



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

| | |
|---|---|
| September 4, 2023 <i>Decision Date</i> | 1733 Don Carlos Avenue <i>Address</i> |
| Administrative Design Review (ADR) <i>Review Type</i> | 5653-008-016 <i>APN</i> |
| PADR-001318-2023 <i>Case Number</i> | Timothy Clark <i>Applicant</i> |
| Dennis Joe, Senior Planner <i>Case Planner</i> | Sharon Rogers <i>Owner</i> |

Project Summary

The applicant is proposing to construct a 245 square foot (SF) addition at the rear to an existing 1,190 SF, one-story, single-family residence (constructed in 1927), with an existing attached two-car garage on a 5,650 SF corner lot, zoned R1 (Floor Area District II).

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the additions.

Existing Property/Background

The project site is a 5,650 square-foot corner lot, located on the northwest corner of Don Carlos Avenue and Rustic Lane. The parcel is irregularly-shaped with a relatively flat topography. The subject lot is developed with an existing 1,190 SF, one-story, single-family residence house that is centrally sited on the lot and a 400 square-foot, detached, garage located at the northern (rear) portion of the property accessed from Rustic Lane.

A single protected indigenous tree (Sycamore) is on or within 20 feet of the subject property of the trees is proposed to be remain. The City's Urban Forester had visited the subject property, reviewed the project planst, and does not anticipate negative impacts to these trees.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

On January 31, 2023, the Director of Community Development approved an Administrative Exception application allowing a minor 254 square-foot addition to extend one foot into the required interior setback (3-foot interior setback proposed; 4-foot interior setback required), as required by Chart I of Chapter 30.11.030 of the Glendale Municipal Code.

Site Slope and Grading

None proposed.

Neighborhood Survey

| | Average of Properties within 300 linear feet of subject property | Range of Properties within 300 linear feet of subject property | Subject Property Proposal |
|-------------------|--|--|---------------------------|
| Lot size | 6,956 SF | 3,661 SF – 13,875 SF | 5,650 SF |
| Setback | 27 Ft | 20 Ft – 35 Ft | 25 Ft |
| House size | 1,455 SF | 769 SF – 2,786 SF | 1,435 SF |
| Floor Area Ratio | 0.23 | 0.1 – 0.47 | 0.25 |
| Number of stories | Primarily 1 | 1- and 2-story | 1-story |

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Predominant pattern on block
- Compatible with primary structure

- Permeable paving material
- Decorative paving

Access into the garage will be maintained from an existing concrete/brick driveway that is accessed from Finehill Avenue.

Landscape Design

- yes** **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

- yes** **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed project will be sited along the western and northern interior yards between the existing dwelling and detached garage. The minor addition will not change the street front or street side setback pattern of the neighborhood.
- The site planning of the proposed project will generally follow the shape of the lot and does not significantly alter the site planning of the lot.
- The addition will extend the building's street side facade property along Rustic Lane and will be set back approximately 22-feet from the street side property line, and continue the building's non-conforming 3-foot interior setback from the western property line.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

- yes** **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern

- Impact of larger building minimized

Building Relates to Existing Topography

- yes** **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

The project addition’s will be mainly sited on previously graded flat portions of the lot with portions of the bedroom and garage additions will be set into the northern slope to allow the profile the building follow the topography of the site.

Consistent Architectural Concept

- yes** **n/a** **no**

If “no” select from below and explain:

- Concept governs massing and height

Scale and Proportion

- yes** **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

- yes** **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall massing of the project will be compatible with nearby dwellings in terms of mass and scale. The one-story additions will not project above the existing height of the building (approximately 12 feet) and will not alter the massing of the house viewed from Rustic Lane.
- The house relates well to the context of the neighborhood, where the majority of the homes are single story. The proposed home gym creates additional modulations to the east elevation and is consistent with the overall character of the house.

- The addition is configured with a gable roof and appropriate to the style of the building.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy

Wrap corners and terminate appropriately

Paving Materials

yes **n/a** **no**

If "no" select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If "no" select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The project includes quality materials that complement the style of the building at the street front facade, such as, asphalt roofing shingles, stucco and wooden fascia.
 - The proposed elevations and vertical window sections demonstrate appropriate wooden windows will be constructed into the wall with a recessed placement with sills and stucco bullnose surrounds that complement the aesthetic and curb appeal of the property.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**.

Attachments

1. Reduced Plans
2. Neighborhood Survey/ Photos
3. Location Map
4. Interdepartmental Comment – Urban Forestry

DOOR & WINDOW NOTES

- All doors and windows opening to the exterior, garage, or otherwise uninsulated space, shall be fully weather-stripped, gasketed, or otherwise treated to inhibit water and air infiltration. All weather sealed doors shall have door bottoms unless noted otherwise.
- All weather sealed doors and windows, shall be sealed between the unit frame and stud framing with expanding foam sealant and caulked between unit frame and adjacent finished surfaces.
- All exterior doors and windows shall be fully flashed on all four sides with sheet metal or approved building paper as per building industry standards, or as otherwise shown by drawings or as directed by Cynthia Bennett & Associates.
- Openings in the building envelope separating conditioned space from unconditioned space shall be sealed.
- Door installer shall provide paint-grade or stain-grade door jambs to match existing or as otherwise noted, and thresholds for all new doors as required. For double French doors contractor shall also provide astragals and top and bottom flush bolts as required.
- All exterior and interior doors shall be installed with 1 1/2 pair of paintable brass hinges, provided by door installer, unless noted otherwise. Verify hinge size and style with designer prior to ordering.
- All exterior doors with hinges on the outside shall have nonremovable hinge pins.
- All exterior doors stops shall be of one-piece construction with the jamb.
- The strike plate for latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2 1/2" in length.
- All interior doors shall have door stops with finish and style to match knob hardware or as otherwise specified and are to be installed by finish carpenter in locations as approved by designer.
- All new exterior locksets and deadbolt locks shall be keyed alike. All deadbolts shall be locked with key from outside; the inside shall be keyless and operate without any special knowledge or effort. Cylinder guards shall be installed on all new cylinder locks whenever the cylinder projects beyond the exterior face of the door.
- All hardware to be verified and approved by designer prior to ordering and installation.
- Window and door supplier shall field verify wall framing and finish conditions where units are to be installed in existing openings or walls and is responsible for proper sizing of units.
- The operation of all hardware shall be inspected and approved by Cynthia Bennett & Associates immediately after installation.
- Glass doors, glazing in bath and shower enclosures, adjacent glass panels within 12" of doors, and all glazed openings within 18" of adjacent floors shall have glass approved for impact hazard.

GENERAL CONSTRUCTION NOTES

- All work shall conform to the 2022 California Building, Residential, Plumbing, Mechanical, Electrical, Green Building and Energy Codes, all local codes and ordinances, all industry accepted trade standards, and with all manufacturer's installation specifications and instructions.
- At time of permit issuance, contractor shall show their valid workers' compensation insurance certificate.
- All work shall conform to all requirements of State of California Title 24 regardless of the information indicated on these plans. It is the responsibility of the individual supervising the construction to ensure that the work is done in accordance with Code requirements prior to requesting inspection.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept immediately and not be washed down by rain or other means. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listings and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Do not scale drawings. Use dimensions as indicated on plans. Figures on drawings govern scaled measurements. Larger scale drawings govern smaller scale drawings.
- Contractors shall verify all work, dimensions, and details, and report any discrepancies between drawings and specifications and job site conditions to the designer prior to beginning the work. During construction the designer shall be advised of any discrepancies in plans and job site conditions.
- All interior dimensions are to finished surfaces and centerlines of columns or appliances, fixtures, etc. unless noted otherwise.
- Reference to any detail or drawing is for convenience only and does not limit the application of such detail or drawing.
- Verify size and location of all openings with all drawings and manufactured items where applicable.
- All sub-contractors are required to pay for and obtain their own permits as required by their scope of work and are responsible for having their work inspected as required by local building departments. Sub-contractors shall provide proof of inspection to Cynthia Bennett & Associates.
- Notes and details shall apply throughout the job unless noted otherwise or shown.
- No changes or substitutions in materials or methods shall be made unless approved in writing by Cynthia Bennett & Associates, Inc.
- Sub-contractors shall be responsible for maintaining in good condition any portions of the existing building or site to remain or any new work in place which is directly involved or adjacent to said contractors work. If damage occurs due to sub-contractor's negligence or failure to protect the work properly, said sub-contractor is required to repair at his expense. Sub-contractors shall also take care to protect their work from other's work.

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DOOR SCHEDULE

| QTY. | SYM | SIZE | | | TYPE / MATERIAL / GLAZING | FINISH | DETAILS | | | HARDWARE | REMARKS |
|------|-----|-------|-------|--------|---|--------|---------|------|-------|----------|--|
| | | W. | H. | T. | | | JAMB | HEAD | TRASH | | |
| 1 | 1 | 9' | 6'-8" | 1 3/4" | PATIO TRIPLE SLIDER/WD./DUAL GL. TEMPERED | PAINT | | | | | BLOCK FRAME W/ STUCCO BULLNOSE / OAK THRESHOLD - FULL WEATHERSTRIP |
| 1 | 2 | 9' | 6'-8" | 1 3/4" | PATIO TRIPLE SLIDER/WD./DUAL GL. TEMPERED | PAINT | | | | | BLOCK FRAME W/ STUCCO BULLNOSE / OAK THRESHOLD - FULL WEATHERSTRIP |
| 1 | 3 | 9' | 6'-8" | 1 3/4" | PATIO TRIPLE SLIDER/WD./DUAL GL. TEMPERED | PAINT | | | | | BLOCK FRAME W/ STUCCO BULLNOSE / OAK THRESHOLD - FULL WEATHERSTRIP |
| 1 | 4 | 2'-5" | 6'-8" | 1 3/8" | MATCH (E)/S.C. WD. | | | | | | |
| 1 | 5 | 2'-6" | 6'-8" | 1 3/8" | POCKET - MATCH (E) STYLE/S.C. WD. | PAINT | | | | | |

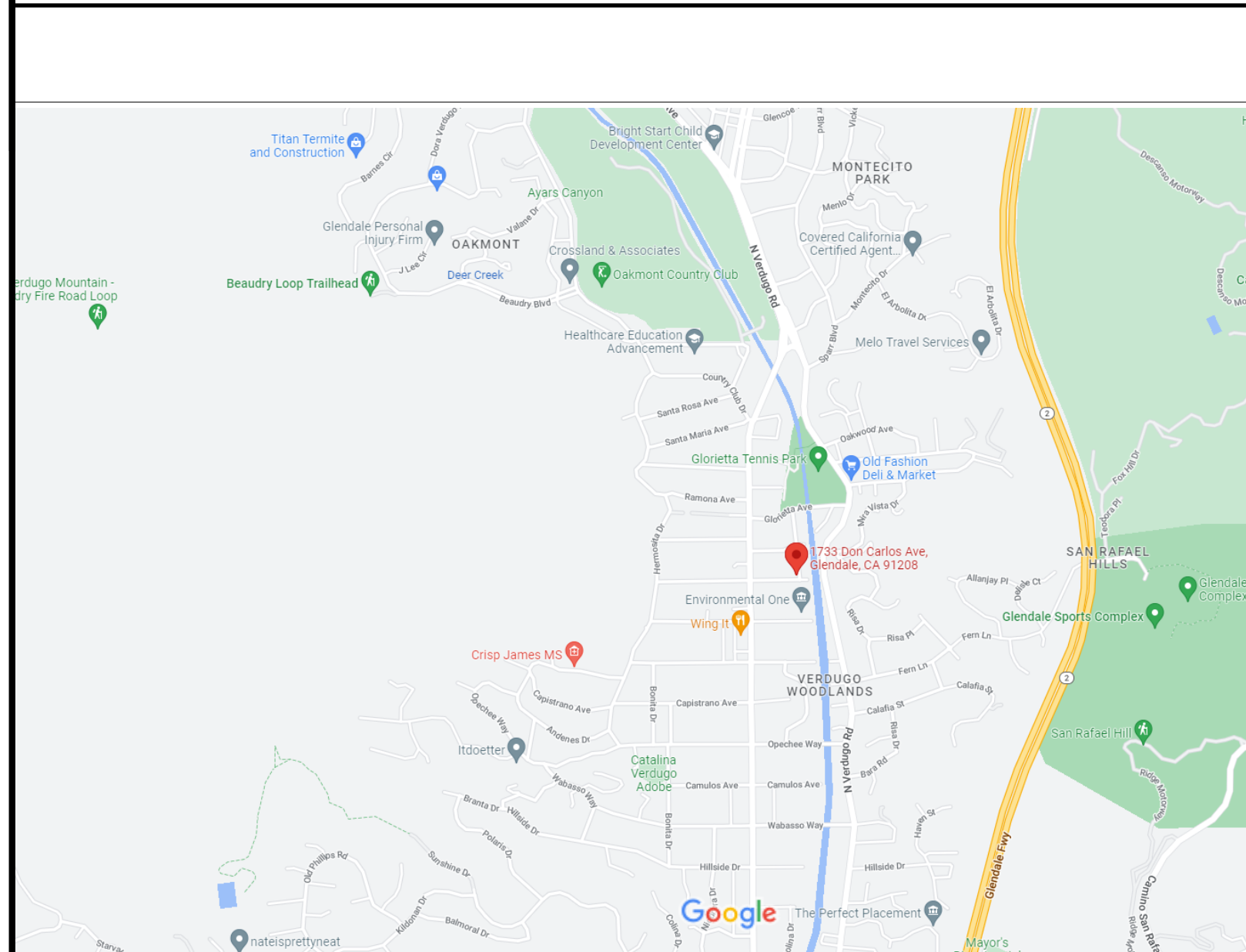
Exhibit 1 - Reduced Plans

WINDOW SCHEDULE

| WINDOW MARK | QUANTITY | EXISTING WIDTH X HEIGHT | NEW WIDTH X HEIGHT | EXISTING MATERIAL | NEW MATERIAL | VISIBLE FROM THE STREET? Y/N | EXISTING OPERATION | NEW OPERATION | NEW FRAME TYPE | EXTERNAL GRID (SDU) Y/N | KEEP EXISTING SILL & FRAME? Y/N | BUILD NEW SILL & FRAME? Y/N | EXISTING EDGE DETAIL | NEW EDGE DETAIL | BEDROOM? Y/N | ENERGY EFFICIENT? Y/N | TEMPERED GLASS? Y/N | FIRE HAZARD ZONE? Y/N | WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR? Y/N |
|-------------|----------|-------------------------|----------------------|-------------------|--------------|------------------------------|--------------------|-----------------|----------------|-------------------------|---------------------------------|-----------------------------|----------------------|-----------------|--------------|-----------------------|---------------------|-----------------------|--|
| A | 2 | NA (NEW) | 24 X 12 | NA | WOOD | Y | NA | AWNING | BLOCK | N | Y/N NA | Y | NA | STUCCO BULLNOSE | N | Y | Y | N | Y/N N |
| B | 1 | 42 X 48 | 42 X 48 | WOOD | WOOD | Y | DOUBLE CASEMENT | DOUBLE CASEMENT | BLOCK | Y | Y | N | STUCCO BULLNOSE | STUCCO BULLNOSE | Y | Y | Y | N | N |
| C | 1 | 32 X 78 | 32 X 60 | WOOD | WOOD | N | EXTERIOR DOOR | DBL HUNG | BLOCK | Y | N | Y | STUCCO BULLNOSE | STUCCO BULLNOSE | N | Y | Y | N | N |
| D | 1 | 31 1/2 X 46 | (E) WINDOW TO REMAIN | WOOD | NA | N | CASEMENT | NA | NA | Y | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| E | 1 | 12 X 24 | (E) WINDOW TO REMAIN | WOOD | NA | Y | FIXED | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| F | 1 | 24 X 28 | (E) WINDOW TO REMAIN | WOOD | NA | Y | DBL CASEMENT | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| G | 1 | 18 X 30 | (E) WINDOW TO REMAIN | WOOD | NA | Y | CASEMENT | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| H | 1 | 24 X 48 | (E) WINDOW TO REMAIN | WOOD | NA | Y | CASEMENT | NA | NA | Y | NA | NA | STUCCO BULLNOSE | NA | Y | NA | NA | NA | N |
| I | 1 | 24 X 48 | (E) WINDOW TO REMAIN | WOOD | NA | Y | CASEMENT | NA | NA | Y | NA | NA | STUCCO BULLNOSE | NA | Y | NA | NA | NA | N |
| J | 1 | 48 X 48 | (E) WINDOW TO REMAIN | WOOD | NA | Y | DBL CASEMENT | NA | NA | Y | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| K | 1 | 48 X 48 | (E) WINDOW TO REMAIN | WOOD | NA | Y | DBL CASEMENT | NA | NA | Y | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| L | 1 | 24 X 24 | (E) WINDOW TO REMAIN | WOOD | NA | Y | FIXED | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| M | 1 | 24 X 24 | (E) WINDOW TO REMAIN | WOOD | NA | Y | FIXED | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| N | 1 | 60 X 32 | (E) WINDOW TO REMAIN | WOOD | NA | Y | SLIDING | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |
| O | 1 | 42 X 30 | (E) WINDOW TO REMAIN | WOOD | NA | Y | FIXED | NA | NA | N | NA | NA | STUCCO BULLNOSE | NA | N | NA | NA | NA | N |

1. ALL NEW WINDOWS TO BE TM COBB WOOD BLOCK FRAME WINDOWS WITH DUAL GLAZING.
 2. ALL NEW WINDOWS TO MEET THE FOLLOWING REQUIREMENTS:
 0.32 MAXIMUM U-FACTOR (PER CALIFORNIA ENERGY CODE 2022)
 0.25 MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC) (PER CALIFORNIA ENERGY CODE 2022)
 B. OWNER MUST LEAVE NFRC LABELS ON WINDOWS FOR INSPECTION

VICINITY MAP



PROJECT INFORMATION

BUILDING ADDRESS:
 1733 DON CARLOS AVE
 GLENDALE, CA 91208
OWNER:
 SHARON ROGERS
DESIGNER:
 CYNTHIA BENNETT & ASSOCIATES, INC.

DESCRIPTION:
 1. ADDITION OF 254 SF FOR (N) HOME LIBRARY/GYM
 2. RE-YOCE (E) BATHROOM/CLOSET AREA = 75 SF
 3. INSTALL (N) INSULATION & DRYWALL IN FRONT BEDROOM/OFFICE
 4. ADD (N) EXTERIOR GLASS DOORS AT (E) DINING ROOM, (E) M. BEDROOM, & (N) HOME LIBRARY/GYM
 5. REPLACE (E) WINDOW IN FRONT BEDROOM
 6. REMOVE INTERIOR WALL AT DINING ROOM/HALL
 7. LOWER FLOOR & ELIMINATE TRANSITION AT KITCHEN ISLAND AREA

PROPERTY BOUNDARY DESCRIPTION:
 SELVAS DE VERDUGO LOT 16 BLK 27
 ASSESSORS' ID No. 56553-008-016

PROPERTY TYPE: SINGLE FAMILY RESIDENTIAL
ZONING: R1-1
OCCUPANCY TYPE: R3U, ONE STORY
CONSTRUCTION TYPE: VB
FIRE ZONE: NO
LOT SIZE: 8,712 SF
 (E) RESIDENCE = 1,190 SF + GARAGE (400 SF)
 ALLOWABLE FAR = 0.4 X 5,712 = 2,285 SF
 PROPOSED SF = 1,190 + 254 + 1,444 SF
 ALLOWABLE LOT COVERAGE = 40% X 5,712 = 2,284 SF
 EXISTING LOT COVERAGE = 1,190 + 400 (GARAGE) + 406 (PATIO) = 1,996 SF
 PROPOSED LOT COVERAGE = 1,190 + 400 (GARAGE) + 406 (PATIO) = 2,282 SF
 SETBACKS:
 FRONT = 25'
 WEST = 3' TO MATCH (E) HOUSE
 EAST = 22-4'
 REAR = 20-6'
LANDSCAPE:
 (E) LANDSCAPE = 2,999 / 2,999 / 5,712 = 53% LANDSCAPE RATIO
 (N) LANDSCAPE = 2,786 / 2,786 / 5,712 = 48% LANDSCAPE RATIO

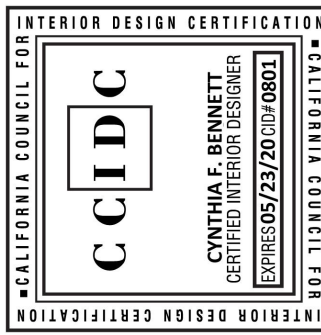
NOTE: THERE ARE NO OAK OR BAY TREES ON THE LOT OR WITHIN 20' OF THE SITE. SEE NEIGHBORS SYCAMORE TREE LOCATION AS PER ARBORISTS REPORT.

