existing roof line.
- The addition features a hipped-roof design with a 5:12 pitch, which matches the existing pitch and hipped form.
- The addition appropriately relates to the existing topography. The site naturally slopes from west to east, so the extension of the existing lower (basement) level will follow the existing topography and not alter the existing land form.

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## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

### Entryway

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

### Windows

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

The window schedule shows aluminum for the proposed window materials, however the material board indicates vinyl. A condition is included to revise the material board to show aluminum windows consistent with the window schedule.

**Privacy**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

**Finish Materials and Color**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

**Paving Materials**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

**Lighting, Equipment, Trash, and Drainage**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Location of trash storage, mechanical (AC) equipment, and downspouts not properly identified on the plans. Final approval will be conditional upon Planning review.

**Ancillary Structures**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Design consistent with primary structure
- Design and materials of gates complement primary structure

## **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design, detailing and architectural concept of the addition will be consistent with the character of the existing Ranch style house.
  - The finish materials are appropriate to the Ranch style including stucco finish, windows and colors.
  - The new windows for the addition are aluminum, with a combination of single-hung, casement, and fixed operations, and recessed within the opening, appropriate to and compatible with the existing windows current on the house that are proposed to remain. A condition is included to revise the material board to reflect aluminum windows to match the window schedule.
  - Dark gray shingle roof is proposed for the addition to match existing roof color, and the exterior building walls stucco color and finish for the addition will match existing, which is appropriate to the house and the neighborhood.
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## **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

### **Conditions**

1. That the material board be corrected to reflect aluminum windows as the material for the addition windows.
  2. That the location of trash storage, mechanical (A/C) equipment, and downspouts be clearly identified on the plans for staff review and approval.
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## **Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

# SECURITY REQUIREMENTS

- ALL ENTRY DOORS TO DWELLING UNIT OR GUEST ROOMS SHALL BE ARRANGED SO THE OCCUPANT HAS VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOW LOCATED IN VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 6706
- SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE POLE OR SIMILAR STRUCTURES. 6707
- WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1-DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. 6709.4
- EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB(60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FT. ON EXTERIOR. 6708
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE LAMB AND THE FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 91.6709.5, 6709.7
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS. DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY. SPECIAL KNOWLEDGE OR SPECIAL EFFORT(LATCH NOT REQUIRED IN B.F. AND S OCCUPANCIES. 6709.2)
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8" AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MIN. THROW OF 3/4". 6709.2
- THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOOR KNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MILLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MILLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE NOT LESS THAN 2 IN. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-1/8 IN. AND 3 IN. INWIDTH. 91.6709.1 ITEM 2.
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6710
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MILLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MILLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE NOT LESS THAN 2 IN. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-1/8 IN. AND 3 IN. INWIDTH. 91.6709.1 ITEM 2.
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6710
- SLIDING GLASS DOORS SHALL BE EQUIPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 6717.1
- METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIA. HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE DOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. 6711
- PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 6712
- IN B, F, M, AND S OCCUPANCIES, PANEES OF GLAZING WITH AT LEAST ONE DIMENTION GREATER THAN 6 IN. BUT LESS THAN 48 IN. SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLEY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES. 6714
- GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLEY RESISTANT MATERIAL, OR GRILLES HAVING A MAXIMUM BARS, SCREENS OR GRILLES HAVING A MAX. OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENTIONS. 6713
- LOWEED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS THAT HAVE AT LEAST ONE DIMENTION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. 6715.3
- OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. B, F, M, AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. 6715.2
- SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR TESTS SPECIFIED IN 6717.2
- SLIDING WINDOWS SHALL BE EQUIPED WITH LOCKING DEVICES AND SHALL BE CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TEST SPECIFIED IN 6717.2
- ANY RELEASE FOR METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FROM THE CLOSEST OPENING WHICH THAT EXCEEDS 2" IN ANY DIMENTION. 91.6716
- ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6" IN ONE DIMENTION. 916716

# GENERAL REQUIREMENTS

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.@ (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE @ (1210.2.3, 2406.4.5, R307.2, R308.4)
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC.507.3 & LAPC)
- CARBON MONOXIDE ALARM IS REQUIRED PER (SEC.420.6, R315)
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3,31)
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDEETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3)
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

## APPLICABLE CODE:

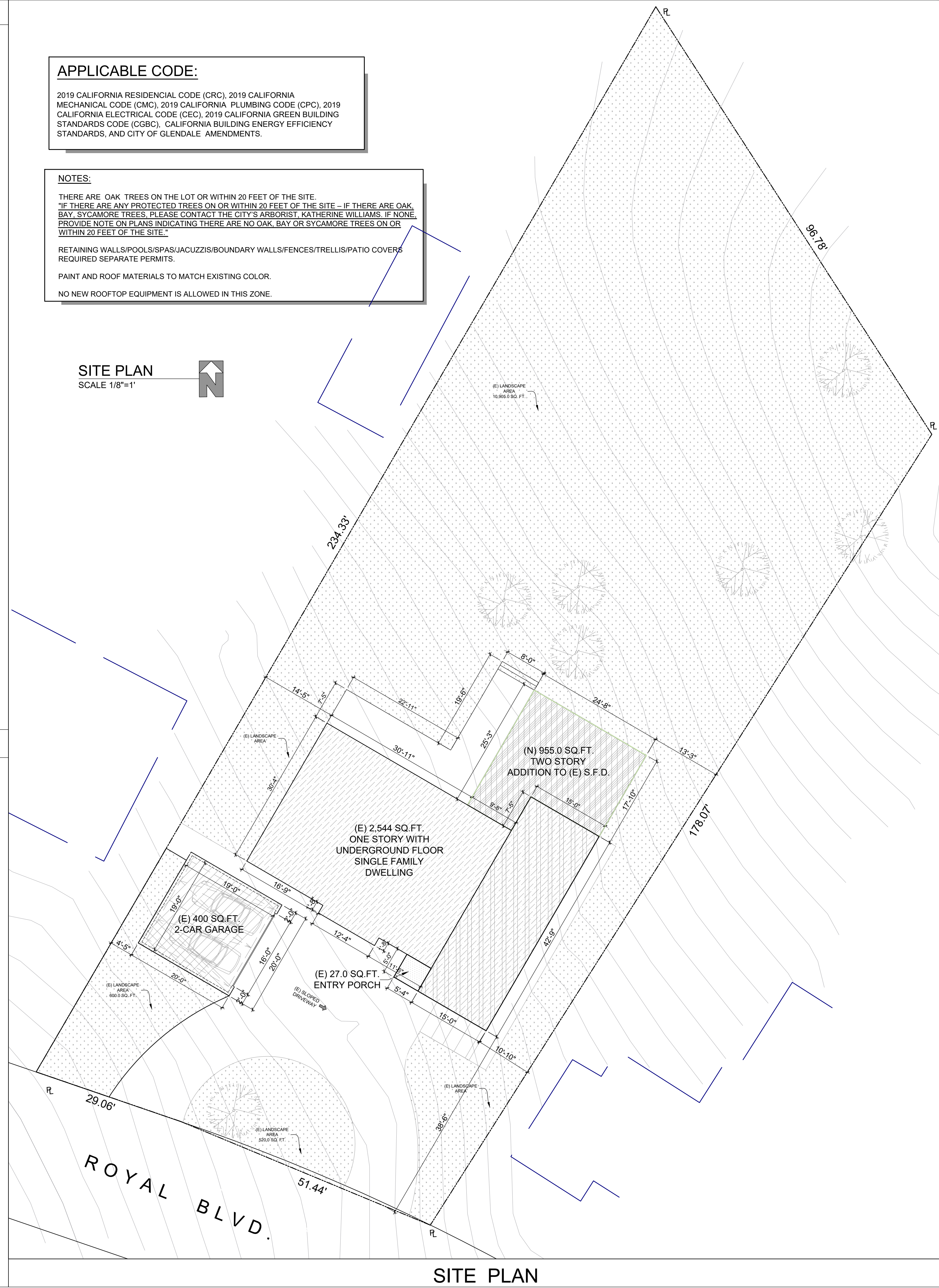
2019 CALIFORNIA RESIDENCIAL CODE (CRC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC), CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS, AND CITY OF GLENDALE AMENDMENTS.

## NOTES:

- THERE ARE OAK TREES ON THE LOT OR WITHIN 20 FEET OF THE SITE.
- IF THERE ARE ANY PROTECTED TREES ON OR WITHIN 20 FEET OF THE SITE - IF THERE ARE OAK, BAY, SYCAMORE TREES, PLEASE CONTACT THE CITY'S ARBORIST, KATHERINE WILLIAMS. IF NONE, PROVIDE NOTE ON PLANS INDICATING THERE ARE NO OAK, BAY OR SYCAMORE TREES ON OR WITHIN 20 FEET OF THE SITE.
- RETAINING WALLS/POOLS/SPAS/JACUZZIS/BOUNDARY WALLS/FENCES/TRELLIS/PATIO COVERS REQUIRED SEPARATE PERMITS.
- PAINT AND ROOF MATERIALS TO MATCH EXISTING COLOR.
- NO NEW ROOFTOP EQUIPMENT IS ALLOWED IN THIS ZONE.

## SITE PLAN

SCALE 1/8"=1'



## SITE PLAN

1550 ROYAL BLVD GLENDALE CA 91207

ZONING..... R1R1I  
 OCCUPANCY GROUP..... R-3  
 TYPE OF CONSTRUCTION..... TYPE V-B  
 STORIES..... 1-STORY  
 ASSESSORS ID NO..... 5650-019-004  
 CLIMATE ZONE..... 9  
 HIGH FIRE HAZARD ZONE..... NO  
 YEAR BUILT..... 1950

PROPERTY BOUNDARY DESCRIPTION  
 TRACT NO 11057 LOT 4

PROJECT SUMMARY:  
 LOT AREA = 16,888.0 SQ.FT.  
 EXISTING 1-STORY WITH UNDERGROUND FLOOR S.F.D. = 2,544.0 SQ.FT.  
 EXISTING 2-CAR GARAGE = 400.0 SQ.FT.

PROJECT SUMMARY:  
 EXISTING 1-STORY S.F.D. 2,544.0 SQ.FT.  
 EXISTING ENTRY PORCH 27.0 SQ. FT.  
 (EXISTING) ATTACHED 2-CAR GARAGE 400.0 SQ.FT.

GROUND FLOOR LEVEL 515.0 SQ. FT.  
 1-ST FLOOR LEVEL 440.0 SQ. FT.  
 TOTAL NEW ADDITION TO (E) S.F.D. 955.0 SQ. FT.

\*\*TOTAL NEW LIVING AREA: 2,544.0 + 955.0 = 3,499.0 SQ.FT.

MAXIMUM ALLOWABLE FLOOR AREA 40% OF LOT AREA  
 1,000.00 x 0.40 + 6,888 x .10= 4,688.8 SQ. FT > 3499 SQ. FT  
 PROPOSED LOT COVERAGE = 2544.0 + 27.0 + 400.0 + 515.0 = 3,486.0 / 16,888.0 = 21.0%  
 EXISTING LANDSCAPE AREA = 600.0 + 520.0 + 10,905.0= 12,025.0 / 16,888.0 = 71%

## SCOPE OF WORK

- NEW 515.0 SQ. FT. GROUND FLOOR LEVEL AND 440.0 SQ. FT. MAIN (UPPER) FLOOR LEVEL ADDITION TO S.F.D.
- ADD NEW MASTER BEDROOM WITH MASTER BATHROOM AND CLOSET.
- INTERIOR REMODELING ADD POWDER ROOM & 2 BATHROOMS, KITCHEN AREA REMODEL
- CONVERT 2 BEDROOM SINGLE FAMILY DWELLING TO 3 BEDROOM

## LEGEND

- EXISTING S.F.D. UNDERGROUND FLOOR
- EXISTING S.F.D. 1-ST FLOOR
- EXISTING ENTRY PORCH
- EXISTING 2-CAR GARAGE
- (N) ADDITION TO S.F.D.

