



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

June 30, 2023

Ani Mnatsakanian
409 IRVING DR.
BURBANK, CA 91504

**RE: 533 SUNSET ROAD
Administrative Design Review Case No. PADR-001323-2023**

Dear Applicant:

The Director of Community Development will render a final decision on or after July 17, 2023, for the following project:

PROJECT DESCRIPTION: To construct a total of approximately 776 square-foot one-story addition facing streets (Sunset Road and Ridgeway Drive) at the front and side of the existing 2,282 square-foot one-story, single-family residence (built in 1951) with an existing attached three-car garage. The project site is an 11,100 square-foot corner lot, located in the R1-I zone (Low Density Residential - Floor Area Ratio I). The project also includes façade remodeling.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

For more information or to submit comments, please contact the case planner, Aileen Babakhani, at 818-937-8331 or ababakhani@glendaleca.gov.

Comments must be received prior to July 18, 2023, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206.

Sincerely,

Aileen Babakhani
Planner



**CITY OF GLENDALE, CALIFORNIA
REPORT TO THE DESIGN REVIEW BOARD**

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

July 17, 2023 <i>Hearing Date</i>	533 Sunset Road <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5629-028-015 <i>APN</i>
PADR-001323-2023 <i>Case Number</i>	Ani Mnatsakanian <i>Applicant</i>
Aileen Babakhani, Planner <i>Case Planner</i>	Petros Sarafian <i>Owner</i>

Project Summary

To construct a total of approximately 776 square-foot one-story addition facing streets (Sunset Road and Ridgeway Drive) at the front and side of the existing 2,282 square-foot one-story, single-family residence (built in 1951) with an existing attached three-car garage. The project site is an 11,100 square-foot corner lot, located in the R1-I zone (Low Density Residential - Floor Area Ratio I). The project also includes façade remodeling.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 (e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 2,500 square feet of floor area.

Existing Property/Background

The project site is an 11,100 square-foot irregular-shaped lot, located at the corner of Sunset Road and Ridgeway Drive. The lot was developed in 1951 with an existing 2,282 square-foot one-story house with an attached three-car garage with primary entrance and vehicular access from Sunset Road (facing south). The proposed one-story addition includes a total of 776 square feet to the existing house (398 SF at the front, facing Ridgeway Drive and 379 SF at the side, facing Sunset Road). There is no change to the location of the existing garage and driveway. As a result of the proposed

additions, 29 percent of the existing roofs and exterior walls will be removed or abandoned in place. The property does not appear eligible for historic designation at the federal, state, or local level and is therefore not considered a historic resource under the California Environmental Quality Act (CEQA).

There are no protected indigenous trees on the subject property or within 20 feet of the subject site. However, there are five existing trees located in the City right of way adjacent to the property. According to the Urban Forestry review, the project will not adversely impact the street trees, provided standard Street Tree Ordinance requirements are followed during construction. The project will be required to meet the Urban Forestry requirements and obtain permits from Public Works to protect the street trees during construction.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: I

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	12,503 sq. ft.	6,987 sq. ft. – 38,570 sq. ft.	11,100 sq. ft.
Setback	37'-8"	21' – 63'	50'-6"

House size	2,605 sq. ft.	1,526 sq. ft. – 5,200 sq. ft.	3,057 sq. ft.
Floor Area Ratio	0.21	0.13 – 0.41	0.28
Number of stories	One- and two-story (73 percent of the houses are one-story)	One and two-story (73 percent of the houses are one-story)	one-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

There is no change to the location of the existing garage or driveway.

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

There is no change to the existing landscape.

Walls and Fences

yes n/a no

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

There are no proposed changes to the existing fences and walls.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed total of 776 square-foot one-story addition includes:
 - i. A 398 square-foot one-story extension toward Ridgeway Drive.
 - ii. A 195 square-foot one-story addition with the conversion of an existing breezeway between the house and garage facing Sunset Road.
 - iii. A 177 square-foot partial conversion of the existing three-car garage to a new den. The remaining portion of the attached garage will provide adequate space for a two-car garage with interior dimensions of 20 feet by 20 feet, meeting the zoning code requirements.
 - iv. An approximately six square-foot one-story addition with a new entry porch facing sunset Road.

The additions do not change the existing site planning significantly, because the existing interior setbacks and street side setback along Sunset Road will remain unchanged. The proposed 398 square-foot addition at the front (toward Ridgeway Drive) sets back 50'-6" away from the street front property line and is consistent with the prevailing setbacks on the street (west side of Ridge Drive). Therefore, the project's site planning is appropriate to the existing site and its surrounding neighboring properties.

- There is no change to the location of the existing detached two-car garage and no change is proposed to the existing driveway from Sunset Road.
- The existing landscaping will remain unchanged. The project will require to obtain permits from Public Works to protect the existing street trees during construction in order to meet the Urban Forestry requirements.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the additions at the front and side of the house are consistent with the existing house and relate to its surrounding context. The one-story additions do not change the existing scale and proportions significantly.
- There is no change to the existing overall height of 16'-9 1/2". The project will add two new doubled-gable roofs to the primary roof. The new roofs at the front and side are consistent with the existing roofs and create appropriate transitions between the existing and new roof.
- The proposed remodel includes a new primary porch with an arched header in the same location of the existing porch, consistent with the overall mass and scale.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view

- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

The proposed plans currently do not show the location of exterior light fixtures. A condition of approval is added to update the drawings to show the locations of any exterior light fixtures and provide cut sheet(s) of light fixtures, appropriate to design and exterior remodel.

A condition of approval is also added to update the drawings to show the location of gutters and downspouts appropriate to the design and details.

Ancillary Structures

- yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the proposed addition and remodel are consistent throughout and appropriate to the surrounding neighborhood. The proposed façade remodel will remove the existing roof brackets, decorative window shutters, existing brick chimney, and horizontal wood siding. The proposed façade remodel and new exterior materials will include smooth stucco wall finish (gray color), brick veneer wainscoting (white/cream color), horizontal siding on gable ends, and concrete roofing to match the existing roofing material and color.
 - The new primary entryway (front door) and porch are well integrated into the design and replicate the location and design of the existing primary entryway.
 - The new windows are fiberglass (dark bronze color) with an appropriate combination of fixed and casement windows. The front entry door and new garage door are appropriate to the proposed design and remodel.
 - The proposed plans currently do not show the location and design of any proposed exterior light fixture(s). A condition of approval is added to update the drawings to show the proposed locations of any exterior light fixtures and provide cut sheet(s) of light fixtures, appropriate to design and exterior remodel.
 - The proposed plans also do not show the location of gutters and downspouts. A condition of approval is added to update the drawings to show the location of gutters and downspouts appropriate to the design and details.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions:

1. Obtain required permits from Urban Forestry to protect the street trees.
 2. Update the drawings to show the proposed locations of any exterior light fixtures and provide cut sheet(s) of light fixtures, appropriate to design and exterior remodel.
 3. Update the drawings to show the location of gutters and downspouts appropriate to the design and details.
-

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

DRAFT

LEGAL DESCRIPTION

APN: 5629-028-015
LEGAL DESCRIPTION: BAUGH TRACT LOT COM AT INTERSECTION OF W LINE OF LOT 35 WITH N LINE OF SUNSET RD TH N ON SD W LINE 45 FT TH S 76°14' 38" E 226.14 FT TH S ON W LINE OF RIDGEWAY DR AND NW ON N LINE OF SUNSET RD 256.09 FT TO BEG PART OF LOT 35
ZONE: R1-1

SCOPE OF WORK

NEW 403.3 SQ. FT. ADDITION TO EX. SFD. CONVERTING 177.1 SQ. FT. PORTION OF EX. GARAGE TO A DEN AND ENCLOSING THE EXISTING 194.9 SQ. FT. BREEZEWAY AS A DEN. AND REMODELING EXISTING FRONT PORCH

BUILDING TYPE

TYPE V-B
NUMBER OF STORIES: 1
FIRE SPRINKLERS: NO
FIRE ZONE: NO
OCCUPANCY: R-3/U

BUILDING USE

SINGLE FAMILY RESIDENTIAL R-3

FAR CALCULATION

PROPERTY	11,100.0 SF
(E) HOUSE	2,282.0 SF
(E) FRONT PORCH	29.3 SF
(N) ADDITION TO SFD	403.3 SF
PORTION OF (E) GARAGE TO REMAIN	475.6 SF
PORTION OF (E) GARAGE TO BE DEN	177.1 SF
(E) BREEZEWAY TO BE ENCLOSED	194.9 SF
MAX FAR ALLOWABLE: (10000 X 0.3) + (1100 X 0.1) = 3100 SF	
2,282.0 + 403.3 + 177.1 + 194.9 = 3,057.3	
3,057.3 < 3,100.0	
3,057.3 / 11,100.0 = 27.5%	

NOTE:
THERE ARE NO PROTECTED OAK, BAY, OR SYCAMORE TREES ON THE PROPERTY OR WITHIN 20' OF THE PROPERTY

LANDSCAPING

3058 + 410.6 + 3122.4 = 6591
6591 / 11100 = 59.4% > 40%

LOT COVERAGE

2,282.0 + 29.3 + 403.3 + 475.6 + 177.1 + 194.9 = 3,562.2
3,562.2 / 11,100.0 = 32.1%

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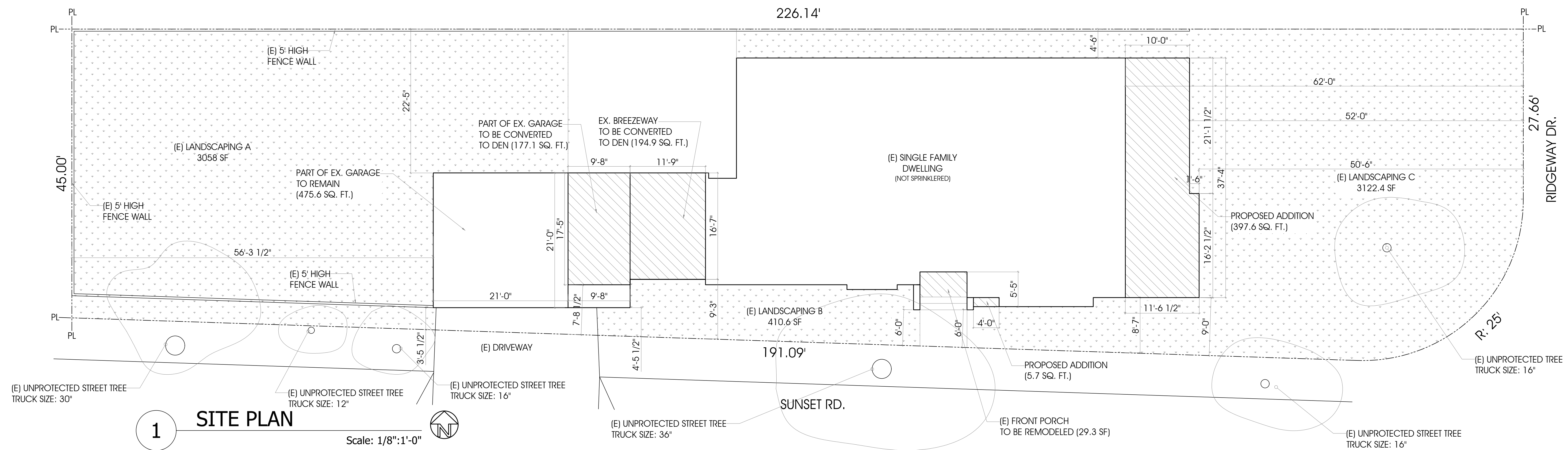
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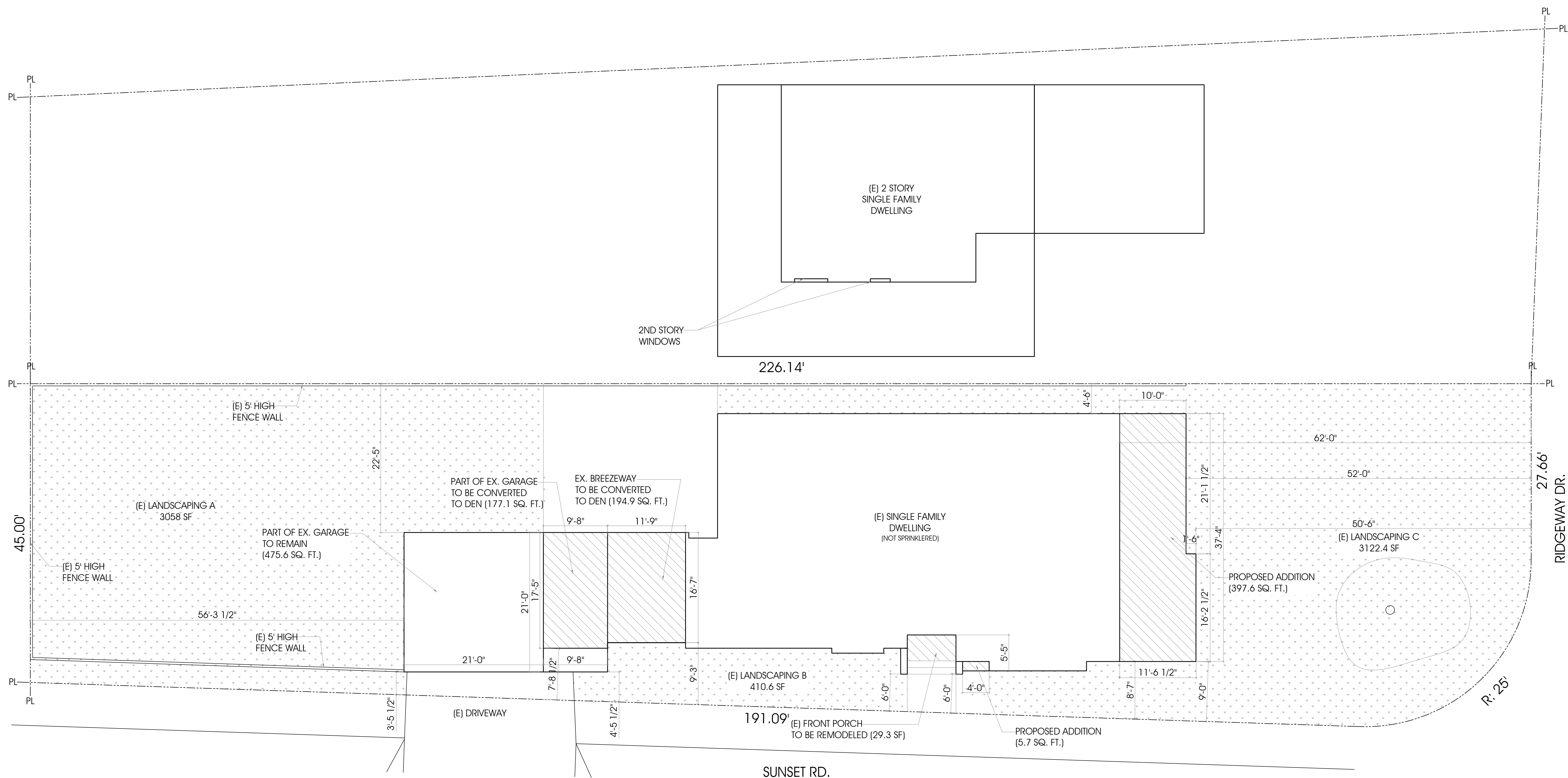
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1 SITE PLAN