INDEX OF DRAWINGS

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| T-4 | RESIDENTIAL TITLE 24 SHEET |

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 (626) 798-6644

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 Fax: 818.241.1112

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 GLENDALE, CA 91208
 435-632-8898

REVISIONS

| ID | REVISION |
|----|----------|
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| | |
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| | |
| | |
| | |

DATE: 8/11/2023
 DRAWN: TC
 CHECKED: TC
 FOR:
 SCALE: AS SHOWN

TITLE:
TITLE SHEET

SHEET:
A-1
 OF SHEETS

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| ENERGY CONSERVATION NOTES |
|--|
| <p>1. All work is to conform to the requirements of the 2022 California Residential Code, 2022 California Green Building Standards Code, and Title 24, Part 11.</p> <p>2. 40 lumens/watt efficiency shall be provided for general lighting in kitchens and bathrooms.</p> <p>3. All insulation materials shall be certified by the manufacturer as complying with the California Quality Standards for Insulating Materials.</p> <p>4. New doors and windows between conditioned and unconditioned spaces such as garages and compartments for central air gas furnaces shall be fully weather-stripped.</p> <p>5. Manufactured doors and windows shall be certified and labeled in compliance with the appropriate infiltration standards.</p> <p>6. Caulk plumbing and electrical penetrations at window and door frames, between wall sill plates and floors and all other openings in the building envelope.</p> <p>7. Adhesives, sealants, and caulks shall meet the local or regional air pollution control or South Coast AQMD Rule 1168 VOC and Statewide VOC standards.</p> <p>8. Documentation shall be provided to verify compliant VOC limit finish materials have been used.</p> <p>9. Ducts shall be constructed, installed, and insulated per Chapter 10 of 2022 California Mechanical Code. Joints shall be tightly sealed with mastic or tape.</p> <p>10. All steam and steam condensate return piping and all continuously recirculating domestic heating or hot water piping shall be insulated in unheated spaces or as otherwise required by the code.</p> <p>11. All fan systems exhausting air from the building shall be provided with back draft dampers.</p> <p>12. Thermostatically controlled heating or cooling systems (except heat pumps) shall have an automatic thermostat with a clock mechanism which can be manually programmed to automatically set back the thermostat set points for at least two periods within 24hrs.</p> <p>13. A R-12 exterior blanket shall be provided for hot water heaters.</p> <p>14. R-3 insulation shall be provided for the first five feet of the water heater outlet pipe.</p> <p>15. All water heating and space conditioning equipment, shower heads, and faucets shall be C.F.C. certified.</p> <p>16. Insulation installer shall post a signed certificate of compliance in a conspicuous location in the building which states that the installations and materials conform to the appropriate sections of the California Administration Code, Title 20 & 24, and shall specify the manufacturer's name and material identification, the installed R-Value, and when loose fill is installed, shall state the minimum installed weight per square foot consistent with the manufacturer's labeled density for the desired R-Value.</p> <p>17. All registers and grilles shall be located on-site by designer.</p> <p>18. Installed gas fireplace(s) shall be a direct-vent sealed combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits (where applicable per CGBS chapter 4).</p> <p>19. Masonry and factory built fireplaces shall be installed with tight fitting, closeable metal or glass doors, outside air intake with damper, and flue damper.</p> <p>20. Gas fired appliances shall be equipped with intermittent ignition devices. Continuous burning pilot lights are not allowed.</p> <p>21. Per 2022 CGBS Section 4.505 Interior Moisture Control: a. For all occupied conditioned spaces with slab on grade foundations provide: - Vapor retarder: 6-mil polyethylene with joints lapped not less than 6 inches. CRC R506.2.3 / CBC 1907 - Capillary break: 4 inch thick base of 1/2 inch clean aggregate. b. Moisture content of building materials used in wall and floor framing is to be checked for the minimum requirements before enclosure.</p> |
| CONCRETE & STUCCO / PLASTER |
| <p>1. Lathing and plaster shall conform to the code, chapter 47. In place lath shall be inspected & approved by the building department before plaster is applied.</p> <p>2. Stucco shall be min. 3-coat application over 3/4 lb. galv. expanded metal lath, over two layers water resistant grade B Kraft paper with overlapping seams.</p> <p>3. Fasten all stucco lath with furring nails, not staples, regardless of whether or not lath is self-furring.</p> <p>4. All window, door and other opening corners shall be reinforced with expanded metal lath nailed diagonally across corner.</p> <p>5. Concrete contractor shall include all form lumber, reinforcing steel & matting, hardware inserts, and concrete of strength no less than 2500 psi. Verify concrete strength & details with structural plans if applicable.</p> <p>6. Concrete walls & floors will not vary in plane more than 1/8" in six feet.</p> <p>7. Contractor is responsible to verify that soils are of correct bearing capacity suitable to accept the proposed structure prior to beginning work.</p> <p>8. Curing compounds to be used must be submitted for approval.</p> <p>9. Contractor will repair or replace any concrete product which experiences cracks in excess of 1/8" within 12 months after project is complete and ready for occupancy and use.</p> <p>10. Concrete walks shall have a non-slip finish.</p> <p>11. (E) Stucco shall be inspected for deterioration. Stucco in poor condition shall be removed and replaced as required by new materials.</p> <p>12. (E) front porch steps shall be acid washed or as otherwise req'd to remove existing paint.</p> |
| CERAMIC TILE |
| <p>1. All tile floors shall be installed on a wire-reinforced mortar bed over a cleavage membrane unless noted otherwise.</p> <p>2. All tub and shower wall tile shall be installed on 3/4" to 1 1/4" wire-reinforced mortar bed unless noted otherwise.</p> <p>3. Tile setter shall meet with designer at job to layout tile patterns and details prior to placing tile. Tile shall be centered to space when installed.</p> <p>4. All tile shall be set level and plumb. Grout lines shall be uniform width.</p> <p>5. All porous tiles, stone tiles and grout shall be sealed.</p> <p>6. All showers shall have one recessed tile niche and a ceramic soap dish unless noted otherwise.</p> |

| ROUGH CARPENTRY |
|---|
| <p>1. All lumber in contact with concrete floors, foundations/footings, or within 18" of grade shall be pressure treated.</p> <p>2. Backing shall be provided for all plumbing & electrical fixtures, drywall, accessories, lath, moldings, cabinets, etc. as required by the work.</p> <p>3. Contractor shall coordinate framing with proposed locations of electrical, mechanical and plumbing work to avoid changes in framing which might conflict with proposed equipment, fixtures or diffusers.</p> <p>4. Contractor shall provide attic access if required at location(s) as indicated on plans or as directed by Cynthia Bennett & Associates, Inc.</p> <p>5. Provide framed openings for medicine cabinets and shower shampoo niches as indicated on plans or as directed by designer.</p> <p>6. Contractor shall provide 2X12 solid blocking flush with face of wall studs on all sides of all shower bases for hot mop.</p> <p>7. Bolted connections will have 1/16" max. over drill</p> <p>8. Blocking in floor joist systems will be wedged tight and fastened to mid-span supports with plywood cleats before covering.</p> <p>9. Plywood sub-floors will be installed with glue and approved fasteners to eliminate noise and squeaks.</p> <p>10. Contractor will assure that all framing is plumb, true, & level and does not deviate in plane more than 1/8" in six feet.</p> <p>11. Contractor will shim, furr, or replace any new work which exceeds tolerances or shows signs of damage.</p> <p>12. Interior or exterior use of Hardwood Plywood, Particleboard, and Medium Density Fiberboard composite wood products shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (California Code of Regulations Title 17, Sections 93120 ~ 93120.12)</p> <p>13. Moisture content of building materials used in wall and floor framing shall be verified per the instructions of Section 4.505.3 prior to being enclosed.</p> |
| FINISH CARPENTRY |
| <p>1. Existing casings, baseboards, moldings, etc. shall be reused where possible u.n.o. New finish material shall match existing as closely as possible. Verify with molding schedule if applicable.</p> <p>2. All finish materials will be mitered, planed, sanded & installed and/or as otherwise required to create tight fitting, flush seams without gaps.</p> <p>3. Finish materials shall be pre-drilled as required to avoid splitting.</p> <p>4. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.</p> |
| WOOD FLOORS |
| <p>1. All non-prefinished hardwood floors shall receive three finish coats of polyurethane based sealer.</p> <p>2. Contractor shall provide base shoe to match existing or as otherwise specified.</p> <p>3. Contractor shall provide wood thresholds & transitions to match flooring at all flooring material changes and changes in floor level. Verify with applicable details.</p> |
| FLOORING |
| <p>50% of the floor area receiving resilient flooring shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score program.</p> |
| INSULATION |
| <p>1. All exterior walls shall have R-15 batt insulation or better.</p> <p>2. All new ceilings and attics shall be insulated with R-30 or better.</p> <p>3. Sub floor batts will be secured with continuous wire nailed to the bottom of wood joists. Under floor insulation will be R-19 or better.</p> <p>4. All new water supply and drain pipes shall be wrapped in insulation for noise isolation.</p> <p>5. Interior walls which are opened during construction shall receive R-13 insulation for sound dampening.</p> |
| CARPET AND RUGS |
| <p>1. All carpets installed shall meet one of the testing and product requirements of: a. Carpet and Rug Institute's Green Label Plus Program. b. California Department of Public Health Standard Practice for the testing of VOC's (Specification 01350) c. NSF/ANSI 140 at the Gold level. d. Scientific Certifications System Indoor Advantage Gold.</p> <p>2. All carpet cushions shall meet the requirements of the Carpet and Rug Institute Green Label program.</p> <p>3. All carpet adhesives shall meet the maximum VOC limit of 50 per Table 4.504.1</p> |
| PAINING |
| <p>1. All primers & paints shall be Dunn Edwards premium grade or equal. Lacquers, varnishes, and polyurethanes shall be Guardsman bar top grade or better. Fillers shall be vinyl or polyester.</p> <p>2. All finishes will be applied in a warranted system per manufacturer's specifications.</p> <p>3. Samples of all colors and finishes shall be provided on site in locations and sizes as directed by designer to be approved prior to installation.</p> <p>4. Paints and coatings shall comply with the VOC limits per Table 4.504.3</p> <p>5. Aerosol Paints and coatings shall meet the Product-Weighted MIR Limits for ROC per Table 4.504.2.3</p> |

| CABINETRY |
|---|
| <p>1. Any discrepancy in measurements on plans shall be brought to designer's attention. Cabinet maker shall verify that floors and ceilings are level and that job site conditions match the drawings. No changes to cabinet design, layout, or sizing shall be made without designer and owner's approval.</p> <p>2. All cabinetry and millwork shall be according to current Wood Worker's Institute of California Handbook Standards,.</p> <p>3. All stain-grade cabinetry materials shall be select, premium, clear, and/or superior grade unless noted otherwise. Painted cabinets shall be constructed of superior grade birch frames with MDF or masonite panels.</p> <p>4. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.</p> <p>5. If required, cabinetmaker is to submit 2 sets of shop drawings and material samples to designer for review at least two weeks prior to beginning scheduled cabinet fabrication.</p> <p>6. All base cabinets are to have two pull-outs unless noted otherwise. Tall pantry-style cabinets shall have a minimum of five pull-outs unless noted otherwise.</p> <p>7. All wall cabinets to have a minimum of two adjustable shelves. If cabinet is 42" or taller, it will have three shelves.</p> <p>8. Cabinets with two doors will not have a center stile between doors.</p> <p>9. Adjustable shelving runners shall be recessed into sides of cabinet frame.</p> <p>10. All drawers and pull-outs shall have 1/2" prefinished maple side with laminate bottoms and "Accurate" or equivalent full-extension self-closing runners.</p> <p>11. All glass cabinets shall have bracket supports for shelving instead of runners unless noted otherwise.</p> <p>12. Cabinet maker shall provide 5/8" plywood rough tops for base cabinets. All over-hanging countertops shall be supported as required to create a stable counter and shall have a finished surface on the underside.</p> <p>13. Corbels and other trims/moldings shall be custom built if necessary and shall fit exactly without shimming.</p> <p>14. All wood counters and breadboards shall be sealed with a non-toxic sealer. Bread boards shall be full cabinet depth wherever possible.</p> <p>15. All retractable doors shall have Accurate slides #1132 or #1432. Hinge carrier strips are required on doors over 22" W and 36" H.</p> <p>16. Tray slots to be built into cabinet frames.</p> <p>17. All tilt-outs to be stainless steel unless noted otherwise.</p> <p>18. All bi-fold doors to have rails and gaps concealed in molding unless they are flush mounted without rail.</p> <p>19. Drawers under sinks or cook top to be as deep as possible.</p> <p>20. Cabinet maker to supply and install all cabinet accessories unless noted otherwise.</p> <p>21. Cabinets with open shelves or glass doors shall have interiors and shelving in the same material and finish as the exterior of the cabinet U.N.O.</p> <p>22. Cabinet maker shall clean cabinets to remove all dust, dirt, and debris after installation.</p> <p>22. Cabinet depth shown on plans shall be measured to the face of the cabinet frame and will not include door thickness for overlay construction.</p> |
| DRYWALL |
| <p>1. All drywall shall be 5/8" type X unless noted otherwise. Bathrooms and other areas susceptible to wetting and moisture shall be 5/8" "green board".</p> <p>2. Drywall shall be plumb, level, & true with precise, uniform corners. Tolerance for flatness shall be 1/8" over six feet in any direction.</p> <p>3. Cut out openings for electrical and plumbing fixtures shall allow no more than 1/8" gap.</p> <p>4. All mud/plaster/gypsum material shall be cleaned from all surfaces.</p> <p>5. All drywall shall be skim coated with a finish to match existing U.N.O.</p> <p>6. Bathroom walls and walls behind sinks shall be "green board".</p> |

| ELECTRICAL |
|--|
| <p>1. All electrical work shall conform to applicable municipal ordinances and 2022 California Electrical Code.</p> <p>2. Electrician shall obtain and pay for all permits related to his work.</p> <p>3. Electrician to provide GFI outlets as required per code.</p> <p>4. Locate under-cabinet LED fixtures to minimize visibility of the fixture.</p> <p>5. Confirm fixture and trim selection with designer prior to ordering.</p> <p>6. Confirm material and color for all switches, outlets, and cover plates with designer prior to ordering.</p> <p>7. Backsplash outlets shall be 46" above finished floor unless noted otherwise. Confirm with designer prior to installation. Changes in decorative tile or other finish materials may cause height to vary.</p> <p>8. Wall outlets to be 12" above finished floor unless noted otherwise.</p> <p>9. All wiring and devices shall be new in remodeled areas. However, electrician may reuse existing boxes and conduit if to code, in good condition, and properly located.</p> <p>10. Electrician to verify all rough framing clearances for all recessed fixtures and electrical boxes & advise designer of any conflicts before installation.</p> <p>11. Electrician shall remove any wiring or conduits in poor condition, advising Owner and Contractor of any costs prior to doing work.</p> <p>12. Electrician shall remove and dispose of any unused existing fixtures, panels, wiring, and conduit.</p> <p>13. Electrician is responsible for installation of circuits as required for all appliances and coordination with venting contractor, finish carpenter and/or plumber.</p> <p>14. Provide smoke detectors in each sleeping room, centrally located in the wall or ceiling of corridors providing access to each floor or basement level and in close proximity to the stairway. Smoke detectors shall be hard-wired with battery backup in addition areas. Battery operated smoke detectors will be acceptable in remodeled areas.</p> <p>15. Provide Carbon Monoxide detectors near sleeping rooms. Shall be hard-wired with battery backup in addition areas.</p> <p>16. Electrician shall test alarms and doorbells prior to beginning work to verify the working order of such systems.</p> <p>17. All electrical boxes to be metal, including outlet and J-boxes.</p> <p>18. Receptacle faceplates shall be installed so as to completely cover the opening and seat against the mounting surface.</p> <p>19. Damp or Wet locations: All 15- and 20-ampere, 125- and 250-volt receptacles shall be listed weather resistant type.</p> <p>20. All 125-volt, 15- and 20- ampere receptacles in dwellings shall be listed: "TAMPER-RESISTANT".</p> <p>21. All 120-volt, single-phase 15- 20-ampere branch circuits supplying new outlets shall be protected by a listed arc-fault circuit interrupter (AFCI), combination-type, installed at the following locations: A. Bedrooms B. Offices C. Similar areas</p> |
| EXHAUST DUCTS |
| <p>1. All exhaust ducts shall be constructed of rigid sheet metal with 45 degree maximum bends. Corrugated materials are not allowed.</p> |
| PLUMBING |
| <p>1. Plumbing shall conform to the 2022 California Plumbing Code, and all local codes, ordinances, and requirements.</p> <p>2. Plumbing fixtures and fittings shall meet the standards referenced in Table 4.303.1 a. Water closets - 1.28 GPF b. Urinals - 0.5 GPF c. Wall-mounted urinal - 0.125 GPF d. Single showerhead - 1.8 GPM at 80psi e. Multiple showerheads - 1.8 GPM at 80psi for all combined showerheads f. Lavatory faucets - 1.2 GPM at 60psi g. Lavatory faucets in public use areas - 0.5 GPM at 60psi h. Metering faucets - 0.2 gallons per cycle i. Kitchen faucets - 1.8 GPM at 60psi</p> <p>3. All new water lines to be type "L" copper. Drain lines shall be cast iron, but may be ABS under 1st floor if approved. Vents shall be ABS. Clean-outs shall be provided as required by code or otherwise shown. Gas pipes shall be iron and plastic may be used underground if approved.</p> <p>4. Plumber shall provide all accessories such as traps, angle stops, nipples, valves, etc. necessary for mounting and operation of each fixture.</p> <p>5. All plumbing lines shall be located so as to allow location, per plan, of electrical and other finish fixtures or embedded items.</p> <p>6. Plumber is responsible for installation of all gas lines necessary for gas appliances and fireplaces and for the installation of these appliances in coordination with electrician and venting contractors.</p> <p>7. Plumber shall provide and install log lighter and gas key control valve for all new gas fireplaces.</p> <p>8. In re-use of existing fixtures and faucets, no responsibility is implied for function. Sometimes appliances and/or fixtures which functioned before will not work properly in a new installation. If necessary, service and repairs will be done at client's cost.</p> <p>9. Isolation couplings are required when connecting to galvanized iron or steel pipe which can not be changed to copper.</p> <p>10. Specify approved metallic water line connectors from shutoffs to plumbing fixtures. Rubber and plastics are not permitted.</p> <p>11. All water heater enclosures to be vented according to local codes & 2022 California Mechanical Code.</p> <p>12. Water heater enclosure to be one hour fire rated (5/8" gypsum board or plaster) and all doors to be 1-3/8" minimum thickness with one hour fire rating.</p> <p>13. Water heater to have proper seismic bracing in accordance with all local codes and ordinances.</p> <p>14. All plumbing penetrations through framing shall be isolated with approved isolation devices and drain lines within walls shall be fully wrapped with insulation to reduce sound transmission.</p> <p>15. Plumber shall field layout all under sink rough and finish with Project Manager in field to allow for proper installation of cabinets accessories.</p> <p>16. Plumber shall seal all pipe penetrations in walls & cabinet with caulking and finish escutcheons to cover holes & gaps. Sinks, toilets, and tubs shall be caulked to adjacent surfaces with color to match fixtures.</p> <p>17. Washer & dryer water & gas shut-off valves shall be in an accessible location which does not require moving appliances to access.</p> <p>18. Bathtubs will be protected with an approved coating and covered with plywood to avoid damage after installation.</p> |

| INTERIOR DESIGN CERTIFICATION | |
|---|-----------|
| CALIFORNIA COUNCIL OF INTERIOR DESIGNERS | |
| C C I D C | |
| CYNTHIA E. BENNETT CERTIFIED INTERIOR DESIGNER CIBD 05/23/2010-08/21/2023 REG. NO. 1128823 11/28/2015 | |
| cynthia bennett design associates, inc. | |
| services & team design complete interiors remodeling & additions residential & commercial proj. comm. by 9/10/01 501 taravita ave. glendale, ca 91208 phone: 626-452-6471 fax: 626-799-9716 | |
| SHARON ROGERS 1733 DON CARLOS AVE. GLENDALE, CA 91208 435-632-8898 | |
| REVISIONS | |
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| DATE: | 8/11/2023 |
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| SCALE: | AS SHOWN |
| TITLE: | |
| GENERAL NOTES | |
| SHEET: | |
| A-2 | |
| OF SHEETS | |

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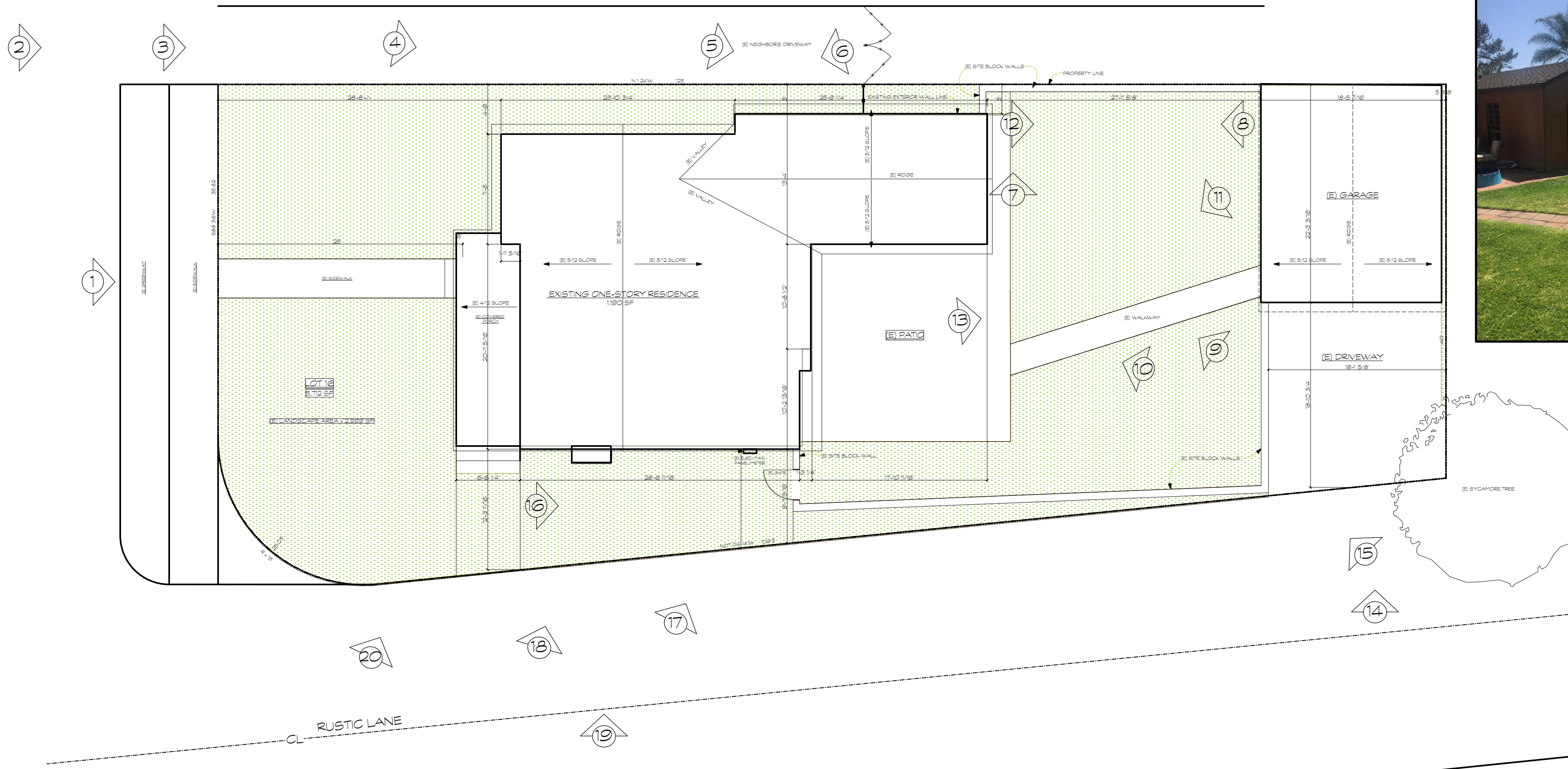
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EXISTING SITE & ROOF PLAN
 SCALE: 1/8" = 1'-0"



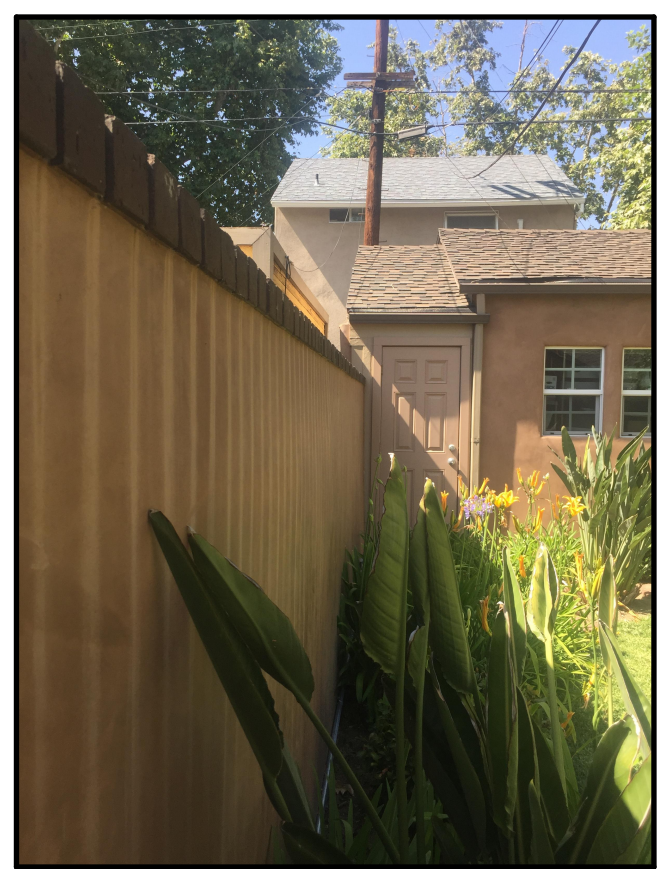
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REVISIONS