## DRAWINGS INDEX

SHEET No	ARCHITECTURAL	SHEET No	STRUCTURAL
A-1	SITE PLAN	S.1	
A-2	EXISTING S.F.D. AND GARAGE	S.2	
A-3	PROPOSED ROOF PLAN	S.3	
A-4	PROPOSED UNDERGROUND & GROUND FLOOR PLAN	S.4	
A-5	PROPOSED ELEVATIONS	S.5	
A-6	PROPOSED ELEVATIONS	HFX-1	
A-7	PROPOSED SECTIONS, DETAILS	HFX-2	

## VICINITY MAP



SCALE: 3/32"=1'-0"

1

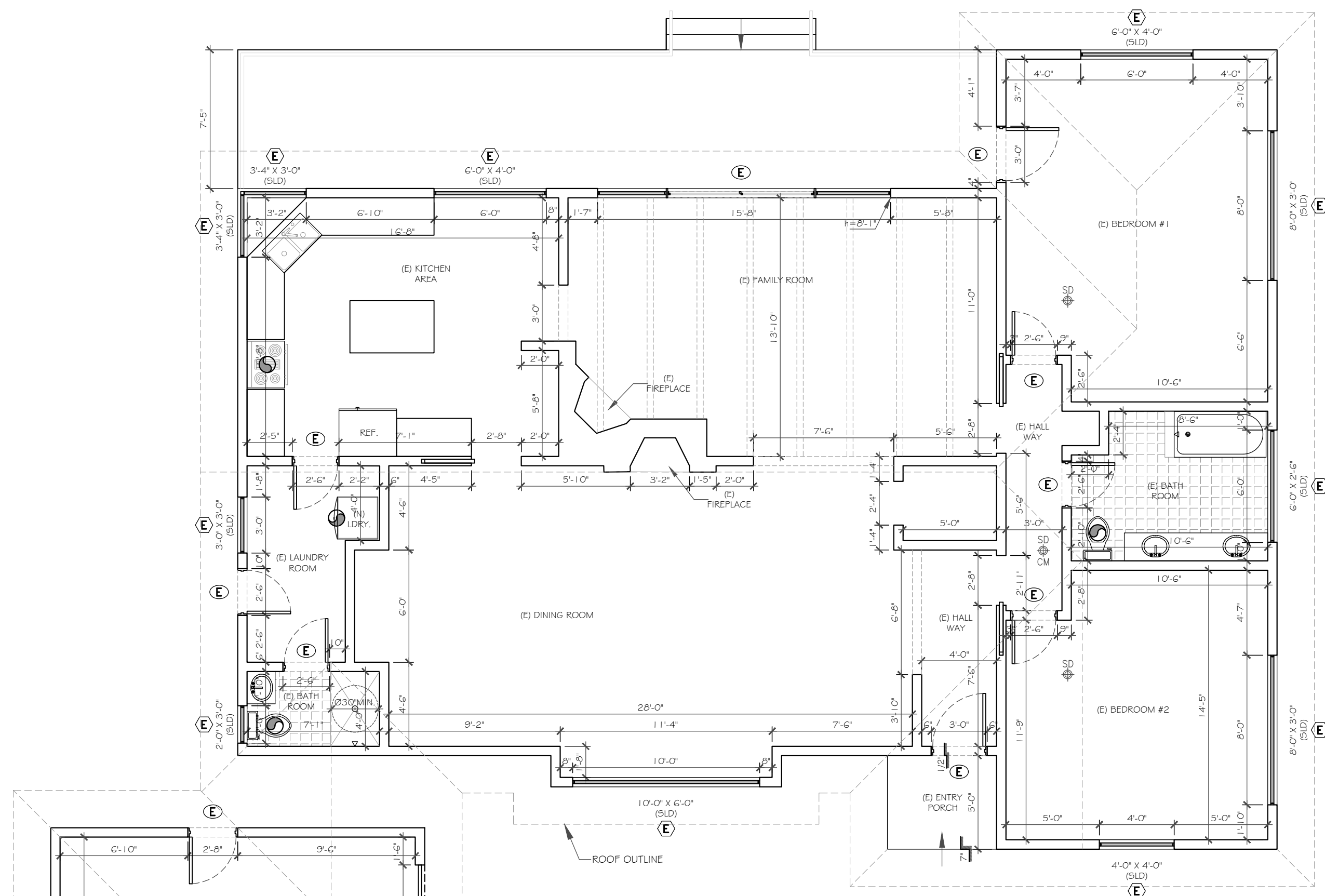
WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES. THE ABOVE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ART DESIGN AND IN-BUILDING SERVICES. THESE DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**Art Design and In-Building Services**  
 635 W COLORADO ST., #102, GLENDALE CA 91204  
 Tel: 818-389-3888 email: artdesigns97@gmail.com

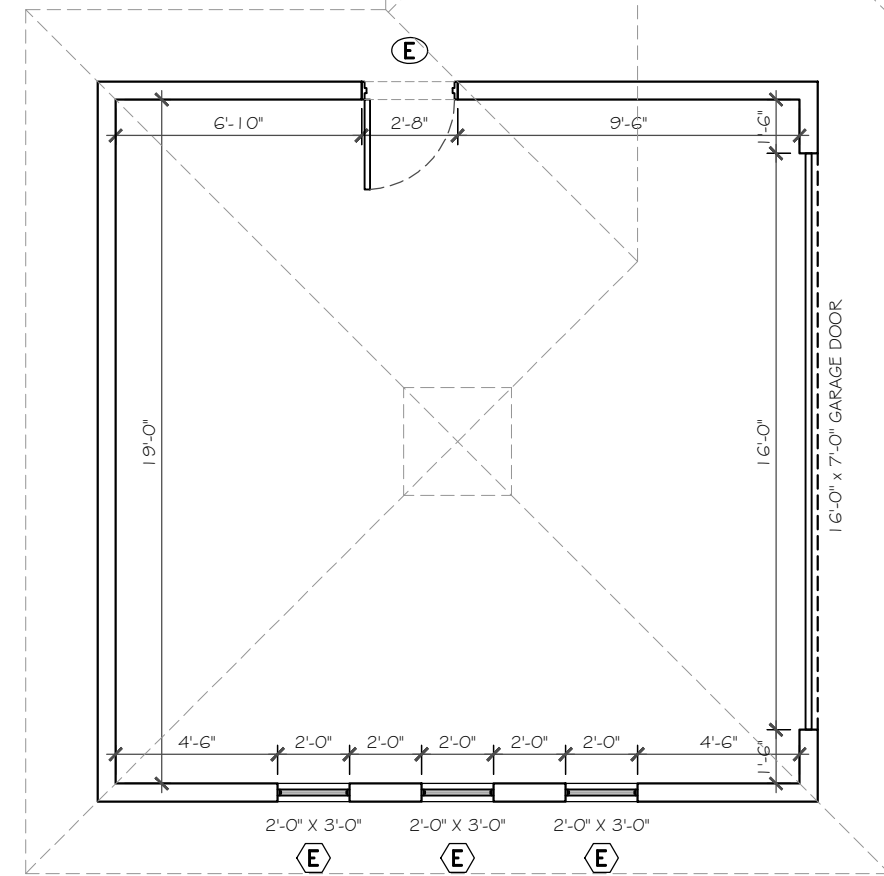
PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING  
 OWNER:  
 JOB ADDRESS: 1550 ROYAL BLVD, GLENDALE, CA 91207

JOB NO.: A-2216  
 DRAWN BY: V.H.  
 CHECKED BY: A.L.  
 DATE: 05-16-22  
 SHEET TITLE: SITE PLAN  
 SHEET NUMBER  
**A-1**  
 SHEETS 1 OF 7



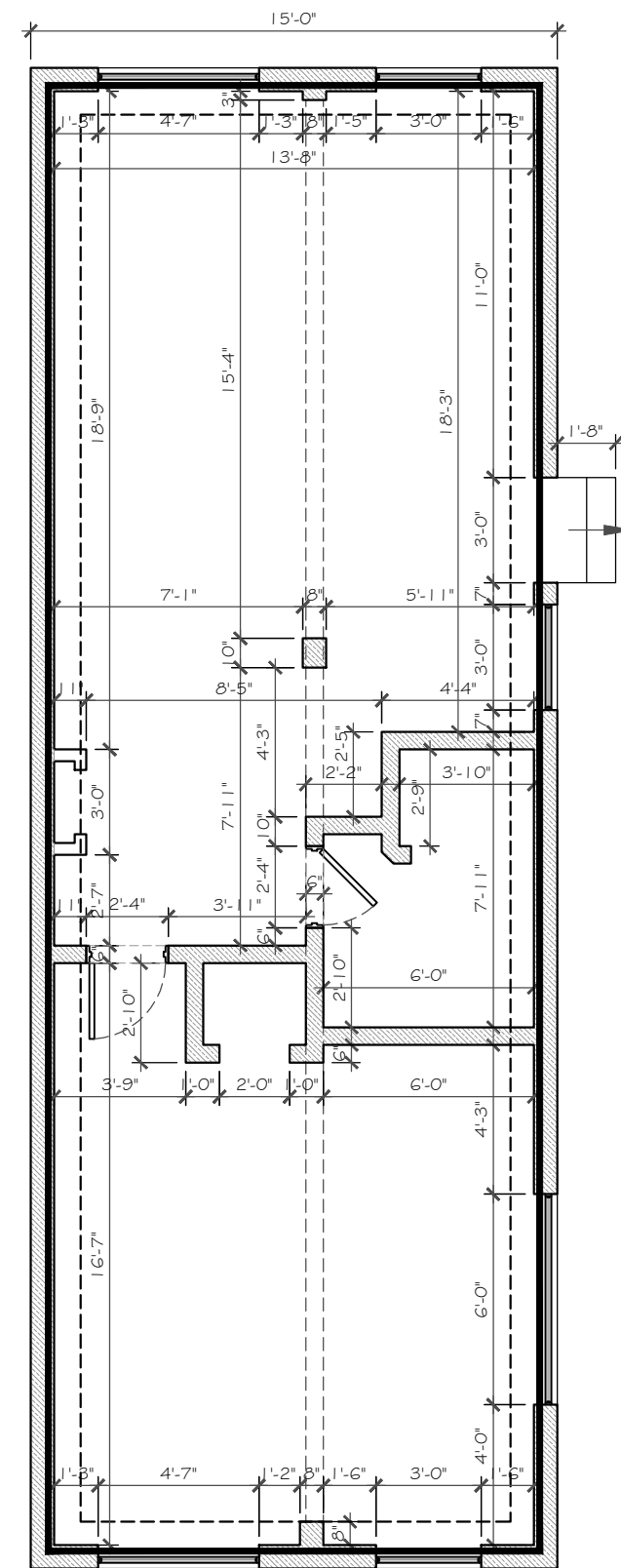


EXISTING S.F.D.: GROUND FLOOR PLAN  
SCALE 3/16"=1'