Scale: 1/8"=1'-0"

OWNER	PROJECT	LOCATION
PETROS SARAFIAN	ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN	533 SUNSET RD. GLENDALE, CA 91202



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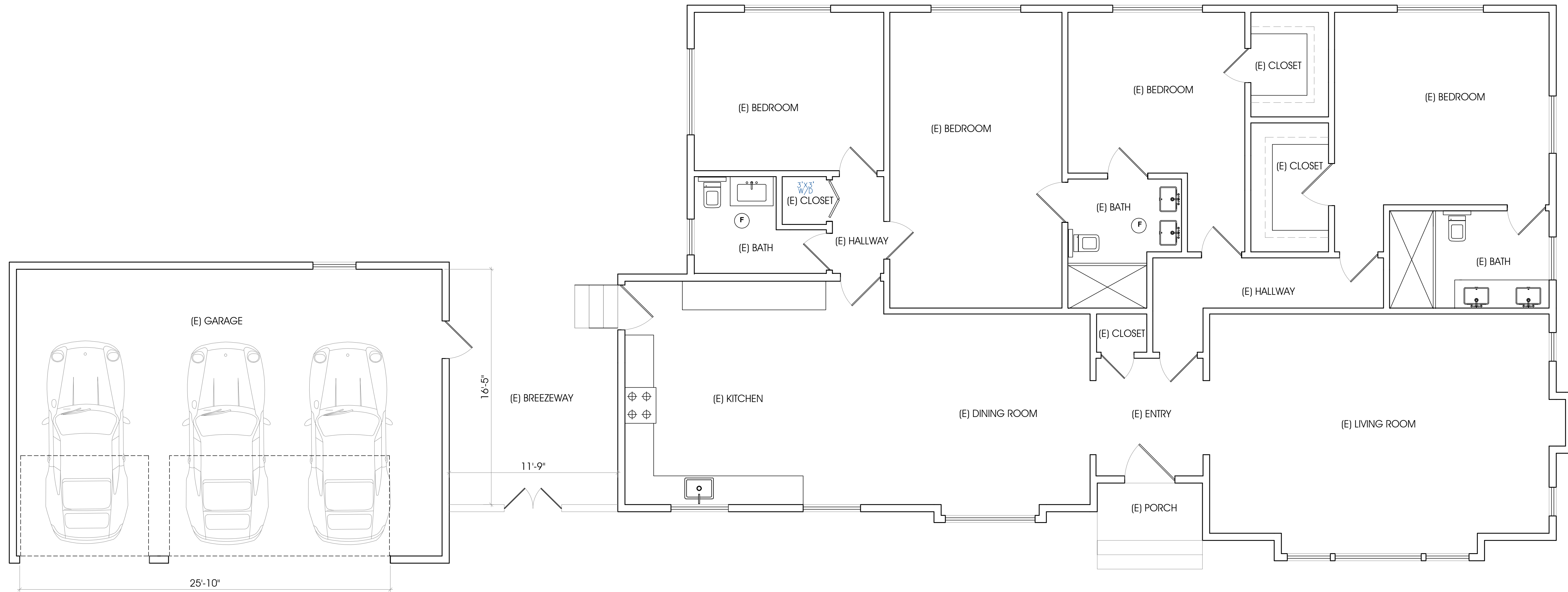
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1 SITE PLAN

Scale: 1/8"=1'-0"



OWNER: PETROS SARAFIAN
PROJECT: ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN
LOCATION: 533 SUNSET RD. GLENDALE, CA 91202



1 EX. FLOOR PLAN
Scale: 1/4":1'-0" 

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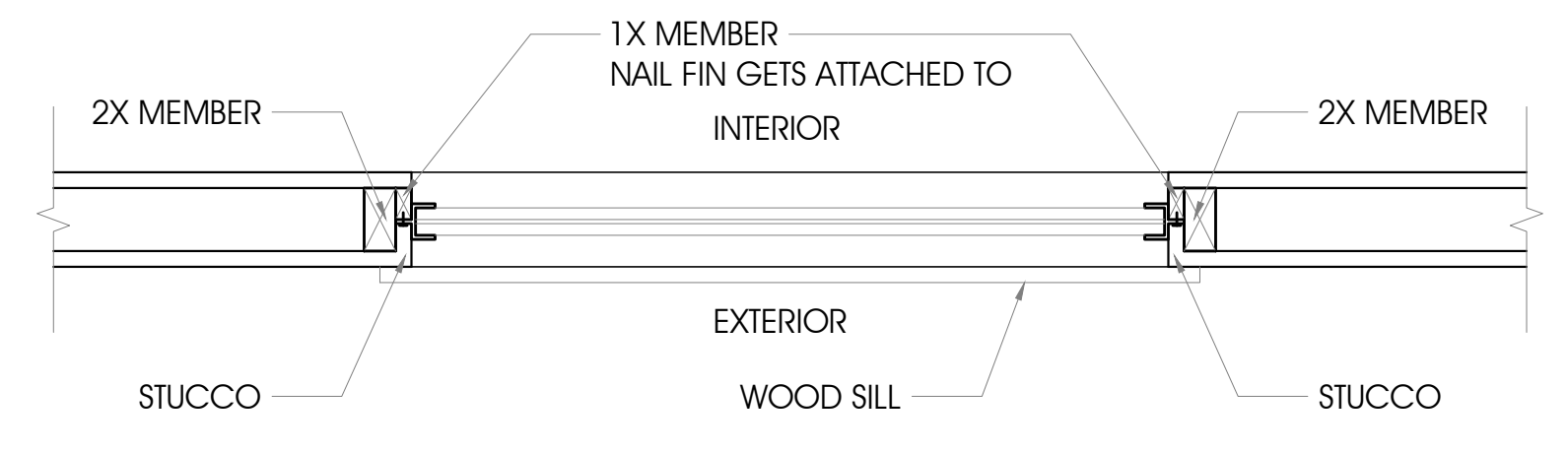
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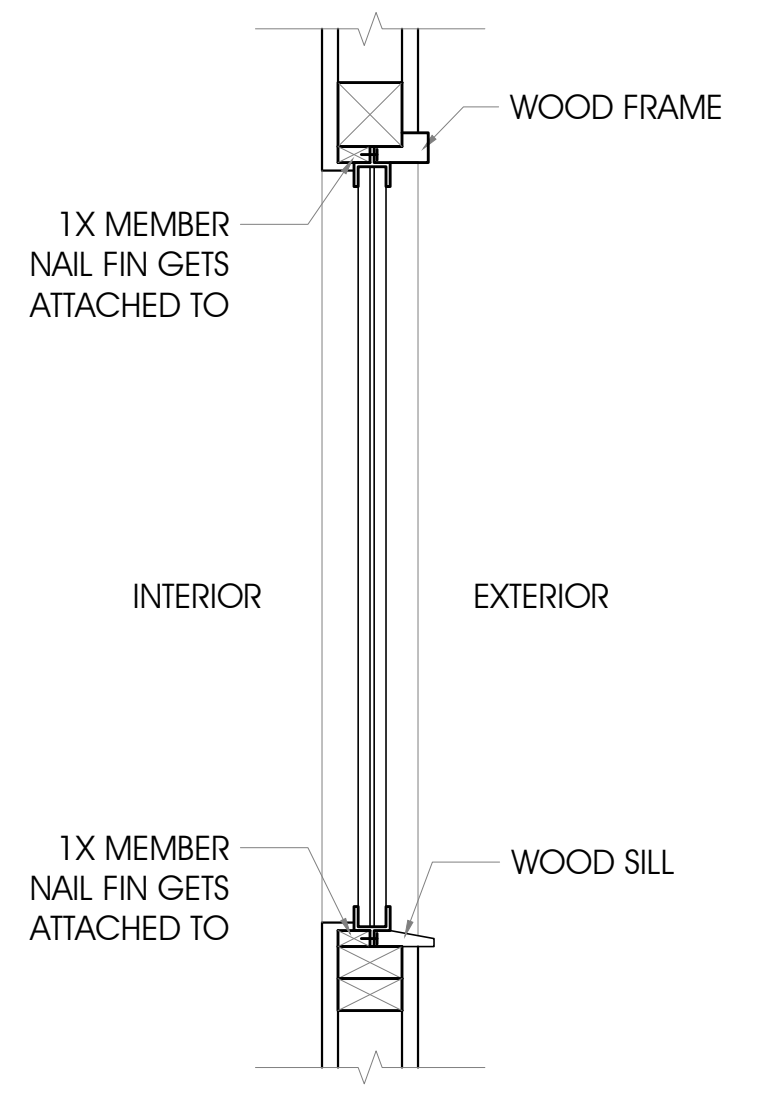
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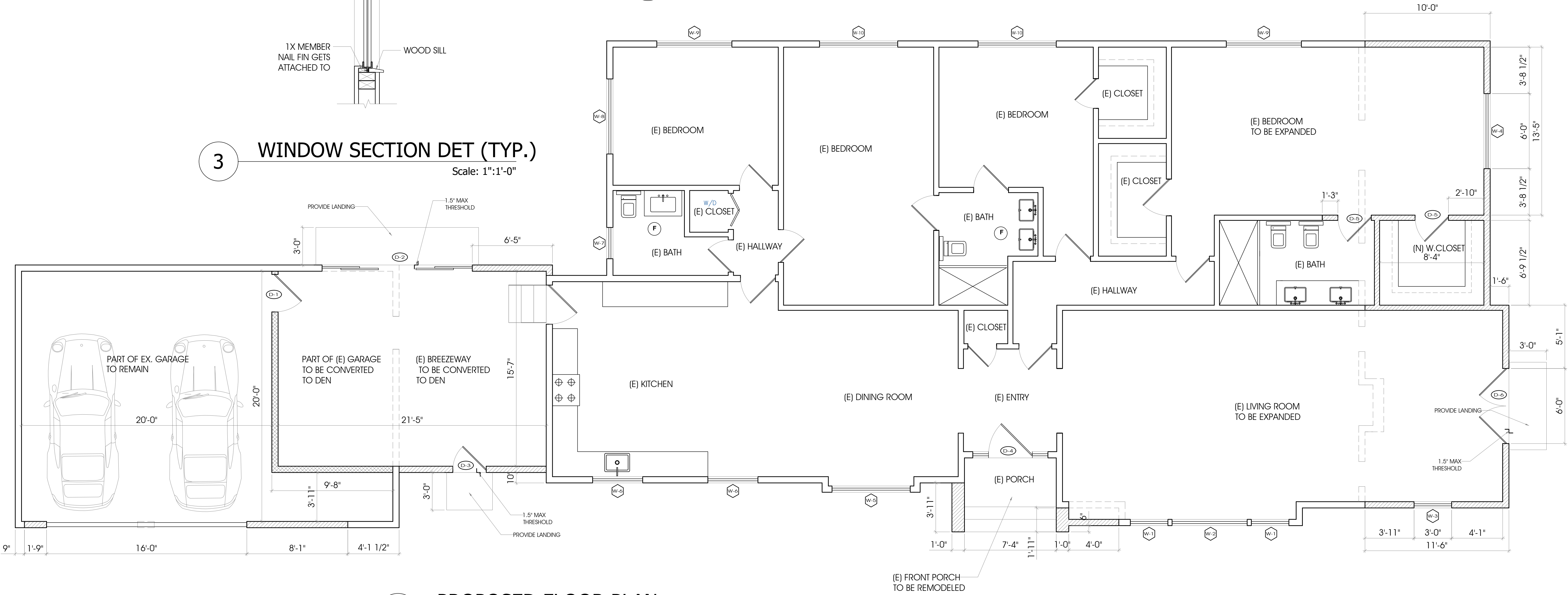
- LEGEND:**
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE DEMO
 - NEW STUD WALL 2 X 4 @ 16 O.C.
 - NEW 1 HR RATED STUD WALL 2 X 4 @ 16 O.C. SEE DET. 1 ON A-2.