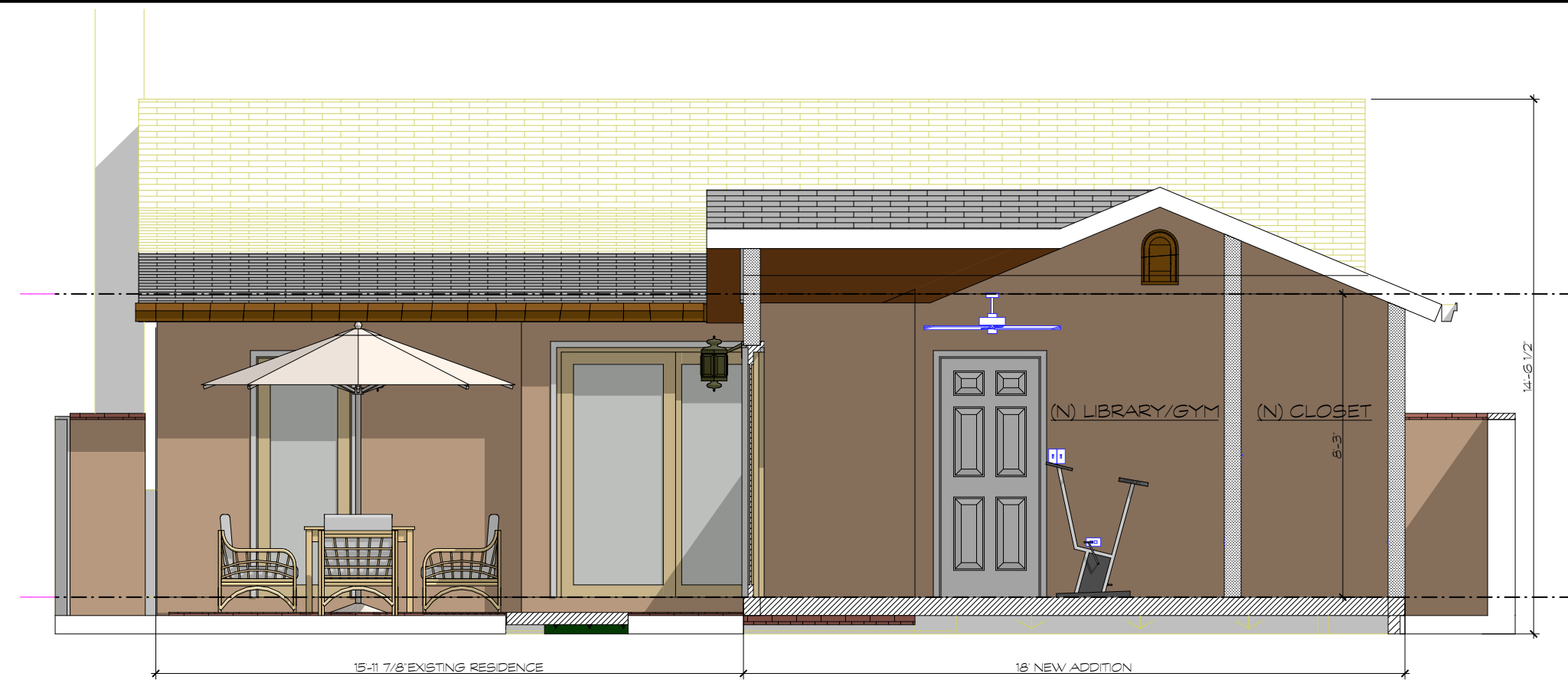
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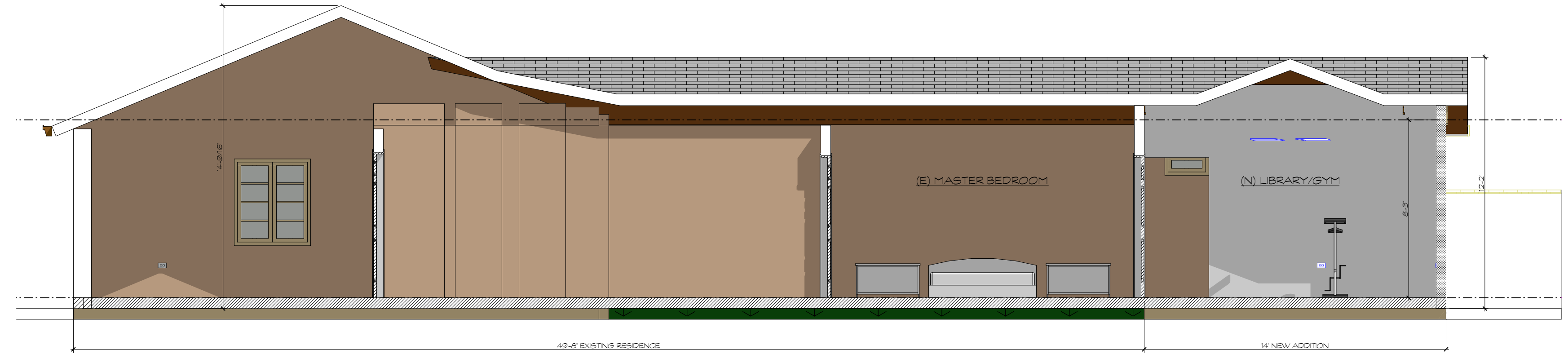
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EXISTING SITE & ROOF PLAN

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A-3
 OF SHEETS

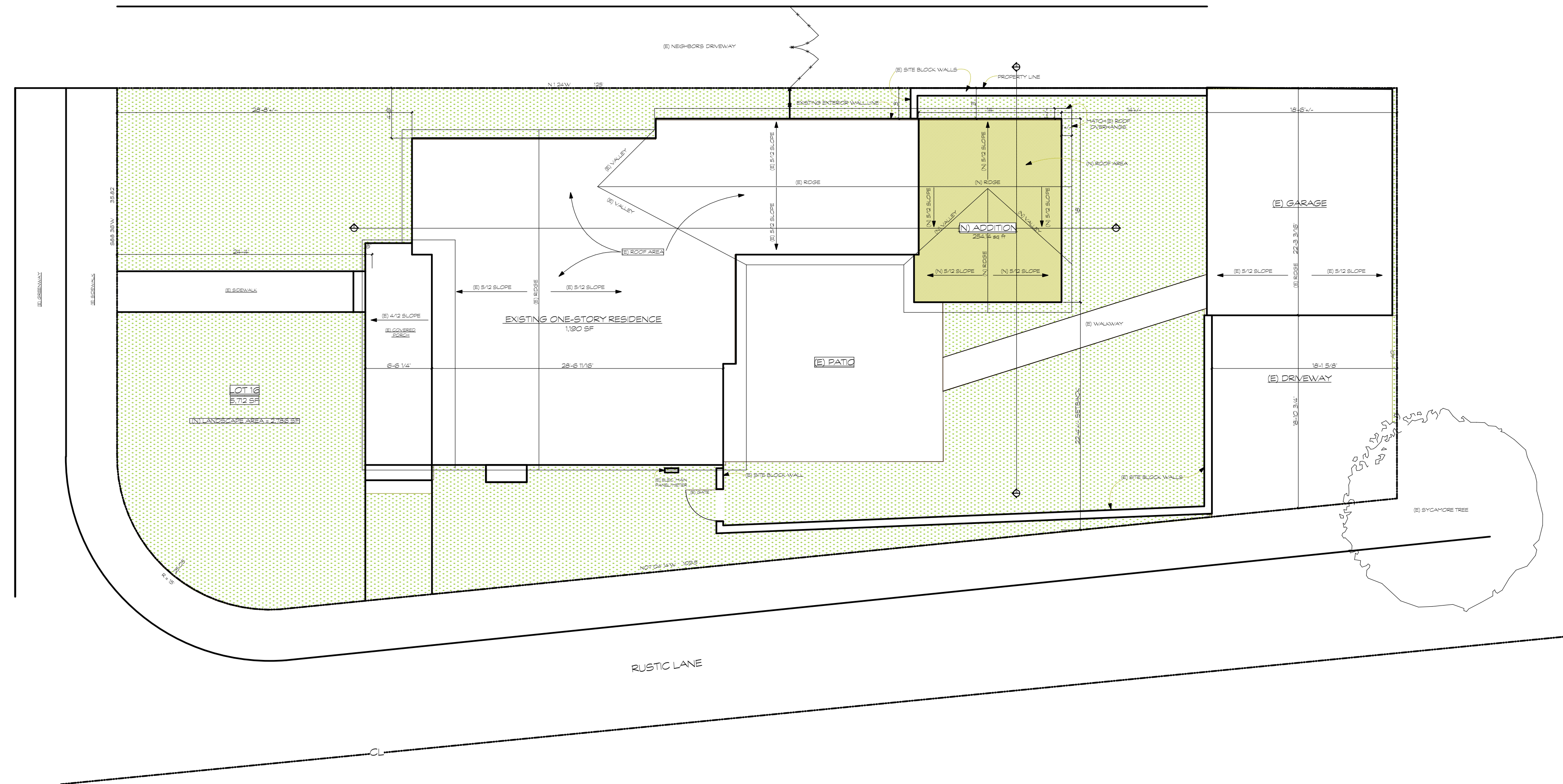
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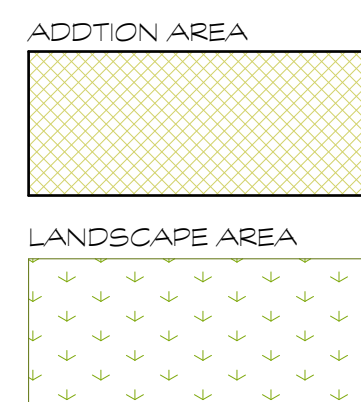
SECTION B-B
 SCALE: 1/4" = 1'-0"



SECTION A-A
 SCALE: 1/4" = 1'-0"



PROPOSED SITE & ROOF PLAN
 SCALE: 1/8" = 1'-0"



NOTE: THERE ARE NO OAK OR BAY TREES ON THE LOT OR WITHIN 20' OF THE SITE. SEE NEIGHBORS SYCAMORE TREE LOCATION AS PER ARBORISTS REPORT.

BUILDING ADDRESS:

1733 DON CARLOS AVE.
GLENDALE, CA 91208

OWNER:

SHARON ROGERS

DESIGNER:

CYNTHIA BENNETT & ASSOCIATES, INC.

DESCRIPTION:

1. ADDITION OF 254 SF FOR (N) HOME LIBRARY/GYM
2. RE-ROOF (E) BATHROOM/CLOSET AREA = 75 SF
3. INSTALL (N) INSULATION & DRYWALL IN FRONT BEDROOM/OFFICE
4. ADD (N) EXTERIOR GLASS DOORS AT (E) DINING ROOM, (E) M. BEDROOM, & (N) HOME LIBRARY/GYM
5. REPLACE (E) WINDOW IN FRONT BEDROOM
6. REMOVE INTERIOR WALL AT DINING ROOM/HALL
7. LOWER FLOOR & ELIMINATE TRANSITION AT KITCHEN ISLAND AREA

PROPERTY BOUNDARY DESCRIPTION:

SELVAS DE VERDUGO LOT 16 BLK 27
ASSESSORS ID No. 5653-008-016

PROPERTY TYPE: SINGLE FAMILY RESIDENTIAL

ZONING: R41

OCCUPANCY TYPE: R3.U. ONE STORY

CONSTRUCTION TYPE: VB

FIRE ZONE: NO

LOT SIZE = 5,712 SF

(E) RESIDENCE = 1,190 SF + GARAGE (400 SF)

ALLOWABLE FAR = 0.4 X 5,712 = 2,285 SF

PROPOSED SF = 1,190 + 254 = 1,444 SF

ALLOWABLE LOT COVERAGE = 40% X 5,712 = 2,284 SF

EXISTING LOT COVERAGE = 1,190 + 400 (GARAGE) = 1,596 SF

PROPOSED LOT COVERAGE = 1,190 + 254 (ADDITION) + 400 (GARAGE) = 1,844 SF

PROPOSED ADDITION HEIGHT = 12'-2 1/4"

SETBACKS:

FRONT = 25'

WEST = 9' TO MATCH (E) HOUSE

EAST = 22'-4"

REAR = 32'-6"

LANDSCAPE:

(E) LANDSCAPE = 2,999 ; 2,999/5,712 = 53% LANDSCAPE RATIO

(N) LANDSCAPE = 2,786 ; 2,786/5,712 = 49% LANDSCAPE RATIO

GENERAL SECURITY REQUIREMENTS:

1. ALL ENTRY DOORS TO SWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OF ADJOINING WALL. 6706
2. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BACONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR ACCESS STRUCTURE. 6707
3. WOOD FLUSH TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. DOOR STEPS OF IN-SWINGING DOORS SHALL BE OF ONE PIECE CONSTRUCTION WITH JAMB, OR JOINED BY RABBIT TO THE JAMB. 6709.1.6709.4
4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH INCANDESCENT LIGHT BULB (60 WATT MIN) AT A MAXIMUM HEIGHT OF 8 FT. ON THE EXTERIOR SIDE OF THE UNIT. 6708
5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 6709.5.6709.7
6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS. DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH REQUIRED IN B, F, M AND S OCCUPANCIES). 6709.2
7. STRAIGHT DEAD BOLTS SHALL HAVE MIN THROW 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". 6709.2
8. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. 6709.1 ITEM 2
9. SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. 6710
10. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC 6717.1
11. METAL OR WOODEN OVERHEAD AND SLIDING DOORS SHALL BE SECURED WITH CYLINDER LOCK, PADLOCK WITH A MIN 9/32" DIAMETER HARDENED STEEL SHACKLE BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. 6711
12. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCK CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
13. IN GROUP B, F, M AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ON DIMENSION GREATER THAN 6 IN. BUT LESS THAN 48 IN. SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES. 6714
14. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY-RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLES HAVING A MAXIMUM OPENING 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OF WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. 6713
15. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS THAT HAVE AT LEAST ON DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. 6715
16. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. 6715.2
17. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1
18. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC 6717.2.
19. ANY RELEASE FOR METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 6715.4
20. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. 6716

CALIFORNIA COUNCIL OF REGISTERED PROFESSIONAL ARCHITECTS
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REVISIONS

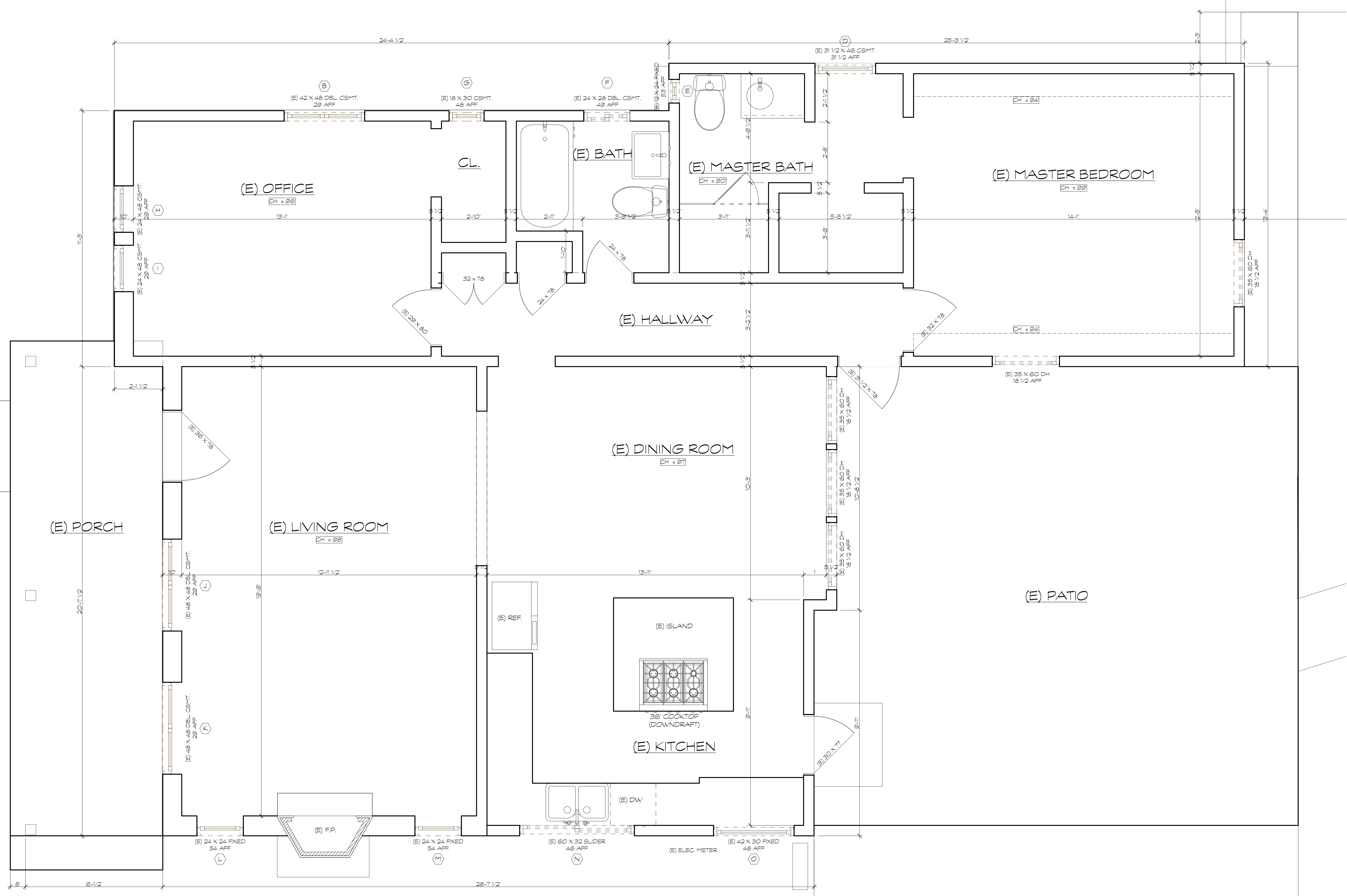
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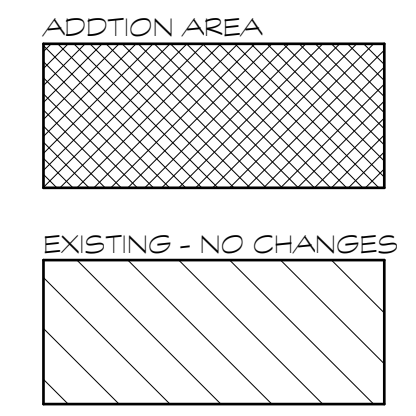
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PROPOSED SITE PLAN, ROOF PLAN, & SECTIONS

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1 EXISTING FLOOR PLAN
 SCALE: 1/2" = 1'-0"

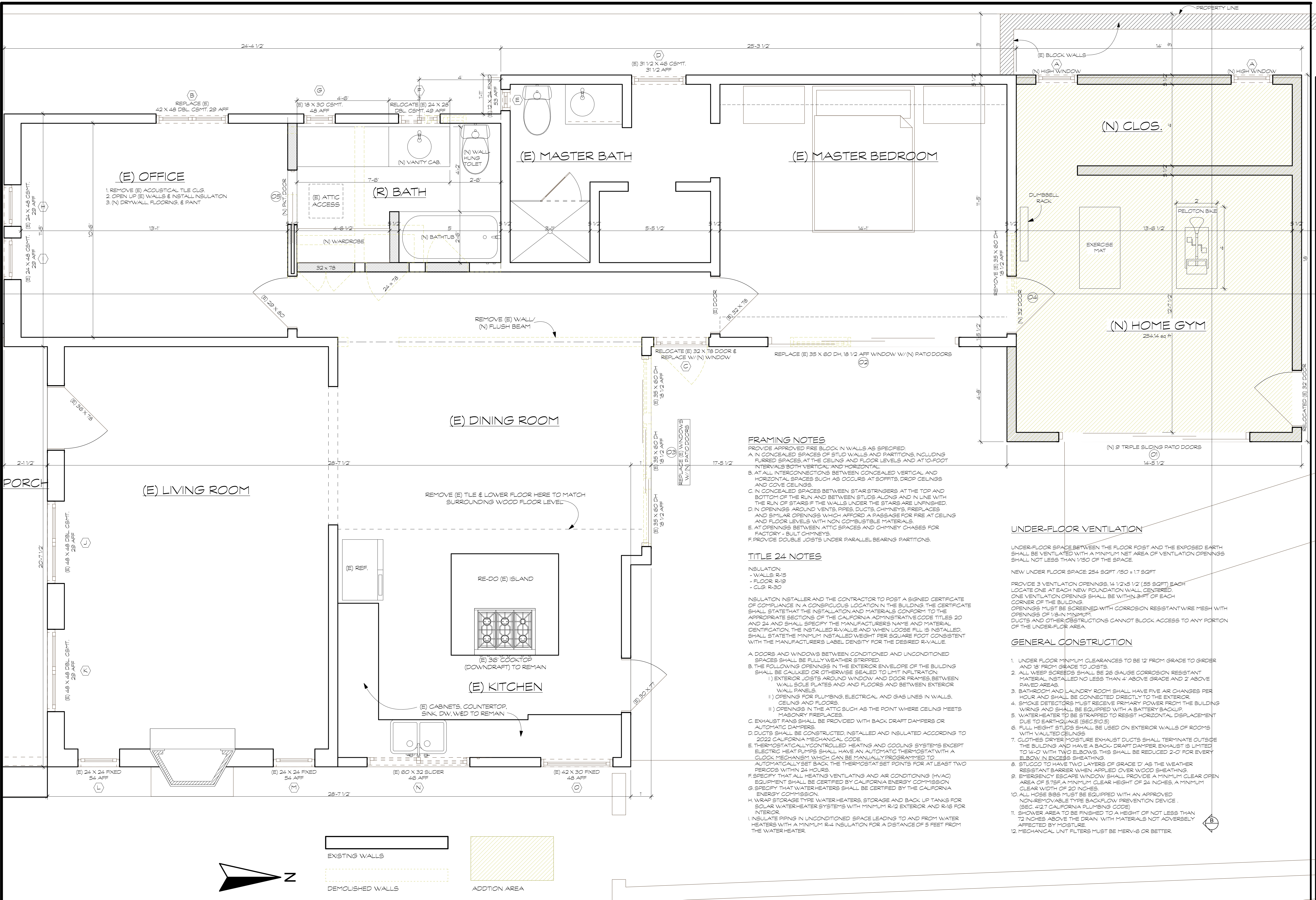


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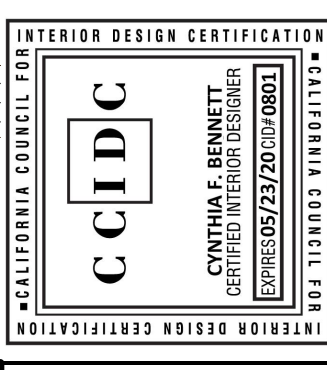
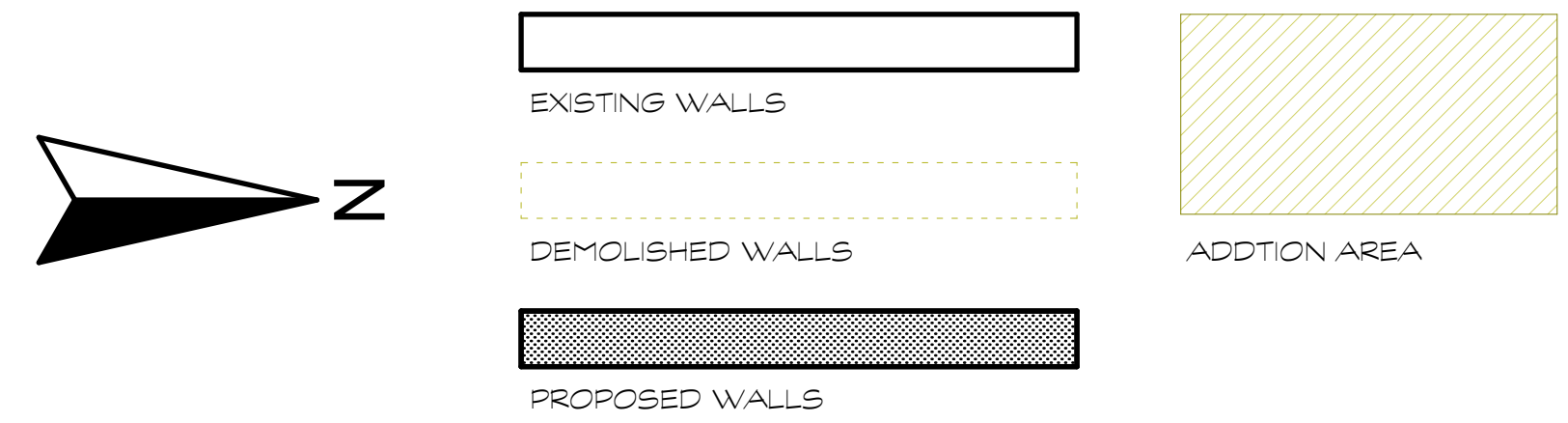
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1 PROPOSED FLOOR PLAN
 SCALE: 1/2" = 1'-0"