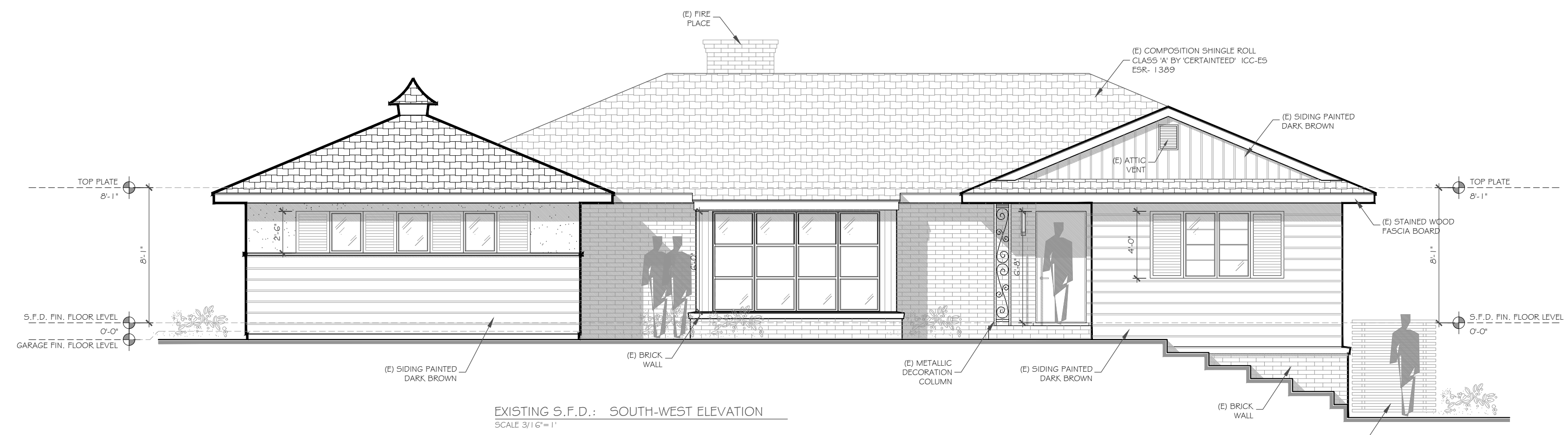


**NOTES:**

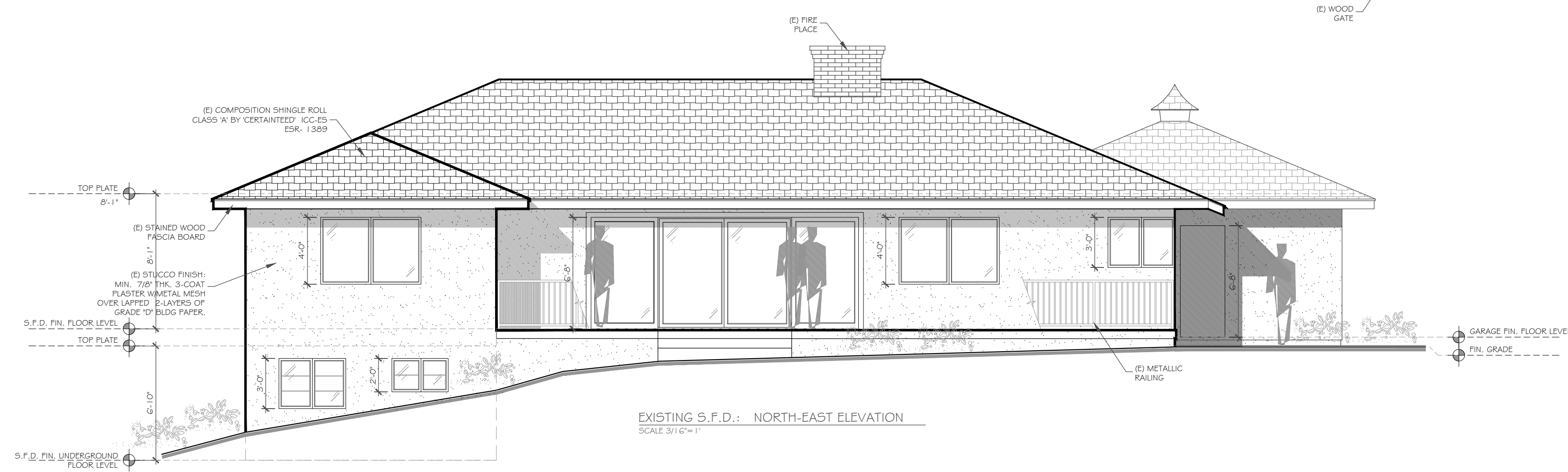
BASED ON DEMOLITION PLAN PROVIDED THE TOTAL DEMOLITION OF OUTSIDE WALL AND ROOF AREA FOR THIS PROJECT IS APPROXIMATELY IS 34.59%. SHOULD DEMOLITION EXCEED 50% OF THE TOTAL OUTSIDE WALL AND ROOF AREA DURING CONSTRUCTION, PER GMC 30.60.040.B.2., THE BUILDING LOSES ITS NONCONFORMING STATUS AND MUST BE BROTH INTO COMPLIANCE WITH THE CURRENT ZONING CODE. THIS WILL INCLUDE, BUT IS NOT LIMITED TO SETBACKS, LANDSCAPING, AND DESIGN REVIEW APPROVAL.



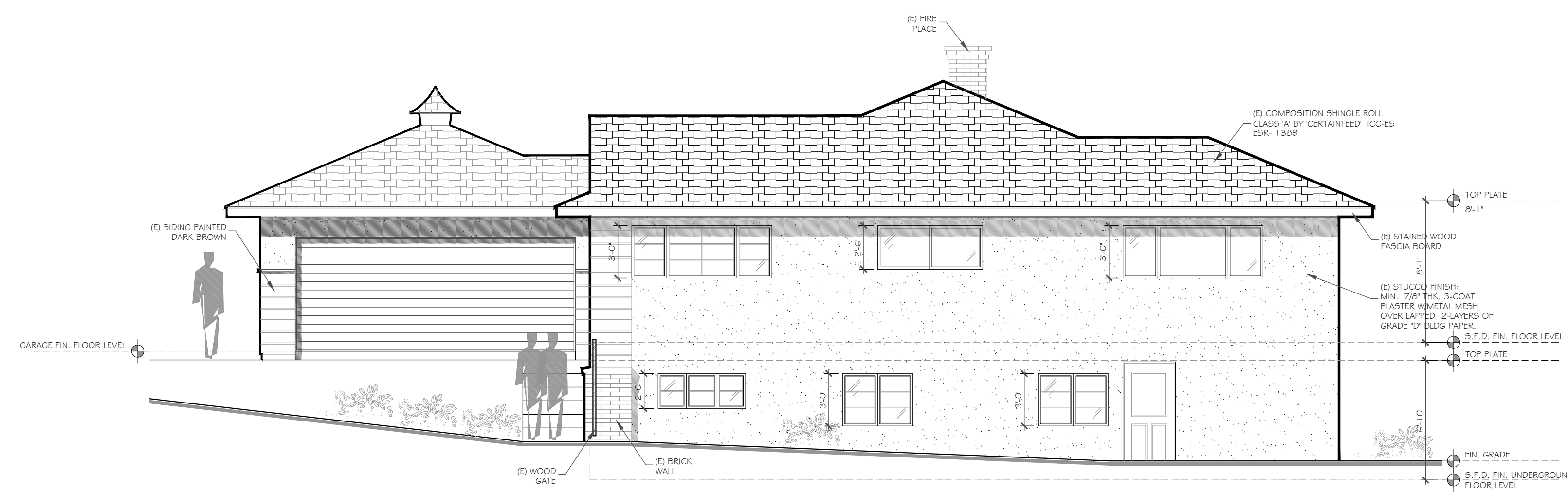
EXISTING S.F.D.: UNDERGROUND FLOOR PLAN  
SCALE 3/16"=1'



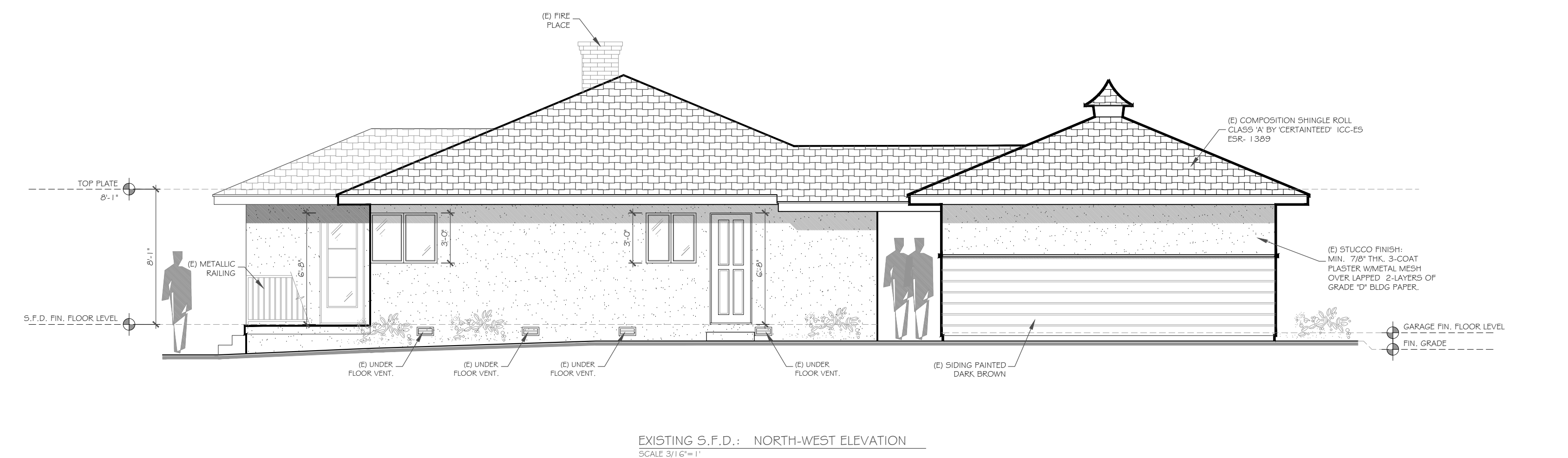
EXISTING S.F.D.: SOUTH-WEST ELEVATION  
SCALE 3/16"=1'



EXISTING S.F.D.: NORTH-EAST ELEVATION  
SCALE 3/16"=1'



EXISTING S.F.D.: SOUTH-EAST ELEVATION  
SCALE 3/16"=1'



EXISTING S.F.D.: NORTH-WEST ELEVATION  
SCALE 3/16"=1'

**EXISTING S.F.D. AND GARAGE**

SCALE:  
3/16"=1'-0"

1

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF ARTOR AND INTERIOR DESIGN SERVICES, INC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**Artor and Interior Design Services**  
635 W. COLORADO ST., ST. 102, GLENDALE, CA 91207  
TEL.: 818-389-3888

PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING  
OWNER:  
JOB ADDRESS:  
1550 ROYAL BLVD., GLENDALE, CA 91207

JOB NO.: A-2216  
DRAWN BY: V.H.  
CHECKED BY: A.L.  
DATE: 05-16-22  
SHEET TITLE: EXISTING S.F.D.

SHEET NUMBER  
**A-2**  
SHEETS 2 OF 10

**Electrical Notes per 2017 California Electrical Code.**

**A. PANEL LOCATIONS:**

PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL, SUCH AS CLOTHES, OR IN BATHROOMS. (CEC 240-24(D)).

**B. NON-METALLIC SHEATHED CABLE (CEC 334):**

- 1. PROTECTED BY RIGID CONDUIT, INTERMEDIATE CONDUIT, ELECTRICAL METALLIC TUBING, SCHEDULE 80 PVC CONDUIT, PIPE, OR OTHER MEANS WHEN CABLE IS EXPOSED OR SUBJECT TO PHYSICAL DAMAGE. (CEC 334.15(B)).
- 2. PROTECTED BY 1/16" INCH STEEL PLATE OR SLEEVE, OR BE NOT LESS THAN 1-1/4" INCH FROM THE FRAMING MEMBERS. STEEL PLATES OR SLEEVES ARE REQUIRED ON ALL DOUBLE SHEAR WALLS WHEN CABLE IS INSTALLED EITHER THROUGH OR PARALLEL TO FRAMING MEMBERS (CEC 334.17).
- 3. PROTECTED BY GUARD STRIPS WITHIN 4 FEET OF AN ATTIC ACCESS WHEN NO PERMANENT STAIRS ARE PROVIDED. (CEC 334.23, 320.23).
- 4. PROTECTED BY GUARD STRIPS IN THE ENTIRE ATTIC WHEN PERMANENT STAIRS ARE PROVIDED. ACCESS PANELS OR DOORS FROM THE SECOND FLOOR INTO THE ATTIC ARE CONSIDERED PERMANENT ACCESS AND GUARD STRIPS ARE REQUIRED IN THE ENTIRE ATTIC.
- 5. HAVE A BENDING RADIUS NOT THAN 1/2 TIMES THE DIAMETER OF THE CABLE. (CEC 334.24)
- 6. SUPPORTED AT INTERVALS NOT EXCEEDING 4-1/2 FEET AND WITHIN 12" EVERY OUTLET BOX, JUNCTION BOX, CABINET OR FITTING. (CEC 334.30).

**C. CIRCUIT AND RECEPTACLES**

1. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM OUTLET, INCLUDING ANY WALL SPACE 2 FEET WIDER OR GRADER.

NOTE: A FIXED PANEL OF SLIDING GLASS DOOR IS CONSIDERED WALL SPACE (CEC 210.52(A)).

2. IN KITCHENS, BREAKFAST ROOMS, PANTRIES AND DINING ROOMS A MINIMUM OF 2-22A CIRCUITS SHALL BE PROVIDED. (CEC 210.11(C)(1)).

COUNTER SPACE RECEPTACLES SHALL BE GFCI (CEC 210.8(A)) AND INSTALLED:

- AT EACH WALL COUNTER SPACE THAT IS 12" OR GRADER (CEC 210.52(C)(1)).
- NO MORE THAN 48 INCH ON CENTER (CEC 210.52(C)(1)).
- MAXIMUM 24 INCH FROM THE END OF COUNTER (CEC 210.52(C)(1)).
- MAXIMUM 20 INCH ABOVE COUNTER SURFACE (CEC 210.52(C)(1)).
- ON ISLAND COUNTER SPACES (ONE RECEPTACLE MINIMUM).
- NOT MORE THAN 12 INCH BELOW COUNTER SURFACE (CEC 210.52(C)(5)).
- AN ISLAND WITH LESS THAN 12 INCH BEHIND A RANGE TOP OF SINK IS CONSIDERED AS DIVIDING THE COUNTER INTO TWO SEPARATE SPACES (CEC 210.52(C)(2)).
- ON PENINSULAR COUNTER (ONE RECEPTACLE MINIMUM).
- NOT MORE THAN 12 INCH BELOW COUNTER SURFACE (CEC 210.52(C)(5) EXCEPTION).

3. BATHROOMS SHALL HAVE A SEPARATE 20A CIRCUIT (CEC 210.52(C)(3)) WITH AT LIST ONE GFCI WALL RECEPTACLE WITHIN 36 INCH OF EACH BASIN (CEC 210.8(A)(1)). (CEC 210.52 (D)).

4. LAUNDRY ROOMS SHALL HAVE A SEPARATE 20A CIRCUIT AT LEAST ONE RECEPTACLE SHOULD BE PROVIDED (CEC 210.11(C)(2)). ALL RECEPTACLES WITHIN 6 FEET OF THE SINK SHALL BE GFCI. (CEC 210.8(A)(7)).

5. IN GARAGE, AT LEAST ONE GFCI RECEPTACLE SHALL BE PROVIDED (CEC 210.52(G)). ALL OTHER GARAGE RECEPTACLES EXCEPT THOSE DEDICATED TO AN APPLIANCE OR THAT ARE NOT READILY ACCESSIBLE SHALL BE GFCI (CEC 210.8(2)).

6. IN HALLWAYS OF 10 FEET OR MORE IN LENGTH, AT LEAST ONE RECEPTACLE SHALL BE PROVIDED (CEC 210.52(H)(2)).

7. OUTDOOR OUTLETS SHALL BE GFCI (CEC 210.8(3)). ONE OUTLET SHALL BE INSTALLED AT FRONT OF THE DWELLING AND ONE AT THE REAR OF THE DWELLING. RECEPTACLES SHALL BE ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6-1/2 FEET ABOVE GRADE. (CEC 210.52(E)).