2 WINDOW PLAN DET (TYP.)
 Scale: 1"=1'-0"



3 WINDOW SECTION DET (TYP.)
 Scale: 1"=1'-0"

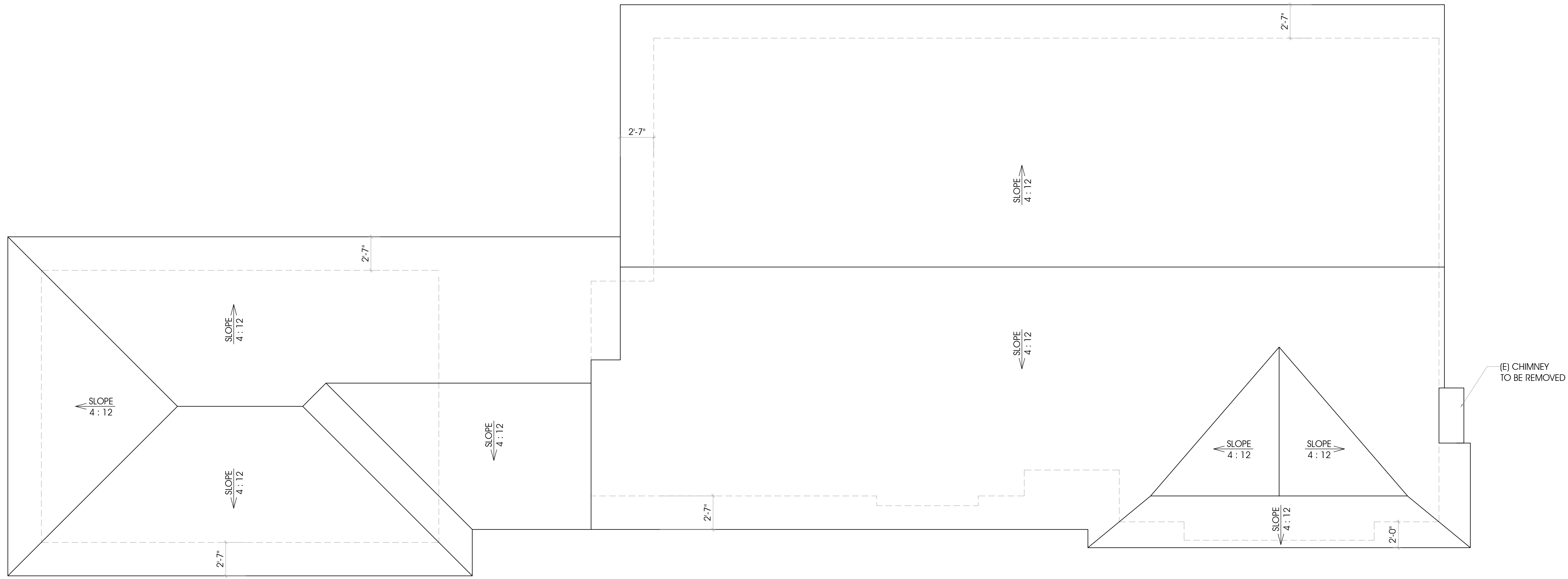


1 PROPOSED FLOOR PLAN
 Scale: 1/4"=1'-0"

NEW WINDOW SCHEDULE																				
WINDOW NUMBER	QUANTITY	EX. WIDTH X HEIGHT	NEW WIDTH X HEIGHT	EX. MATERIAL	NEW MATERIAL	VISIBLE FROM STREET?	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL)	KEEP EX. SILL & FRAME	BUILD NEW SILL AND FRAME	EX. EDGE DETAIL	NEW EDGE DETAIL	BEDROOM EGRESS	ENERGY EFFICIENT	TEMPERED GLASS	FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR	REMARK
W-1	2	3'-0" X 6'-0"	3'-0" X 6'-0"	FIBERGLASS	FIBERGLASS	Y	CASEMENT	CASEMENT	RECESSED NAIL ON	N	Y	Y	WOOD	WOOD	N	Y	Y	N	Y	REPLACEMENT
W-2	1	6'-0" X 6'-0"	6'-0" X 6'-0"	FIBERGLASS	FIBERGLASS	Y	FIXED	FIXED	RECESSED NAIL ON	N	Y	N	WOOD	WOOD	N	Y	Y	N	Y	REPLACEMENT
W-3	1	-	3'-0" X 5'-0"	-	FIBERGLASS	Y	-	CASEMENT	RECESSED NAIL ON	N	N	Y	-	WOOD	N	Y	N	N	N	NEW
W-4	1	-	6'-0" X 4'-0"	-	FIBERGLASS	Y	-	DOUBLE CASEMENT	RECESSED NAIL ON	N	-	Y	-	WOOD	Y	Y	N	N	N	NEW
W-5	1	6'-3" X 5'-0"	-	FIBERGLASS	-	Y	DOUBLE CASEMENT	-	-	N	Y	-	WOOD	-	N	Y	N	N	N	EXISTING
W-6	2	4'-0" X 3'-0"	-	FIBERGLASS	-	Y	SLIDING	-	-	N	Y	-	WOOD	-	N	Y	N	N	N	EXISTING
W-7	1	2'-6" X 3'-0"	-	FIBERGLASS	-	N	AWNING	-	-	N	Y	-	WOOD	-	N	Y	Y	N	N	EXISTING
W-8	1	6'-0" X 4'-0"	-	FIBERGLASS	-	N	SLIDING	-	-	Y	Y	-	WOOD	-	Y	Y	N	N	N	EXISTING
W-9	2	6'-0" X 2'-4"	-	FIBERGLASS	-	N	SLIDING	-	-	N	Y	-	WOOD	-	N	Y	N	N	N	EXISTING
W-10	2	6'-3" X 4'-5"	-	FIBERGLASS	-	N	SLIDING	-	-	Y	Y	-	WOOD	-	Y	Y	N	N	N	EXISTING

FOR ALL WINDOWS AND GLAZED DOORS U-FACTOR 0.30 AND SHGC 0.23

NEW DOOR SCHEDULE					
DOOR NUMBER	WIDTH X HEIGHT	MATERIAL	TYPE	GLAZING	REMARKS
D-1	3'-0" X 6'-8"	WOOD	SWING	NO	20 MIN. RATED
D-2	12'-0" X 8'-0"	VINYL	MULTI SLIDE	DUAL	TEMPERED
D-3	3'-0" X 8'-0"	WOOD	SWING	DUAL	TEMPERED
D-4	3'-6" X 8'-0"	WOOD	SWING	DUAL	TEMPERED
D-5	2'-8" X 6'-8"	HOLLOW CORE	SWING	NO	
D-6	6'-0" X 6'-8"	VINYL	SLIDING	DUAL	TEMPERED



1 EX. ROOF PLAN
 Scale: 1/4":1'-0" 

OWNER	PROJECT	LOCATION
PETROS SARAFIAN	ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN	533 SUNSET RD. GLENDALE, CA 91202

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 OF SHEETS

OWNER: PETROS SARAFIAN
 PROJECT: ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN
 LOCATION: 533 SUNSET RD. GLENDALE, CA 91202

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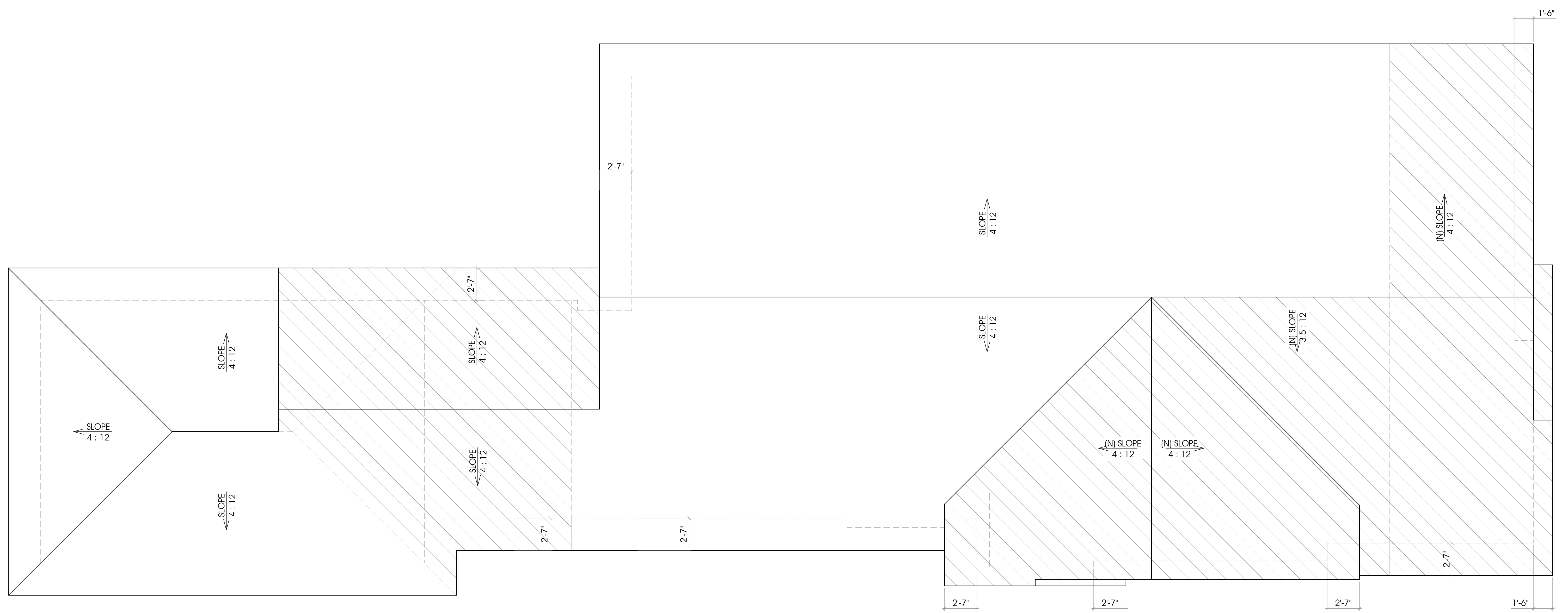
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A-3.2
OF SHEETS