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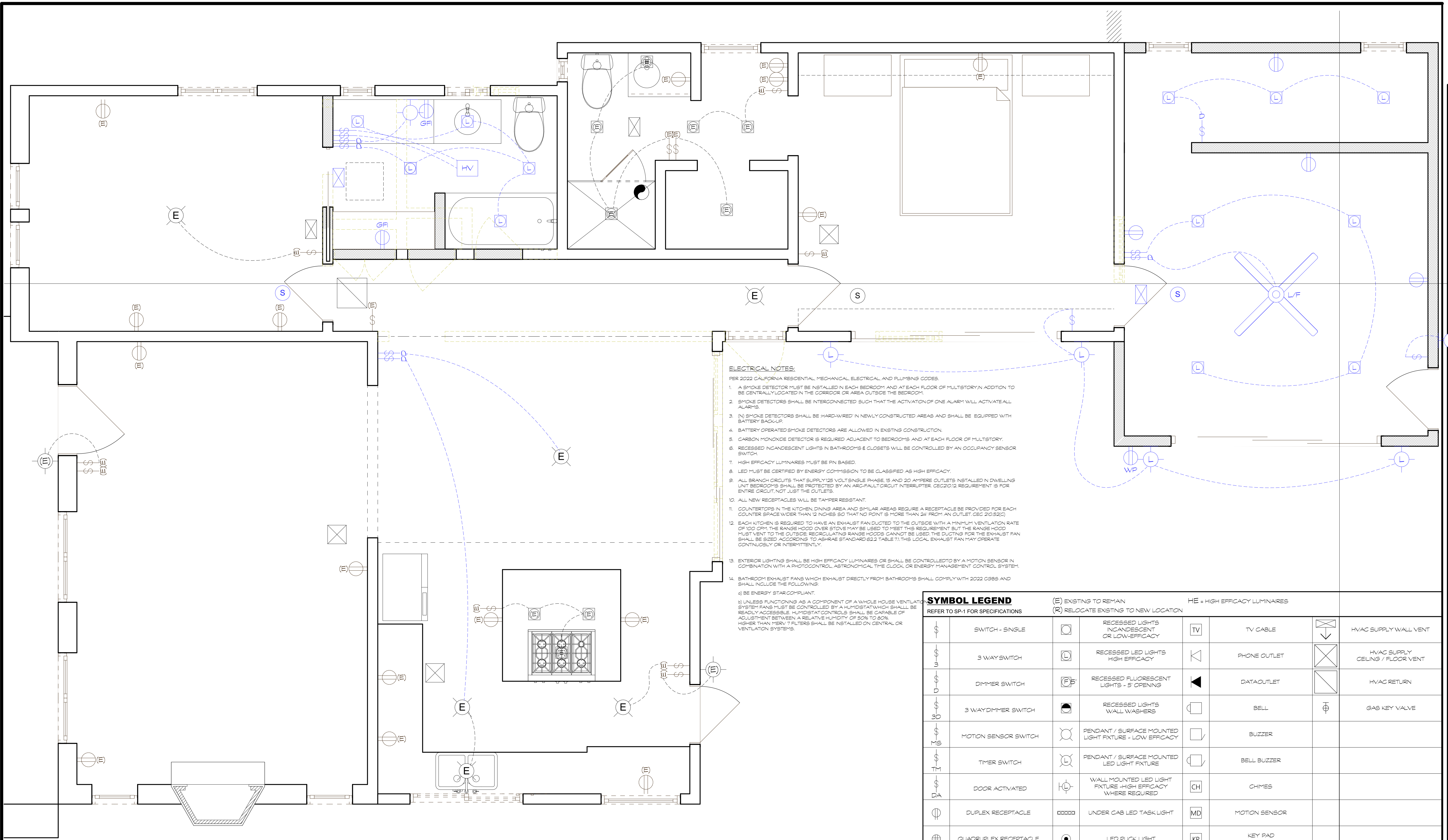
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- ELECTRICAL NOTES:**
 PER 2022 CALIFORNIA RESIDENTIAL MECHANICAL, ELECTRICAL, AND PLUMBING CODES.
1. A SMOKE DETECTOR MUST BE INSTALLED IN EACH BEDROOM AND AT EACH FLOOR OF MULTISTORY IN ADDITION TO BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA OUTSIDE THE BEDROOM.
 2. SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
 3. (N) SMOKE DETECTORS SHALL BE HARD-WIRED IN NEWLY CONSTRUCTED AREAS AND SHALL BE EQUIPPED WITH BATTERY BACK-UP.
 4. BATTERY OPERATED SMOKE DETECTORS ARE ALLOWED IN EXISTING CONSTRUCTION.
 5. CARBON MONOXIDE DETECTOR IS REQUIRED ADJACENT TO BEDROOMS AND AT EACH FLOOR OF MULTISTORY.
 6. RECESSED INCANDESCENT LIGHTS IN BATHROOMS & CLOSETS WILL BE CONTROLLED BY AN OCCUPANCY SENSOR SWITCH.
 7. HIGH EFFICACY LUMINAIRES MUST BE PN BASED.
 8. LED MUST BE CERTIFIED BY ENERGY COMMISSION TO BE CLASSIFIED AS HIGH EFFICACY.
 9. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLTS SINGLE PHASE 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. CECS 210.52(C) REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST THE OUTLETS.
 10. ALL NEW RECEPTACLES WILL BE TAMPER RESISTANT.
 11. COUNTERTOPS IN THE KITCHEN, DINING AREA AND SIMILAR AREAS REQUIRE A RECEPTACLE BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12 INCHES SO THAT NO POINT IS MORE THAN 24" FROM AN OUTLET. CEC 210.52(C)
 12. EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. THE RANGE HOOD OVER STOVE MAY BE USED TO MEET THIS REQUIREMENT BUT THE RANGE HOOD MUST VENT TO THE OUTSIDE. RECIRCULATING RANGE HOODS CANNOT BE USED. THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1. THE LOCAL EXHAUST FAN MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY.
 13. EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED TO BY A MOTION SENSOR IN COMBINATION WITH A PHOTOCONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
 14. BATHROOM EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH 2022 CGSBS AND SHALL INCLUDE THE FOLLOWING:
 - a) BE ENERGY STAR COMPLIANT.
 - b) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%. HIGHER THAN MERV 7 FILTERS SHALL BE INSTALLED ON CENTRAL OR VENTILATION SYSTEMS.

| SYMBOL LEGEND | | (E) EXISTING TO REMAIN | (R) RELOCATE EXISTING TO NEW LOCATION | HE = HIGH EFFICACY LUMINAIRES | | | |
|---------------|---------------------------------------|------------------------|---|-------------------------------|--------------------------|---|----------------------------------|
| § | SWITCH - SINGLE | ⊙ | RECESSED LIGHTS INCANDESCENT OR LOW EFFICACY | TV | TV CABLE | ⊕ | HVAC SUPPLY WALL VENT |
| § 3 | 3 WAY SWITCH | ⊙ | RECESSED LED LIGHTS HIGH EFFICACY | ☐ | PHONE OUTLET | ⊕ | HVAC SUPPLY CEILING / FLOOR VENT |
| § D | DIMMER SWITCH | ⊙ | RECESSED FLUORESCENT LIGHTS - 5' OPENING | ◀ | DATA OUTLET | ⊕ | HVAC RETURN |
| § 3D | 3 WAY DIMMER SWITCH | ⊙ | RECESSED LIGHTS WALL WASHERS | ⊙ | BELL | ⊕ | GAS KEY VALVE |
| § MS | MOTION SENSOR SWITCH | ⊙ | PENDANT / SURFACE MOUNTED LIGHT FIXTURE - LOW EFFICACY | ⊙ | BUZZER | | |
| § TM | TIMER SWITCH | ⊙ | PENDANT / SURFACE MOUNTED LED LIGHT FIXTURE | ⊙ | BELL BUZZER | | |
| § DA | DOOR ACTIVATED | ⊙ | WALL MOUNTED LED LIGHT FIXTURE - HIGH EFFICACY WHERE REQUIRED | CH | CHIMES | | |
| ⊕ | DUPLEX RECEPTACLE | ⊙ | UNDER CAB LED TASK LIGHT | MD | MOTION SENSOR | | |
| ⊕ | QUADRUPLER RECEPTACLE | ⊙ | LED PUCK LIGHT | KP | KEY PAD CONTROLS | | |
| GFI | DUPLEX - GROUND FAULT INTERRUPT | ⊙ | EXTERIOR FLOOD LIGHTS | S | SMOKE DETECTOR | | |
| WP | DUPLEX - WATERPROOF EXTERIOR LOCATION | ⊙ | VENT LIGHT | CO | CARBON MONOXIDE DETECTOR | | |
| 220 | 220V RECEPTACLE | ⊙ | HEAT VENT LIGHT | SP | CEILING MOUNTED SPEAKER | | |
| REF | APPLIANCE RECEPTACLE | ⊙ | EXHAUST FAN (50 CFM) | | | | |
| ⊕ | FLOOR/CEILING OUTLET | ⊙ | WIRE MOLD IN BACK OF VANITY DRAWER | | | | |
| ⊙ | GARBAGE DISPOSAL | | | | | | |
| ⊙ | GARBAGE DISPOSAL | | | | | | |

1 PROPOSED ELECTRICAL PLAN
 SCALE: 1/2" = 1'-0"

C CIDC
CALIFORNIA COUNCIL FOR INTERIOR DESIGN CERTIFICATION
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CERTIFIED INTERIOR DESIGNER
EXPIRES 05/23/2024
REG. NO. 118893

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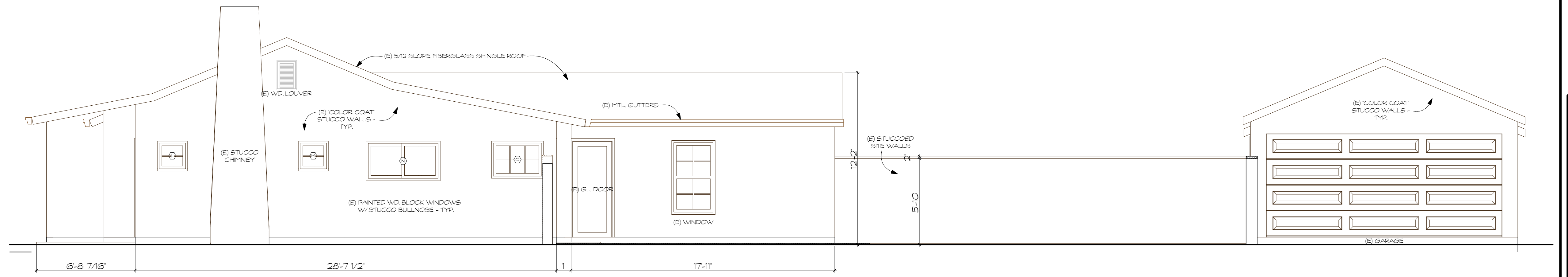
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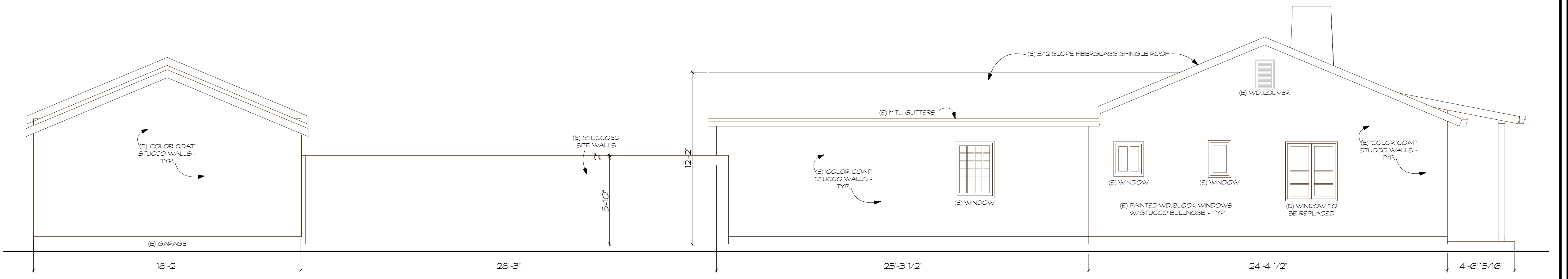
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ELECTRICAL PLAN

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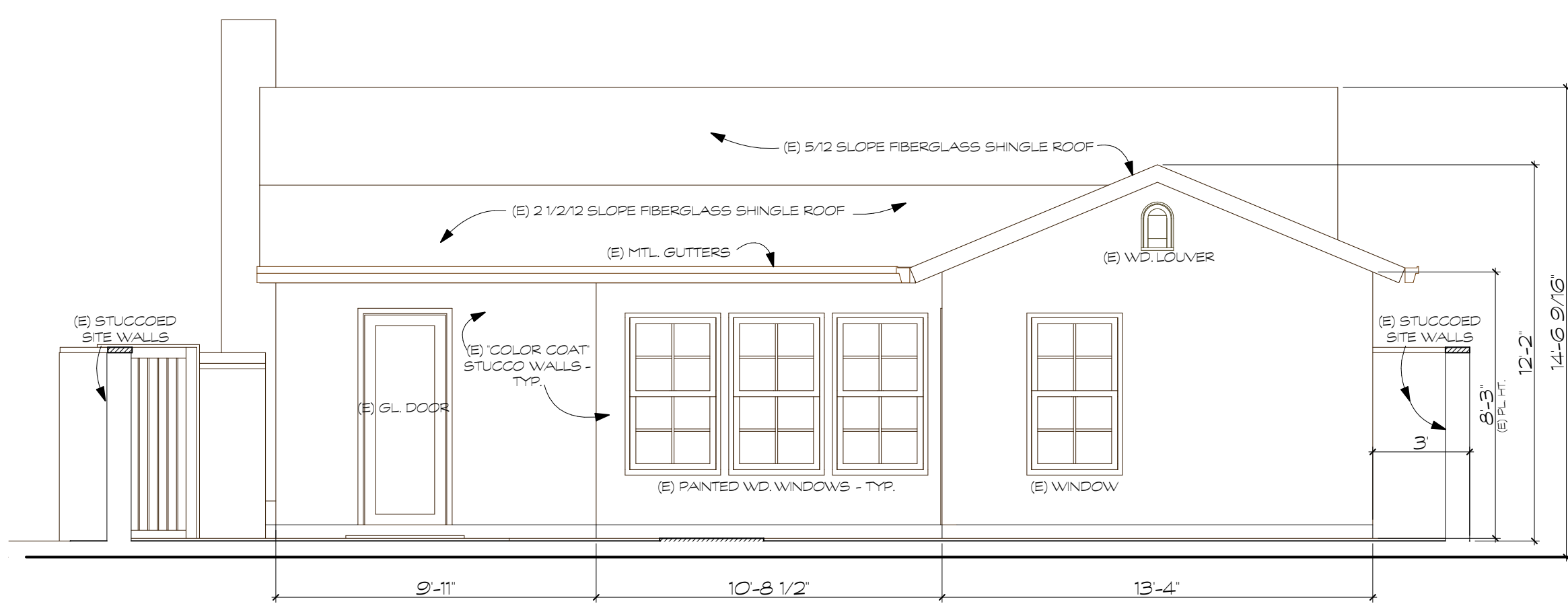
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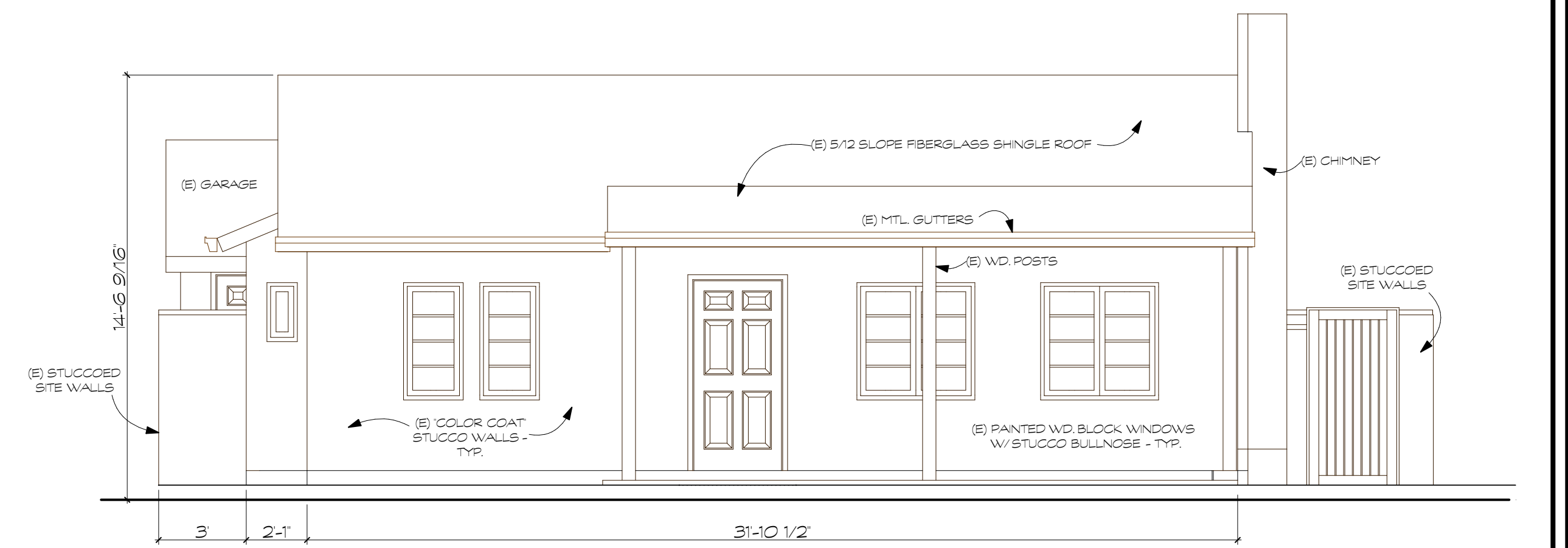
① EXISTING EAST ELEVATION
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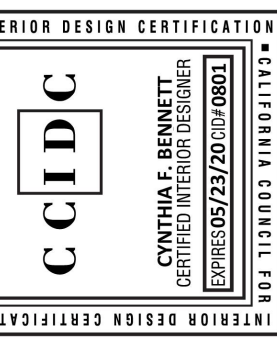
② EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"



③ EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



④ EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



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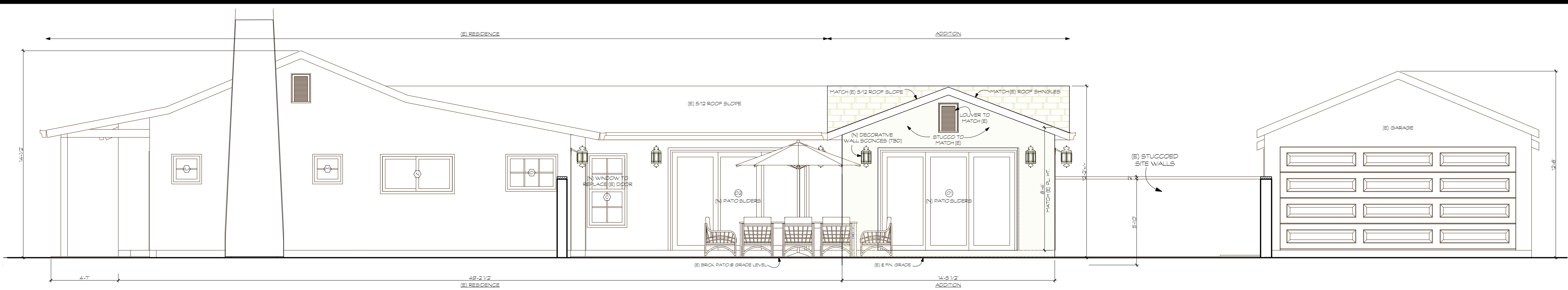
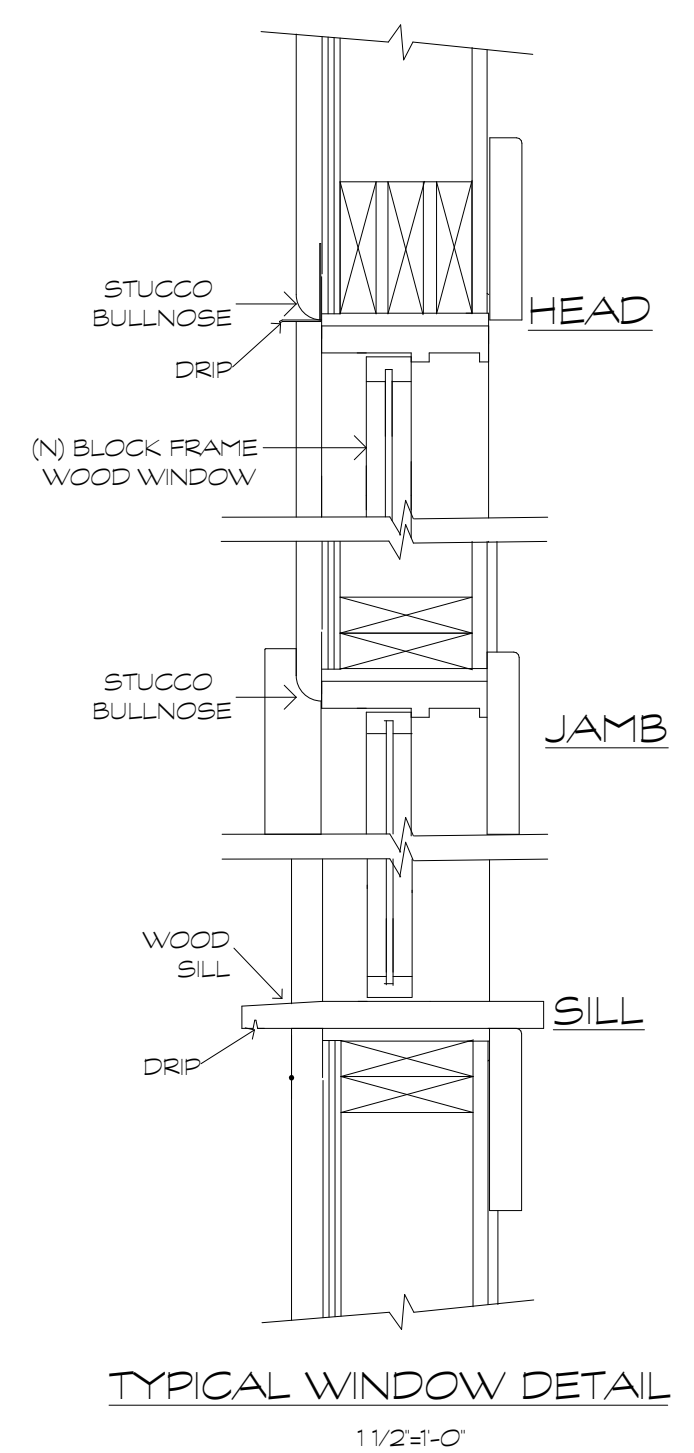
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**EXISTING
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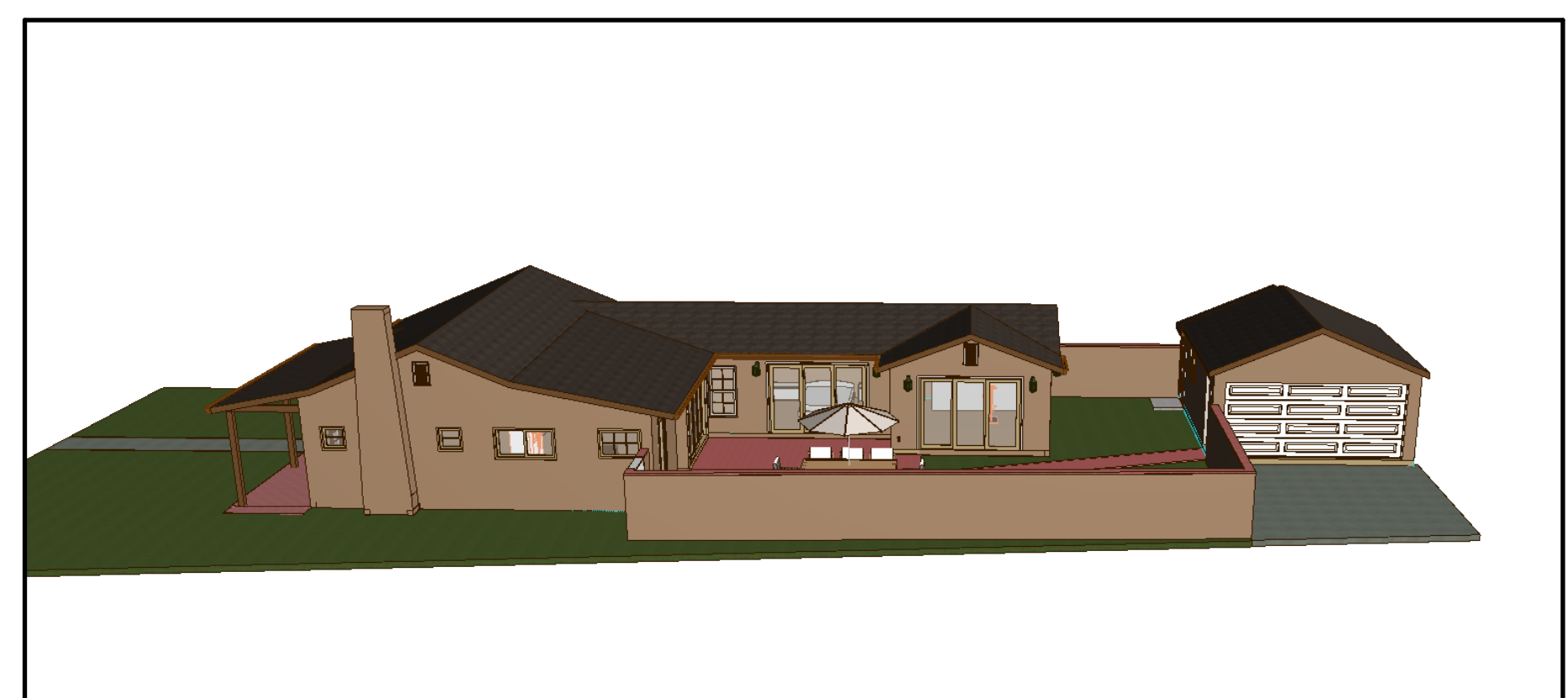
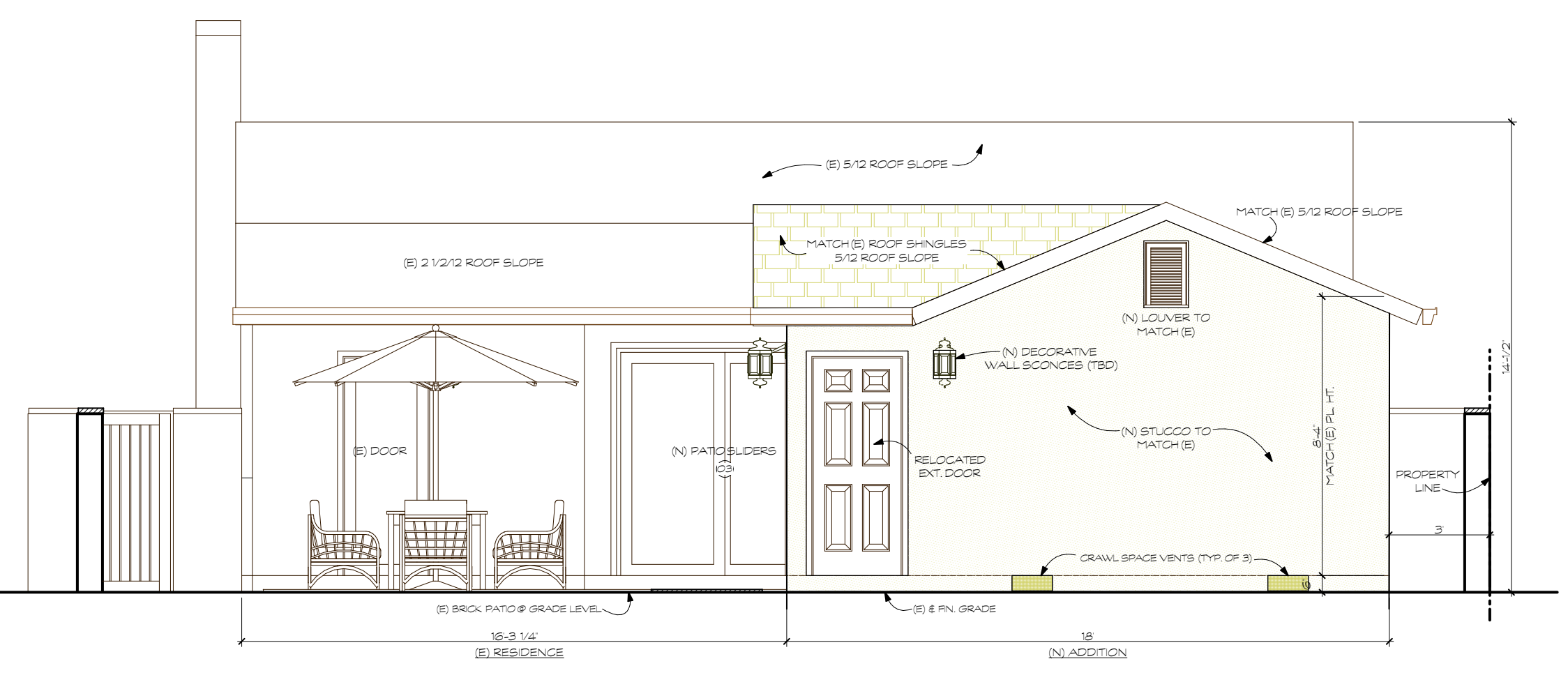
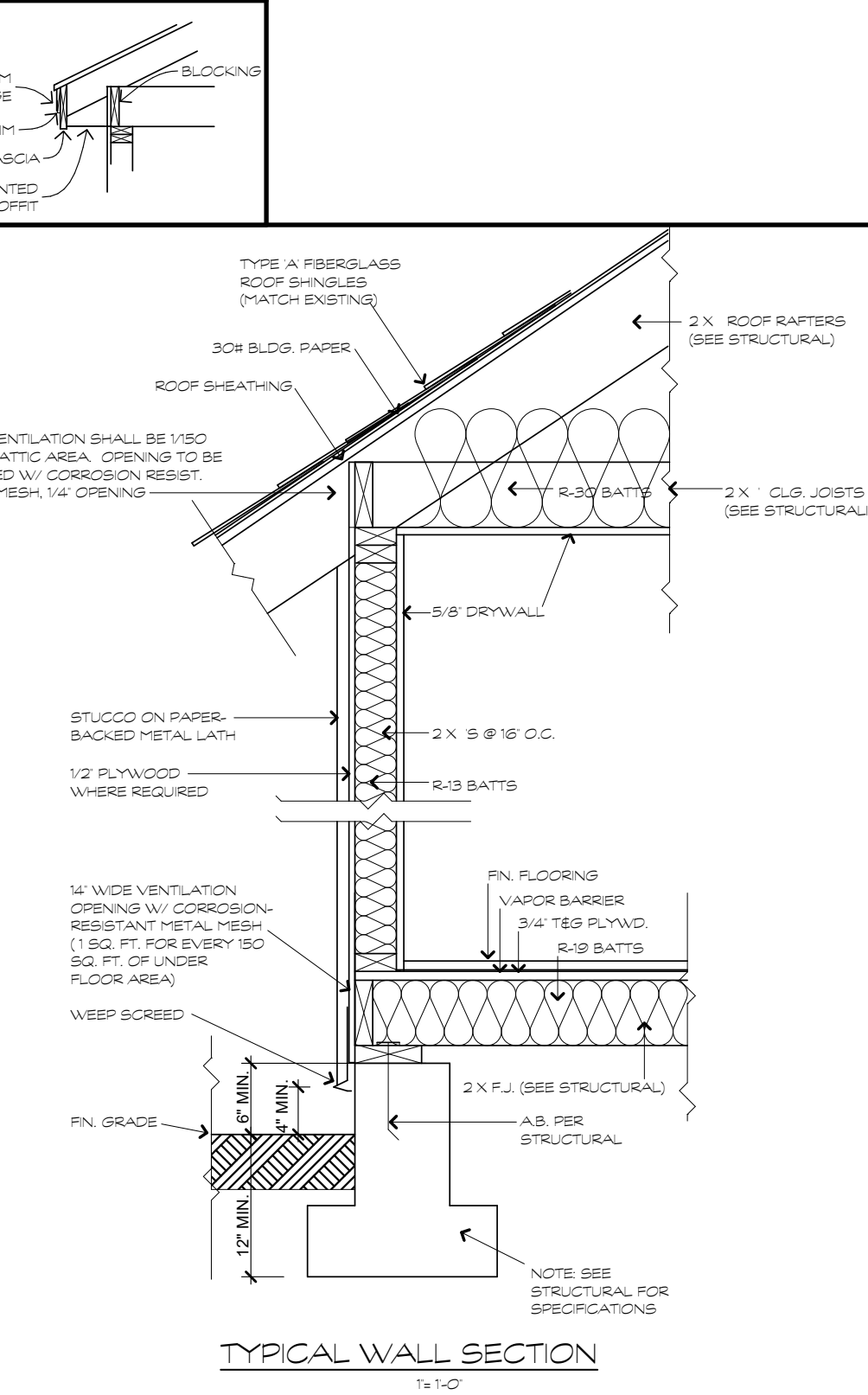
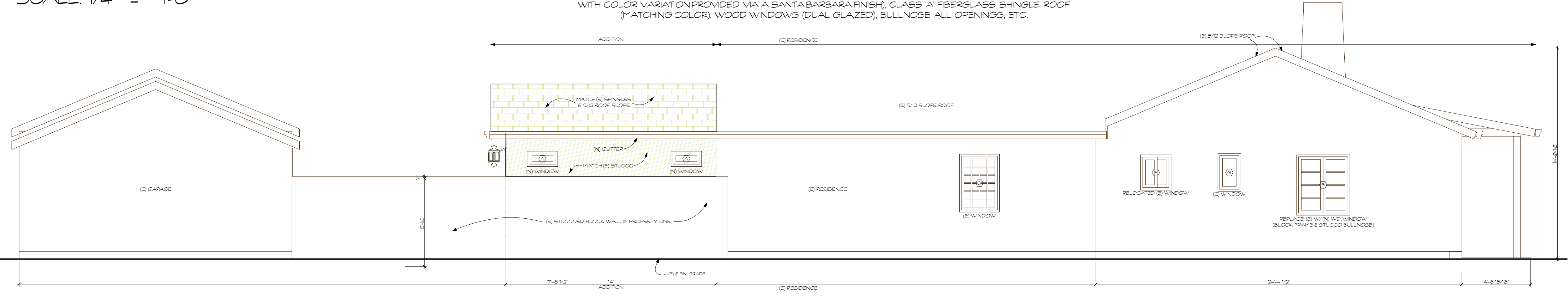
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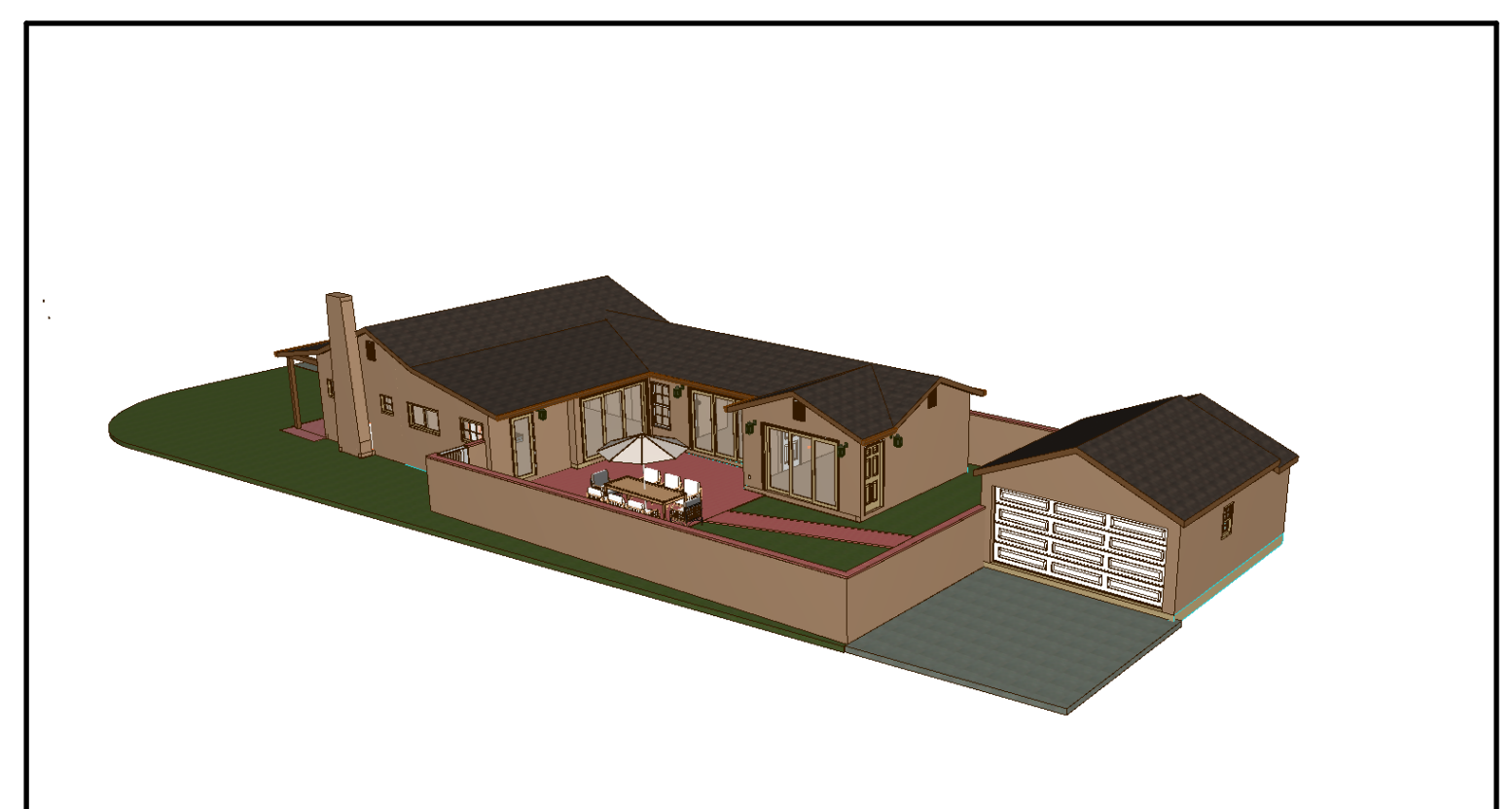
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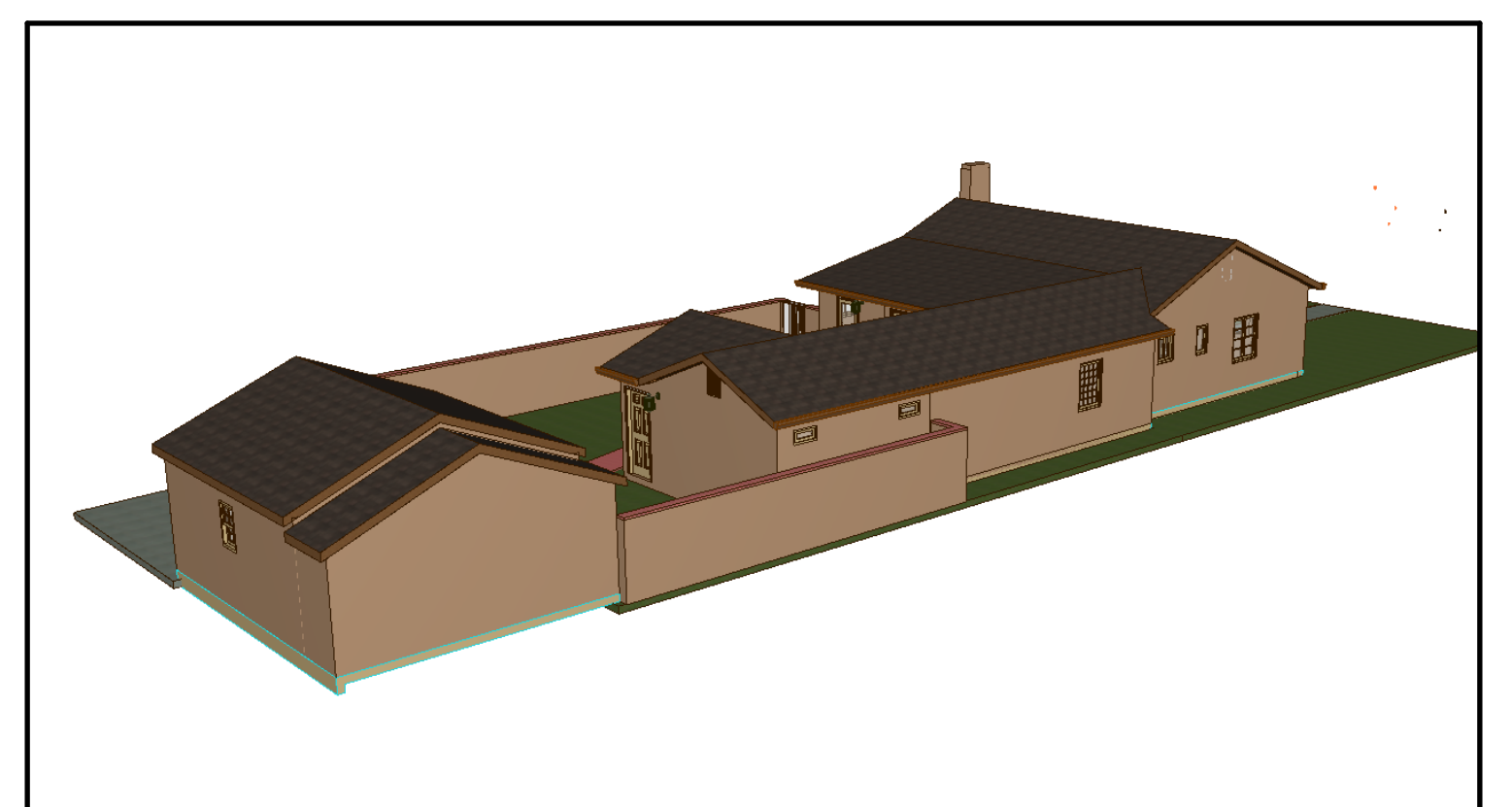
NOTE: (N) ADDITION TO MATCH ALL (E) MATERIALS, COLORS, & DETAILING
 COLOR COAT STUCCO (MATCH EXISTING HEX A58D7F (RGB 165, 141, 127) AND CYMK 0%, 15%, 23%, 35%)
 WITH COLOR VARIATION PROVIDED VIA A SANTA BARBARA FINISH; CLASS 'A' FIBERGLASS SHINGLE ROOF (MATCHING COLOR); WOOD WINDOWS (DUAL GLAZED); BULLNOSE ALL OPENINGS, ETC.



FROM EAST



FROM NORTHEAST



FROM NORTHWEST

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

REVISIONS

Table with 2 columns: ID, REVISION. Contains 5 revision entries.

DATE: 8/1/2023

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2022 CALGREEN RESIDENTIAL PROJECTS

SHEET:

CAL-1 OF SHEETS

Y N/A RESPON PARTY YES APPLICABLE RESPONSIBLE PARTY (IN ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC) NO

Table with 2 columns: Y N/A RESPON PARTY, and content for CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL, 301.1 SCOPE, 301.1.1 Additions and alterations, 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS, SECTION 302 MIXED OCCUPANCY BUILDINGS, 302.1 MIXED OCCUPANCY BUILDINGS, DIVISION 4.1 PLANNING AND DESIGN, ABBREVIATION DEFINITIONS, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, 4.102.1 DEFINITIONS, FRENCH DRAIN, WATTLES, 4.106 SITE DEVELOPMENT, 4.106.1 GENERAL, 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION, 4.106.3 GRADING AND PAVING, 4.106.4 Electric vehicle (EV) charging for new construction.

Table with 2 columns: Y N/A RESPON PARTY, and content for 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities, 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, 4.106.4.2.3 Accessible EV spaces, 4.106.4.2.4 Electric vehicle charging stations (EVCS) dimensions, 4.106.4.2.5 EV space requirements.

Table with 2 columns: Y N/A RESPON PARTY, and content for Exception: A raceway is not required, 4.106.4.2.1 Identification, 4.106.4.2.5 Electric Vehicle Ready Space Signage, 4.106.4.3 Electric vehicle charging for additions and alterations, 4.106.4.3.1 Water Closets, 4.106.4.3.2 Urinals, 4.106.4.3.3 Showerheads, 4.106.4.3.4 Faucets, 4.106.4.3.5 Kitchen Faucets, 4.106.4.3.6 Pre-rinse spray valves, 4.106.4.3.7 Metering Faucets, 4.106.4.3.8 Plumbing fixtures and fittings, 4.106.4.3.9 Water conserving plumbing fixtures and fittings, 4.106.4.3.10 Water conserving plumbing fixtures and fittings, 4.106.4.3.11 Water Closets, 4.106.4.3.12 Urinals, 4.106.4.3.13 Showerheads, 4.106.4.3.14 Faucets, 4.106.4.3.15 Kitchen Faucets, 4.106.4.3.16 Pre-rinse spray valves, 4.106.4.3.17 Metering Faucets, 4.106.4.3.18 Plumbing fixtures and fittings, 4.106.4.3.19 Water conserving plumbing fixtures and fittings, 4.106.4.3.20 Water conserving plumbing fixtures and fittings, 4.106.4.3.21 Water conserving plumbing fixtures and fittings, 4.106.4.3.22 Water conserving plumbing fixtures and fittings, 4.106.4.3.23 Water conserving plumbing fixtures and fittings, 4.106.4.3.24 Water conserving plumbing fixtures and fittings, 4.106.4.3.25 Water conserving plumbing fixtures and fittings, 4.106.4.3.26 Water conserving plumbing fixtures and fittings, 4.106.4.3.27 Water conserving plumbing fixtures and fittings, 4.106.4.3.28 Water conserving plumbing fixtures and fittings, 4.106.4.3.29 Water conserving plumbing fixtures and fittings, 4.106.4.3.30 Water conserving plumbing fixtures and fittings, 4.106.4.3.31 Water conserving plumbing fixtures and fittings, 4.106.4.3.32 Water conserving plumbing fixtures and fittings, 4.106.4.3.33 Water conserving plumbing fixtures and fittings, 4.106.4.3.34 Water conserving plumbing fixtures and fittings, 4.106.4.3.35 Water conserving plumbing fixtures and fittings, 4.106.4.3.36 Water conserving plumbing fixtures and fittings, 4.106.4.3.37 Water conserving plumbing fixtures 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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

MAXIMUM INCREMENTAL REACTIVITY (MIR), MOISTURE CONTENT, PRODUCT-WEIGHTED MIR (PWMI), REACTIVE ORGANIC COMPOUND (ROC), VOC, 4.503 FIREPLACES, 4.504 POLLUTANT CONTROL, 4.504.1 ADHESIVE VOC LIMIT, 4.504.2 PAINTS AND COATINGS, 4.504.3 CARPET, 4.504.4 VERIFICATION, 4.504.5 CARPET CUSHION, 4.504.6 COMPOSITE WOOD PRODUCTS, 4.504.7 CARPET ADHESIVE, 4.504.8 RESILIENT FLOORING SYSTEMS, 4.504.9 MOISTURE CONTROL, 4.504.10 CONCRETE SLAB FOUNDATIONS, 4.504.11 CAPILLARY BREAK, 4.504.12 MOISTURE CONTENT OF BUILDING MATERIALS, 4.504.13 INDOOR AIR QUALITY AND EXHAUST