8. ALL CRAWL SPACE RECEPTACLES SHALL BE GFCI (CEC 210.8(4)).

9. ALL UNFINISHED BASEMENT RECEPTACLES SHALL BE GFCI UNLESS THEY ARE NOT READILY ACCESSIBLE OR ARE SERVICE A DEDICATED APPLIANCE (CEC 210.8(5)).

10. ALL RECEPTACLES WITH 6 FEET OF THE WET BAR SHALL BE GFCI (CEC 210.8(7)).

11. ALL RECEPTACLES ON 15A OR 20A BRANCH CIRCUITS THAT SUPPLY FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTERS (AFCI), INCLUDING SWITCHED OUTLETS (CEC 210.12(B)).

12. ALL RECEPTACLES SERVING APPLIANCES OR MOTORS WITH A RATING OF 1 HP OR 6 AMPS SHALL BE ON A SEPARATE CIRCUIT.

13. FOR HVAC EQUIPMENT, A SEPARATE 15A OR 20A CIRCUIT WITH AN ACCESSIBLE RECEPTACLE AT THE EQUIPMENT SHALL BE PROVIDED. IF LOCATED IN AN UNDERFLOOR AREA, THE RECEPTACLES SHALL BE GFCI (CEC 210.8(4)).

14. ALL RECEPTACLES SERVING APPLIANCES OR MOTORS WITH A RATING OF 1 HP OR 6 AMPS SHALL BE ON A SEPARATE CIRCUIT.

15. FOR HVAC EQUIPMENT, A SEPARATE 15A OR 20A CIRCUIT WITH AN ACCESSIBLE RECEPTACLE AT THE EQUIPMENT SHALL BE PROVIDED. IF LOCATED IN AN UNDERFLOOR AREA, THE RECEPTACLES SHALL BE GFCI (CEC 210.8(4)).

**D. LIGHTING (CEC 210.70)**

1. SWITCHED LIGHTING SHALL BE INSTALLED IN:

- \* ALL HABITABLE ROOMS, IN BATHROOMS, HALLWAYS AND STAIRWAYS AT EACH LEVEL.
- \* GARAGES:
- \* AT ALL OUTDOOR ENTRANCES AND EXITS:
- \* IN ALL ATTICS, UNDER FLOOR AREAS, UTILITY ROOMS AND BASEMENTS USED FOR STORAGE:
- \* NEAR HVAC EQUIPMENT IN ATTIC, UNDER FLOOR AREAS, ROOMS OR BASEMENTS,

WITH A SWITCH AT THE ACCESS POINT.

2. LIGHTING INSTALLED IN A CLOSET SHALL BE EITHER A SURFACE MOUNTED OR RECESSED FLUORESCENT FIXTURE OR A SURFACE MOUNTED INCANDESCENT FIXTURE WITH COMPLETELY ENCLOSED LAMPS OR RECESSED INCANDESCENT FIXTURE WITH COMPLETELY ENCLOSED LAMPS. SURFACE INCANDESCENT LIGHTING SHALL BE INSTALLED A MINIMUM OF 12 INCH FROM THE NEAREST POINT OF STORAGE SPACE. SURFACE FLUORESCENT LIGHTING AND RECESSED LIGHTING SHALL BE INSTALLED A MINIMUM OF 6 INCH FROM THE NEAREST POINT OF STORAGE SPACE (CEC 410.8.(D)).

3. LIGHTING INSTALLED IN A CLOSET SHALL BE EITHER A SURFACE MOUNTED OR RECESSED FLUORESCENT FIXTURE OR A SURFACE MOUNTED INCANDESCENT FIXTURE WITH COMPLETELY ENCLOSED LAMPS OR RECESSED INCANDESCENT FIXTURE WITH COMPLETELY ENCLOSED LAMPS. SURFACE INCANDESCENT LIGHTING SHALL BE INSTALLED A MINIMUM OF 12 INCH FROM THE NEAREST POINT OF STORAGE SPACE. SURFACE FLUORESCENT LIGHTING AND RECESSED LIGHTING SHALL BE INSTALLED A MINIMUM OF 6 INCH FROM THE NEAREST POINT OF STORAGE SPACE (CEC 410.8.(D)).

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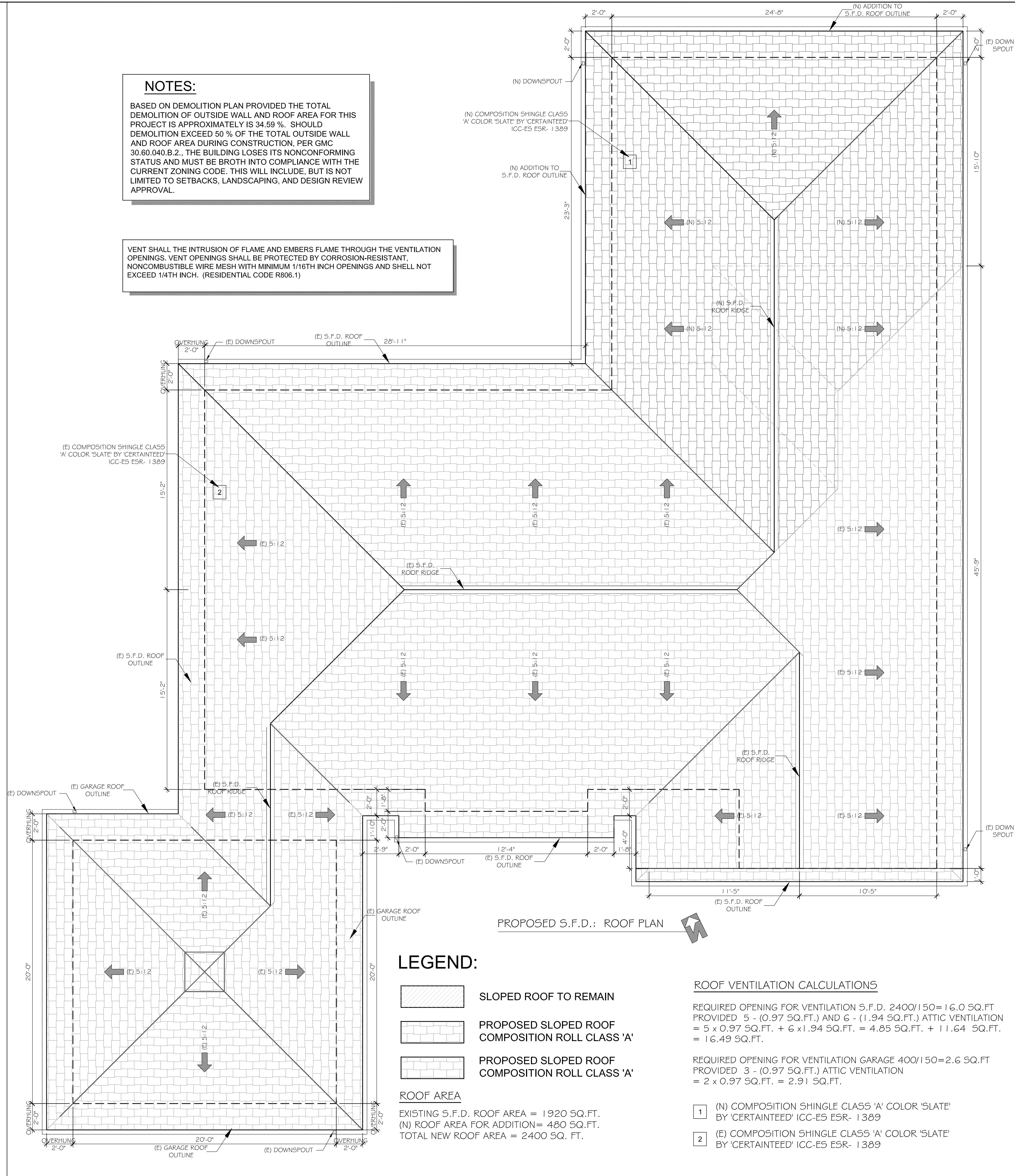
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**NOTES:**

BASED ON DEMOLITION PLAN PROVIDED THE TOTAL DEMOLITION OF OUTSIDE WALL AND ROOF AREA FOR THIS PROJECT IS APPROXIMATELY 34.59 %. SHOULD DEMOLITION EXCEED 50 % OF THE TOTAL OUTSIDE WALL AND ROOF AREA DURING CONSTRUCTION, PER GMC 30.60.040.B.2, THE BUILDING LOSES ITS NONCONFORMING STATUS AND MUST BE BROTH INTO COMPLIANCE WITH THE CURRENT ZONING CODE. THIS WILL INCLUDE, BUT IS NOT LIMITED TO SETBACKS, LANDSCAPING, AND DESIGN REVIEW APPROVAL.

VENT SHALL THE INTRUSION OF FLAME AND EMBERS FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MINIMUM 1/16TH INCH OPENINGS AND SHELL NOT EXCEED 1/4TH INCH. (RESIDENTIAL CODE R806.1)



**LEGEND:**

- SLOPED ROOF TO REMAIN
- PROPOSED SLOPED ROOF COMPOSITION ROLL CLASS 'A'
- PROPOSED SLOPED ROOF COMPOSITION ROLL CLASS 'A'

**ROOF AREA**

EXISTING S.F.D. ROOF AREA = 1920 SQ.FT.  
(N) ROOF AREA FOR ADDITION= 480 SQ.FT.  
TOTAL NEW ROOF AREA = 2400 SQ. FT.

**ROOF VENTILATION CALCULATIONS**

REQUIRED OPENING FOR VENTILATION S.F.D. 2400/150= 16.0 SQ.FT  
PROVIDED 5 - (0.97 SQ.FT.) AND 6 - (1.94 SQ.FT.) ATTIC VENTILATION  
= 5 x 0.97 SQ.FT. + 6 x 1.94 SQ.FT. = 4.85 SQ.FT. + 11.64 SQ.FT.  
= 16.49 SQ.FT.

REQUIRED OPENING FOR VENTILATION GARAGE 400/150=2.6 SQ.FT  
PROVIDED 3 - (0.97 SQ.FT.) ATTIC VENTILATION  
= 2 x 0.97 SQ.FT. = 2.91 SQ.FT.

- 1 (N) COMPOSITION SHINGLE CLASS 'A' COLOR 'SLATE' BY 'CERTAINTEED' ICC-E5 E5R- 1389
- 2 (E) COMPOSITION SHINGLE CLASS 'A' COLOR 'SLATE' BY 'CERTAINTEED' ICC-E5 E5R- 1389

**CAL GREEN NOTES.**

**STORM WATER DRAINAGE AND RETENTION Sec. 4.106.2**  
SHOW HOW THE PROJECT WILL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION THROUGH USE OF RETENTION BASINS, FILTERING BY A BARRIER SYSTEM, OR COMPLIANCE WITH THE STORM WATER MANAGEMENT ORDINANCE.

**SURFACE DRAINAGE Sec. 4.106.3**  
CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINING SYSTEM WILL MANAGE WATER FLOWS AND KEEP SURFACE WATER FROM ENTERING BUILDINGS THROUGH THE USE OF SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, OR WATER RETENTION GARDENS.

**OUTDOOR WATER USE Sec. 4.304**  
WEATHER- OR SOIL MOISTURE-BASED AUTOMATIC IRRIGATION CONTROLLERS FOR LANDSCAPE IRRIGATION SYSTEMS SHALL AUTOMATICALLY ADJUST IN RESPONSE TO WEATHER CONDITIONS. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH COMMUNICATES WITH CONTROLLER.

**JOINTS AND OPENINGS Sec.4.406.1**  
OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SHALL BE SEALED IN ACCORDANCE WITH California Energy Code REQUIREMENTS. ANNULAR SPACES OR OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR APPROVED METHOD TO PREVENT THE PASSAGE OF RODENTS.

**BUILDING MAINTENANCE AND OPERATION Sec. 4.410.**  
**BUILDING MANUAL** FOR ALL NEW EQUIPMENT, AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. (4.410)

**CAL GREEN NOTES**

**COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT Sec. 4.504.1**  
**COVERING OF OPENINGS DURING CONSTRUCTION:** ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)

**FINISH MATERIAL POLLUTANT CONTROL Sec. 4.504.2**  
PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN CALGreen SECTIONS 4.504.2 THROUGH 4.504.5

**MOISTURE CONTENT OF BUILDING MATERIALS Sec. 4.505.3**  
MOISTURE CONTENT OF MATERIALS REQUIREMENT: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT: INSULATION WITH IS VISIBLY WET OR HAS HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.

**BATHROOM EXHAUST FANS Sec. 4.506.1**  
BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE OR WHOLE HOUSE VENTILATION SYSTEM (4.506.1)

**WHOLE HOUSE EXHAUST FANS Sec. 4.507.1**  
WHOLE HOUSE FANS SHALL HAVE INSULATION LOUVERS OR COVERS WITH CLOSE WHEN THE FAN IS OFF THAT HAVE A MIN. INSULATION VALUE OF R-4.2

**HEATING AND AIR-CONDITIONING DESIGN Sec. 4.507.2**  
THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ACCA, ASHRAE, OR EQUIVALENT DESIGN SOFTWARE OR METHODS.

