



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – MULTI-FAMILY / MIXED USE

October 24, 2023 <i>Decision Date</i>	410 Irving Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5625008010 <i>APN</i>
PADR-000695-2022 <i>Case Number</i>	Gary Akopian <i>Applicant</i>
Sadie Gropen <i>Case Planner</i>	Serge Nerses <i>Owner</i>

Project Summary

The applicant is proposing to construct an 814 square-foot addition, 50 square-foot porch, a new 535 square-foot attached garage, and a new 800 square-foot detached garage to an existing detached two-unit multi-family residential project (built in 1925 and 1949) on an approximately 8,476 square-foot lot, zoned R-3050, located at 410 Irving Avenue.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed additions will result in an increase in floor area less than 2,500 square feet.

Existing Property/Background

The project site is an 8,476 square-foot rectangular lot located along Irving Avenue. The property is developed with an existing one-story, two-unit detached multifamily development and attached and detached garages. The neighborhood features a mix of single- and multi-family residences, both single- and two-story in height.

According to building permit records, a house was originally built with four bedrooms and a detached garage. In 1949, a new three bedroom house and attached garage were constructed. This property does not appear to be eligible for listing at the federal, state or local level and is therefore not a historic resource under the California Environmental Quality Act.

Staff Recommendation

Approve

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R3050 - Moderate Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

Yards and Usable Open Space

yes **n/a** **no**

If "no" select from below and explain:

- Outdoor space integrated into site design and acknowledges adjacent development
- Common space easily accessible from all units
- Appropriate separation/screening from residential units
- Discrete seating and amenity areas allow for multiple users

Garage Location and Driveway

yes **n/a** **no**

If "no" select from below and explain:

- Garage fully integrated into overall structure
- Driveway and curb-cut widths minimized
- Grade-level garages and parking, if allowed, are appropriately screened from the street
- Decorative paving complements building design
- Stairs and lifts to subterranean garages incorporated into the design of the project

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintain existing trees when possible
- Provide landscaping adjacent to driveways and garages
- 20% of planting at above-grade common spaces is within 9 inches of finish floor
- Above-grade tree wells are at least 6 inches higher than box size of tree

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material for building design
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Lighting

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed project will retain the existing setback pattern of the neighborhood.

- The additions and garages, other than a modest addition at the front, are all located at the rear of the site.
- The private and common open spaces are integrated into the site design and include common space easily accessible from both units.
- The garage locations and driveways are setback at a distance from the street, with appropriate sizes and lengths to accommodate residents.
- The light fixtures proposed are appropriate to the building, and the trash will be screened with an enclosure.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Relates to predominant pattern through appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The massing of the project will be compatible with neighboring residences. The proposed additions and garages continue/maintain the ridge height of the existing structures and will not impact massing as viewed from the street. The addition at the front is modest, with the remainder of the additions proposed towards the rear and obstructed from view.
- The overall height of approximately 13 feet, 6 inches is consistent with the surrounding neighborhood.
- The minimal traditional style of the existing front house is maintained with the additions and garages, with the additions providing articulation and offsets/recesses. A mix of materials, including hardie-board and stucco, integrate well with the architectural style of the house and the neighborhood context.
- The new gable roof will be at the same slope as the existing house, with some portions proposed as a flat roof to provide a simple and modest integration with the existing elements and to not complicate the roof forms.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Design is compatible with neighborhood context
- Design is stylistically consistent
- Employs consistent vocabulary of forms and materials while expressing architectural variety
- Cladding materials and features such as balconies, canopies, and trim elements enhance the architectural concept and are applied around the building

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Overall window pattern appropriate to style
- Window operation appropriate to style
- Recessed/flush window appropriate to style and/or location
- Openings are well detailed

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality materials, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates, fences, and/or walls complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design and detailing of the proposed addition and garages are complementary to the existing development, with materials, architectural treatments, windows and colors.

- The windows visible from the street are proposed to be hung and casement, recessed with a sill and frame, and the finish materials of hardie-board and stucco are compatible with the style of the house and reflect the articulation.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project.

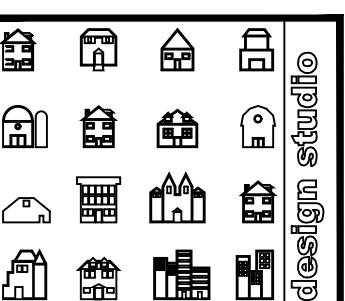
Attachments

1. Reduced Plans
2. Photos
3. Location Map
4. Neighborhood Survey

1-STORY ADDITION TO EXISTING UNITS A and B

410 IRVING AVENUE

GLENDALE, CALIFORNIA 91201



ecumena
 3786 LA CRESCENTA AVE.
 SUITE 201 GLENDALE
 CA 91208 TEL: 818.507-6787

ABBREVIATIONS:

© COPYRIGHT AND TRADEMARK
 L ANGLE
 AT
 C CENTERLINE
 D DIAMETER OR ROUND
 O OR I CHANNEL
 # POUND OR NUMBER

AB ANCHOR BOLT
 AC AIR CONDITIONING
 ACCOUST ACACOUSTICAL
 AD AREA DRAIN
 ADJ ADJUSTABLE
 A.F.F. ABOVE FINISHED FLOOR
 AGGR. AGGREGATE
 ALLUM. ALUMINUM
 APPROX. APPROXIMATE
 ARCH. ARCHITECTURAL
 ASPH. ASPHALT

BD BOARD
 BITUM. BITUMINOUS
 BLDG. BUILDING
 BLK BLOCK
 BLKG BLK'G BRK'G
 B.M. BEAM
 BOT. BOTTOM
 BTWN. BETWEEN

CAB. CABINET
 C.B. CATCH BASIN
 CEM. CEMENT
 CER. CERAMIC
 C.I. CAST IRON
 C.L. CEILING
 CL.G. CEILING
 CL.G. CL. G. CLEAR
 CL.R. CLEAR
 CNTR. COUNTER
 COL. COLUMN
 CONC. CONCRETE
 CONN. CONNECTION
 CONST. CONSTRUCTION
 CONT. CONTINUOUS
 CORR. CORRIDOR
 CTR. CENTER
 CTSK. COUNTERSINK
 C.J. CONTROL JOINT

DRY. DRYER
 DBL. DOUBLE
 DEPT. DEPARTMENT
 DET. DETAIL
 D.F. DRINKING FOUNTAIN
 DIA. DIAMETER
 DM. DIMENSION
 DISP. DISPENSER
 DN. DOWN
 D.O. DOOR OPENING
 DRI. DOOR
 DRY. DRYER
 D.S. DOWNSPOUT
 D.S.P. DRY STAND PIPE
 DWASH. DSH WASHER
 DWV. DRAWING
 DWG. DRAWING

E. EAST
 EA. EACH
 E.J. EXPANSION JOINT
 EL. ELEVATION
 ELEC. ELECTRICAL
 ELEV. ELEVATOR
 EMER. EMERGENCY
 ENCL. ENCLOSURE
 EQ. EQUIPMENT
 EQ. EQUAL
 EXPO. EXPOSED
 EXST(OH) EXISTING
 EXP. EXPANSION
 EXT. EXTERIOR

FA. FIRE ALARM
 FB. FLAT BAR
 FD. FLOOR DRAIN
 FE. FIRE EXTINGUISHER
 F.E.C. FIRE EXTINGUISHER CABINET
 FH. FULL HEIGHT
 F.H.C. FIRE HOSE CABINET
 FIN. FINISH
 FL. FLOOR
 FLASH. FLASHING
 FLOOR. FLUORESCENT
 F.O.C. FACE OF CONCRETE
 F.O.F. FACE OF FINISH
 F.O.M. FACE OF MASONRY
 F.O.S. FACE OF STUDS
 FOUND. FOUNDATION
 F.P.F. FIREPROOF
 F.S. FULL SIZE
 FT. FOOT OR FEET
 FTG. FOOTING
 FURR. FURRING
 FUT. FUTURE

GA. GAUGE
 GALV. GALVANIZED
 GB. GRAB BAR
 GL. GALVANIZED IRON
 GL. GLASS OR GLAZING
 GND. GROUND
 GR. GRADE
 GYP. GYPSUM
 GYPBD. GYPSUM BOARD

HB. HOSE BIB
 H.C. HOLLOW CORE
 HOC.P.H.C. HANDICAP
 HDWD. HARDWOOD
 HW. HARDWARE
 H.F.S. HALF FULL SIZE
 HG.T. OR H. HEIGHT
 H.M. HOLLOW METAL
 HORIZ. HORIZONTAL
 H.P. HIGH POINT
 HR. HOUR
 H.S. HALF SIZE

HVAC HEATING, VENTILATION & AIR CONDITIONING
 ID. INSIDE DIAMETER
 INCL. INCLUDING
 INFO. INFORMATION
 INSUL. INSULATION
 INT. INTERIOR