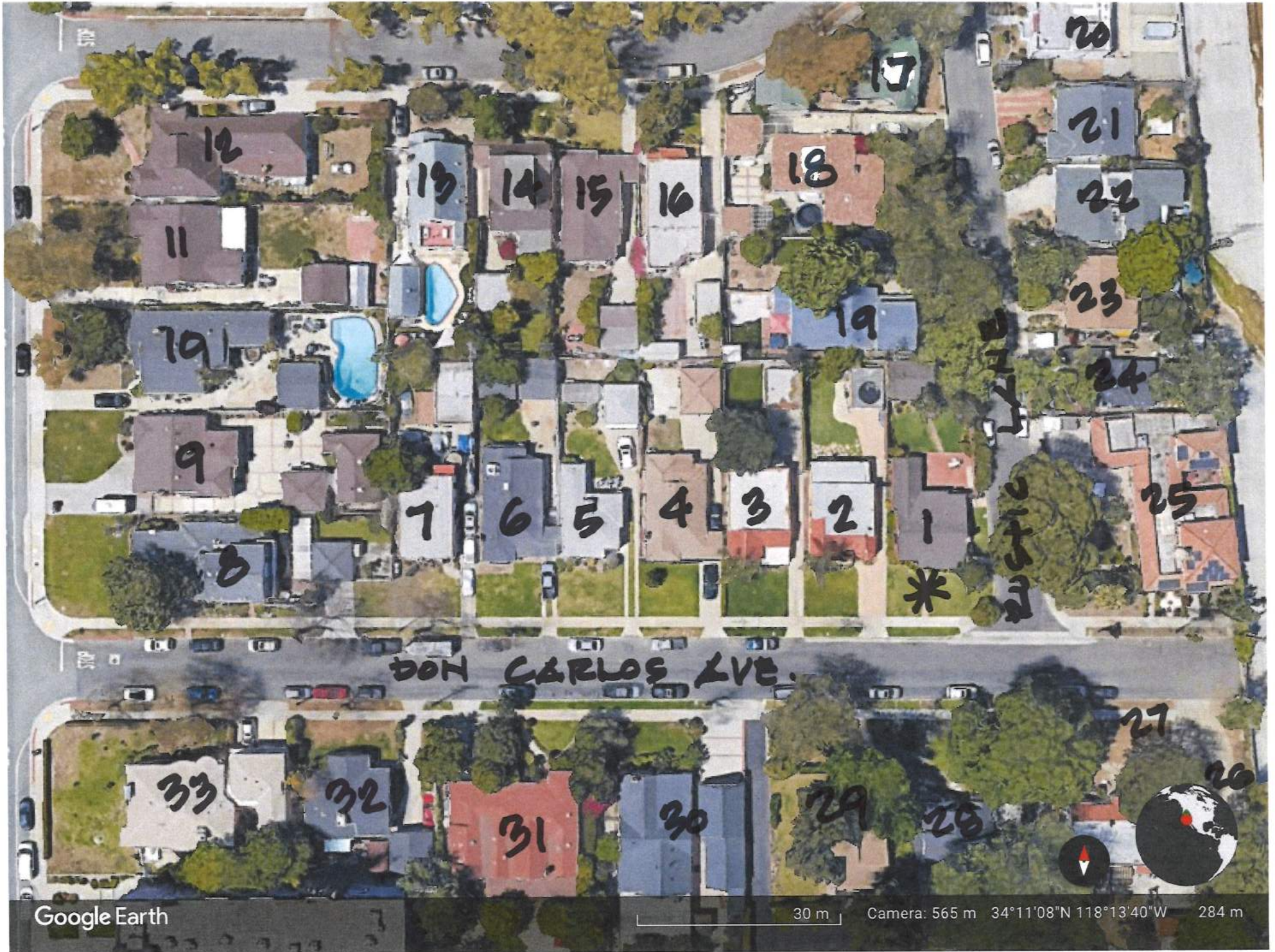
TABLE 4.504.2 - SEALANT VOC LIMIT, TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS, TABLE 4.504.1 - ADHESIVE VOC LIMIT, TABLE 4.504.5 - FORMALDEHYDE LIMITS

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING, 702.2 SPECIAL INSPECTION [HCD], 703 VERIFICATIONS
703.1 DOCUMENTATION, 4.505 INTERIOR MOISTURE CONTROL, 4.506 INDOOR AIR QUALITY AND EXHAUST

REVISIONS table with columns for ID, REVISION, DATE, DRAWN, CHECKED, FOR, SCALE, TITLE, SHEET information

Exhibit 2 - Neighborhood Survey/Photos

| Photo# | Street Address | Stories | Setback | House | Lot | FAR |
|---|----------------------|-------------|--------------|----------------|----------------|-------------|
| pic 1.1733 (Subject property) | 1733 Don Carlos Ave. | 1 | 25 | 1435 | 5650 | 0.25 |
| pic 2.1729 | 1729 Don Carlos Ave. | 1 | 25 | 1131 | 5000 | 0.23 |
| pic 3.1727 | 1727 Don Carlos Ave. | 1 | 25 | 1198 | 5000 | 0.24 |
| pic 4.1723 | 1723 Don Carlos Ave. | 1 | 25 | 1209 | 5000 | 0.24 |
| pic 5.1719 | 1719 Don Carlos Ave. | 1 | 25 | 957 | 5000 | 0.19 |
| pic 6.1717 | 1717 Don Carlos Ave. | 1 | 25 | 1309 | 5000 | 0.26 |
| pic 7.1713 | 1713 Don Carlos Ave. | 1 | 25 | 956 | 5000 | 0.19 |
| pic 8.2700 | 2700 Canada Blvd | 2 | 35 | 2362 | 7500 | 0.31 |
| pic 9.2704 | 2704 Canada Blvd | 1 | 35 | 1383 | 7500 | 0.18 |
| pic 10.2708 | 2708 Canada Blvd | 1 | 35 | 1802 | 7500 | 0.24 |
| pic 11.2712 | 2712 Canada Blvd | 1 | 35 | 1516 | 7500 | 0.2 |
| pic 12.2716 | 2716 Canada Blvd | 1 | 35 | 1548 | 7500 | 0.21 |
| pic 13.1712 | 1712 Woodland Ave. | 1 | 25 | 1654 | 5000 | 0.33 |
| pic 14.1716 | 1716 Woodland Ave. | 1 | 25 | 1232 | 5000 | 0.25 |
| pic 15.1720 | 1720 Woodland Ave. | 1 | 25 | 1272 | 5000 | 0.25 |
| pic 16.1722 | 1722 Woodland Ave. | 1 | 25 | 1364 | 5056 | 0.27 |
| pic 17.1726 | 1726 Woodland Ave. | 1 | 25 | 978 | 3732 | 0.26 |
| pic 18.2717 | 2717 Rustic LN | 1 | 25 | 1376 | 6666 | 0.21 |
| pic 19.2711 | 2711 Rustic LN | 2 | 25 | 1621 | 4721 | 0.34 |
| pic 20.2722 | 2722 Rustic LN | 1 | 20 | 1364 | 5248 | 0.26 |
| pic 21.2718 | 2718 Rustic LN | 1 | 20 | 850 | 3661 | 0.23 |
| pic 22.2714 | 2714 Rustic LN | 1 | 20 | 1828 | 3877 | 0.47 |
| pic 23.2712 | 2712 Rustic LN | 1 | 20 | 769 | 4102 | 0.19 |
| pic 24.2708 | 2708 Rustic LN | 1 | 20 | 900 | 4328 | 0.21 |
| pic 25.1745 | 1745 Don Carlos Ave. | 2 | 20 | 1886 | 11709 | 0.16 |
| pic 26.1744 | 1744 Don Carlos Ave. | 1 | 25 | 1815 | 9973 | 0.18 |
| pic 27.1740 | 1740 Don Carlos Ave. | 1 | 35 | 1560 | 9375 | 0.17 |
| pic 28.1734 | 1734 Don Carlos Ave. | 1 | 35 | 2786 | 13875 | 0.2 |
| pic 29.1728 | 1728 Don Carlos Ave. | 1 | 35 | 1395 | 13875 | 0.1 |
| pic 30.1722 | 1722 Don Carlos Ave. | 1 | 25 | 2344 | 13875 | 0.17 |
| pic 31.1716 | 1716 Don Carlos Ave. | 1 | 25 | 1785 | 13875 | 0.13 |
| pic 32.1710 | 1710 Don Carlos Ave. | 1 | 25 | 960 | 5180 | 0.19 |
| pic 33.1700 (excluded, Multi-family) | 1700 Don Carlos Ave. | 2 | 20 | 4004 | 7400 | 0.54 |
| Averages | | 1.12 | 26.61 | 1455.16 | 6955.74 | 0.23 |



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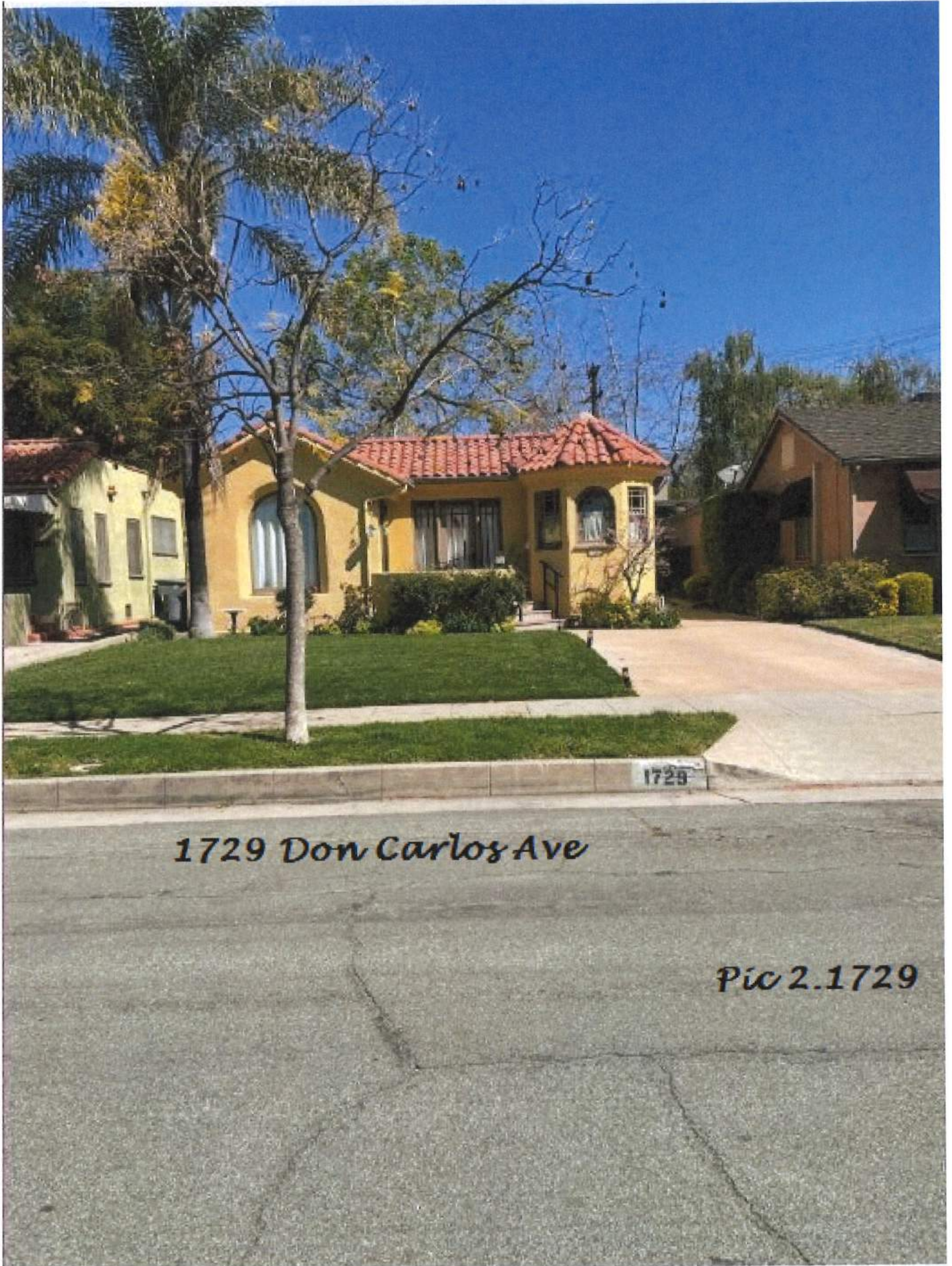
14

16



1733 Don Carlos Ave.

Pic 1.1733



1729 Don Carlos Ave

Pic 2.1729



1727 Don Carlos Ave.

PIE 3.1727



1723 Don Carlos Ave.

Pic 4.1723



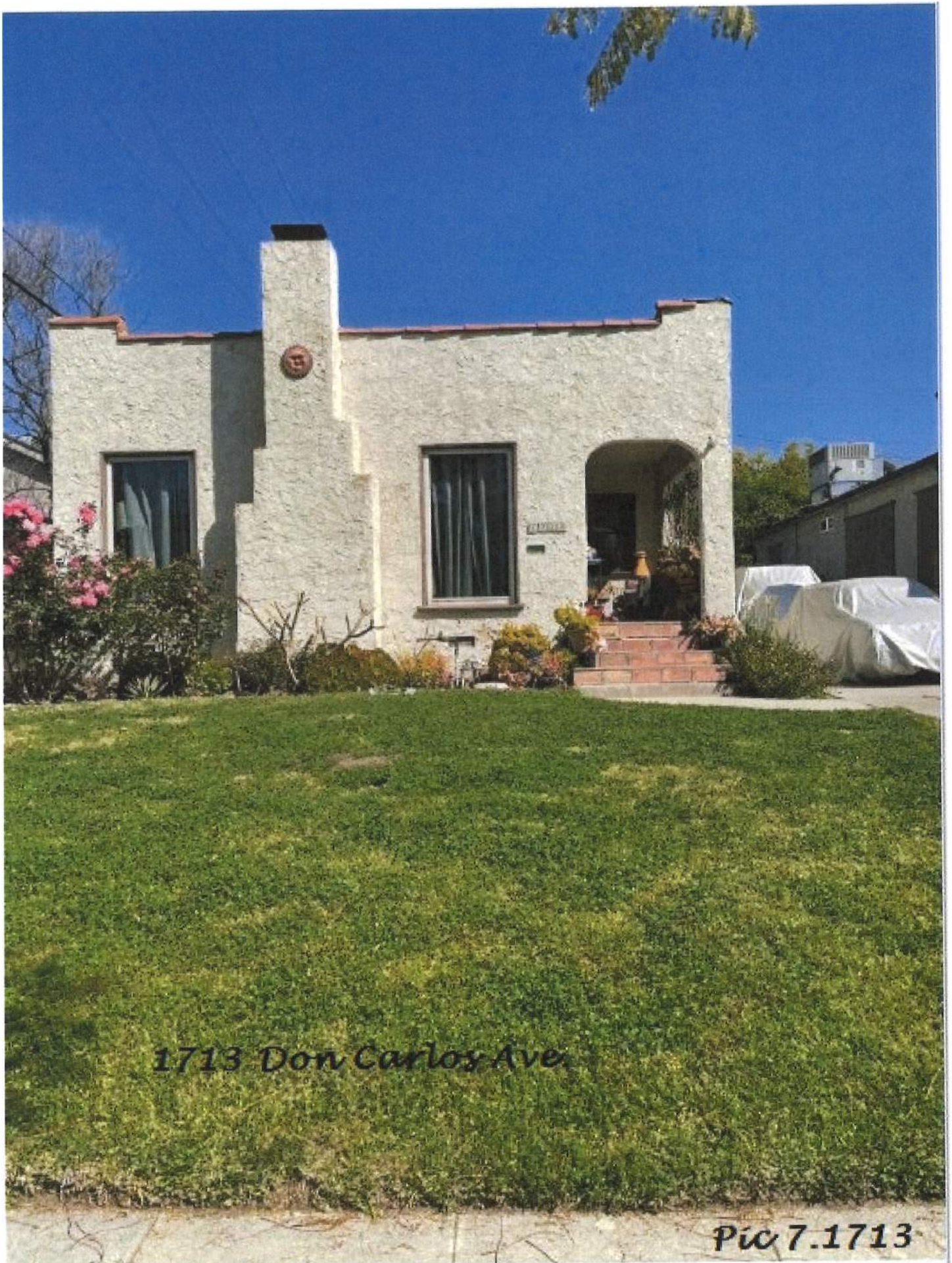
1719 Don Carlos Ave.

Pic 5.1719



1717 Don Carlos Ave.

Pic 6.1717



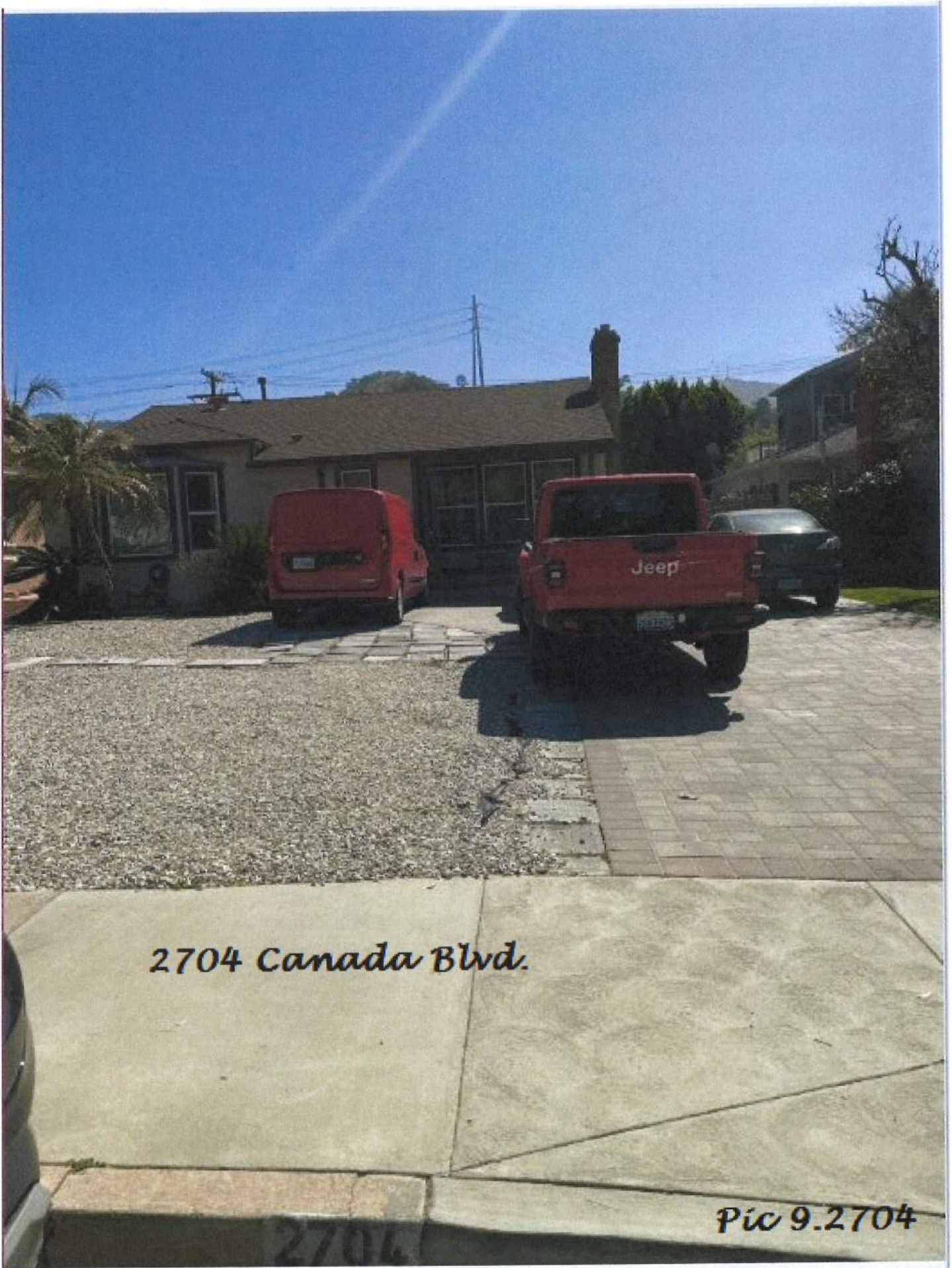
1713 Don Carlos Ave.

Pic 7.1713



2700 Canada Blvd.

Pic 8.2700



2704 Canada Blvd.

Pic 9.2704



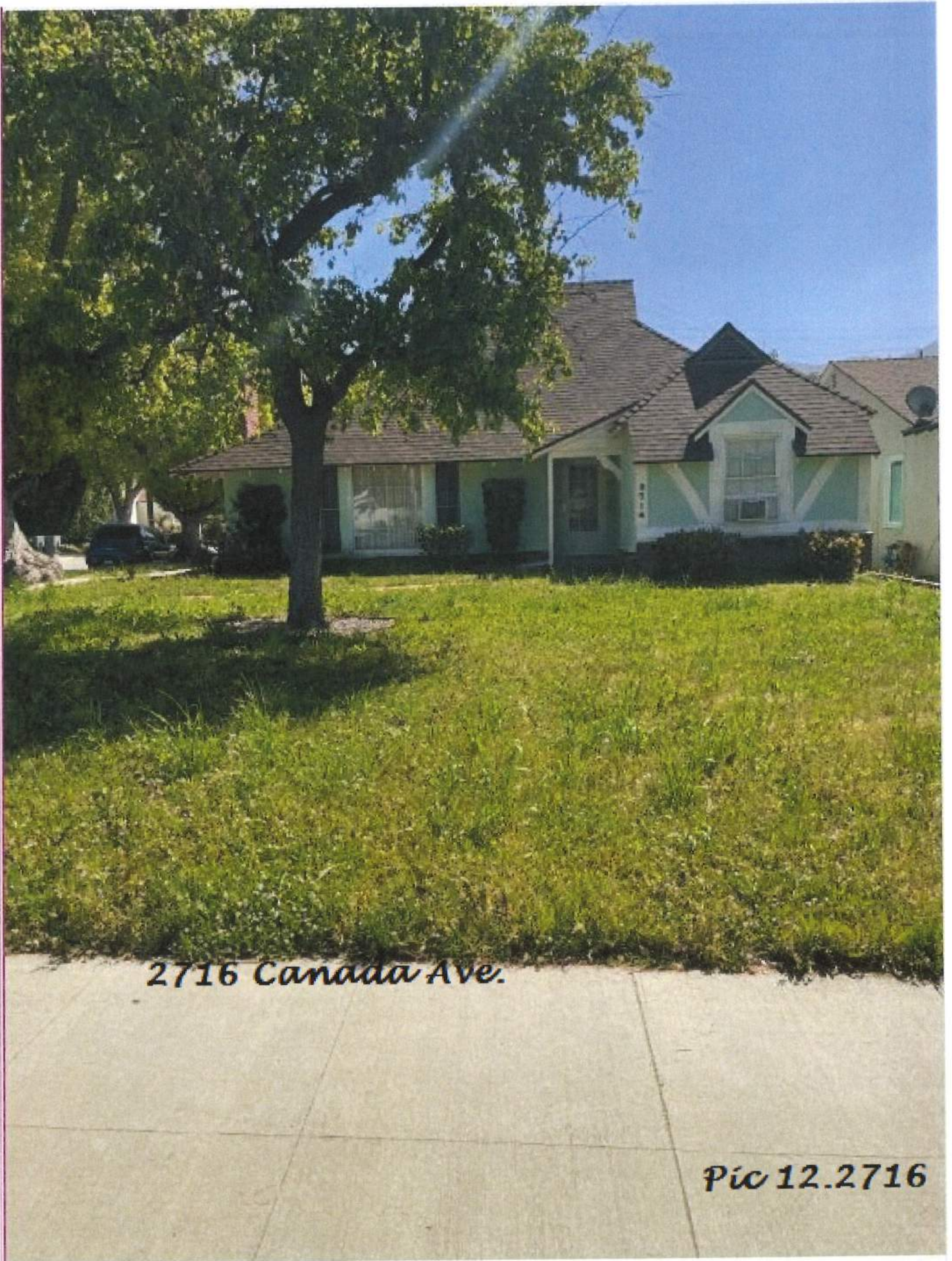
2708 Canada Blvd.