**STORM WATER MANAGEMENT.**

FOR SITES LESS THAN ONE ACRE  
THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIRES CONSTRUCTION PROJECTS TO PROTECT WATER QUALITY DURING CONSTRUCTION AND REDUCE POLLUTANTS IN STORM WATER RUNOFF THROUGH IMPLEMENTATION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES (BMP):

1. SCHEDULING (ESC-1)
2. PRESERVATION OF EXISTING VEGETATION (ESC-2)
3. STABILIZED CONSTRUCTION SITE ENTRANCE/EXIT (ESC-24)
4. SILT FENCE (ESC-50)
5. SAND BAG BARRIER (ESC-52)
6. WATER CONSERVATION PRACTICES (NS-1)
7. DEWATERING OPERATIONS (NS-2)
8. MATERIAL DELIVERY AND STORAGE (WM-1)
9. STOCKPILE MANAGEMENT (WM-3)
10. SPILL PREVENTION AND CONTROL (WM-4)
11. SOLID WASTE MANAGEMENT (WM-5)
12. CONCRETE WASTE MANAGEMENT (WM-8)
13. SANITARY/ SEPTIC WASTE MANAGEMENT (WM-9)

SHOW HOW THE PROJECT WILL COMPLY BY ADDING NOTES AND GRAPHICS TO THE SITE PLANS OR AN EROSION CONTROL PLAN. THE SUGGESTED IMPLEMENTATION MEASURES LISTED BELOW ARE NOT INTENDED TO BE A COMPLETE LIST OF BMP'S. PROJECT APPLICANTS ARE RESPONSIBLE FOR ADOPTING BMP'S THAT ADDRESS CONDITIONS OF THEIR PROJECT. CONSULT THE CALIFORNIA BEST MANAGEMENT PRACTICE HANDBOOK PUBLISHED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) FOR MORE DETAILED INFORMATION.

**STORM WATER MANAGEMENT.**

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE CONTAINED AT THE PROJECT SITE.
4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISION SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
8. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
9. ANY SLOPES WITH DISTURBED SOILS OR DENUED OR VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF, AND VEHICLE TRACKING.

SCALE: 1/4"=1'-0"

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF EXTERIOR AND INTERIOR DESIGN SERVICES, INC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS OR ANY OTHER WORK PRODUCT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**EXTERIOR and INTERIOR DESIGN SERVICES**  
635 W. COLORADO ST., ST. 102, GLENDALE, CA 91204  
TEL.: 818-389-3888

PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING  
OWNER: ---  
JOB ADDRESS: 1550 ROYAL BLVD., GLENDALE, CA 91207

JOB NO.: A-2216  
DRAWN BY: V.H.  
CHECKED BY: A.L.  
DATE: 05-16-22  
SHEET TITLE: ROOF PLAN

SHEET NUMBER

**A-3**

SHEETS 3 OF 10

**PROPOSED S.F.D. : ROOF PLAN**

**LEGEND**

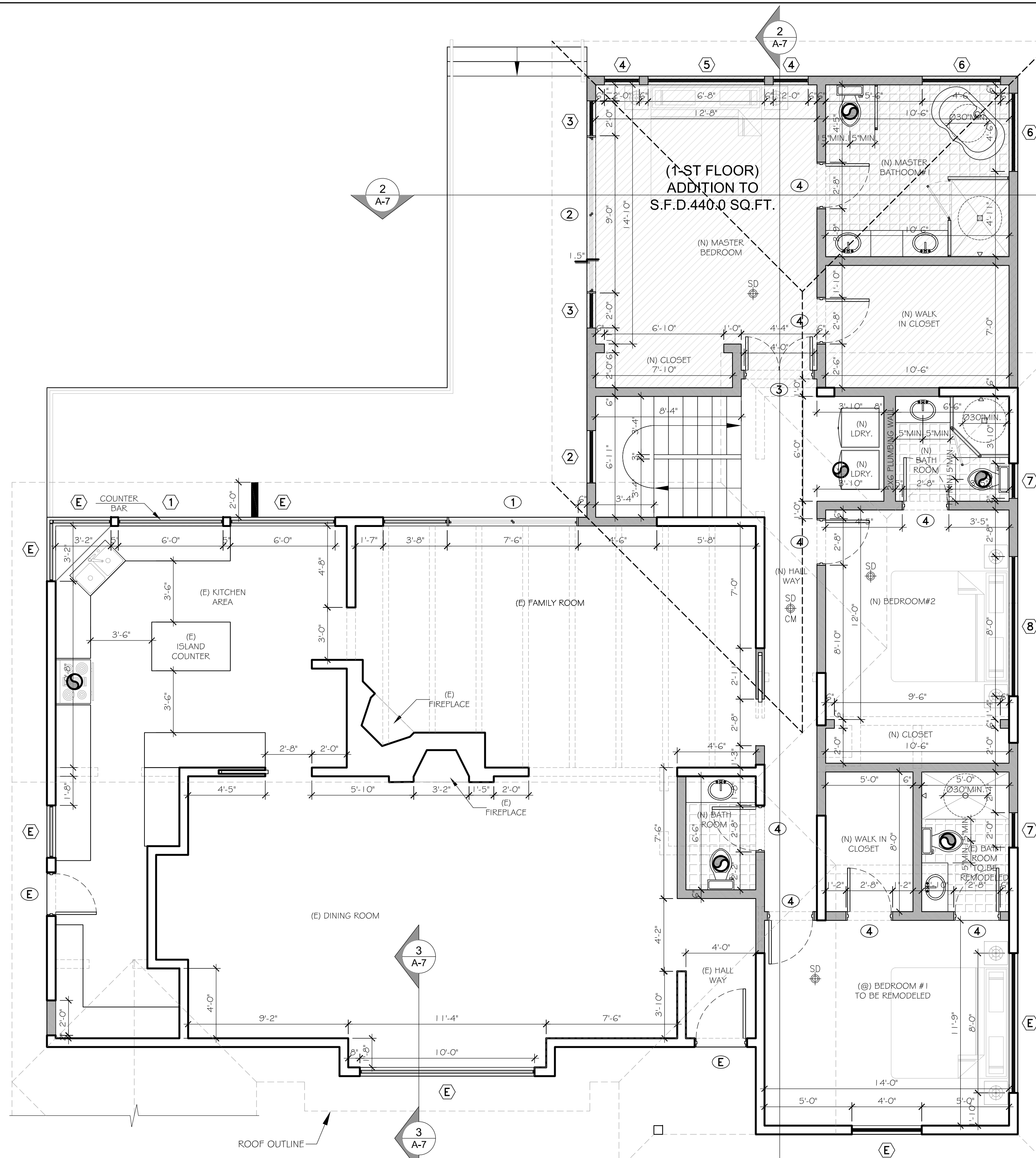
- NEW WALLS
- EXISTING WALLS TO REMAIN
- WALL TO DEMO
- ENERGY STAR rated EXHAUST CEILING FAN  
"Controlled by humidistat"
- G.F.I. OUTLET
- SMOKE and CARBON MONOXIDE detector
- SEE PLAN NOTES ON THIS SHEET
- SEE WINDOW SCHEDULE ON THIS SHEET
- SEE DOOR SCHEDULE ON THIS SHEET

**FIXTURE FLOW RATES**

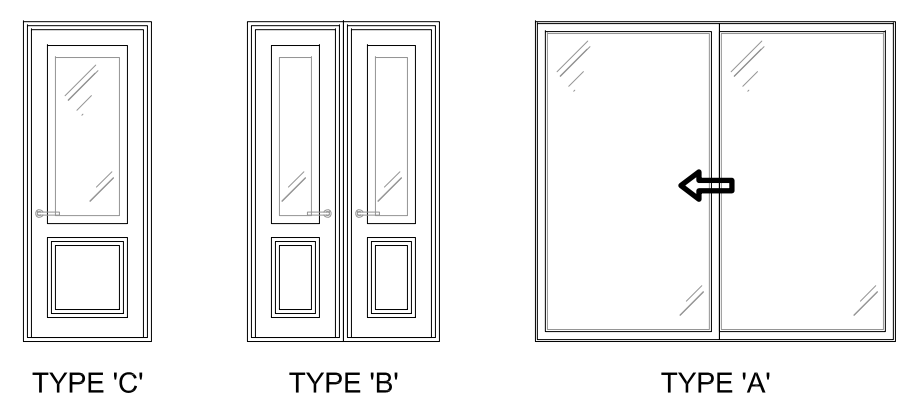
FIXTURE TYPE	MAX. ALLOWABLE FLOW RATE
SHOWERHEADS	1.8 GPM @ 80 PSI
LAVATORY FAUCETS, RESIDENTIAL	1.2 GPM @ 60 PSI
KITCHEN FAUCETS	1.5 GPM @ 60 PSI
GRAVITY TANK TYPE WATER CLOSETS	1.28 GALLONS/FLUSH
FLUSHOMETER TANK WATER CLOSETS	1.28 GALLONS/FLUSH
FLUSHOMETER VALVE WATER CLOSETS	1.28 GALLONS/FLUSH

**NOTES:**

1. PROVIDE ULTRA FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. A 12"x12" (MINIMUM) PLUMBING ACCESS FOR TUBS. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
2. GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4):
  - a. IN OPERABLE PANELS OF DOORS.
  - b. WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE.
  - c. IN AN INDIVIDUAL PANE LARGER THAN 9 SF, WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE DOOR, WHEN THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND WHEN WITHIN 36" OF A WALKING SURFACE AS MEASURED HORIZONTALLY & IN A STRAIGHT LINE.
  - d. IN RAILINGS.
  - e. WITHIN 60" OF TUB OR SHOWER FLOOR.
  - f. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS, WITHIN 36" OF A WALKING SURFACE WHEN LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.
  - g. WITHIN 60" OF STAIRS AND STAIR LANDINGS.
3. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MINIMUM GLAZING AREA OF 3-SF, ONE-HALF OF WHICH IS OPENABLE. THE GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION OF 50-CFM INTERMITTENT OR 25-CFM CONTINUOUS VENTILATION ARE PROVIDED. (R303.3) BATH TUB AND SHOWER FLOORS, WALLS ABOVE BATH TUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2) SHOWER DOORS SHALL SWING OUT. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30-IN. DIAMETER CIRCLE. (IPC 411.7)
4. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
5. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
  - a. R-19 IN ALL NEW STUDS WALLS.
  - b. R-38 IN ROOF/ATTIC WRADDIANT.
  - c. R-19 IN RAISED FLOOR/CRAWL SPACES.
6. INSTALL GFCI OUTLETS IN NEW BATHROOMS.
7. SMOKE ALARMS:
  - a. PROVIDE INTERCONNECTED HARD-WIRED "SMOKE ALARM" WITH BATTERY BACKUP IN THE FOLLOWING: (R314)
    - a. IN EACH SLEEPING ROOM.
    - b. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
    - c. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
  - d. PROVIDE A NOTE: "SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP".
 SMOKE ALARMS, SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED. SMOKE ALARMS INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT, OR IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED, R314.3.3 CONVENTIONAL IONIZATION SMOKE ALARMS. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.
8. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS, 2010 RESIDENTIAL.
9. FAN 50 AIR CHARGE/HR DEDICATED TO WHOLE HOUSE. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTANT WHICH SHALL BE READILY ACCESSIBLE.
10. 24"x30 MIN. ATTIC ACCESS.
11. CLOTHES DRYER: A MINIMUM 4" IN DIAMETER MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.1). A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6' AND CANNOT BE CONCEALED (CMC 504.3.1.1) DRYER EXHAUST CANNOT EXCEED 14' WITH A MAX. OF TWO 90° ELBOWS (CMC 504.3.1.2). THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF TWO.
12. WATER HEATER MUST BE SEISMIC STRIPPED. NEW OR REPLACEMENT WATER HEATERS SHALL BE STRAPPED TO WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR MIN. 50 SQ. INCH VENT IN THE TOP & BOTTOM OF THE WH COMPARTMENT. GAS WATER HEATER INSTALLED IN A GARAGE SHALL BE ELEVATED A MIN. 18" ABOVE THE GARAGE FLOOR. R-6 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES. ALL HOT WATER PIPING 3/4" OR LARGER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES SHALL HAVE R-6 INSULATION.
13. ENTREE/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD.
14. DOORS, NONCOMBUSTIBLE EXTERIOR DOORS, 1-1/2 INCH SOLID CORE WOOD, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE IN ACCORDANCE WITH SECTION 7-1-3602.4(h) EXCEPT: GARAGE DOORS AND VEHICLE ACCESS DOORS, PROVIDED THE INTERIOR OF THE GARAGE IS SHEATHED WITH 5/8" TYPE 'X' GYPSUM WALL BOARD.
15. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
16. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS, AEROSOL PAINTS AND COATINGS, CARPET SYSTEMS, CARPET CUSHION, CARPET ADHESIVE, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE (VOC) EMISSION LIMITS PER CHAPTER 4 OF LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.