JAN. JANITOR
 JT. JOINT
 KIT. KITCHEN

LAB. LABORATORY
 LAM. LAMINATE
 LAV. LAVATORY
 L.P. LOW POINT
 LT. LIGHT

MATL. MATERIAL
 MAX. MAXIMUM
 MECH. MECHANICAL
 MEMBR. MEMBRANE
 MET. METAL
 MFR. MANUFACTURER
 MIN. MINIMUM
 MIR. MIRROR
 MSC. MISCELLANEOUS
 MTD. MOUNTED
 MUL. MULLION

N. NORTH
 N/A. NOT APPLICABLE
 N.I.C. NOT IN CONTRACT
 NO. OR # NUMBER
 NOM. NOMINAL
 N.T.S. NOT TO SCALE

O.A. OVERALL
 O.C. ON CENTER
 O.D. OUTSIDE DIAMETER
 OR OVERFLOW DRAIN

OFF. OFFICE
 OPNG. OPENING
 OPP. OPPOSITE
 O.V. OVER

PL. PLATE
 PLAM. PLASTIC LAMINATE
 PLAS. PLASTER
 PLWD. PLYWOOD
 PR. PIR
 P.T. POINT
 P.T. PRESSURE TREATED
 P.T.D. PAINTED
 PARTN. PARTITION

Q.T. QUARRY TILE

R. RISER OR RADUS
 RAD. RADIUS
 R.D. ROOF DRAIN
 REF. REFERENCE
 REFR. REFRIGERATOR
 REINF. REINFORCED
 REQD. REQUIRED
 RESL. RESIDENT
 R.O. ROUGH OPENING
 R.W.D. REDWOOD

S. SOUTH
 S.C. SOLID CORE
 SCHED. SCHEDULE
 SECT. SECTION
 ENCL. ENCLOSURE
 SH. SHEET
 SH.T. SHEATHING
 SIM. SIMILAR
 STAIR. STAIRCASE
 SPEC. SPECIFICATION
 SQ. SQUARE
 S.S.T. STAINLESS STEEL
 S.S. SERVICE SINK
 STA. STATION
 STD. STANDARD
 STL. STEEL
 STOR. STORAGE
 STRUCT. STRUCTURAL
 SUSP. SUSPENDED
 SYM. SYMMETRICAL

T OR TRD. TREAD
 TB. TOP OF BEAM
 T.O. TOP OF CURB
 TEL. TELEPHONE
 TERR. TERRAZZO
 T. & G. TONGUE AND GROOVE
 THK. THICK
 T.J. TRUSS JOIST
 T.O.P. TOP OF PARAPET
 T.O.S. TOP OF SHEATHING
 T.P. TOP OF PAVEMENT
 T.P. TOP OF SLAB
 T.V. TELEVISION
 T.W. TOP OF WALL
 TYP. TYPICAL

U/C UNDER OUTDOOR
 UNF. UNFINISHED
 U/S UNDERSIDE
 U.N.O. UNLESS NOTED OTHERWISE

V. VOLT
 VERT. VERTICAL
 VEST. VESTIBULE
 V.F. VERRY IN FIELD

WASH. WASHER
 W/W WITH
 W.C. WATER CLOSET
 W.D. WOOD
 W.H. WATER HEATER
 W.I. WROUGHT IRON
 W/O WITHOUT
 W.P. WATERPROOFING
 W.R. WATER RESISTANT
 W.S.C.T. WANSOT
 WT. WEIGHT
 W.W.M. WELDED WIRE MESH

SYMBOLS & LEGENDS:

(A1) GRID LINES
 (1) DESIGNATION DRAWING OR DETAIL
 ELEVATION
 ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
 SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
 DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
 ROOM IDENTIFICATION ROOM NAME ROOM NUMBER
 DOOR NUMBER
 WINDOW NUMBER
 DESIGNATION NOTES & KEYNOTES
 REVISION
 MATCH LINE SHADDED PORTION IS THE SIDE CONSIDERED
 POINT, DATUM POINT, WORK POINT, CONTROL
 PROJECT NORTH AND TRUE NORTH
 SMOKE DETECTOR SEE NOTE ON FLOOR PLANS
 CARBON MONOXIDE DETECTOR SEE NOTE ON FLOOR PLANS
 DUPLEX ELECTRICAL OUTLET @+15" AFF.
 GROUND FAULT CIRCUIT-INTERRUPTER SEE NOTE & SHEET A-02
 TELEVISION OUTLET @+15" AFF.
 TELEPHONE OUTLET @+15" AFF.
 2x4 FLUORESCENT LIGHTING FIXTURE
 CEILING MOUNTED LIGHT FIXTURE-SHANDELIERE (BY OWNER)
 RECESSED CEILING MOUNTED LIGHT FIXTURE
 RECESSED CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
 INCANDESCENT WALL MOUNTED LIGHT FIXTURE @6" AFF. (BY OWNER)
 FLUORESCENT STRIP LIGHT FIXTURE
 TRACK LIGHTING
 FAN EXHAUST
 FAN EXHAUST RECESSED
 FLUSH MOUNTED SPEAKER
 THERMOSTAT @+48" AFF.
 GARBAGE DISPOSAL
 WALL SWITCH @+48" AFF.
 DIMMER SWITCH @+48" AFF.

MATERIAL SYMBOLS & LINEWORK:

METAL LATH & PLASTER
 GYPSUM BOARD
 STEEL OR IRON
 ALUMINUM
 STONE
 WOODFRAMING
 BLOCKING
 WOOD, FINISH
 PLYWOOD
 CONCRETE MASONRY UNIT
 CONCRETE MASONRY UNIT (FENCE WALL)
 RETAINING WALL SEE STRUCT. DRAWINGS FOR DETAILS
 CONCRETE WALL
 1HR RATED WD. STUD WALL WITH INSULATION
 2HR RATED WD. STUD WALL WITH INSULATION
 EXISTING WOOD STUD WALL
 EXISTING STRUCTURE TO BE DEMOLISHED
 NEW 2x WOOD STUD WALL
 REFERENCE LINE AND ARROW
 WORK ABOVE, BELOW OR BEYOND EXISTING WORK TO BE REMOVED

PROPERTY LINE
 TO BREAK CONTINUITY
 FINISH GRADE LINE (ELEVATION)
 NATURAL GRADE LINE (ELEVATION) WORK ABOVE, BELOW OR BEYOND
 GRADE OR EARTH (SECTION)
 MATERIAL/COLOR DESIGNATION SEE - / -
 CENTER LINE ELEVATION, FLOOR LINE PROJECTED LINE
 DIMENSION LINE
 BORDER FOR REVISED AREA OR BLOWN UP AREA
 OUTLINE, SILHOUETTE, ETC.
 GLASS (WINDOW OR WALL)
 RIGID INSULATION
 BATT INSULATION
 CERAMIC TILE
 WALL TYPE SEE-SHEET A41
 FIRE RATING - HOUR
 WROUGHT IRON FENCE

DEFERRED APPROVALS:

1

APPLICABLE CODES:

- 2019 CBC CALIFORNIA BUILDING CODE (TITLE 24, PART 2).
- 2019 CEC CALIFORNIA ELECTRICAL CODE (TITLE 24, PART 3).
- 2019 CMC CALIFORNIA MECHANICAL CODE (TITLE 24, PART 4).
- 2019 CPC CALIFORNIA PLUMBING CODE (TITLE 24, PART 5).
- 2019 CFC CALIFORNIA FIRE CODE (TITLE 24, PART 6).
- 2019 CFC CALIFORNIA FIRE CODE (TITLE 24, PART 9).
- 2019 CGSBC CALIFORNIA GREEN BUILDING STANDARDS CODE.
- 2020 GLENDALE BUILDING CODE.

SCOPE OF WORK:

- 479 S.F. ADDITION TO (E) UNIT "A"
- 335 S.F. ADDITION TO (E) UNIT "B"
- 434 S.F. NEW ATTACHED 2-CAR GARAGE
- 800 S.F. NEW DETACHED 3-CAR GARAGE
- DEMO OF (E) 408 S.F. DETACHED 2-CAR GARAGE

SHEET INDEX:

SHEET NO.	SHEET TITLE
GENERAL	
G001	COVER SHEET, DRAWING INDEX, PROJECT INFO, CODE COMPLIANCE
G101	PROJECT NOTES
G201	CITY NOTES, EXISTING SITE PLAN
G202	BUILDING RECORDS
G301	EXISTING SITE PHOTO SURVEY
G302	RENDERED PERSPECTIVES
GRN1	GREEN BUILDING NOTES, FORMS
GRN2	GREEN BUILDING NOTES, FORMS
GRN3	GREEN BUILDING NOTES, FORMS
EN-1	TTL-24 ENERGY COMPLIANCE FORMS
ARCHITECTURAL	
A101	SITE PLAN
A102	PROPOSED FLOOR PLAN
A103	PROPOSED ROOF PLAN
A104	DETACHED GARAGE FLOOR PLAN, ROOF PLAN
A201	BUILDING ELEVATIONS, SECTIONS
A202	BUILDING ELEVATIONS, SECTIONS
A301	DETACHED GARAGE ELEVATIONS, SECTIONS
A501	DETAILS
A502	DETAILS
A601	DOOR & WINDOW SCHEDULE
LANDSCAPING	
L-1	PLANTING PLAN
L-2	IRRIGATION PLAN
L-3	LANDSCAPING DETAILS