Pic 10.2708



2712 Canada Blvd.

Pic 11.2712



2716 Canada Ave.

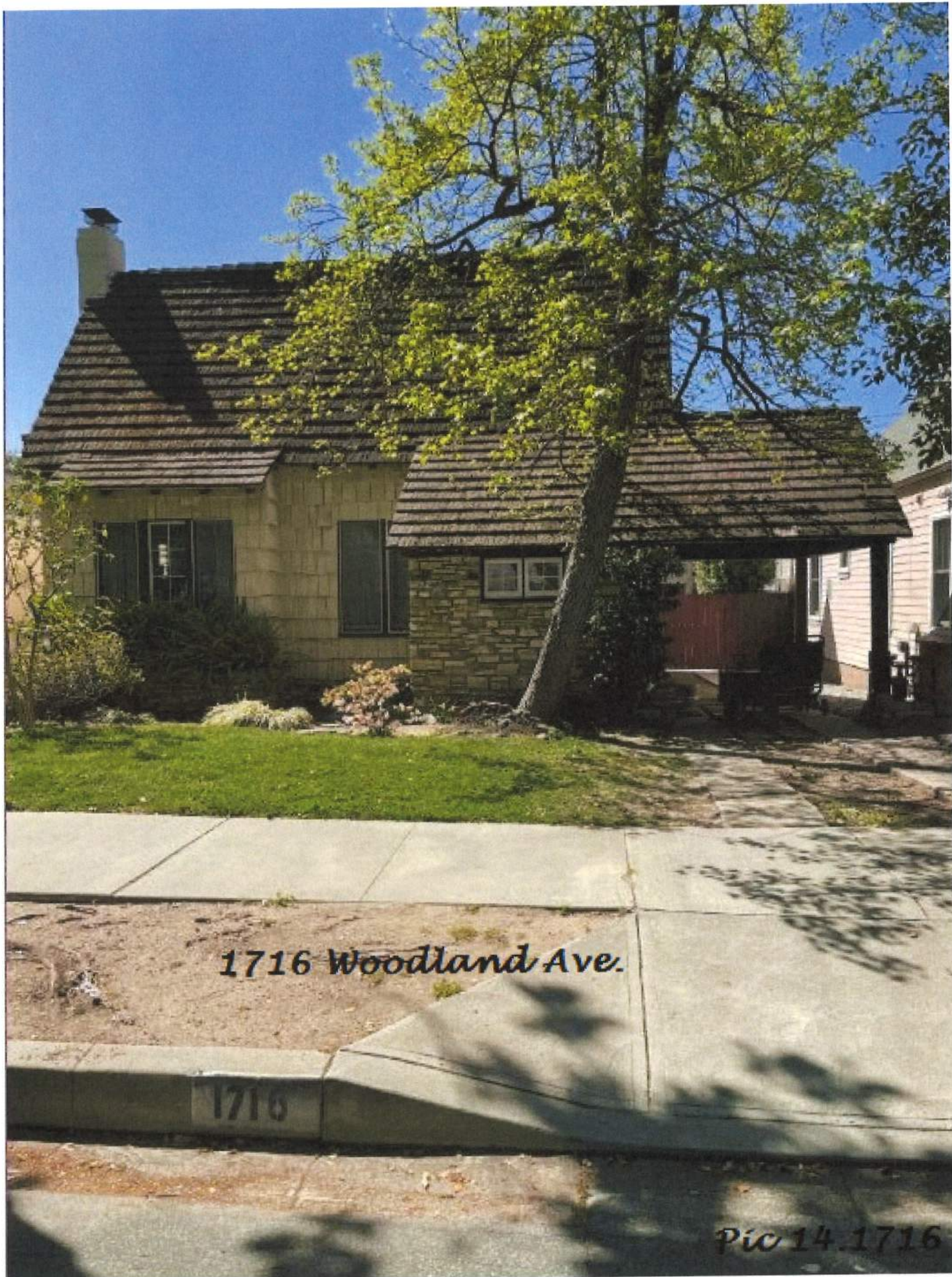
Pic 12.2716



1712 Woodland Ave.

1712

Pic 13.1712



1716 Woodland Ave.

1716

Pic 14 1716



1720 Woodland Ave.

Pic 15.1720



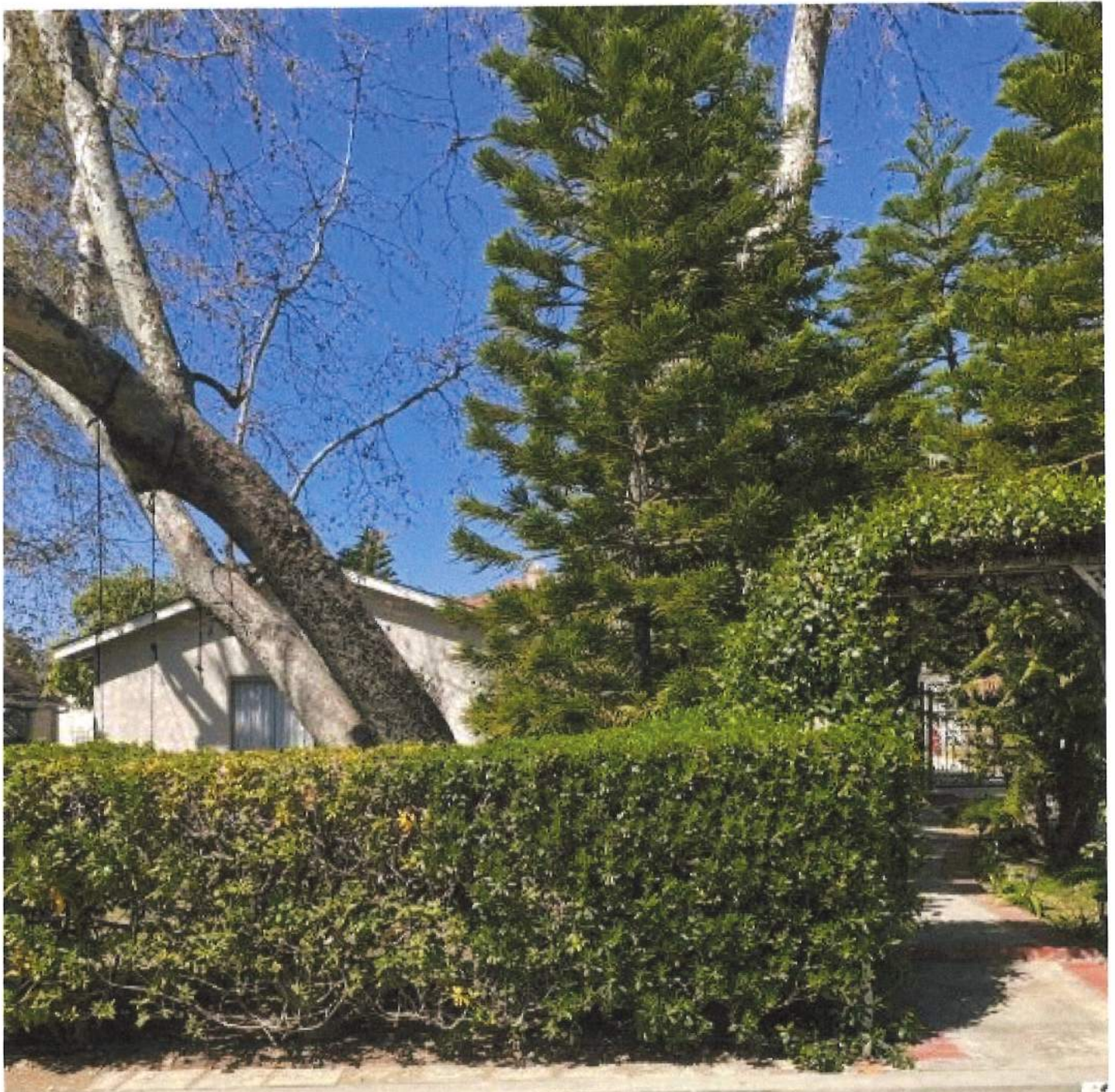
1722 Woodland Ave.

Pic 16.1722



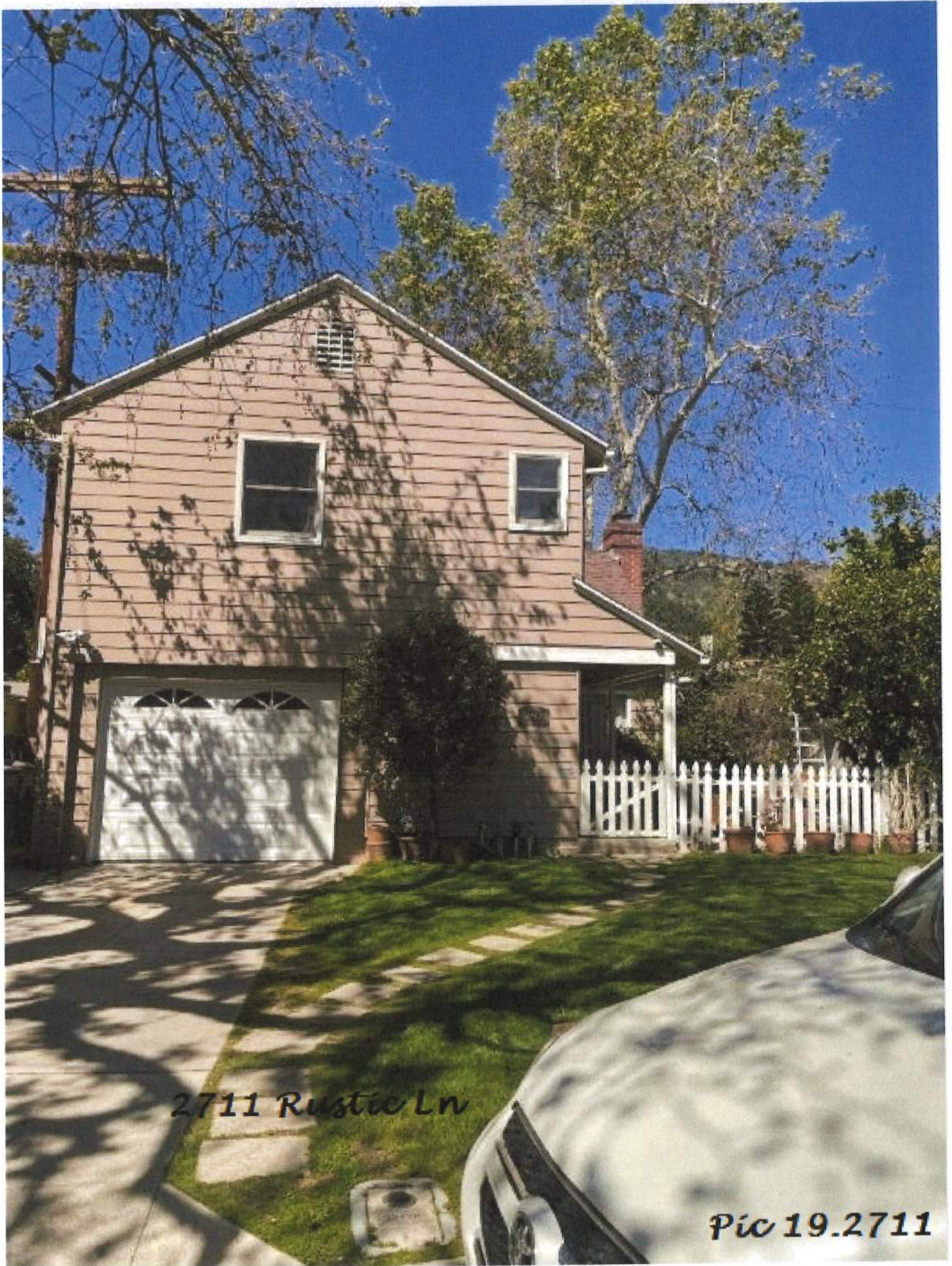
1726 Woodland Ave.

Pic 17.1726



2717 Rustic Ln

Pic 18.2717



2711 Rustic Ln

Pic 19.2711



2722 Rustic Ln

Pic 20.2722



2718 Rustic Ln

Pic 21.2718



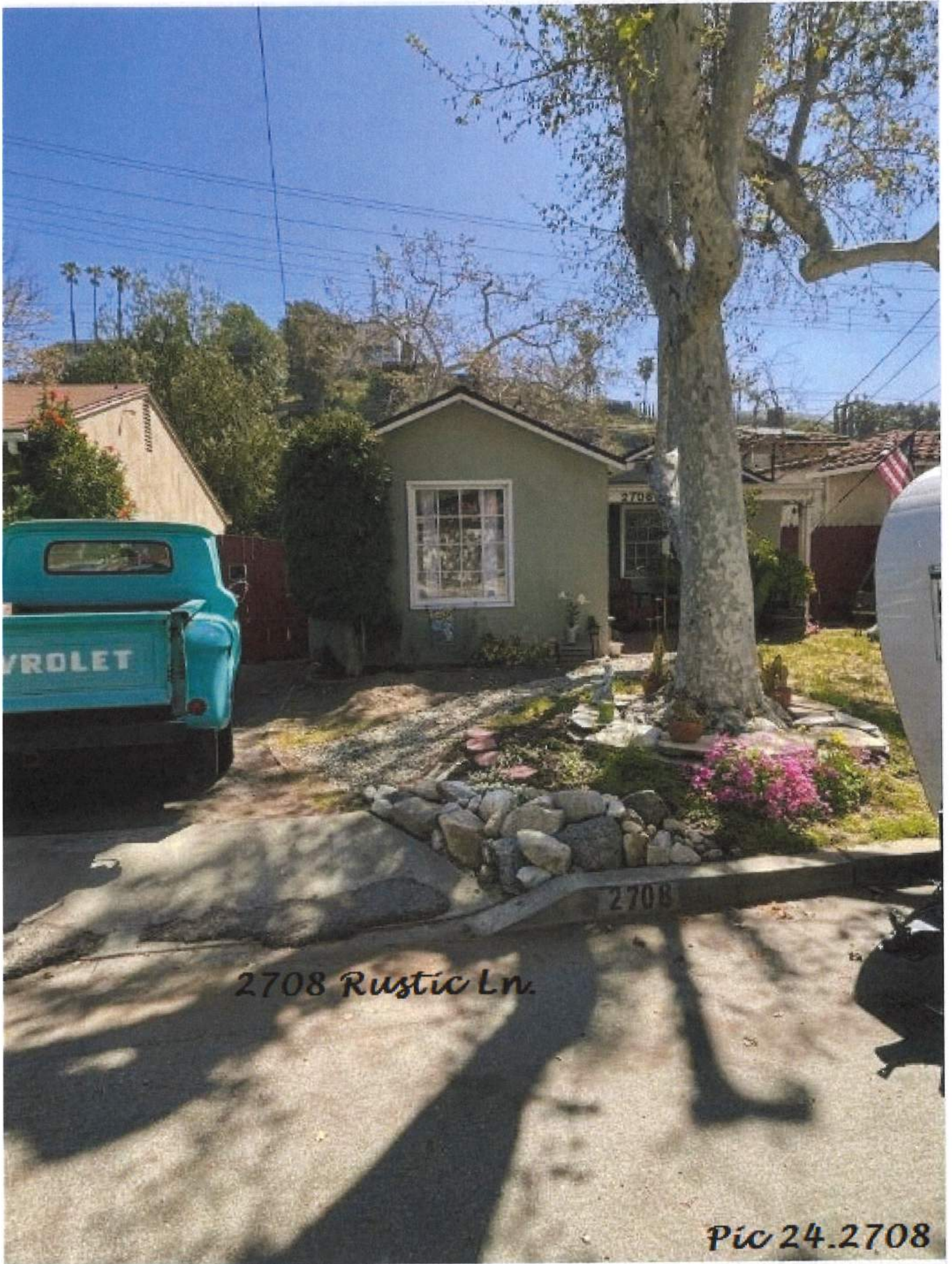
2714 Rustic Ln

Pic 22.2714



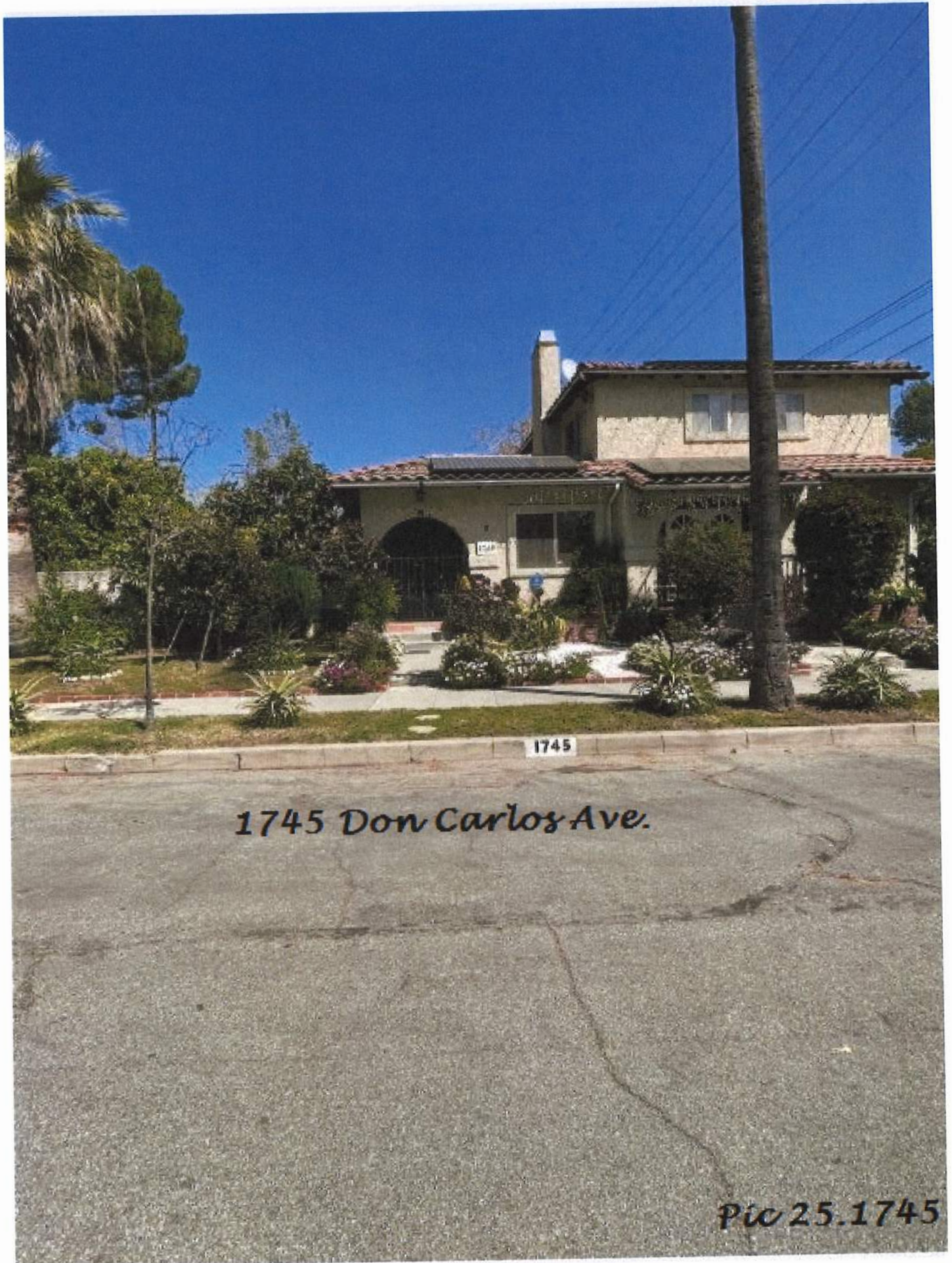
2712 Rustic Ln.

Pic 23.2712



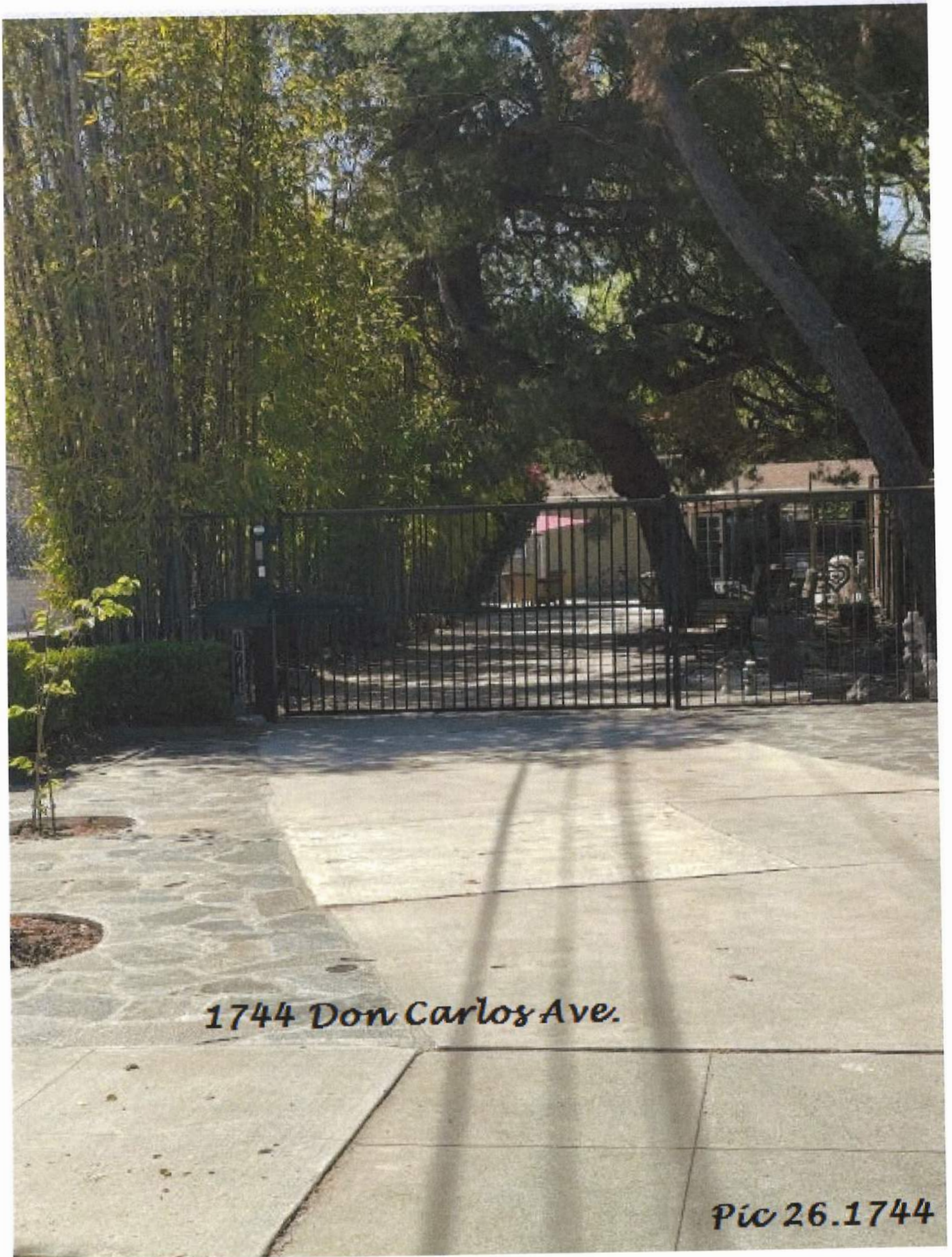
2708 Rustic Ln.

Pic 24.2708



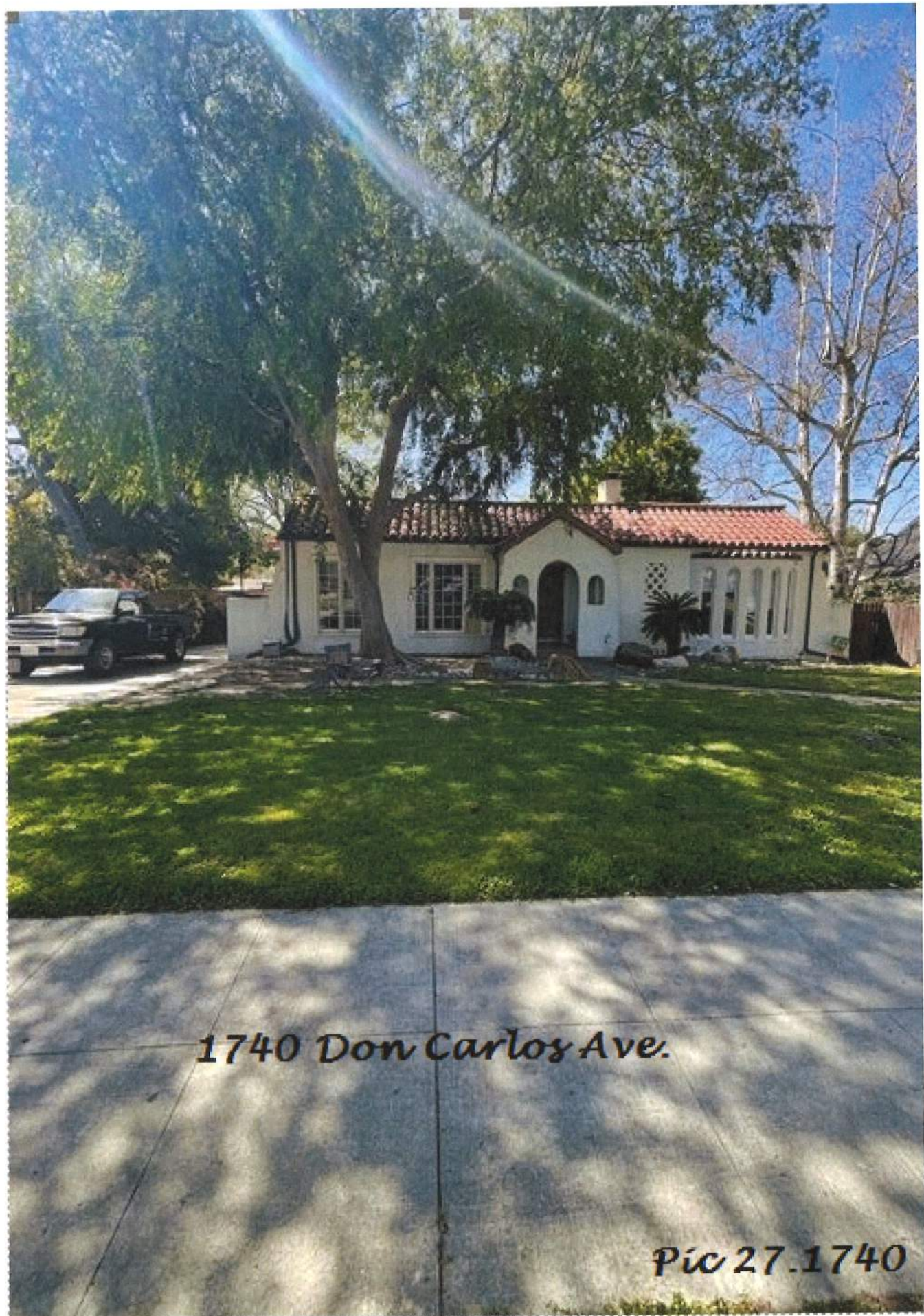
1745 Don Carlos Ave.