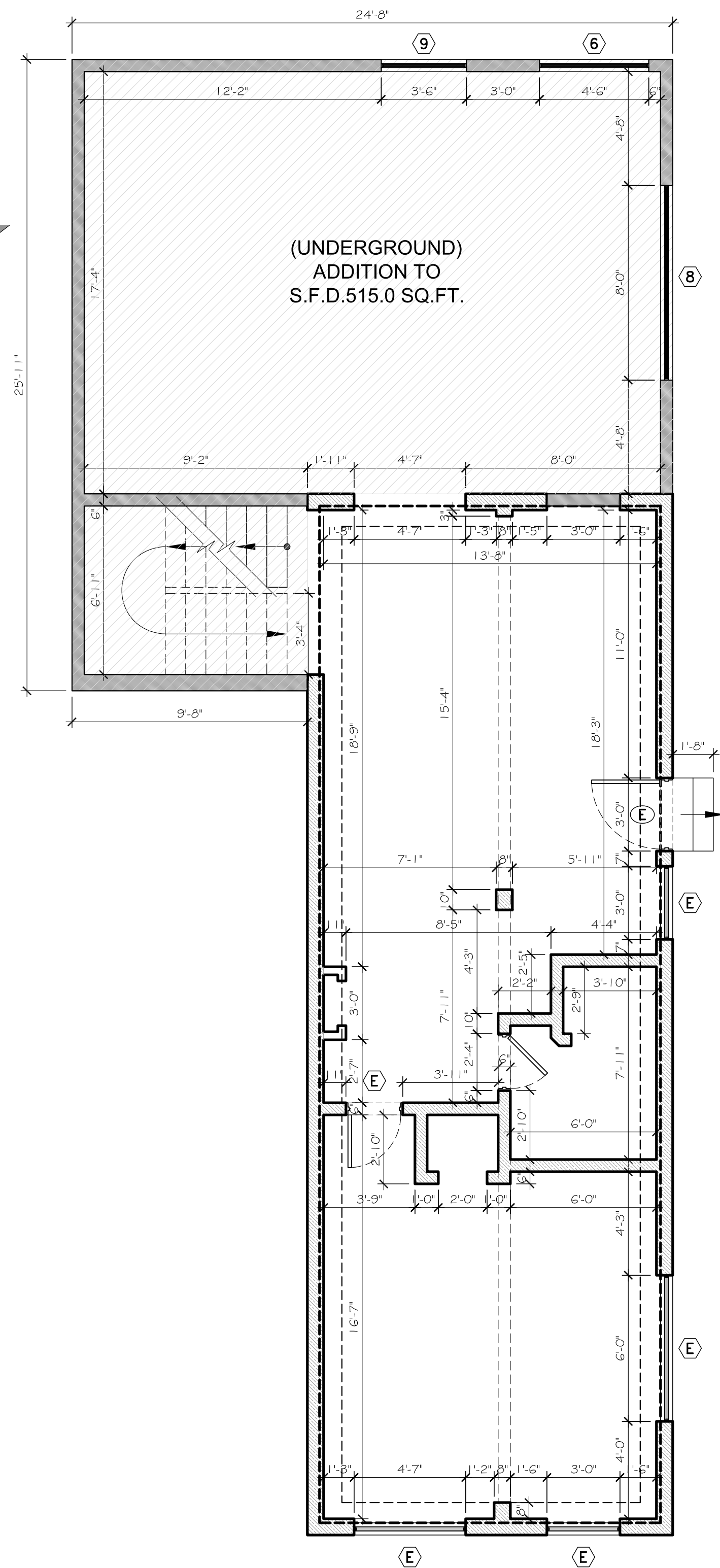


PROPOSED S.F.D.: UPPER FLOOR PLAN  
SCALE 1/4"=1'

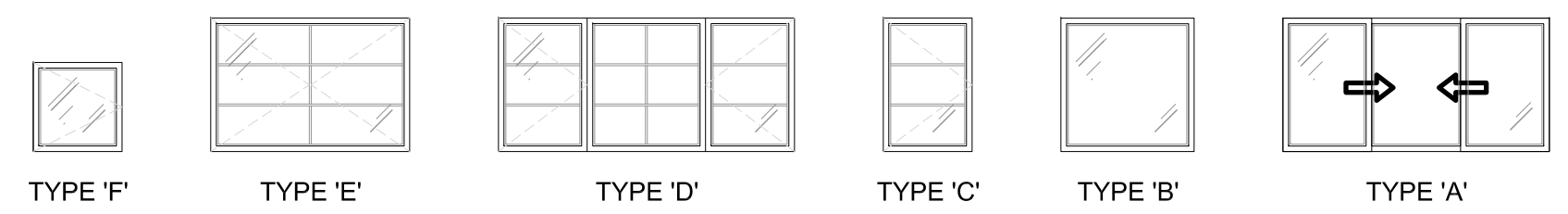


**DOOR SCHEDULE**

DOOR NO. (C)	TYPE	QUANTITY	WIDE X HEIGHT	THICKNESS	COLOR & MATERIAL	TYPE OF OPERATION	FRAME TYPE	EDGE DETAIL	EXTERNAL GRID ? Y/N	ENERGY EFFICIENT ? Y/N	TEMPERED GLASS ? Y/N	FIRE HAZARD ZONE ? Y/N	REMARKS
1	A	01	90"x60"	1 1/4"	ALUMIN	SLIDER	ALUMIN	ALUMIN	NO	YES	YES	NO	EXTERIOR DOOR
2	A	01	156"x60"	1 1/4"	ALUMIN	SLIDER	ALUMIN	ALUMIN	NO	YES	YES	NO	EXTERIOR DOOR
3	B	01	48"x60"	1 1/4"	WOOD	SWING	ALUMIN	ALUMIN	NO	YES	NO	NO	INTERIOR DOOR
4	C	06	32"x60"	1 1/4"	WOOD	SWING	ALUMIN	ALUMIN	NO	YES	NO	NO	INTERIOR DOOR



PROPOSED S.F.D.: RGROUND FLOOR PLAN  
SCALE 1/4"=1'



**WINDOW SCHEDULE**

WINDOW NO. (C)	TYPE	QUANTITY	EXISTING WIDE X HEIGHT	NEW WIDE X HEIGHT	EXISTING COLOR & MATERIAL	NEW COLOR & MATERIAL	EXISTING TYPE OF OPERATION	NEW TYPE OF OPERATION	EXISTING FRAME TYPE	NEW FRAME TYPE	KEEP EXIST SILL & FRAME Y/N & P.	BUILD NEW SILL & FRAME Y/N & P.	EXISTING EDGE DETAIL	NEW EDGE DETAIL	VISIBLE FROM STREET ? Y/N	EXTERNAL GRID ? Y/N	BEDROOM ? Y/N	ENERGY EFFICIENT ? Y/N	TEMPERED GLASS ? Y/N	FIRE HAZARD ZONE ? Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR ? Y/N	U-FACTOR	SHGS
1	A	01	N/A	72"x36"	N/A	ALUMIN	N/A	SLIDER/PIX	N/A	NAIL-N	N/A	YES	N/A	STUCCO	YES	NO	NO	N/A	YES	YES	YES	0.29	0.21
2	B	01	N/A	36"x60"	N/A	ALUMIN	N/A	FIX	N/A	NAIL-N	N/A	YES/NO	N/A	STUCCO	YES	NO	NO	N/A	YES	YES	YES	0.29	0.21
3	B	01	N/A	24"x60"	N/A	ALUMIN	N/A	FIX	WHITE	NAIL-N	N/A	YES	STUCCO	STUCCO	YES	NO	YES	N/A	YES	YES	YES	0.29	0.21
4	C	02	N/A	24"x36"	N/A	ALUMIN	N/A	CASEMENT	WRITE	NAIL-N	N/A	YES	STUCCO	STUCCO	YES	NO	YES	N/A	YES	YES	YES	0.29	0.21
5	D	01	N/A	60"x36"	N/A	ALUMIN	N/A	CASEMENT	N/A	NAIL-N	N/A	YES	STUCCO	STUCCO	NO	NO	NO	N/A	YES	YES	NO	0.29	0.21
6	E	03	N/A	54"x36"	N/A	ALUMIN	N/A	CASEMENT	N/A	NAIL-N	N/A	YES	STUCCO	STUCCO	NO	NO	NO	N/A	YES	YES	NO	0.29	0.21
7	F	02	N/A	24"x36"	N/A	ALUMIN	N/A	CASEMENT	N/A	NAIL-N	N/A	YES	STUCCO	STUCCO	NO	NO	NO	N/A	YES	YES	YES	0.29	0.21
8	C	02	N/A	48"x60"	N/A	ALUMIN	N/A	CASEMENT/PIV	N/A	NAIL-N	N/A	YES	STUCCO	STUCCO	NO	NO	NO	N/A	YES	YES	YES	0.29	0.21
9	E	01	N/A	42"x24"	N/A	ALUMIN	N/A	CASEMENT	N/A	NAIL-N	N/A	YES	STUCCO	STUCCO	NO	NO	NO	N/A	YES	YES	YES	0.29	0.21

**PROPOSED UNDERGROUND & GROUND FLOOR PLANS**

SCALE: 1/4"=1'-0"

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS DRAWING. THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS IN THESE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF ARTIOR AND INTERIOR DESIGN SERVICES. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**Artior and Interior Design Services**  
635 W. COLORADO ST., ST. 102, GLENDALE, CA 91204  
TEL.: 818-389-3888

PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING  
OWNER: ---  
JOB ADDRESS: 1550 ROYAL BLVD., GLENDALE, CA 91207

JOB NO.: A-2216  
DRAWN BY: V.H.  
CHECKED BY: A.L.  
DATE: 05-16-22  
SHEET TITLE: UNDERGROUND FLOOR PLAN  
GROUND FLOOR PLAN

SHEET NUMBER

**A-4**

SHEETS 4 OF 10



PROPOSED S.F.D.: SOUTH-WEST ELEVATION  
SCALE 1/4"=1'-0"

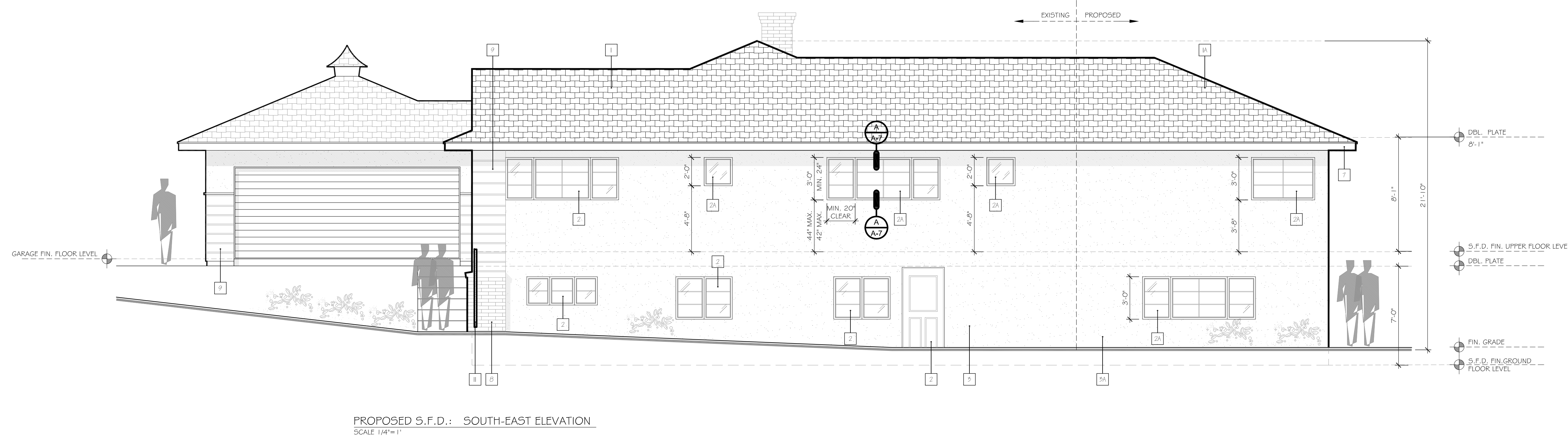
- 1 (E) COMPOSITION SHINGLE ROLL CLASS 'A' BY 'CERTAINTEED' ICC-ES ESR- 1389
- 1A (N) COMPOSITION SHINGLE ROLL CLASS 'A' BY 'CERTAINTEED' ICC-ES ESR- 1389
- 2 (N) DOOR AND WINDOWS SIZE, HEIGHTS PER SCHEDULE.
- 2A (E) DOOR AND WINDOWS SIZE, HEIGHTS PER SCHEDULE.
- 3 (E) STUCCO FINISH: MIN. 7/8" THK. 3-COAT PLASTER W/METAL MESH OVER LAPPED 2-LAYERS OF GRADE 'D' BLDG PAPER.
- 3A (N) STUCCO FINISH: MIN. 7/8" THK. 3-COAT PLASTER W/METAL MESH OVER LAPPED 2-LAYERS OF GRADE 'D' BLDG PAPER.
- 4 (E) A CORROSION WEEP SCREED, MIN. 26 GA. GALV. SHEET, IS REQUIRED BELOW THE STUCCO AT THE FOUNDATION PLATE LINE A MIN. 6" ABOVE EARTH OR 2" ABOVE PAVED AREA WITH A VERTICAL ATTACHMENT FLANGE OF 3-1/2". WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO EXTERIOR TO THE BUILDING
- 5 (E) UNDER FLOOR VENT.
- 6 (E) UNDER ROOF VENT.
- 7 (E) STAINED WOOD FASCIA BOARD
- 8 (E) BRICK WALL
- 9 (E) SIDING PAINTED DARK BROWN
- 10 (E) METALLIC DECORATION COLUMN
- 11 (E) WOOD GATE
- 12 (N) SIDING PAINTED DARK BROWN
- 13 (E) LIGHT FIXTURE
- 14 (E) METALLIC RAILING