PROJECT DIRECTORY:

OWNER/DEVELOPER:

NAME: SERGE NERSES
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 GLENDALE, CA 90210
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ARCHITECT:

NAME: HAROUT AKOPIAN
 ADDRESS: 3786 LA CRESCENTA AVE, #201
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 tel: 818.507-6787
 email: harry@ecumenadesign.com

DESIGNER:

GARY AKOPIAN
 tel: 818.720-1827
 email: gary@ecumenadesign.com

LANDSCAPE ARCHITECT:

NAME: LARRY TISON
 ADDRESS: 314 E. BROADWAY STE D
 GLENDALE, CA 91205
 TEL: 818.241-9169
 email: larrytison@gmail.com

BUILDING STATISTICS:

OCUPANCY GROUP:	R-3
LOT SIZE:	50.00'x169.51'
LOT AREA (S.F.):	8,476.00
(E) UNIT "A" FLOOR AREA (S.F.):	535
(E) UNIT "B" FLOOR AREA (S.F.):	676
(N) ATTACHED GARAGE AREA (S.F.):	434
(N) DETACHED GARAGE AREA (S.F.):	800 3-CAR
UNIT "B" FRONT PORCH AREA (S.F.):	50
UNIT "A" ADDITION AREA (S.F.):	479
UNIT "B" ADDITION AREA (S.F.):	335
TYPE OF CONSTRUCTION:	TYPE V-B
FIRE SPRINKLER:	NONE
YEAR BUILT:	REAR UNIT "A" - 1927 FRONT UNIT "B" - 1949

ZONING: AREA TABULATION BREAKDOWN

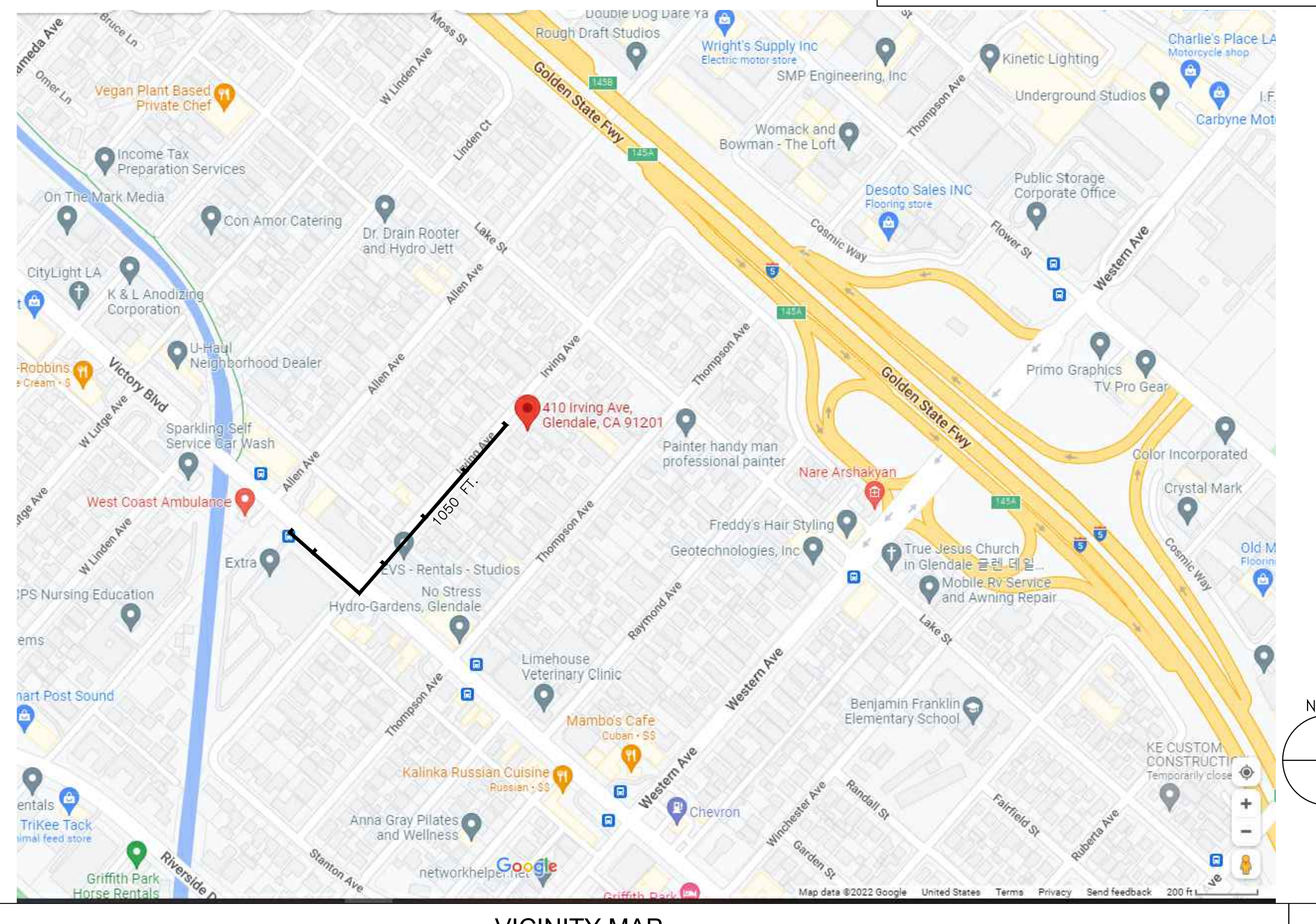
	EXISTING AREA (S.F.)	NEW AREA (S.F.)	EXEMPT FROM F.A.R. (S.F.)	EXEMPT FROM LANSCP.(S.F.)	TOTAL AREA (S.F.)
UNIT "A"	535	479	-0	-0	1014.00
UNIT "B"	676	335	-0	-0	1011.00
COVERED PORCH	50	-0	-0	-0	50.00
GARAGE ATTACHED	0	434	-0	-0	434.00
GARAGE DETACHED	0	800	-0	-0	800.00
HARDSCAPE AREA	1919	450	-0	-0	2369.00
LANDSCAPE AREA	2798	0	-0	-0	2798.00
TOTAL LOT AREA:					8476.00
FAR:					0.24
LOT COVERAGE:					0.39
LANDSCAPING:					0.33

ZONING INFO:

ZONE:	R3050
FRONT SETBACK (FT.):	26.3 (NO CHANGE)
INTERIOR SETBACK (FT.):	5.5, 11
DETACHED GARAGE:	5, 6.9
NUMBER OF STORIES:	(1) ONE - TYPICAL
MAX. BLD'G HGT. (FT.):	13
DETACHED GARAGE:	12
F.A.R.:	0.24
LOT COVERAGE (%):	39
COMMON OUTDOOR SPACE (S.F.):	200+200 = 400
PRIVATE OUTDOOR SPACE (S.F.):	50+40=90
LANDSCAPING (%):	1240+602+910+30+16=2798/8476 = 33
FIRE HAZARD ZONE:	NO
CLIMATE ZONE:	9

LEGAL DESCRIPTION:

LOT(S) and AR(S)	BLOCK	TRACT(S)
12	-	3937
APN #		5625-008-010



VICINITY MAP

SCALE: 1
 N.T.S.



ecumena
 3786 LA CRESCENTA AVE.
 SUITE 201 GLENDALE
 CA 91208 TEL: 818.507-6787

REVISIONS	BY

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

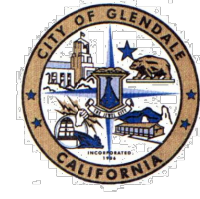
PROJECT TITLE:
 ADDITION TO DUPLEX

JOB ADDRESS:
 410 IRVING AVE., GLENDALE, CA 91201

JOB NO.:
 DRAWN BY:
 CHECKED BY:
 DATE:

SHEET NO.:
 SHEET TITLE:
COVER SHEET

SHEET NUMBER
G001
 SHEETS OF



**CITY OF GLENDALE
BUILDING AND SAFETY
633 EAST BROADWAY ROOM 101 (818) 548-3200**

**SUPPLEMENTAL CORRECTION SHEET
SECURITY STANDARDS – RESIDENTIAL**

- The following buildings shall comply with the Security Provisions:
 - New residential buildings of all types.
 - Additions or alterations to residential buildings of all types.
 - Multiple family dwelling units converted to privately owned family units (condominiums or cooperatives).
- Identify all security openings clearly on plans. The symbol * may be used, but any system which clearly defines security openings will be acceptable.
 - Security Openings are defined as:
 - All exterior doors of residential buildings.
 - The door leading from garage into attached dwelling units.
 - Entrance doors to individual apartments or condominiums from a public area.
 - Any glazed opening within 40° of any door locking mechanism in the closed mechanism.
 - Louvered windows within 12' vertically or 6' horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
 - Openings or windows into public parking areas.
 - All openable windows. See Item 4 below.
- Provide details and specifications for all swinging doors in security openings.
 - Specify thickness, type, and materials as applicable for wood, metal, and glass doors.
 - Specify deadbolts with hardened inserts; dead-locking latch key-operated locks on exterior; locks operable without key, special knowledge or special effort on interior; and type, throw, and embedment of deadbolts for single swing doors, active leaf of dutch door.
 - Show means of securing inactive leaf of double door and upper leaf of dutch door.
- Architect shall specify sliding glass doors and openable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition of the California Building Code.
- Show the method of securing metal or wood overhead or sliding doors.
- For multiple family dwellings, show illuminated diagram on plans as specified in General Notes, item 12.2.