Pic 25.1745



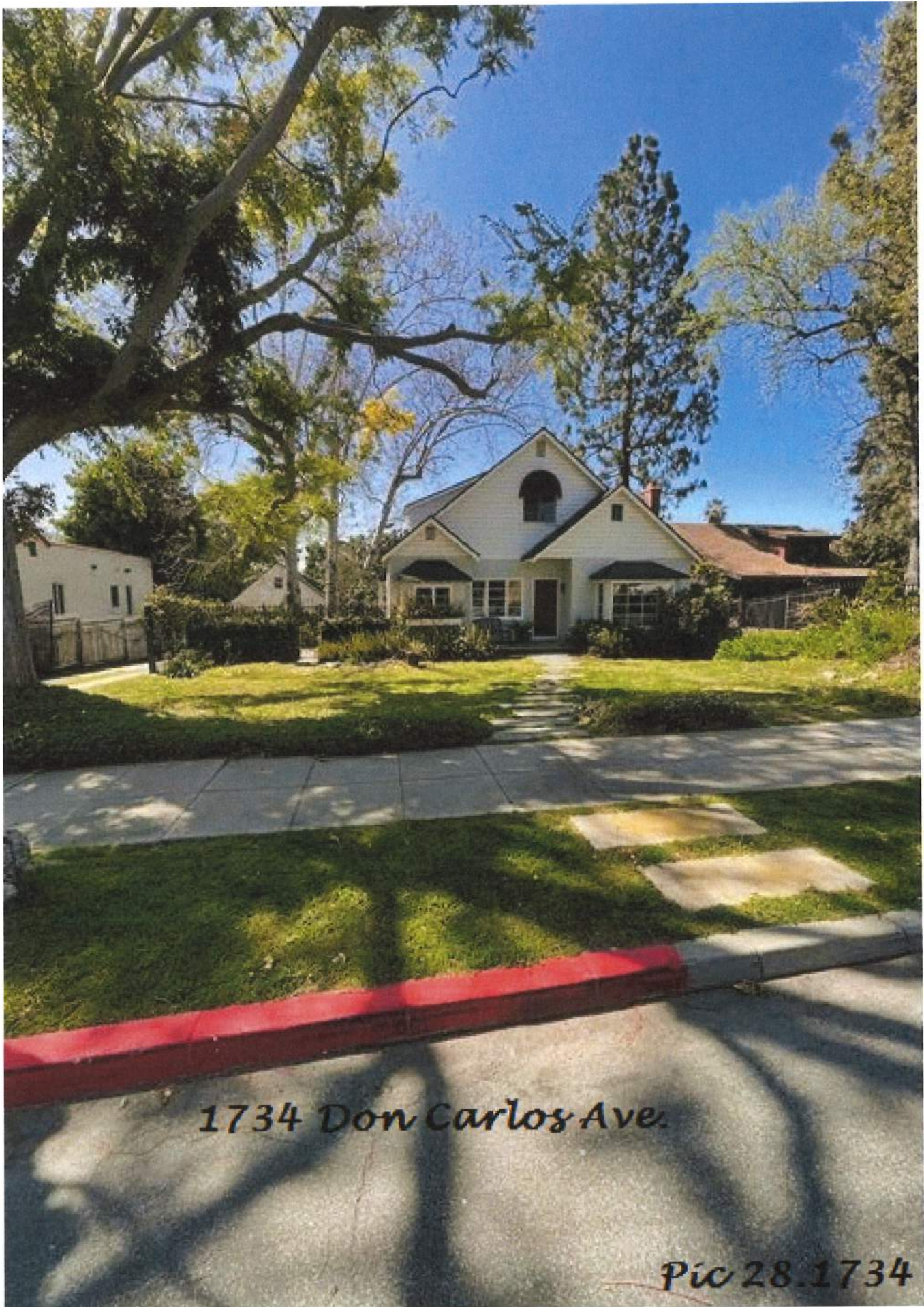
1744 Don Carlos Ave.

Pic 26.1744



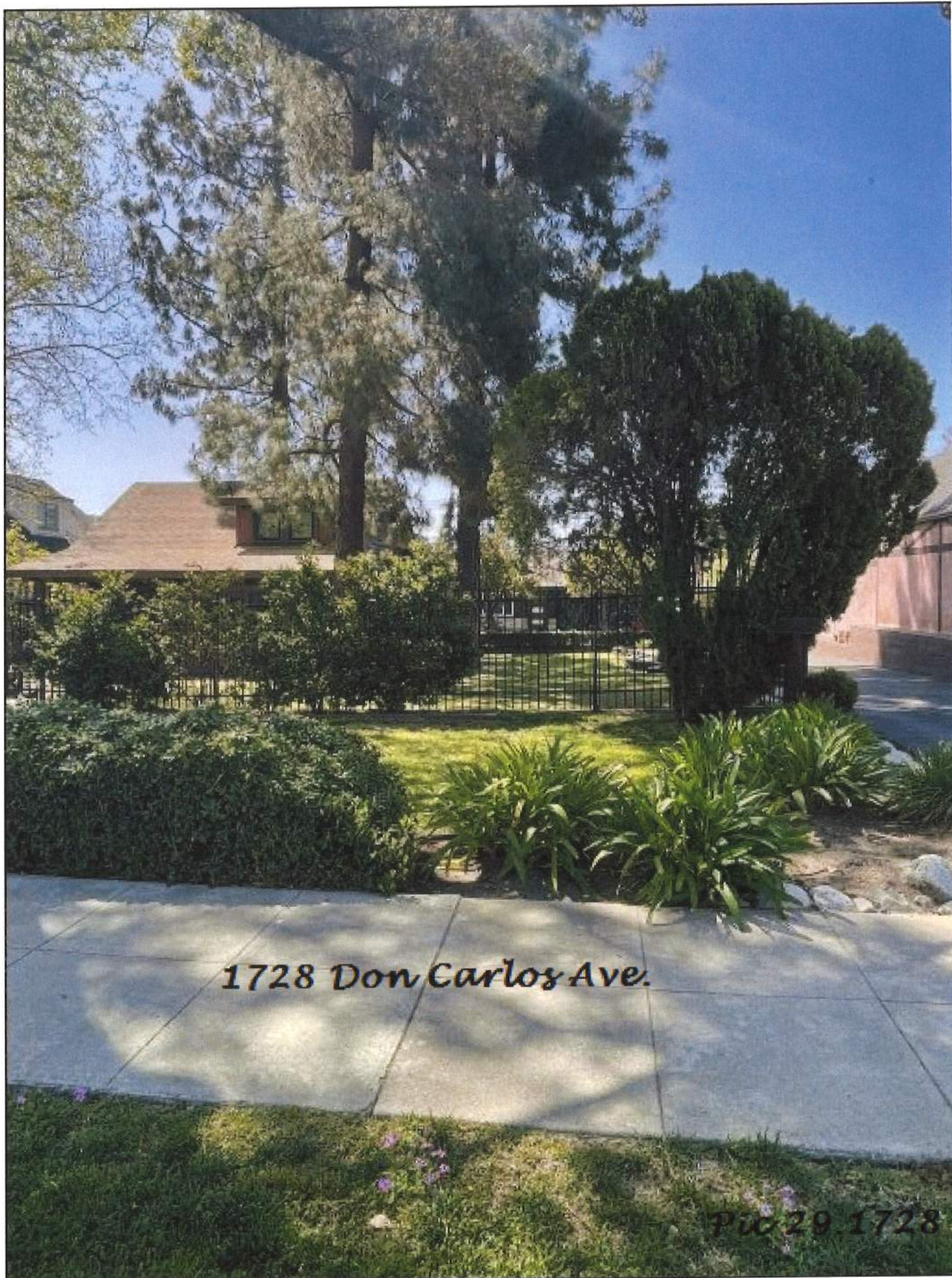
1740 Don Carlos Ave.

Pic 27.1740



1734 Don Carlos Ave.

Pic 28.1734



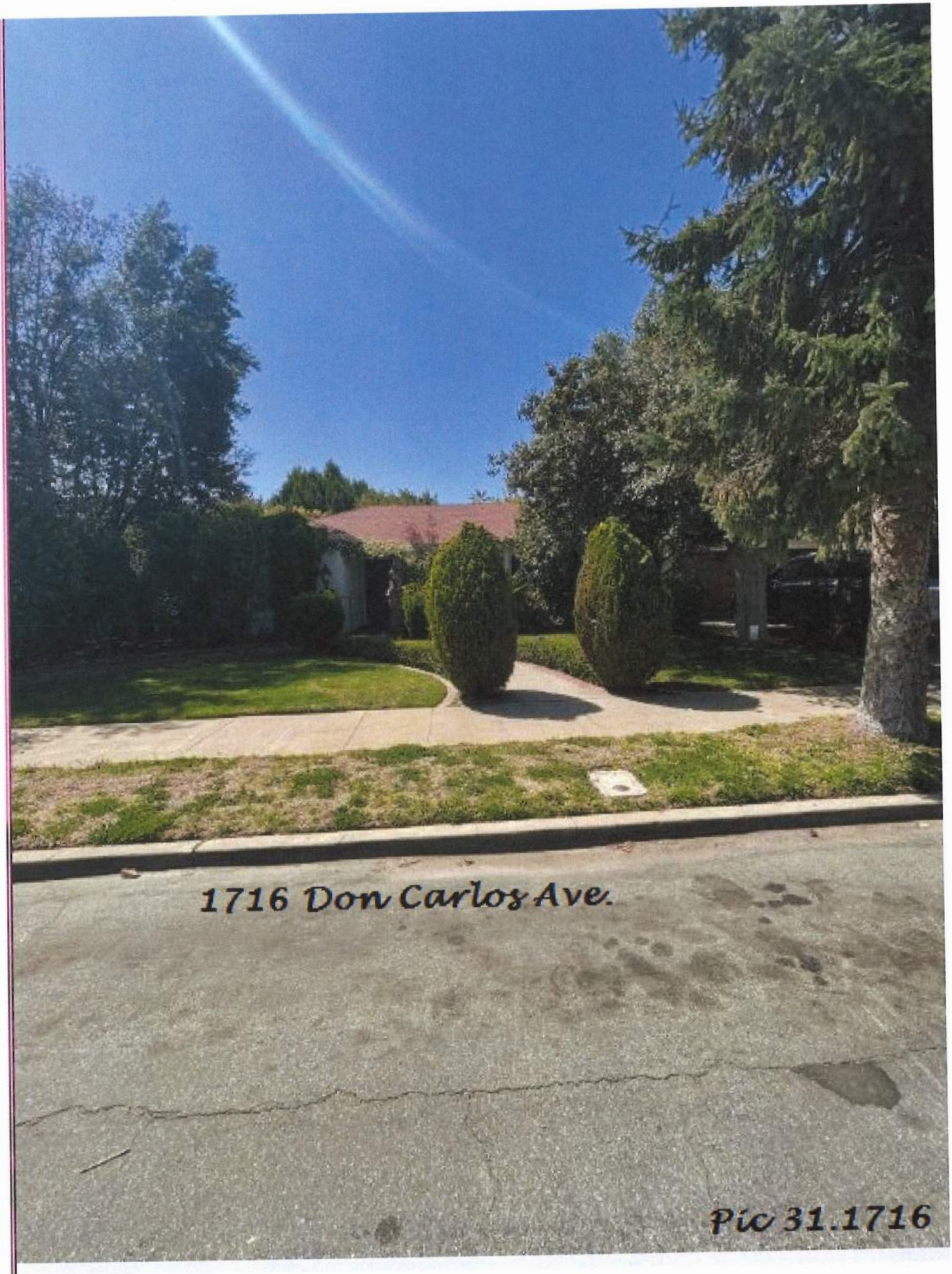
1728 Don Carlos Ave.

Pic 29 1728



1722 Don Carlos Ave

Pic 30.1722



1716 Don Carlos Ave.

Pic 31.1716



1710 Don Carlos Ave.

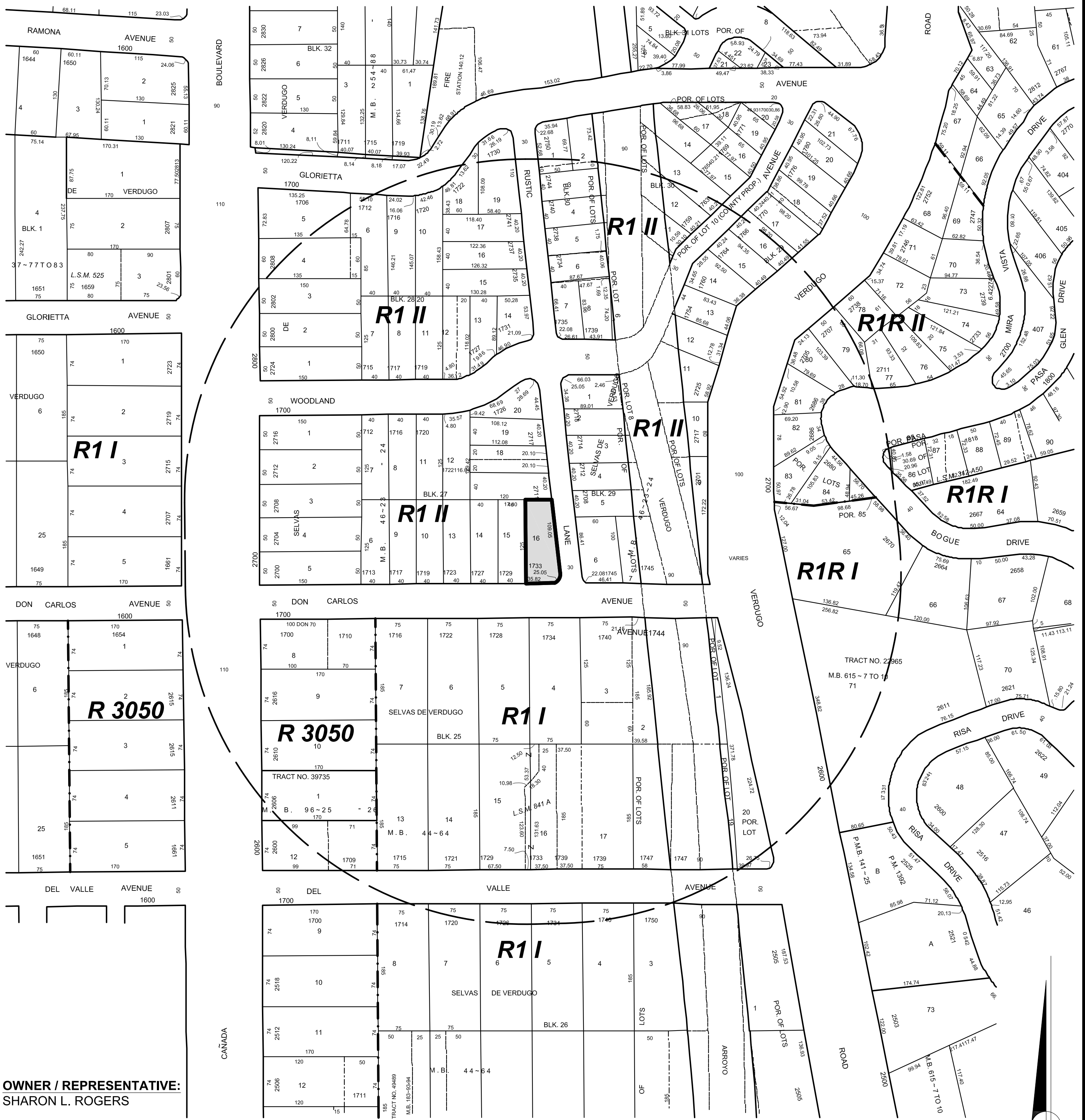
Pic 32.1710



1700 Don Carlos Ave.

Pic 33.1700

CITY OF GLENDALE Exhibit 3 - Location Map



OWNER / REPRESENTATIVE:
SHARON L. ROGERS

APPLICANT:
CYNTHIA BENNETT & ASSOCIATES
C/O TIM CLARK
(626) 799-9701

500' RADIUS MAP

SITE: 1733 DON CARLOS AVE.

GC MAPPING SERVICE, INC.
3055 WEST VALLEY BOULEVARD
ALHAMBRA CA 91803
(626) 441-1080 FAX (626) 441-8850
gcmapping@radiusmaps.com

LEGEND
ZONE LINE: - - - - -
ZONING:
R1 I: LOW DENSITY RESIDENTIAL FAR DIST I
R 3050: MODERATE DENSITY RESIDENTIAL
R1R II: RESTRICTED RESIDENTIAL FAR DIST II

CASE NO.
DATE: 03-30-2023
SCALE: 1" = 100'

ZONING MAP

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 8/17/2023 **DUE DATE:** 8/23/2023
NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Dennis Joe, Senior Planner **Tel. #** Ext. 8157

PROJECT ADDRESS: 1733 Don Carlos

Applicant: Timothy Clark

Property Owner: Sharon Rogers

PROJECT DESCRIPTION:

The applicant is proposing to construct a 245 square foot (SF) addition at the rear to an existing 1,190 SF, one-story, single-family residence (constructed in 1927), with an existing attached two-car garage on a 5,650 SF corner lot, zoned R1 (Floor Area District II).

PLEASE CHECK:

- | | |
|--|---|
| <p><input type="checkbox"/> A. CITY ATTORNEY</p> <p><input type="checkbox"/> B. COMMUNITY DEVELOPMENT:</p> <ul style="list-style-type: none"> <input type="checkbox"/> (1) Building & Safety <input type="checkbox"/> (2) Neighborhood Services <input type="checkbox"/> (3) Design Review & Historic <input type="checkbox"/> (4) Economic Development <input type="checkbox"/> (5) Housing <input type="checkbox"/> (6) Urban Design & Mobility <p><input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:</p> <p><input type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p><input type="checkbox"/> F. GLENDALE WATER & POWER:</p> <ul style="list-style-type: none"> <input type="checkbox"/> (1) Water <input type="checkbox"/> (2) Electric | <p><input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):</p> <ul style="list-style-type: none"> <input type="checkbox"/> (1) Engineering & Land Development <input type="checkbox"/> (2) Traffic <input type="checkbox"/> (3) Facilities (city projects only) <input type="checkbox"/> (4) Integrated Waste <input checked="" type="checkbox"/> (5) Maintenance Services/Urban Forester <p><input type="checkbox"/> J. GLENDALE POLICE</p> <p><input type="checkbox"/> K. OTHER:</p> <ul style="list-style-type: none"> <input type="checkbox"/> (1) STATE-Alcohol Beverage Control (ABC) <input type="checkbox"/> (2) Tribal Consultations (EIFs) <input type="checkbox"/> (3) City Clerk's Office |
|--|---|

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
 AUP/CUP Case No.: _____
 ADR/DRB Case No.: PADR-001318-2023

Tentative Tract/Parcel Map No.: _____
 Zone Change/GPA: _____
 Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 1733 Don Carlos

Project
Case No.: PADR-001318-2023

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

This office **DOES NOT** have any comment.

This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: 8-21-23

Print Name: Loren Klick

Title: Urban

Forester **Dept.** PWMS **Tel.:** x3416

a. ADDITIONAL COMMENTS:

1.

Street Trees

No City street trees exist in the vicinity of the proposed project, nor is there space to plant any. No Street Tree Permit will be required.

Indigenous Trees

PW Forestry met the property owner onsite and assessed the area. No indigenous trees will be impacted by the project or by access to the project. No indigenous tree permit will be required, nor will any tree protection be required. Plans correctly depict existing indigenous trees.

The owner was recently instructed, after the submittal date of the included plan, to add the note "Protected oak, sycamore, bay trees or City street trees on the property and within 20' of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required" to the project site plan.

Any existing notes regarding the indigenous trees should be omitted and replaced with the above note.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

**INTERDEPARTMENTAL COMMUNICATION
ENVIRONMENTAL IMPACT COMMENTS**

(PLEASE SEND OUT THIS FORM ONLY WHEN ENVIRONMENTAL IMPACT COMMENTS ARE NEEDED.)

Location: _____

_____ The project **would not** have adverse environmental effects on areas regulated by this Division/Section.

_____ The project **would** have potential environmental impacts on areas regulated by this Division/Section identified below.

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

POTENTIAL ENVIRONMENTAL IMPACT(S):

PROPOSED MITIGATION MEASURE(S):

The following mitigation measures are required to reduce adverse environmental effects to less than significant. (Please do not include code requirements listed in comment below):

ADDITIONAL COMMENTS:

CASE No.: _____ Property Address: _____

Name/Signature _____ Date: _____

Title: _____ Dept. _____ Tel. (Ext.): _____

POINT PERSON – DEPARTMENTS/DIVISION

CITY ATTORNEY – GILLIAN VAN MUYDEN (Miah Yun and Yvette Neukian, Alternates)

CITY CLERK – KAREN CORTES

COMMUNITY DEVELOPMENT:

Building and Safety – SARKIS HAIRAPETIAN and MIROSLAV LHOTSKY

Neighborhood Services – JESSICA SADA

Design Review & Historic (Glendale Register & Historic Districts) –
JAY PLATT

Economic Development – MARK BERRY

Housing – PETER ZOVAK, MIKE FORTNEY and AARON BROWNE

Urban Design & Mobility – FRED ZOHREVAND (For VMT Analysis)

COMMUNITY SERVICES AND PARKS – TEREZA ALEKSANIAN and AMIRAH LIMAYO

INFORMATION SERVICES DEPT.

Wireless Communications – GORDON ARNOLD

FIRE ENGINEERING – JOVAN DIAZ and DAVE STIMSON

GLENDALE WATER AND POWER:

Water – SEDA BOGHOSIAN, FAUSTINO GARCIA and KEVIN RUNZER

Electric – CATHERINE BABAKHANLOU and SEDA BOGHOSIAN and
FAUSTINO GARCIA (Hovsep Barkhordian, and Daniel Scorza Alternates)

POLICE – LT. SEAN RILEY and ZAZIL AVILA, C.S.O.

PUBLIC WORKS:

Engineering & Land Development – ARMEN AVAZIAN, SARKIS
OGANESYAN, and RUEL VILLALUNA

Traffic – PASTOR CASANOVA and SAED ROUDSARI

Integrated Waste – DAN HARDGROVE

Maintenance Services/Street & Field/Urban Forester – LOREN KLICK,
CARLOS LINARES, and ORLANDO URQUIDEZ

Facilities (City projects) – KEVIN TODD

OTHERS:

STATE ABC – PATRICIA HALPIN (Patricia.Halpin@abc.ca.gov),

TRIBAL CONSULTATION (EIF Applications) –

THCP Officer (Tribal Historic and Cultural Preservation Department,
Fernandeno Tataviam Band of Mission Indians)

JOSEPH ONTIVEROS (Cultural Resource Director, Soboba Band of Luiseno
Indians)

LINDA CANDELARIA (Co-Chairwoman, Gabrielino-Tongva Tribe)

(Sample Letters on Planning Share: [..\..\..\Environmental\Tribal Consultation Sample Letters](#))