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THESE DRAWINGS. THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS IMMEDIATELY UPON DISCOVERY. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF ART AND INTERIOR DESIGN SERVICES. NO PART OF THESE DRAWINGS OR OTHER INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**Art and Interior Design Services**  
 635 W. COLORADO ST., ST. 102, GLENDALE, CA 91204  
 TEL.: 818-389-3888

PROPOSED S.F.D.: SOUTH-WEST ELEVATION

SCALE: 1/4"=1'-0" 1

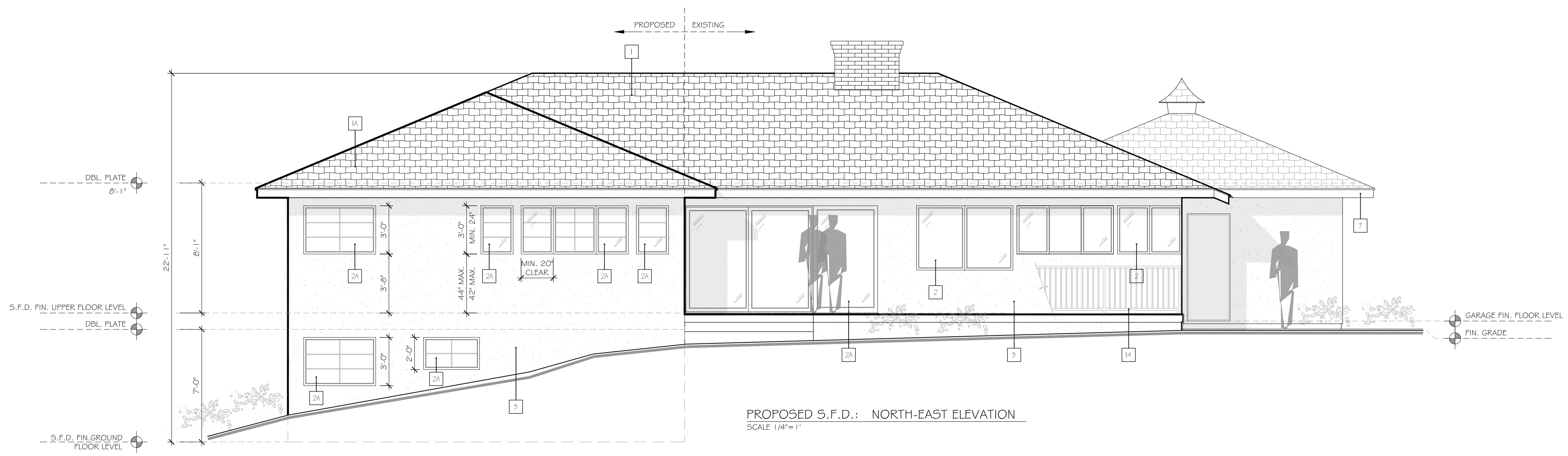


PROPOSED S.F.D.: SOUTH-EAST ELEVATION  
SCALE 1/4"=1'-0"

PROPOSED S.F.D.: SOUTH-EAST ELEVATION

SCALE: 1/4"=1'-0" 2

PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING  
 OWNER: ---  
 JOB ADDRESS: 1550 ROYAL BLVD, GLENDALE, CA 91207  
 JOB NO.: A-2216  
 V.H. A.I.  
 DRAWN BY: A.I.  
 CHECKED BY: A.I.  
 DATE: 05-16-22  
 SHEET TITLE: ELEVATIONS  
 SHEET NUMBER: A-5  
 SHEETS 5 OF 10



PROPOSED S.F.D.: NORTH-EAST ELEVATION  
SCALE: 1/4"=1'

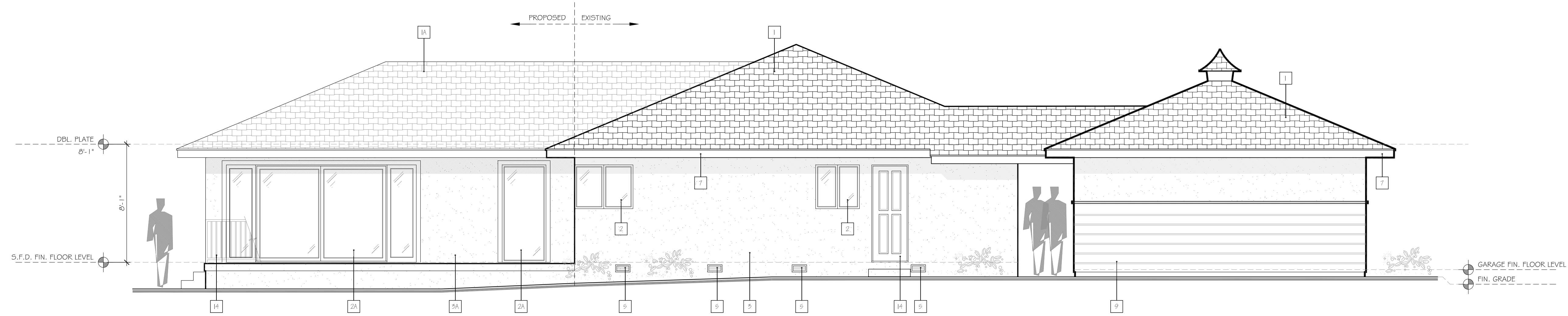
- 1 (E) COMPOSITION SHINGLE ROLL CLASS 'A' BY 'CERTAINTEED' ICC-ES ESR- 1389
- 1A (N) COMPOSITION SHINGLE ROLL CLASS 'A' BY 'CERTAINTEED' ICC-ES ESR- 1389
- 2 (N) DOOR AND WINDOWS SIZE, HEIGHTS PER SCHEDULE.
- 2A (E) DOOR AND WINDOWS SIZE, HEIGHTS PER SCHEDULE.
- 5 (E) STUCCO FINISH: MIN. 7/8" THK. 3-COAT PLASTER W/METAL MESH OVER LAPPED 2-LAYERS OF GRADE 'D' BLDG PAPER.
- 5A (N) STUCCO FINISH: MIN. 7/8" THK. 3-COAT PLASTER W/METAL MESH OVER LAPPED 2-LAYERS OF GRADE 'D' BLDG PAPER.
- 4 (E) A CORROSION WEEP SCREED, MIN. 26 GA. GALV. SHEET, IS REQUIRED BELOW THE STUCCO AT THE FOUNDATION PLATE LINE A MIN. 6" ABOVE EARTH OR 2" ABOVE PAVED AREA WITH A VERTICAL ATTACHMENT FLANGE OF 3/16" - 1/2". WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO EXTERIOR TO THE BUILDING
- 9 (E) UNDER FLOOR VENT.
- 8 (E) UNDER ROOF VENT.
- 7 (E) STAINED WOOD FASCIA BOARD
- 8 (E) BRICK WALL
- 9 (E) SIDING PAINTED DARK BROWN
- 10 (E) METALLIC DECORATION COLUMN
- 11 (E) WOOD GATE
- 12 (N) SIDING PAINTED DARK BROWN
- 13 (E) LIGHT FIXTURE
- 14 (E) METALLIC RAILING

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THESE DRAWINGS. THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF ART AND INTERIOR DESIGN SERVICES. NO PART OF THESE DRAWINGS OR OTHER INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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 TEL.: 818-389-3888

PROPOSED S.F.D.: NORTH-EAST ELEVATION

SCALE: 1/4"=1'-0" 1



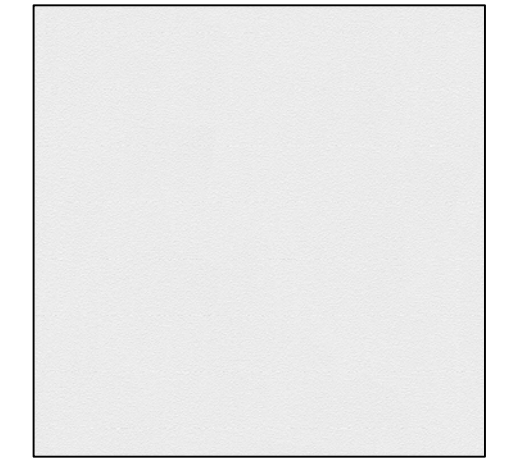
PROPOSED S.F.D.: NORTH-WEST ELEVATION  
SCALE: 1/4"=1'



1 (N) COMPOSITION SHINGLE ROLL CLASS 'A' BY 'CERTAINTEED' ICC-ES ESR- 1389 COLOR MATCH TO EXISTING



2 (N) SLIDER DOORS AND WINDOWS.



5 (N) STUCCO FINISH: MIN. 7/8" THK. 3-COAT PLASTER W/METAL MESH OVER LAPPED 2-LAYERS OF GRADE 'D' BLDG PAPER.

PROPOSED S.F.D.: NORTH-WEST ELEVATION

SCALE: 1/4"=1'-0" 2

PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING

OWNER: ---

JOB ADDRESS: 1550 ROYAL BLVD, GLENDALE, CA 91207

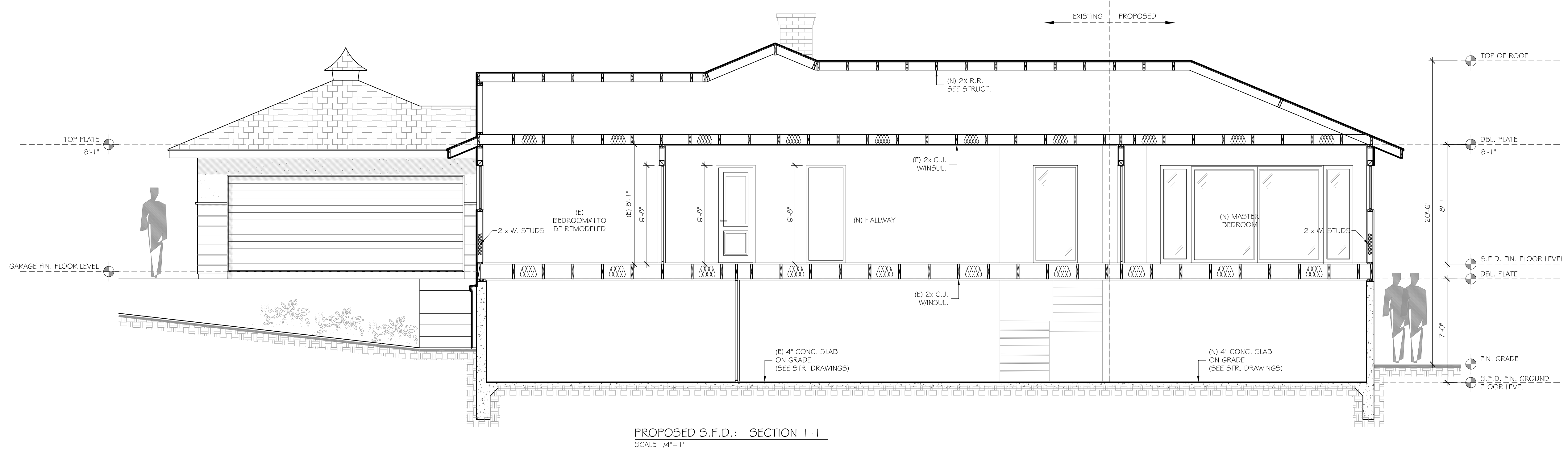
JOB NO.: A-2216  
 DRAWN BY: V.H.  
 CHECKED BY: A.L.  
 DATE: 05-16-22