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- Openings or windows referred to in item 2g above, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be operable by this Code.
- In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5892. The following example notes may be used in part or in total as appropriate:

GENERAL NOTES:

All openings marked * are security openings and the following notes shall apply:

- Each unit in a residential development shall be keyed differently than any other units under the same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.
- Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.
- In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.
- Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.
- Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max. securely fastened.
- Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.
- Door stops for in-swinging doors shall be integrated (rabbeted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.
- The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.
- Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.
- Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
- Garage Door Types:** Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards:
 - Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.
 - Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted together a minimum of eighteen (18) inches (458mm) on center along the outside seams.

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- There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door.
- Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1831 gram/m²) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m²).
- Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).
- Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header; or, torsion spring counter balance type hardware may be used.
- Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half (1/2) inch (13mm) and protrude at least one and one-half (1 1/2) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (3/8) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.
- Swinging Exterior Doors:** All exterior swinging doors of any residential building and attached garages (Except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows:
 - All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches (45mm), or with panels not less than nine-sixteenths (9/16) inch (15mm) thick.
 - A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (1/4) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.
 - The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold or the door frame.
 - Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.
 - Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180°) door viewer.

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- Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.
- Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.
- Address Number and Identifying Data:** Address numbers and other identifying data shall be displayed as follows:
 - All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.
 - Multiple Family Dwelling; Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of:
 - The viewer;
 - The unit designations within the complex.
 - Each unit that is a "smoking unit" and a "non smoking" unit (as governed by Chapter 8.52 of the Glendale Municipal Code, 1995, or any successor legislation);
 - A smoking permitted area authorized under Section 8.52.130 of the GMC; and
 - The complex's exits, stairwells, elevators, fire alarm annunciator panels, and standpipes.
 In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with rear vehicular access shall also display the same numbers on the rear of the building.
- Lighting: Multiple Family Dwelling.** Lighting in multiple family dwellings shall be as follows:
 - Aisles, Passageways and Recesses: Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five hundredths (.25) of a footcandle (2.7 lux) at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
 - Parking Structures, Parking Lots and Carports: Parking structures, parking lots and carports shall be provided with a minimum of two (2) footcandles (21.5 lux) of light on the parking surface during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
- Note:** These notes are intended as a guide only. Contractor and supplier shall refer to the Glendale Building & Safety Code, Volume VII for more complete and specific details.

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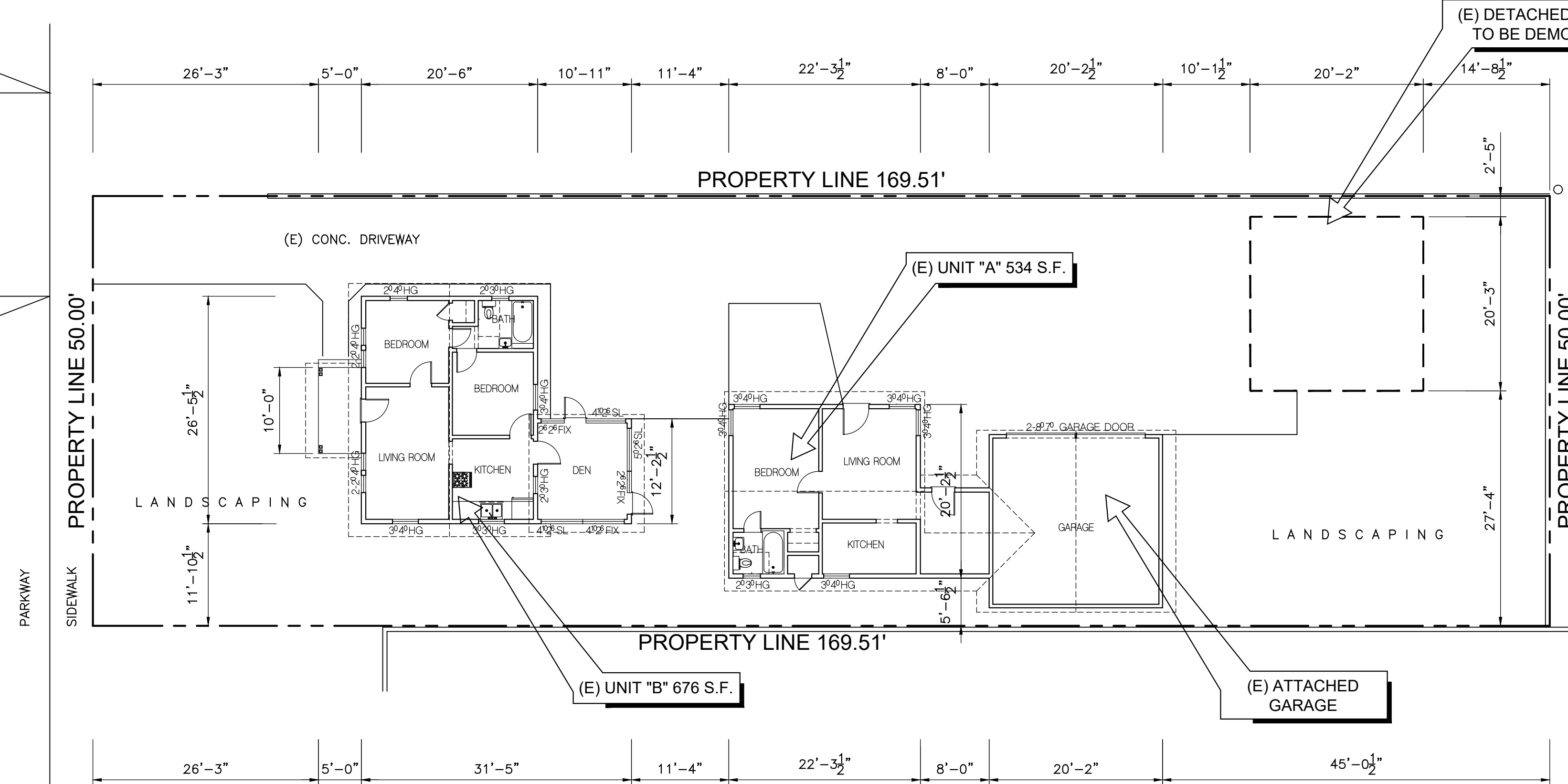
**CITY OF GLENDALE
BUILDING AND SAFETY
633 EAST BROADWAY ROOM 101 (818) 548-3200**

**SUPPLEMENTAL CORRECTION SHEET
SECURITY STANDARDS – RESIDENTIAL**

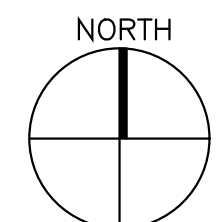
- The following buildings shall comply with the Security Provisions:
 - New residential buildings of all types.
 - Additions or alterations to residential buildings of all types.
 - Multiple family dwelling units converted to privately owned family units (condominiums or cooperatives).
- Identify all security openings clearly on plans. The symbol * may be used, but any system which clearly defines security openings will be acceptable.
 - Security Openings are defined as:
 - All exterior doors of residential buildings.
 - The door leading from garage into attached dwelling units.
 - Entrance doors to individual apartments or condominiums from a public area.
 - Any glazed opening within 40° of any door locking mechanism in the closed mechanism.
 - Louvered windows within 12' vertically or 6' horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
 - Openings or windows into public parking areas.
 - All openable windows. See Item 4 below.
- Provide details and specifications for all swinging doors in security openings.
 - Specify thickness, type, and materials as applicable for wood, metal, and glass doors.
 - Specify deadbolts with hardened inserts; dead-locking latch key-operated locks on exterior; locks operable without key, special knowledge or special effort on interior; and type, throw, and embedment of deadbolts for single swing doors, active leaf of dutch door.
 - Show means of securing inactive leaf of double door and upper leaf of dutch door.
- Architect shall specify sliding glass doors and openable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition of the California Building Code.
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IRVING AVENUE



EXISTING SITE PLAN



GRAPHIC SCALE 3/32"=1'-0"

SCALE: 3/32"=1'-0" 1

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SUITE 207 GLENDALE
CA 91208 TEL: 818507-6787

REVISIONS	BY

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:

PROJECT TITLE:
ADDITION TO DUPLEX

SHEET TITLE:
CITY OF GLENDALE GENERAL NOTES: EXISTING SITE PLAN

JOB ADDRESS:
410 IRVING AVE., GLENDALE, CA 91201

SHEET NUMBER

G201

SHEETS OF



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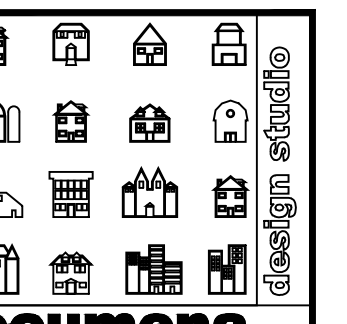
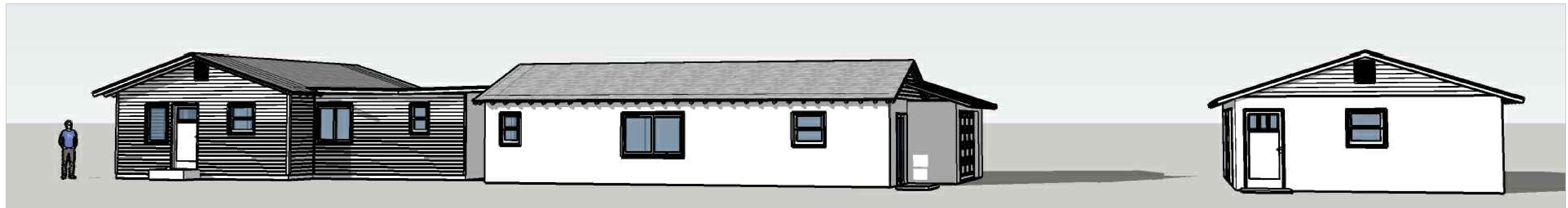
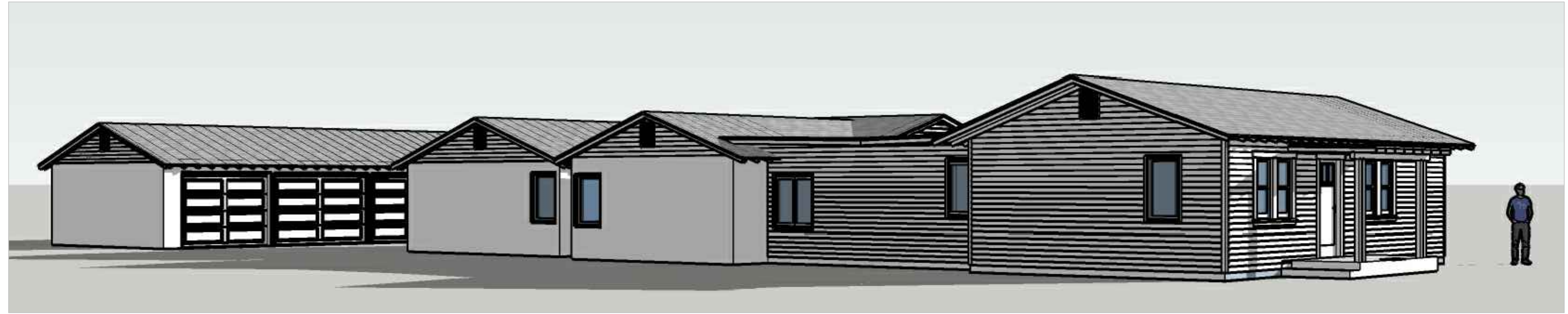


CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT TITLE:
ADDITION TO DUPLEX
JOB ADDRESS:
410 IRVING AVE., GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
PHOTO SURVEY

SHEET NUMBER
G301
SHEETS OF



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PROJECT TITLE:

ADDITION TO DUPLEX

JOB NO.:

DRAWN BY:

CHECKED BY:

DATE:

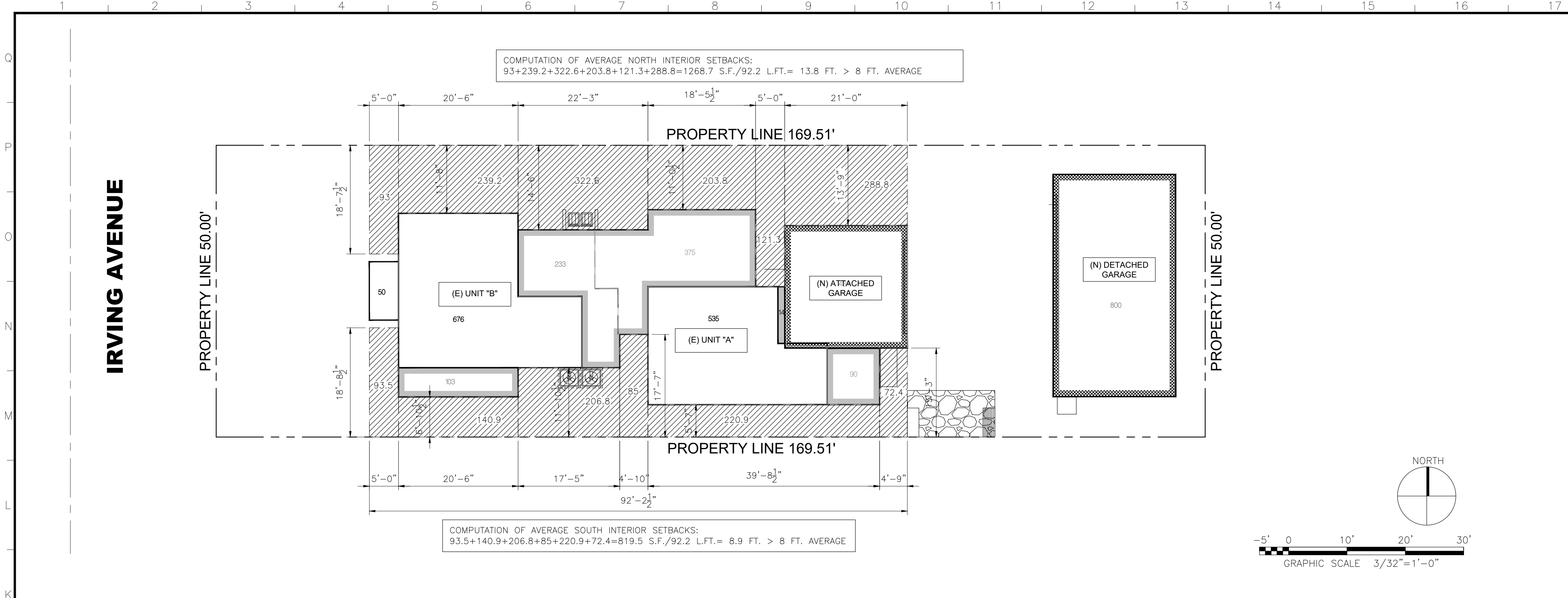
SHEET TITLE:

RENDERED PERSPECTIVES

SHEET NUMBER

G302

SHEETS OF



SITE PLAN NOTES:

1. THERE ARE NO OAKS, BAY, OR SYCAMORE TREES ON THE SITE OR WITHIN 20 FEET OF THE SITE.
2. ROOFTOP EQUIPMENT REQUIRES A PERMIT AND SHALL BE ENCLOSED ON ALL SIDES OR SCREENED FROM VIEW OF PUBLIC RIGHTS-OF-WAY.
3. RETAINING WALLS, POOLS, SPAS, JACUZZIS, BOUNDARY WALLS, FENCES, TRELLIS AND PATIO COVERS REQUIRE A SEPARATE PERMITS.
4. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH AND SHALL BE ILLUMINATED IN AN APPROV MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