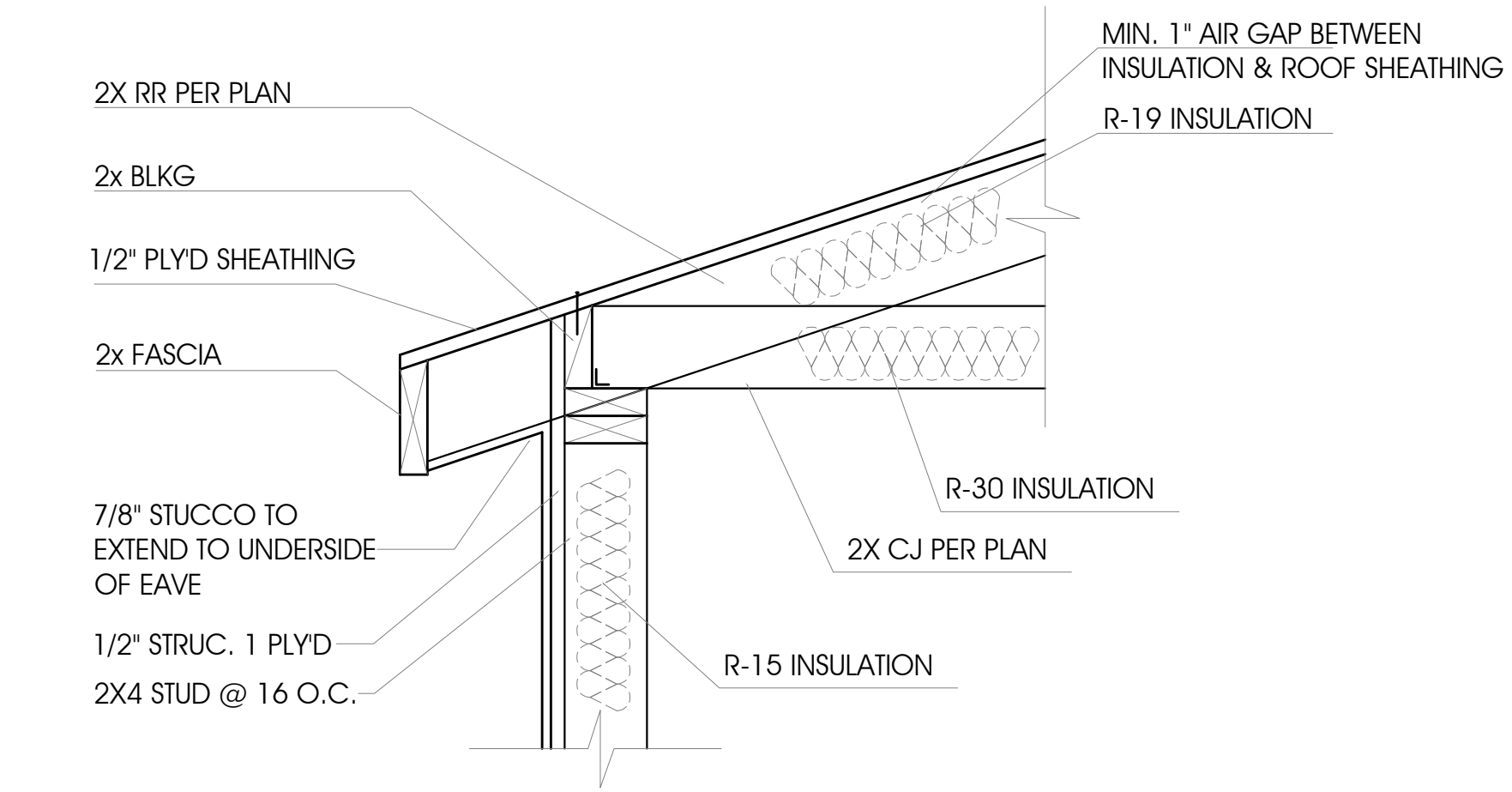
LEGEND:

 PROPOSED ROOF

ROOFING MATERIAL: CLASS 'A' CONC. TILE ROOF TO MATCH EXISTING
 PRODUCT CRR: 0942-0076
 3YR. REF.: 0.26
 3YR. EMIT.: 0.91
 3YR. SRI: 27
 CERTIFICATION: UES ER-412
 NOTE: ROOFING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



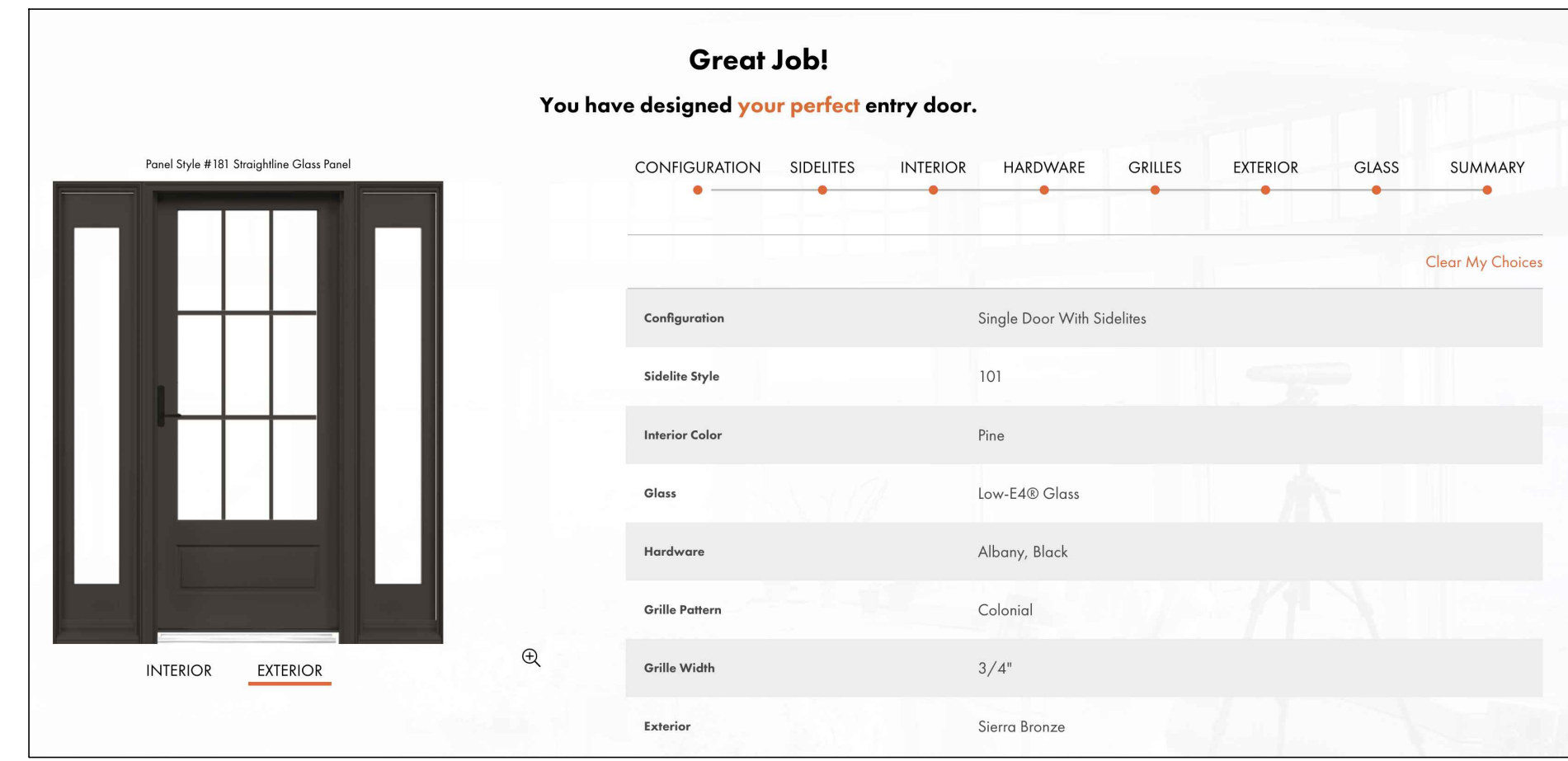
1 PROPOSED ROOF PLAN 
Scale: 1/4"=1'-0"



DETAIL - 1 1 HOUR EAVE DETAIL
SCALE: NTS



NEW GARAGE DOOR



NEW ENTRY DOOR

- EXTERIOR FINISHES:
- 1 (E) CONCRETE TILE ROOFING
 - 2 (N) CONCRETE TILE ROOFING TO MATCH EXISTING
 - 3 (E) 7/8" STUCCO, SAND FINISH
 - 4 (N) 7/8" STUCCO TO MATCH EXISTING
 - 5 (E) BRICK VENEER
 - 6 (N) BRICK VENEER TO MATCH EXISTING
 - 7 (N) WOOD SIDING TO MATCH EXISTING
 - 8 (N) PAVING STONE

ARCH-DESIGN & CONSTRUCTION CO., INC.
TEL (818) 517-5224
409 IRVING DR. BURBANK, CA 91504

OWNER: PETROS SARAFIAN
PROJECT: ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN
LOCATION: 533 SUNSET RD. GLENDALE, CA 91202

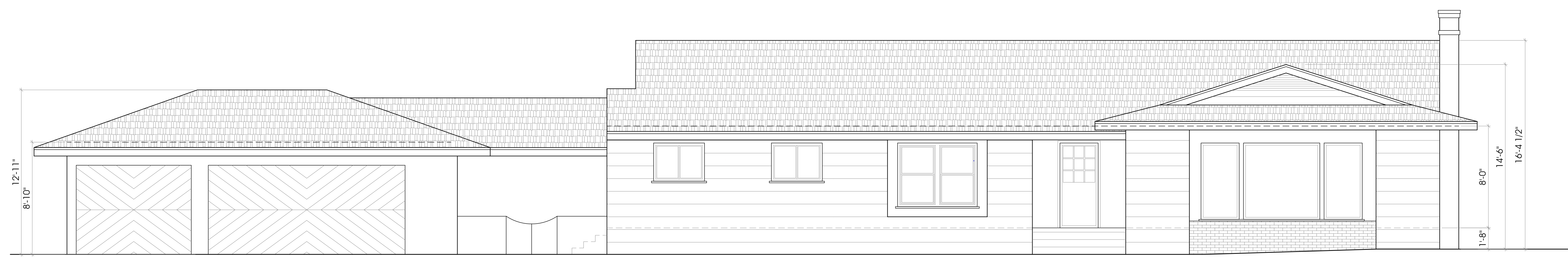
AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

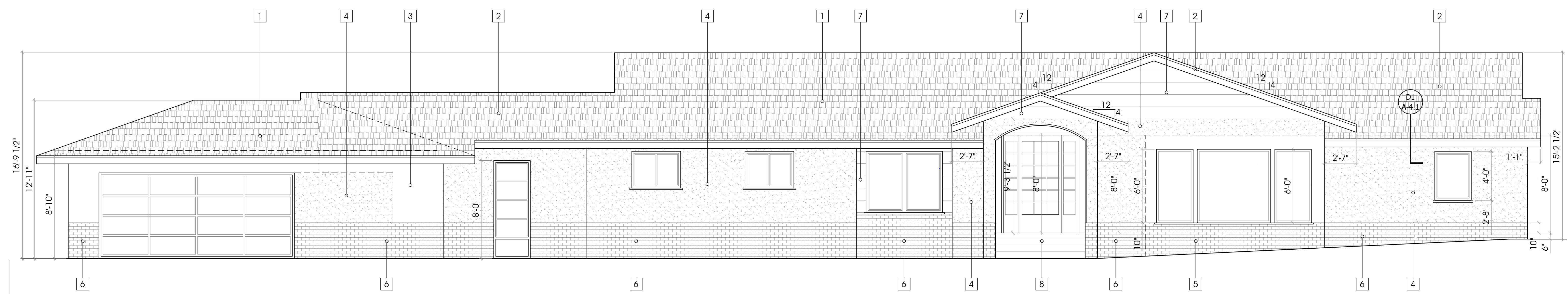
REVISIONS		
NO.	ISSUE	BY

DRAWN BY: AM
CHECKED BY: ARAM M.
DESIGN BY: ARAM M.
SCALE:
DATE:
JOB NO.:

SHEET NUMBER:
A-4.1
OF SHEETS



1 EX. SOUTH ELEVATION
Scale: 1/4":1'-0"



2 PR. SOUTH ELEVATION
Scale: 1/4":1'-0"

EXTERIOR FINISHES:

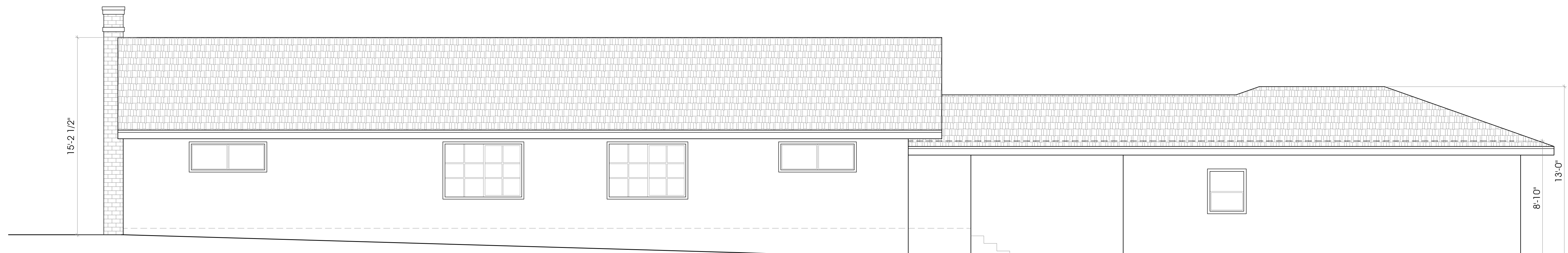
- 1 (E) CONCRETE TILE ROOFING
- 2 (N) CONCRETE TILE ROOFING TO MATCH EXISTING
- 3 (E) 7/8" STUCCO, SAND FINISH
- 4 (N) 7/8" STUCCO TO MATCH EXISTING
- 5 (E) BRICK VENEER
- 6 (N) BRICK VENEER TO MATCH EXISTING
- 7 (E) WOOD SIDING
- 8 (N) WOOD SIDING TO MATCH EXISTING

ARCH-DESIGN
& CONSTRUCTION CO., INC.