SHEET TITLE: ELEVATIONS

SHEET NUMBER

**A-6**

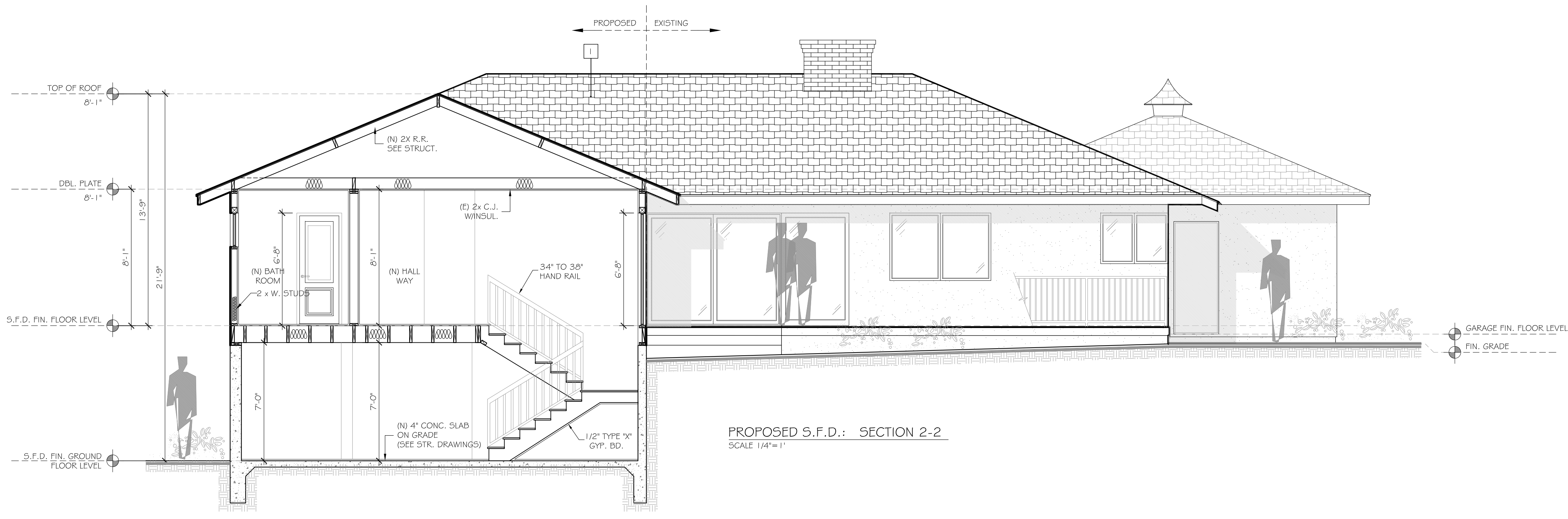
SHEETS 6 OF 10



PROPOSED S.F.D.: SECTION 1-1  
SCALE 1/4"=1'

PROPOSED S.F.D.: SECTION 1-1

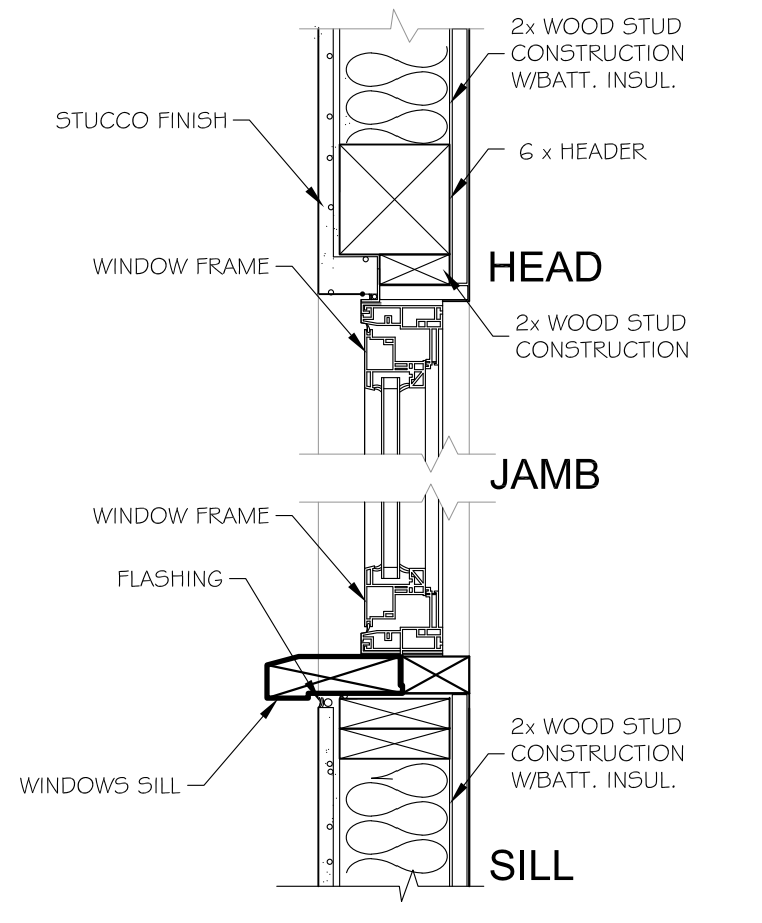
SCALE: 1/4"=1'-0" 1



PROPOSED S.F.D.: SECTION 2-2  
SCALE 1/4"=1'

PROPOSED S.F.D.: SECTION 2-2

SCALE: 1/4"=1'-0" 2



WINDOW IN (TYP.)  
WOOD STUD CONSTRUCTION A

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS DRAWING. THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS IN THESE DRAWINGS. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF ART AND INTERIOR DESIGN SERVICES. NO PART OF THESE DRAWINGS OR OTHER INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**Art and Interior Design Services**  
635 W. COLORADO ST., ST. 102, GLENDALE, CA 91204  
TEL.: 818-389-3888

PROJECT TITLE: ADDITION TO SINGLE FAMILY DWELLING

OWNER:

JOB ADDRESS:  
1550 ROYAL BLVD, GLENDALE, CA 91207

JOB NO.: A-2216

DRAWN BY: V.H.

CHECKED BY: A.L.

DATE: 05-16-22

SHEET TITLE:

PROPOSED S.F.D.: SECTION 1-1

PROPOSED S.F.D.: SECTION 2-2

SHEET NUMBER

**A-7**

SHEETS 7 OF 10















# 1550 ROYAL BLVD., GLENDALE, CA, 91207

## LOCATION MAP



**Art Designs**  
EXTERIOR and INTERIOR  
DESIGN SERVICES

635 W COLORADO ST., # 102, GLENDALE CA 91204  
email: artdesigns97@gmail.com tel: 818. 389-3888

JOB ADDRESS:	1550 ROYAL BLVD., GLENDALE
PROJECT	Location Maps
SHEET TITLE:	
SCALE:	1:1000

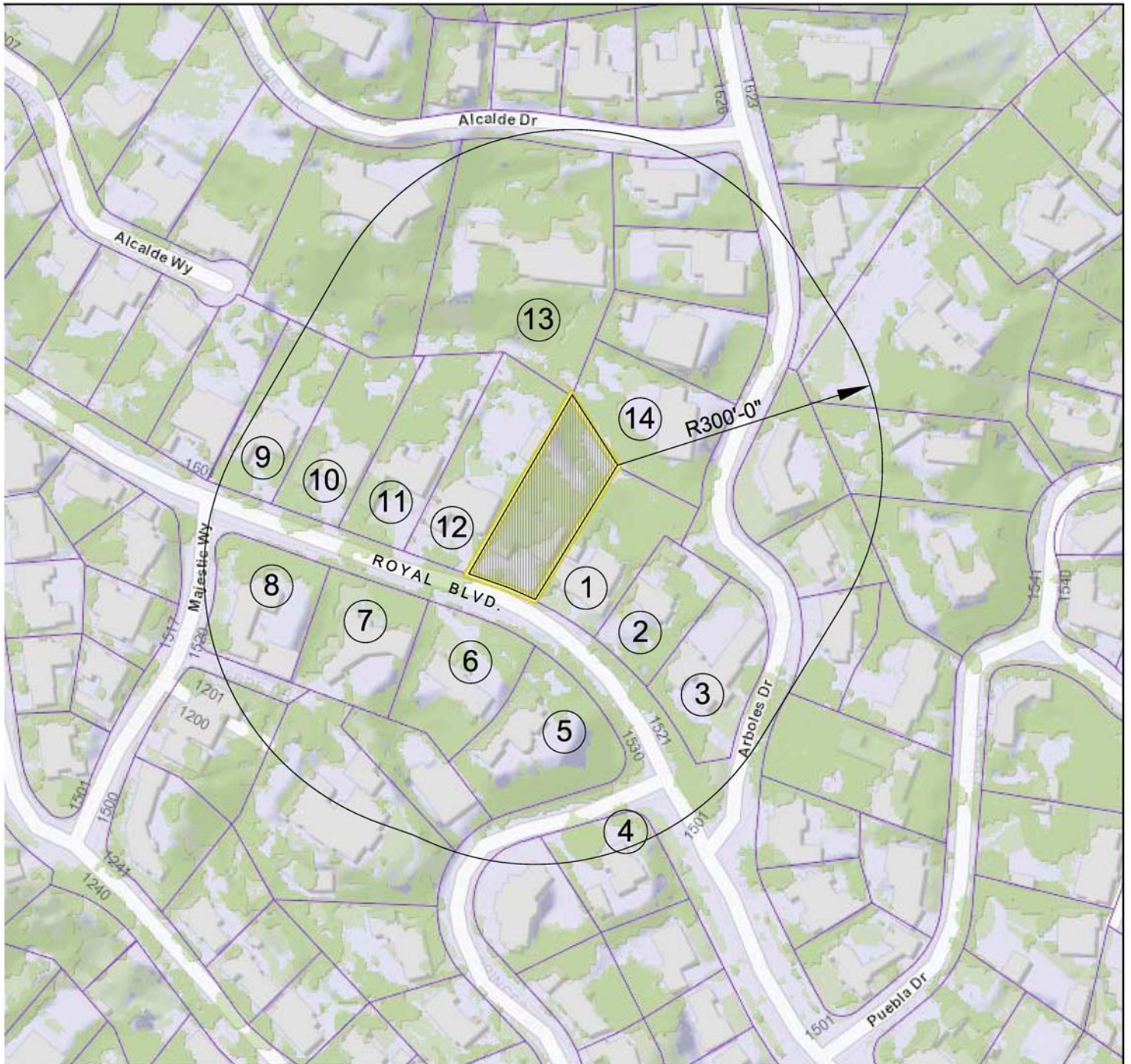
LEGEND



SUBJECT  
PROPERTY

1550 ROYAL BLVD., GLENDALE, CA, 91207

LOCATION MAP



**Art Designs**  
EXTERIOR and INTERIOR  
DESIGN SERVICES

635 W COLORADO ST., # 102, GLENDALE CA 91204  
email: artdesigns97@gmail.com tel: 818. 389-3888

JOB ADDRESS:  
PROJECT  
SHEET TITLE:  
SCALE:

1550 ROYAL BLVD., GLENDALE  
Location Maps  
NTC

LEGEND

 SUBJECT PROPERTY

# 1550 ROYAL BLVD., GLENDALE, CA, 91207

## NEIGHBORHOOD KEY

KEY	ADDRESS	SQ.FT LOT	SQ. FT. HOUSE	F/A%	STORIES	SETBACK	ROOF
SUBJECT PROPERTY	1550 ROYAL BLVD.	16880.0	2544.0	15%	1	36.0	REDISH BROWN SHINGLE
1	1544 ROYAL BLVD.	16510	2184.0	13%	1	28.0	LIGHT GREAY SHINGLE
2	1536 ROYAL BLVD.	12300	2708.0	22%	1	56.0	GREAY SHINGLE
3	1501 ARBOLES DR.	17100	3487.0	20%	1	6.0	DARK GREAY SHINGLE
4	1519 ROYAL BLVD.	14250	3413.0	24%	2	28.0	RED TILE
5	1535 ROYAL BLVD.	21400	2761.0	13%	2	36.0	GREAY SHINGLE
6	1545 ROYAL BLVD.	17620	3045.0	17%	1	62.0	DARK GREAY SHINGLE
7	1555 ROYAL BLVD.	17160	2247.0	13%	1	28.0	BROWN SHINGLE
8	1524 MAJESTIC WAY	16988	2869.0	17%	2	33.0	DARK GREAY SHINGLE
9	1574 ROYAL BLVD.	16080	2273.0	14%	1	36.0	GREAY SHINGLE
10	1570 ROYAL BLVD.	16310	1672.0	10%	1	44.0	LIGHT GREAY SHINGLE
11	1562 ROYAL BLVD.	18830	2276.0	12%	1	70.0	DARK BROWN SHINGLE
12	1556 ROYAL BLVD.	20270	2626.0	13%	1	41.0	LIGHT GREAY SHINGLE
13	1070 ALCALDE DR.	51860	4345.0	8%	1	85.0	REDISH BROWN SHINGLE
14	1533 ARBOLES DR.	20900	2711.0	13%	1	30.0	GREAY SHINGLE
NEIGHBORHOOD AVERAGE		21032.7	2940.1	16%	1.3	44.2	

**Art Designs**  
EXTERIOR and INTERIOR  
DESIGN SERVICES

635 W COLORADO ST., # 102, GLENDALE CA 91204  
email: artdesigns97@gmail.com tel: 818. 389-3888

JOB ADDRESS: 1550 ROYAL BLVD., GLENDALE  
PROJECT Location Maps  
SHEET TITLE:  
SCALE: 1:2000

LEGEND

 SUBJECT PROPERTY