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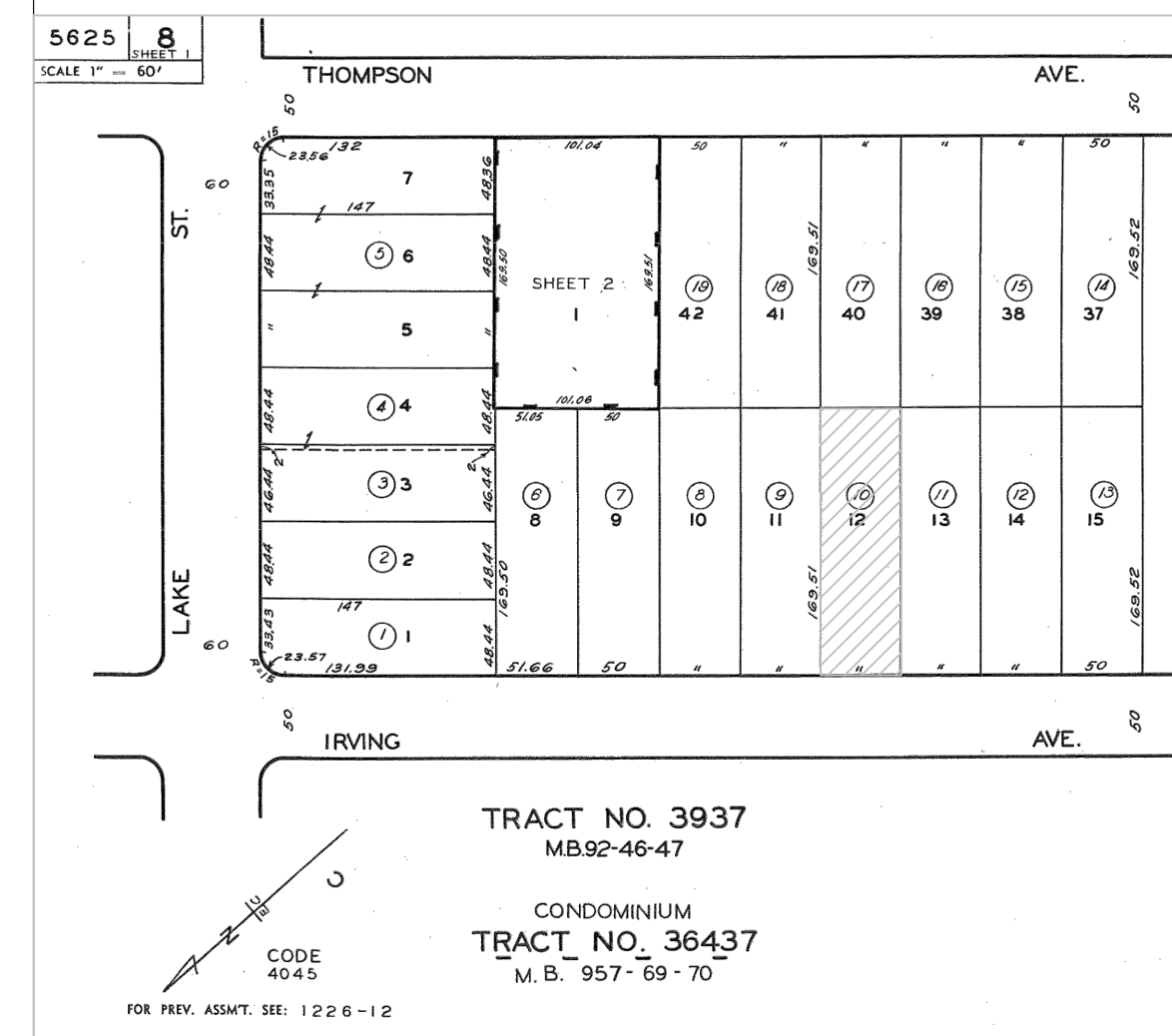
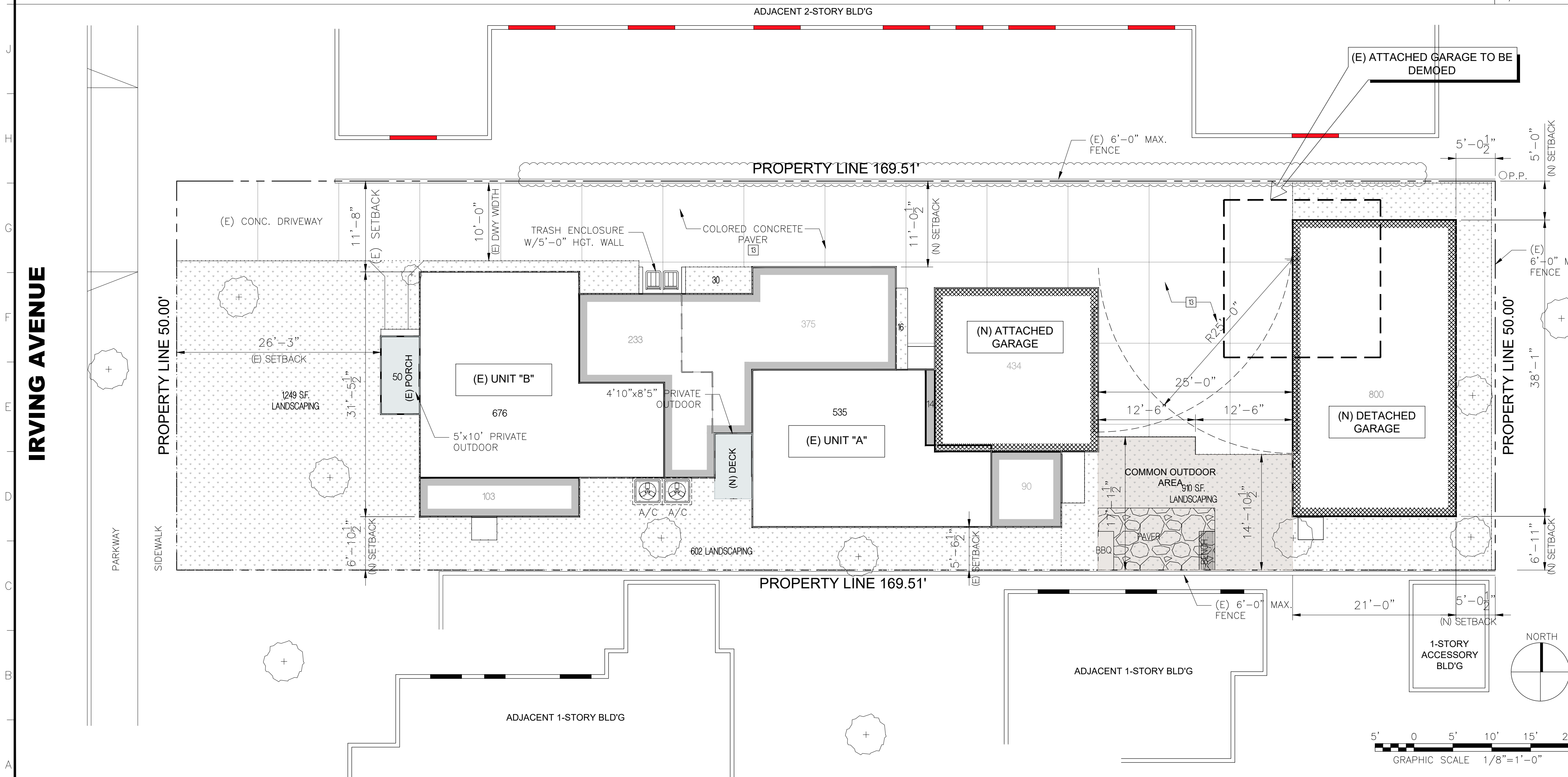
REVISIONS	BY

SITE PLAN LEGEND:

- (N) NEW CONSTRUCTION
- (E) EXISTING STRUCTURE
- EXISTING FLOOR AREA SHOWN
- NEW FLOOR AREA SHOWN
- NEW GARAGE AREA SHOWN
- IRRIGATION SYSTEM CONTROLLER SOIL-BASED.
- ADJOINING PROPERTY FIRST FLOOR WINDOWS SHOWN
- ADJOINING PROPERTY SECOND FLOOR WINDOWS SHOWN

SITE PLAN - SETBACKS

SCALE: 3/32"=1'-0" 2



LEGAL DESCRIPTION:

LOT(S) and ARB(S)	BLOCK	TRACT(S)
12	-	3937
APN #		5625-008-010

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PROJECT TITLE: ADDITION TO DUPLEX
 JOB ADDRESS: 410 IRVING AVE., GLENDALE, CA 91201

A101

SHEETS OF

FLOOR PLAN NOTES:

1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
 2. MINIMUM 72" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
 3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
 4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS PER T1L-24 ENERGY COMPLIANCE CALC'S.
 5. INSTALL GFCI OUTLETS IN NEW BATHROOMS, KITCHEN.
 6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 - a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
 - b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
 7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS
- DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2011 CHAPTER 3 SEC. 315

8. WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE, IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A 1/2" VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
10. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
11. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 4.303.2
13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
14. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE. (L.A.M.C. 57.20.25)
15. PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. (SHOW THESE DIMENSIONS ON A FOUNDATION DETAIL DRAWING) (SECTION 2512.1.2)

DEMO TO REMAIN AREA CALCULATION:

UNIT B:	
a) TOTAL WALL AREA	1157.7'L x 8'0"H = 924.7 S.F.
- WALLS TO REMOVE	439.7 S.F.
b) TOTAL ROOF AREA	673.8 S.F.
- ROOF TO REMOVE	0 S.F.
PERCENTAGE TO REMOVE	$[439.7/(924.7+673.8)] \times 100 = 28\%$

KEY NOTES:

1. DRYER VENT SIZE:
 - 4" DIA. W/(2) 90 DEGREE BENDS: 14'-0" MAX.
 - 5" DIA. W/(2) 90 DEGREE BENDS: 19'-0" MAX.
 - 6" DIA. W/(2) 90 DEGREE BENDS: 23'-0" MAX.
 NOTE: 100 SQ. INCHES OF MAKE-UP AIR REQUIRED AT LAUNDRY ROOM.
2. W.C. MINIMUM CLEAR SPACE PER CPC 407.6