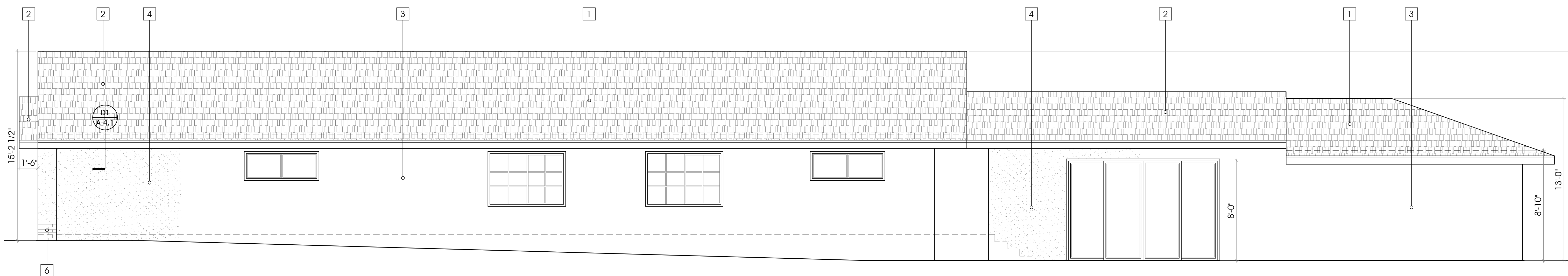
TEL (818) 517-5224

409 IRVING DR.
BURBANK, CA 91504

OWNER: PETROS SARAFIAN
PROJECT: ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN
LOCATION: 533 SUNSET RD. GLENDALE, CA 91202



1 EX. NORTH ELEVATION
Scale: 1/4":1'-0"



2 PR. NORTH ELEVATION
Scale: 1/4":1'-0"

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REVISIONS		
NO.	ISSUE	BY

DRAWN BY	AM
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-4.2
OF SHEETS

EXTERIOR FINISHES:

- 1 (E) CONCRETE TILE ROOFING
- 2 (N) CONCRETE TILE ROOFING TO MATCH EXISTING
- 3 (E) 7/8" STUCCO, SAND FINISH
- 4 (N) 7/8" STUCCO TO MATCH EXISTING
- 5 (E) BRICK VENEER
- 6 (N) BRICK VENEER TO MATCH EXISTING
- 7 (E) WOOD SIDING
- 8 (N) WOOD SIDING TO MATCH EXISTING

ARCH-DESIGN
& CONSTRUCTION CO., INC.

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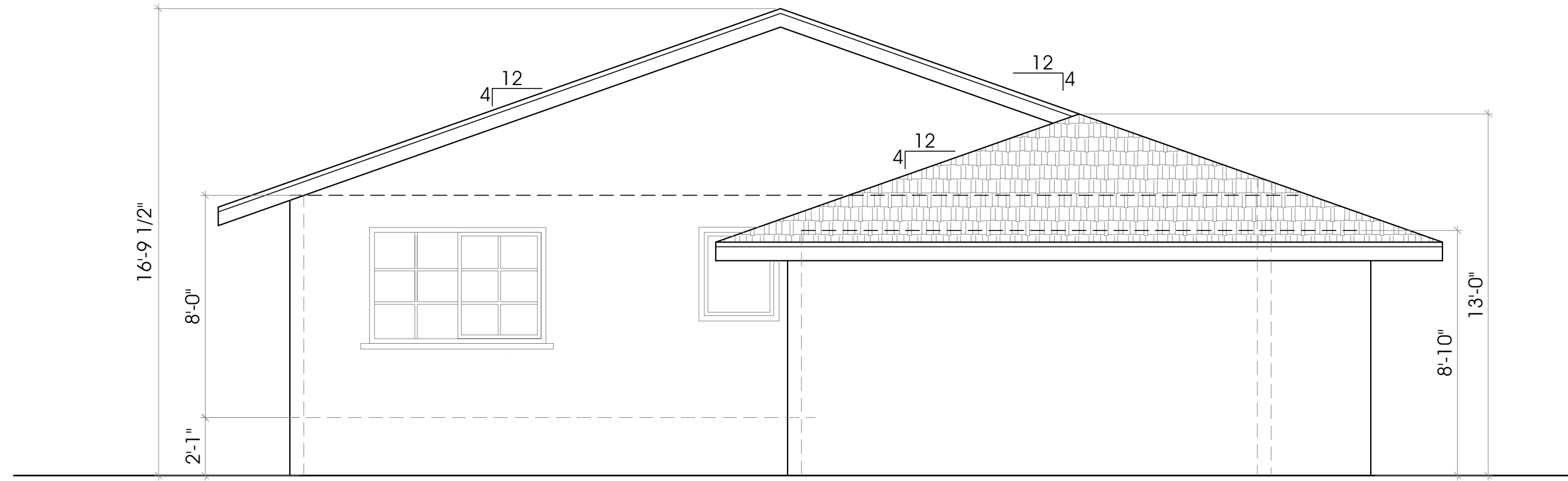
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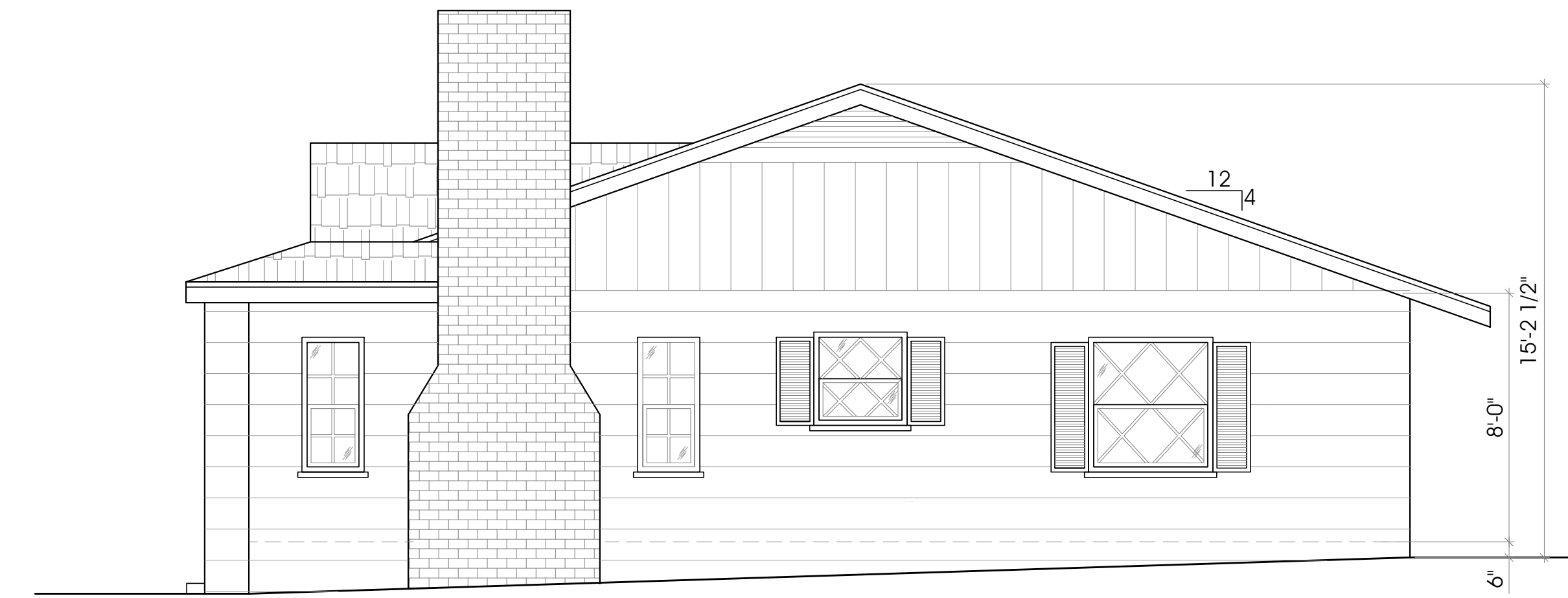
REVISIONS		
NO.	ISSUE	BY