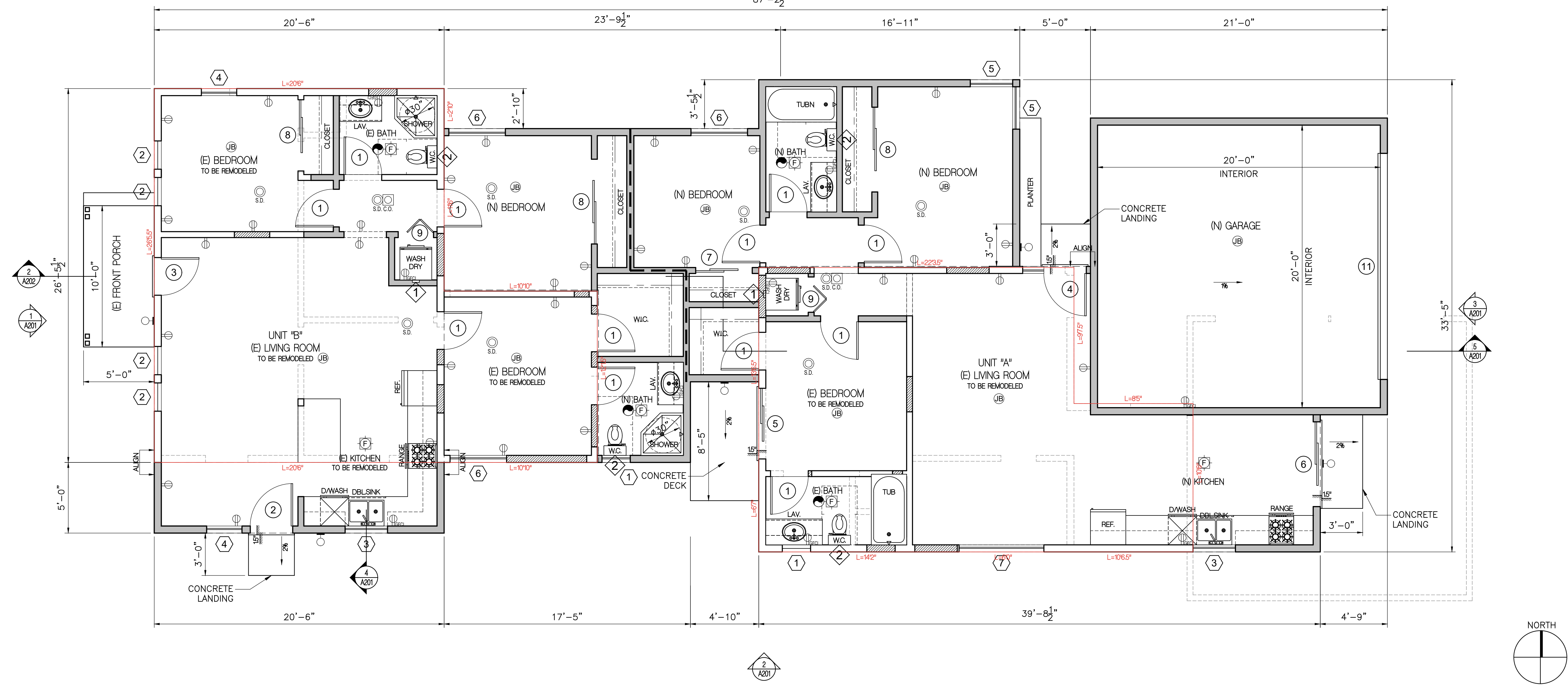


FLOOR PLAN LEGEND:

- WALL SWITCH AT 48"A.F.F.
- DIMMER SWITCH
- DUPLEX ELECTRICAL OUTLET
- GROUND FAULT CIRCUIT-INTERRUPTER
- CEILING MOUNTED INCANDESCENT LTG FIXTURE
- RECESSED CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED OUTDOOR LIGHT FIXTURE - LANTERN
- SMOKE DETECTOR SEE NOTE #6.
- CARBON MONOXIDE DETECTOR SEE NOTE #7
- FAN EXHAUST MINIMUM 50 CFM EXHAUSTING (100 CFM IN KITCHEN), "ENERGY STAR" COMPLIANT, CONTROLLED BY HUMIDISTAT
- JUNCTION BOX
- NEW CONSTRUCTION
- EXISTING STRUCTURE

DEMO TO REMAIN AREA CALCULATION:

UNIT A:	
a) TOTAL WALL AREA	101'8"L x 8'0"H = 813.3 S.F.
- WALLS TO REMOVE	537.3 S.F.
b) TOTAL ROOF AREA	534 S.F.
- ROOF TO REMOVE	0 S.F.
PERCENTAGE TO REMOVE	$[537.3/(813.3+534)] \times 100 = 40\%$



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

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REVISIONS	BY

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT TITLE:
 ADDITION TO DUPLEX

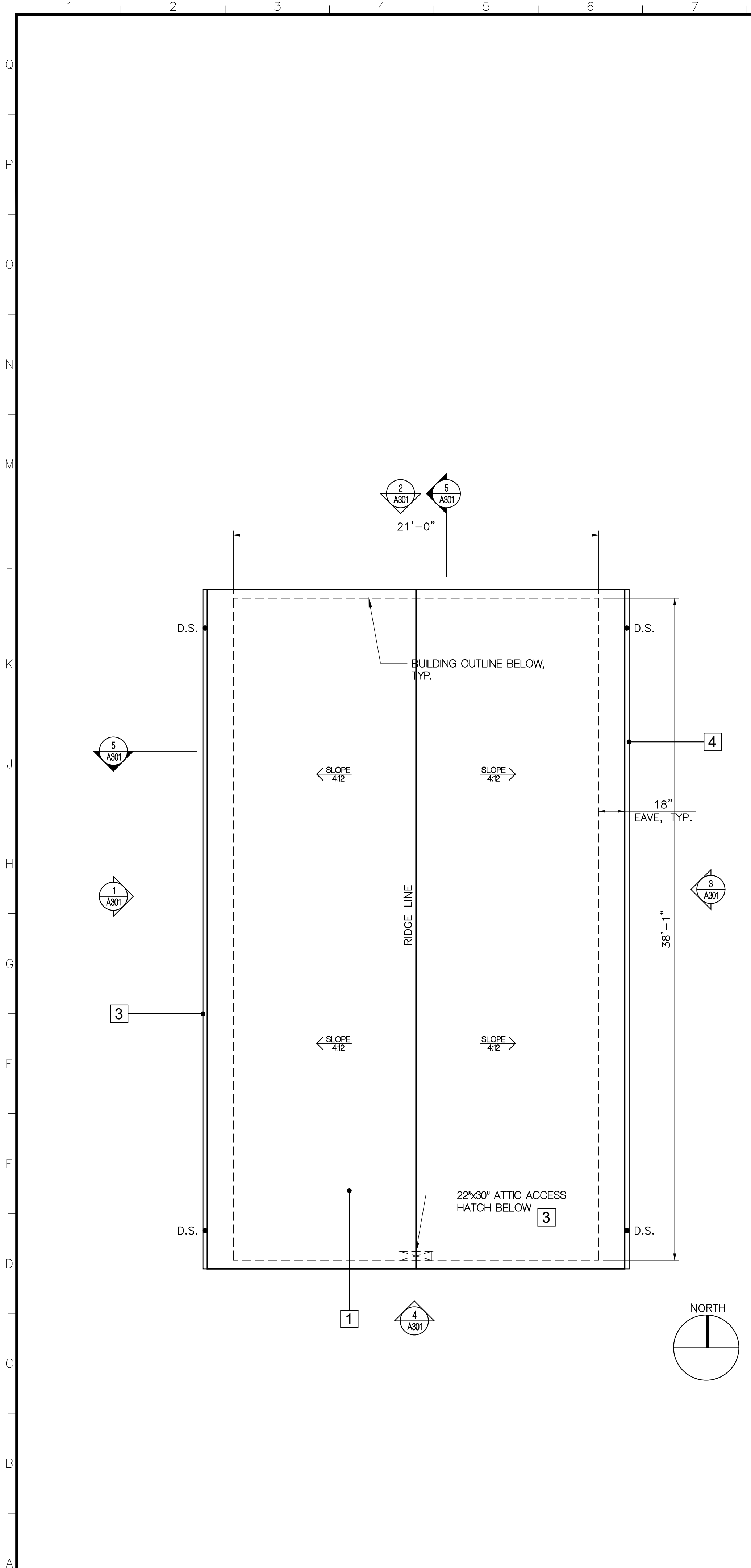
JOB ADDRESS:
 410 IRVING AVE., GLENDALE, CA 91201