DRAWN BY	AM
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

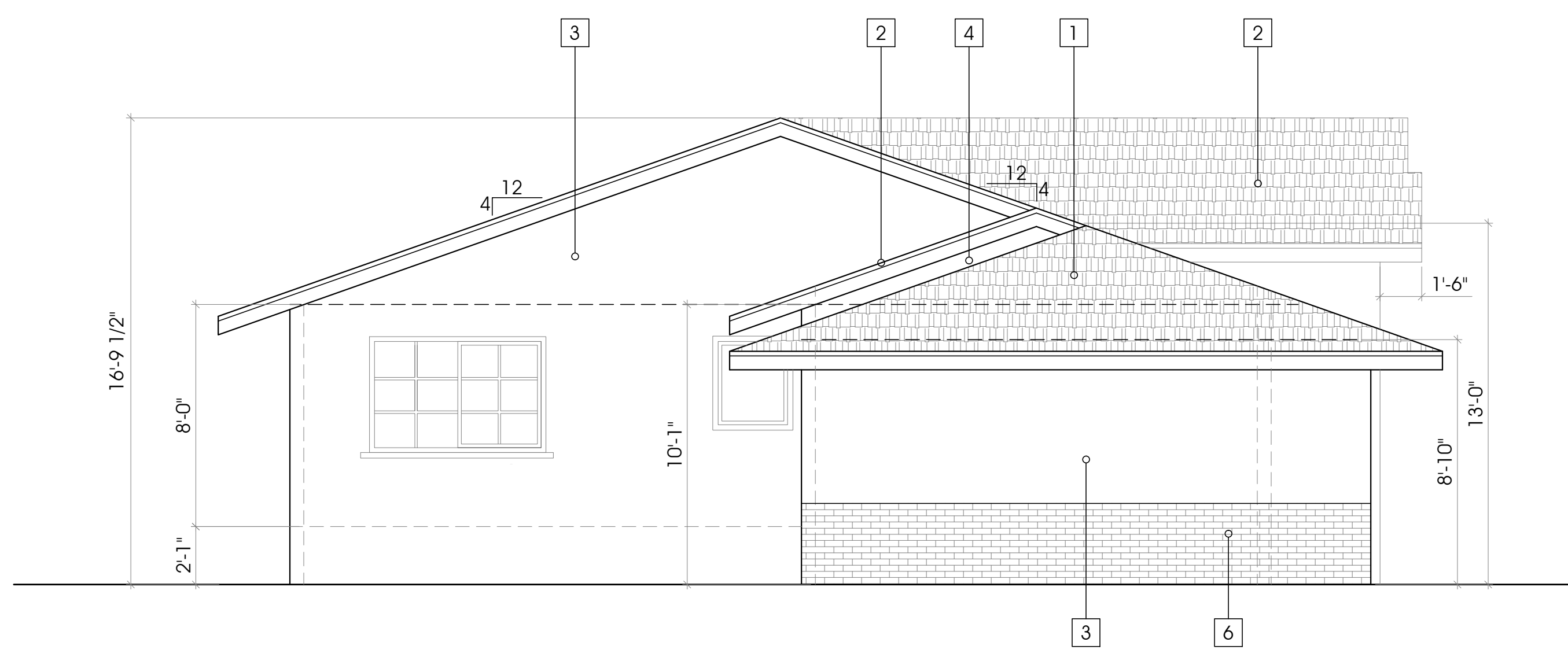
SHEET NUMBER:
A-4.3
OF SHEETS



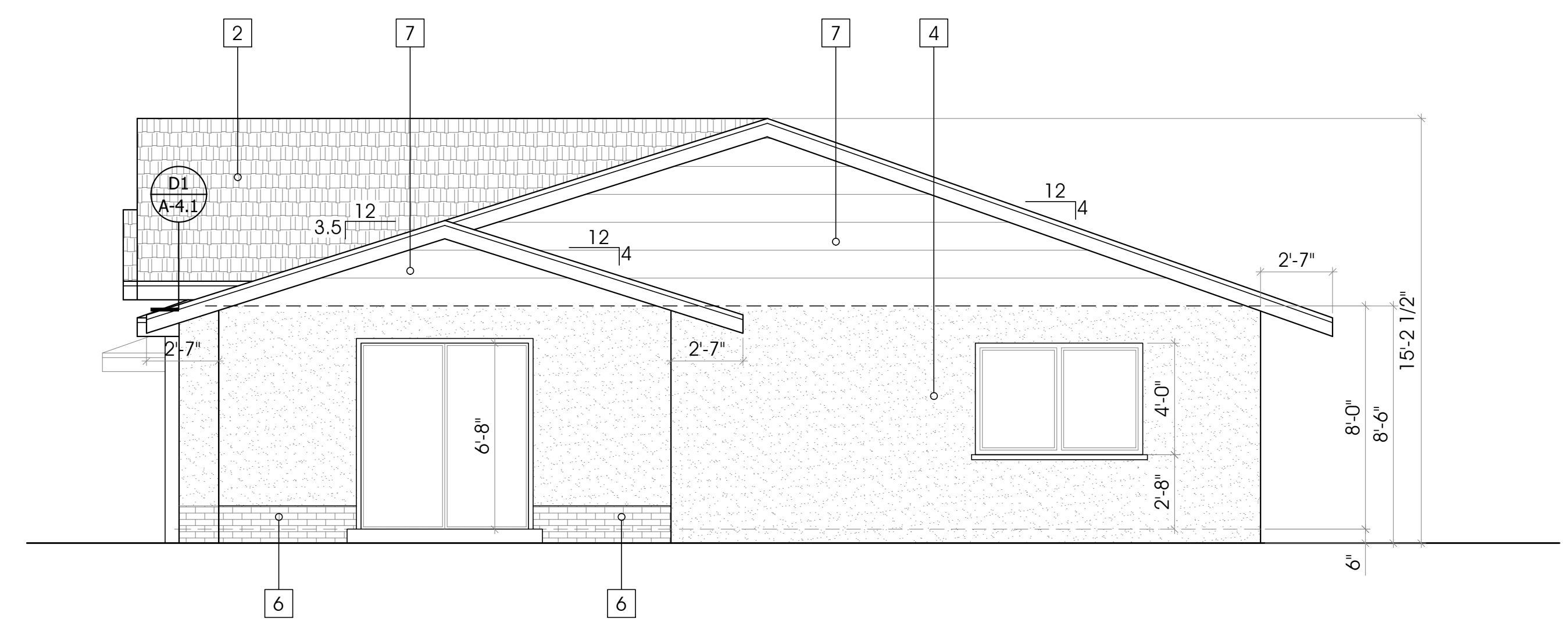
1 EX. WEST ELEVATION
Scale: 1/4":1'-0"



3 EX. EAST ELEVATION
Scale: 1/4":1'-0"



2 PR. WEST ELEVATION
Scale: 1/4":1'-0"



4 PR. EAST ELEVATION
Scale: 1/4":1'-0"

OWNER: PETROS SARAFIAN
PROJECT: ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN
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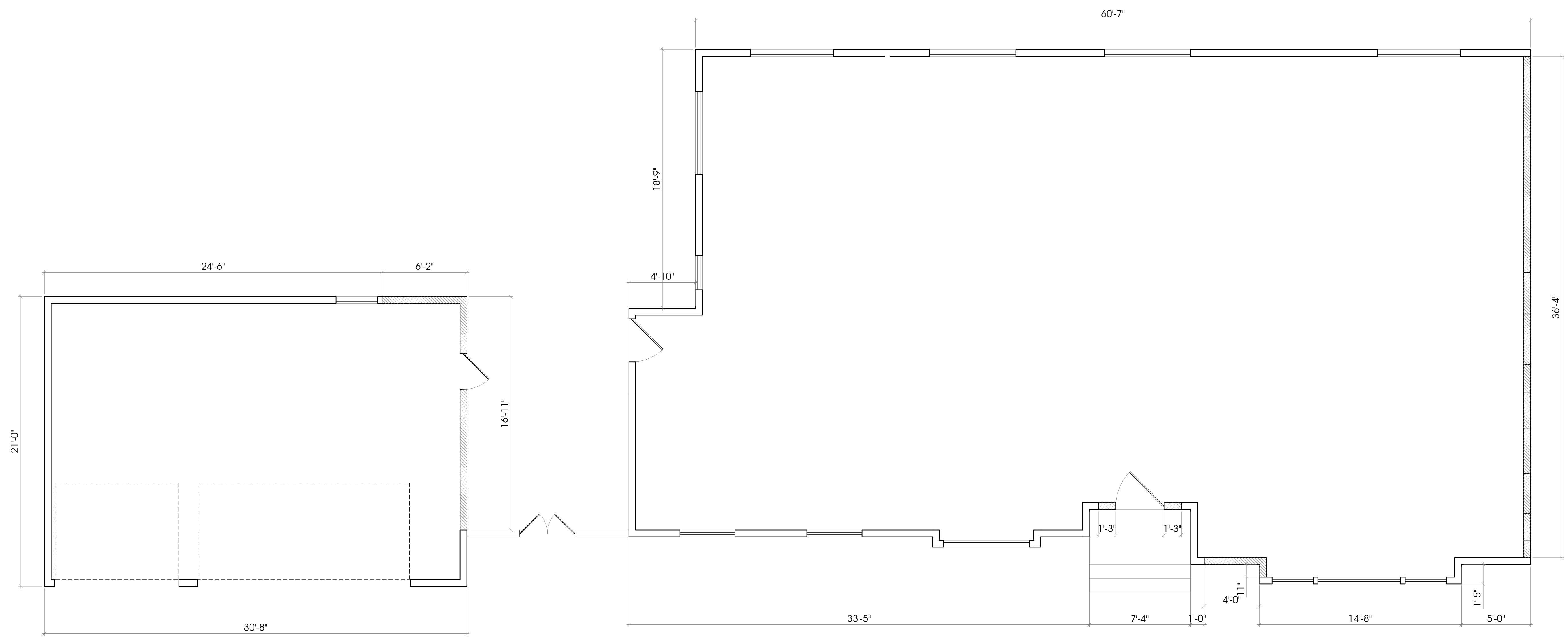
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REVISIONS		
NO.	ISSUE	BY

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CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-5.1
OF SHEETS

LEGEND:
 EXISTING EXTERIOR WALL TO REMAIN
 EXISTING EXTERIOR WALL TO BE DEMO



1 DEMO DIAGRAM
Scale: 1/4":1'-0" 

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NO.	ISSUE	BY

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CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-5.2
OF SHEETS

LEGEND:

-  AREA TO BE DEMO
-  AREA TO BE DEMO
-  AREA TO REMAIN

WALL DEMO CALC:

ELEVATION A:
755.15 + 56.39 811.54

TO REMAIN-	TO DEMO-
a. 237.06	A. 8.64
b. 300.58	B. 8.64
c. 4.61	C. 39.11
d. 4.61	TOTAL: 56.39
e. 184.1	
f. 24.19	
TOTAL: 755.15	

ELEVATION B:
728.36 + 47.67 776.03

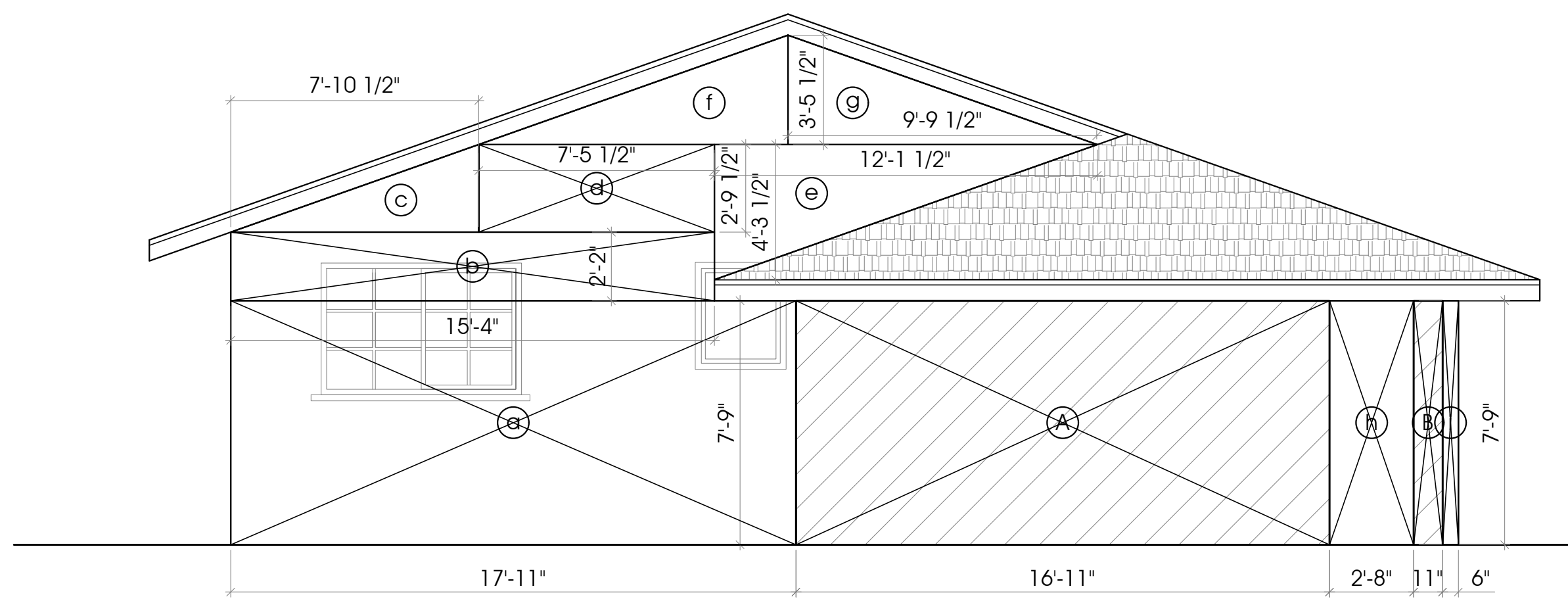
TO REMAIN-	TO DEMO-
a. 449.03	A. 47.67
b. 52.58	TOTAL: 47.67
c. 37.36	
d. 189.39	
TOTAL: 728.36	

ELEVATION C:
287.93 + 137.86 425.79

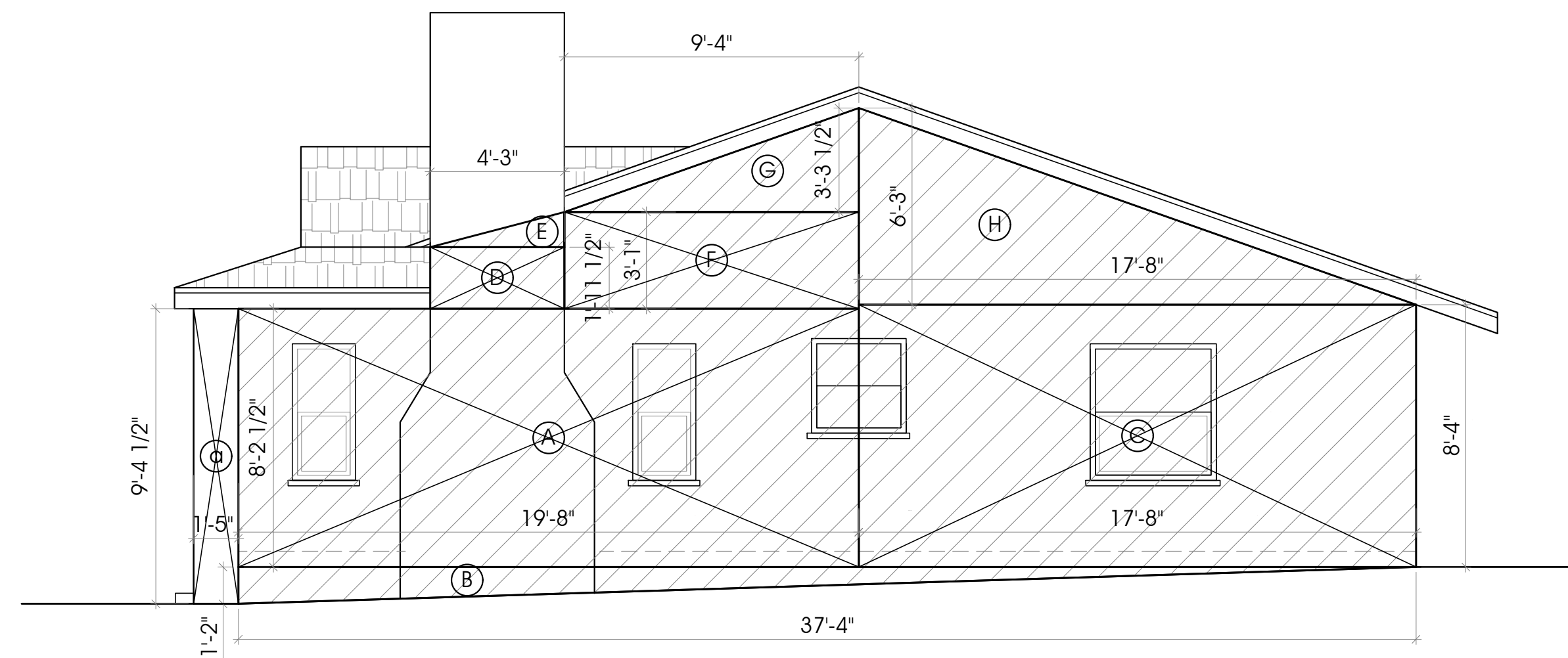
TO REMAIN-	TO DEMO-
a. 138.5	A. 130.77
b. 33.37	B. 7.09
c. 10.91	TOTAL: 137.86
d. 20.73	
e. 26.00	
f. 16.97	
g. 16.97	
h. 20.61	
i. 3.87	
TOTAL: 287.93	

ELEVATION D:
13.26 + 439.78 453.04

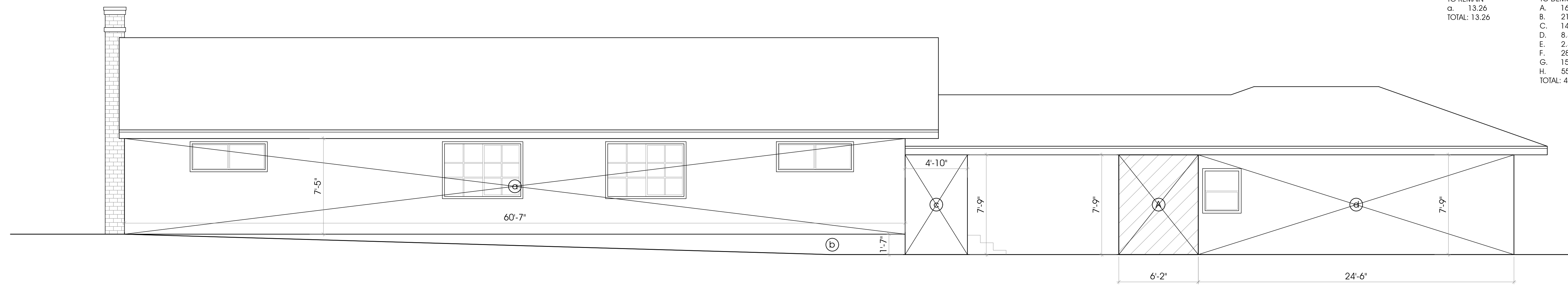
TO REMAIN-	TO DEMO-
a. 13.26	A. 161.16
TOTAL: 13.26	B. 21.78
	C. 147.05
	D. 8.31
	E. 2.37
	F. 28.66
	G. 15.37
	H. 55.08
	TOTAL: 439.78



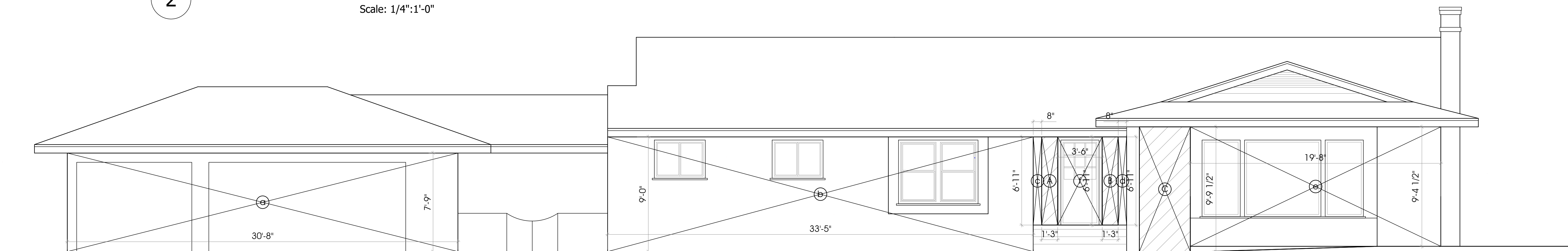
3 WEST ELEVATION C
Scale: 1/4":1'-0"



4 EAST ELEVATION D
Scale: 1/4":1'-0"



2 NORTH ELEVATION B
Scale: 1/4":1'-0"



1 SOUTH ELEVATION A
Scale: 1/4":1'-0"




ROOF DEMO CALC:

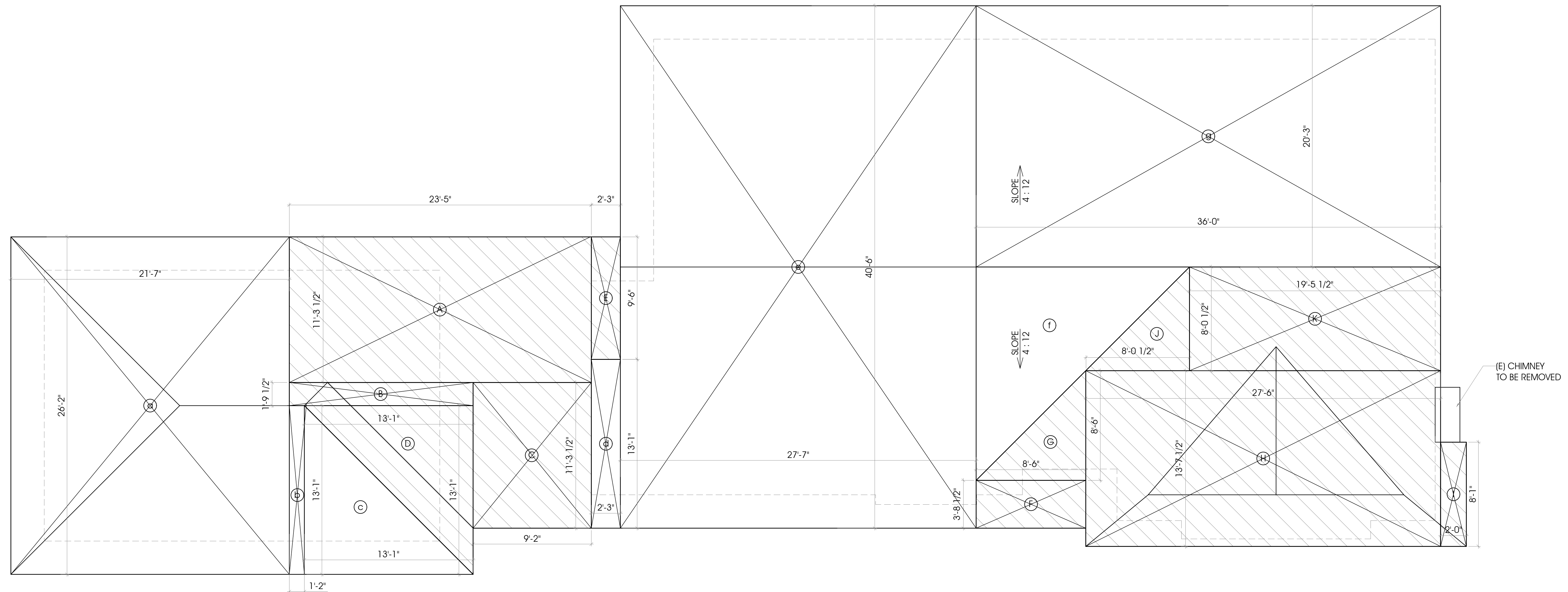
2678.08 + 1147.69 = 3825.77	
ROOF AREA TO REMAIN:	ROOF AREA TO DEMO:
a. 564.76	A. 264.41
b. 15.26	B. 25.53
c. 85.59	C. 103.51
d. 29.44	D. 85.59
e. 1117.13	E. 21.38
f. 136.81	F. 31.52
g. 729.09	G. 36.13
	H. 374.61
TOTAL: 2678.08	I. 16.17
	J. 32.33
	K. 156.51
	TOTAL: 1147.69

DEMO CALC TOTALS:

ELEVATION A	TOTAL	DEMO
811.54	811.54	56.39
ELEVATION B	776.03	47.67
ELEVATION C	425.79	137.86
ELEVATION D	453.04	439.78
ROOF	3825.77	1147.69
TOTAL	6292.17	1829.39
	1829.39 / 6292.17	29.07%

LEGEND:

-  EXISTING ROOF TO BE DEMO
-  EXISTING ROOF TO BE DEMO
-  EXISTING ROOF TO REMAIN



1 ROOF DEMO
Scale: 1/4"=1'-0" 

OWNER: PETROS SARAFIAN
PROJECT: ADDITION TO EX. HOUSE, EX. BREEZEWAY AND PORTION OF EX. GARAGE TO BE CONVERTED TO DEN
LOCATION: 533 SUNSET RD. GLENDALE, CA 91202

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NO.	ISSUE	BY

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DESIGN BY	ARAM M.
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DATE	
JOB NO.	

SHEET NUMBER:
A-5.3
OF SHEETS

OWNER: PETROS SARAFIAN
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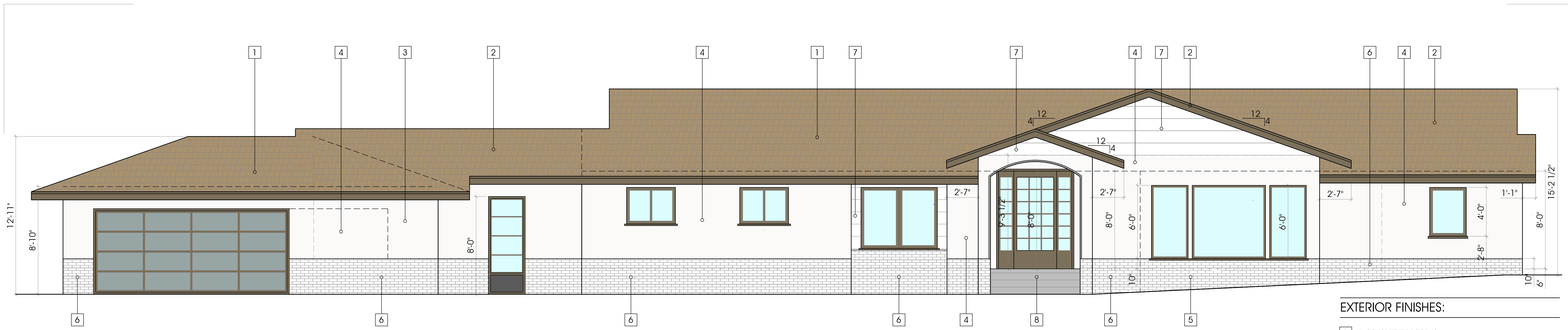
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SHEET NUMBER:

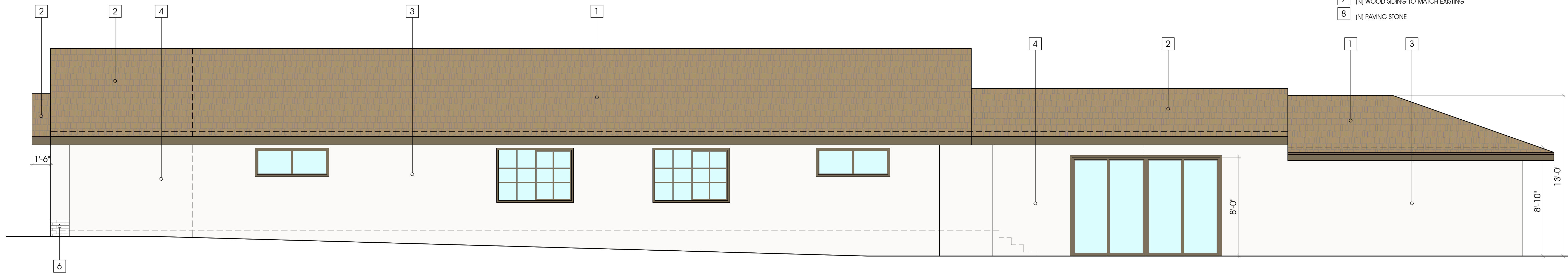
OF SHEETS



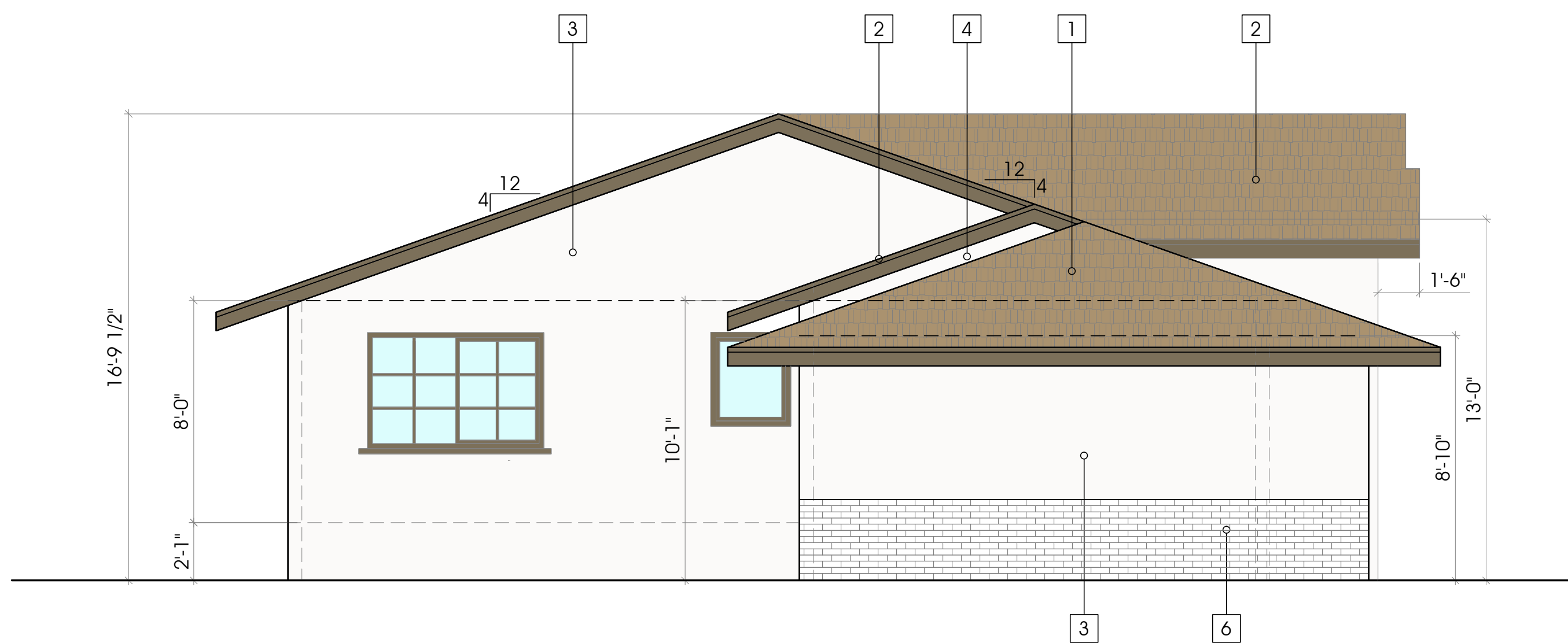
EXTERIOR FINISHES:

- 1 (E) CONCRETE TILE ROOFING
- 2 (N) CONCRETE TILE ROOFING TO MATCH EXISTING
- 3 (E) 7/8" STUCCO, SAND FINISH
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- 6 (N) BRICK VENEER TO MATCH EXISTING
- 7 (N) WOOD SIDING TO MATCH EXISTING
- 8 (N) PAVING STONE

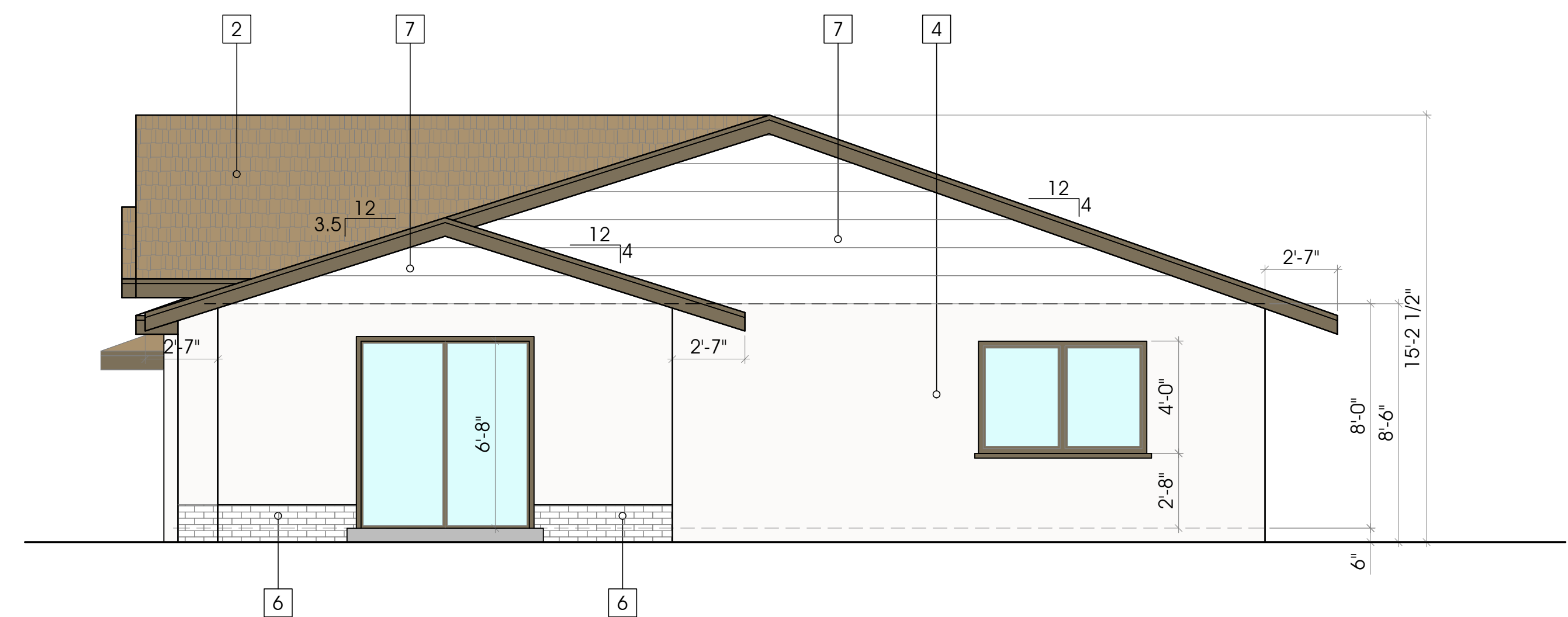
1 PR. SOUTH ELEVATION
Scale: 1/4":1'-0"



2 PR. NORTH ELEVATION
Scale: 1/4":1'-0"



3 PR. WEST ELEVATION
Scale: 1/4":1'-0"



4 PR. EAST ELEVATION
Scale: 1/4":1'-0"

EXTERIOR MATERIALS



4530 Weathered Adobe - Range of Tan, Rust Streaks
CRAC 0918-0017 Ref.23 Emi.92 Sri24 A.Ref.26 A.Emi.90 A.Sri 27

1

Eagle Roofing Light Concrete Tile
Bel Air Collection: Weathered Adobe



2

La Habra Stucco
IN COLOR DOVE GREY IN SMOOTH FINISH



7

HARDIE PLANK SIDING
CEDARMILL FINISH IN ARCTIC WHITE



5

BRICK VENEER WAINSCOTTING
LIGHT OFF WHITE/CREAM COLOR



4

INTERIOR EXTERIOR

EXTERIOR DOOR
DARK BRONZE
(PHOTO IS AN EXAMPLE)



3

Andersen E-Series
COLOR: DARK BRONZE

PROJECT: 533 SUNSET RD. GLENDALE, CA 91202

Prairie Grass	Flagstone	Sandtone
Cocoa Bean	Sierra Bronze	Dark Bronze
Sage	Billiard Green	Moss
Blue Denim	Watercolor Blue	Caribbean Blue
Mystic Gray	Dark Ash	Black



6

GARAGE DOOR
(PHOTO IS AN EXAMPLE)



















LOCATION MAP

SCALE: 1" = 200'



--- 500' RADIUS

ARCH DESIGN
& CONSTRUCTION

PROJECT: 533 SUNSET RD. GLENDALE, CA 91202

VICINITY & PHOTO SURVEY MAP

SCALE: 1" = 100'



SURVEY LIST

	ADDRESS	HEIGHT (STORIES)	FAR	SETBACK	HOUSE SIZE (SQFT.)	LOT SIZE (SQFT.)
1	1600 HILLCREST AVE.	2	0.13	26'-6"	5,200	38,570
2	1603 HILLCREST AVE.	1	0.16	63'-0"	3,857	23,750
3	1565 HILLCREST AVE.	1	0.17	58'-6"	4,429	26,270
4	1566 HILLCREST AVE.	2	0.22	62'-0"	3,591	16,652
5	1565 RIDGEWAY DR.	1	0.14	46'-9"	2,404	17,005
6	1600 RIDGEWAY DR.	1	0.25	30'-0"	1,762	6,987
7	1601 N. PACIFIC AVE.	2	0.23	33'-0"	2,439	10,452
8	1566 RIDGEWAY DR.	1	0.28	28'-0"	2,005	7,280
9	1565 N. PACIFIC AVE.	2	0.23	34'-3"	2,883	12,320
10	1607 RIDGEWAY DR.	2	0.21	48'-0"	2,403	11,500
11	1611 RIDGEWAY DR.	1	0.18	58'-0"	2,191	11,985
12	1617 RIDGEWAY DR.	1	0.16	58'-0"	2,229	14,220
13	1621 RIDGEWAY DR.	2	0.26	58'-0"	3,674	13,983
14	1627 RIDGEWAY DR.	1	0.17	59'-0"	2,461	14,160
15	1606 RIDGEWAY DR.	1	0.28	27'-0"	2,134	7,645
16	1610 RIDGEWAY DR.	1	0.30	28'-0"	2,390	7,920
17	1614 RIDGEWAY DR.	1	0.18	29'-0"	1,526	8,580
18	1618 RIDGEWAY DR.	1	0.21	27'-0"	1,923	9,063
19	1624 RIDGEWAY DR.	2	0.41	21'-0"	4,099	10,050



1 1600 HILLCREST AVE.



2 1603 HILLCREST AVE.



3 1565 HILLCREST AVE.



4 1566 HILLCREST AVE.



5 1565 RIDGEWAY DR.



6 1600 RIDGEWAY DR.



7 1601 N. PACIFIC AVE.



8 1566 RIDGEWAY DR.



9 1565 N. PACIFIC AVE.



10 1607 RIDGEWAY DR.



11 1611 RIDGEWAY DR.



12 1617 RIDGEWAY DR.



13 1621 RIDGEWAY DR.



14 1627 RIDGEWAY DR.



15 1606 RIDGEWAY DR.



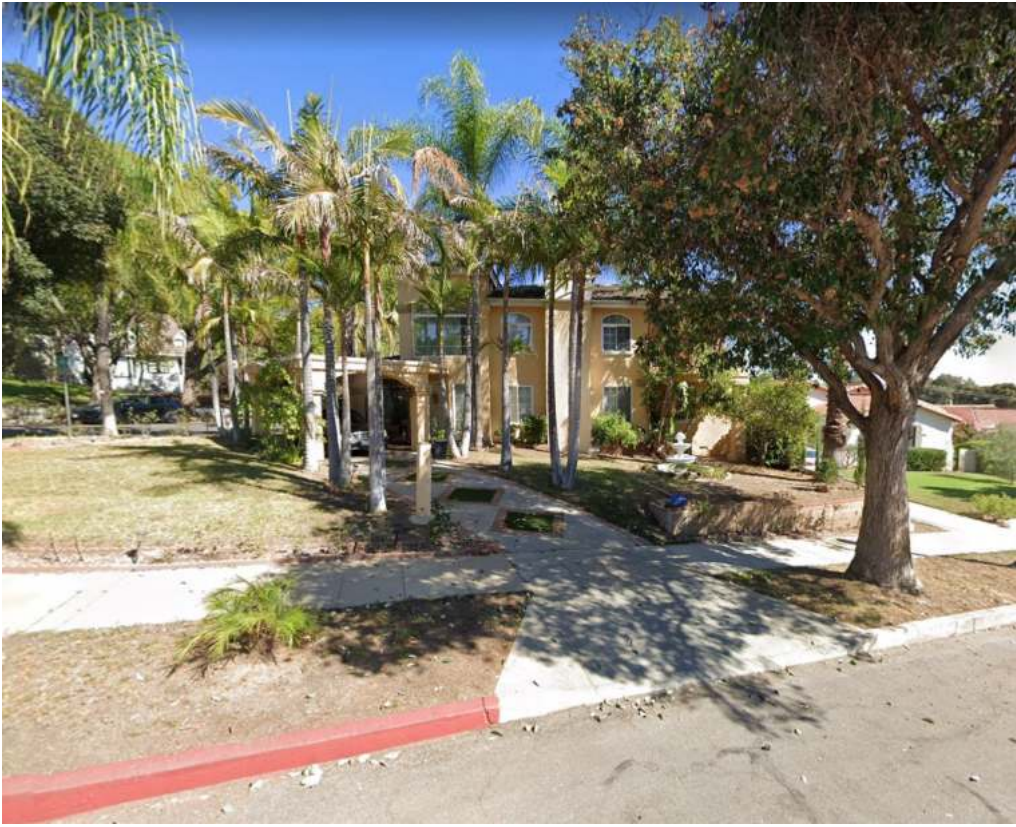
16 1610 RIDGEWAY DR.



17) 1614 RIDGEWAY DR.



18) 1618 RIDGEWAY DR.



19) 1624 RIDGEWAY DR.



20) 1561 RIDGEWAY DR.



21 1555 RIDGEWAY DR.



22 1553 RIDGEWAY DR.



23 1560 RIDGEWAY DR.



24 1556 RIDGEWAY DR.



25 1552 RIDGEWAY DR.



26 1548 RIDGEWAY DR.