SHEET TITLE:
 PROPOSED FLOOR PLAN

SHEET NUMBER

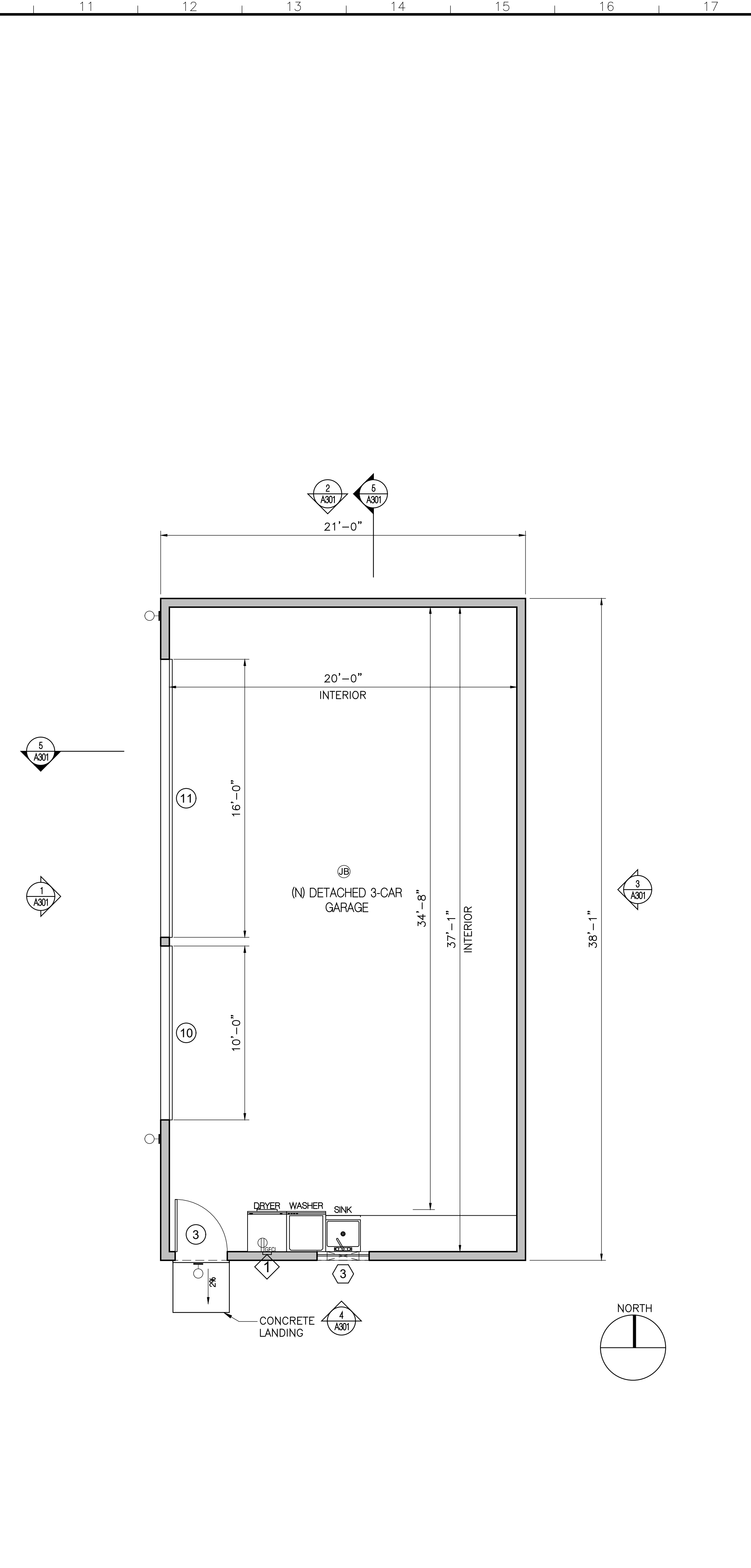
A102

SHEETS OF



DETACHED GARAGE ROOF PLAN

SCALE: 1/4"=1'-0" 2



DETACHED GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0" 1

ROOF PLAN NOTES:

1. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
2. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.

ROOF LEGEND:

- BUILDING WALLS BELOW SHOWN
- 24GA G.I. DOWN SPOUT
- SLOPE 4/12 → DIRECTION OF SLOPE/GRADIENT
- T.O.S. EL.=2607 DENOTES TOP OF SHEATHING ELEVATION
- EXISTING ROOF TO REMAIN (NO DEMOLITION)

EXTERIOR FINISH SCHEDULE:

1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4/12 SLOPE BY "OWENS CORNING", ICC ESR-1372, CFRIC ID 0890-0004 HARBOR FOG.
2	BUILT-UP ROOF CLASS "A" AT 1/2" SLOPE TO MATCH EXISTING BUILDING
3	24GA G.I. LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
4	1/2" GUTTER 24GA G.I. W/GI. DOWN SPOUT. COLOR TO MATCH SURROUNDING SURFACES
5	ORNAMENTAL WOODEN MOLDINGS, TRIMS, ETC.-SIZE, COLOR, TYPE TO MATCH EXISTING HOUSE.
6	"HARDIEPLANK" LAP SIDING BY "JAMESHARDIE" SIZE & STYLE TO MATCH EXISTING HOUSE. COLOR "PEARL GRAY"
7	7/8" THK. STUCCO OVER DBL. "3" BUILDING PAPER. TEXTURE TO MATCH EXISTING BUILDING. COLOR BY "LA HABRA STUCCO" CRYSTAL WHITE.
8	OFF-WHITE COLOR VINYL DOORS & WINDOWS BY "MILGARD" OR APPROVED EQ. COLOR & STYLE TO MATCH EXISTING HOUSE.
9	CRAFTSMAN STYLE DOOR COLOR TO MATCH EXISTING HOUSE.
10	SECTIONAL OVERHEAD GARAGE DOOR. COLOR & TEXTURE TO MATCH DOORS & WINDOWS.
11	CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
12	CONCRETE LANDING & CONCRETE STEP-ON-GRADE.

NOTE:
1. INSTALLATION OF BUILDING MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

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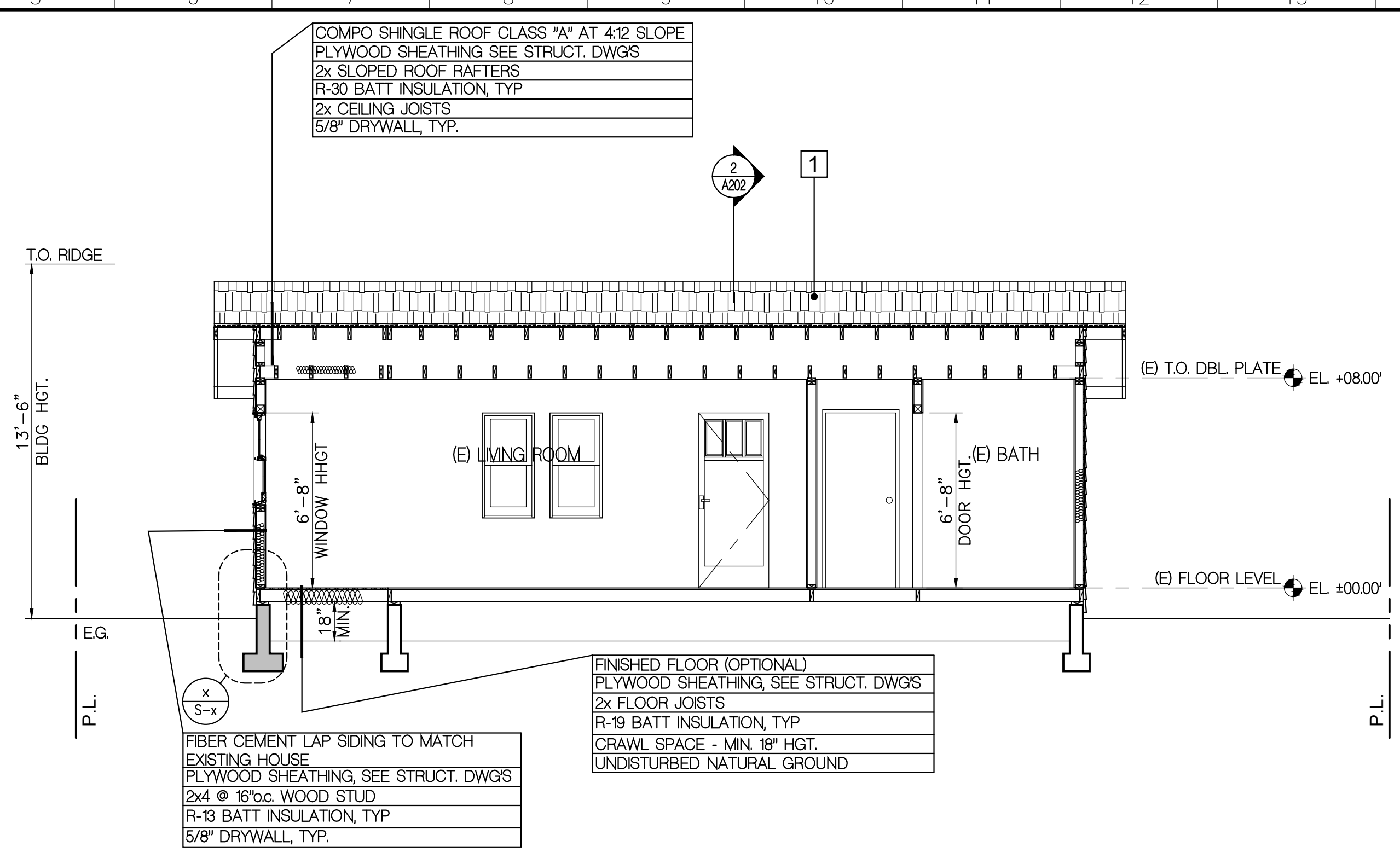
PROJECT TITLE:
ADDITION TO DUPLEX

JOB ADDRESS:
410 IRVING AVE., GLENDALE, CA 91201

SHEET TITLE:
DETACHED GARAGE FLOOR PLAN, ROOF PLAN

SHEET NUMBER
A104

SHEETS OF



BUILDING SECTION

SCALE: 1/4"=1'-0" 4

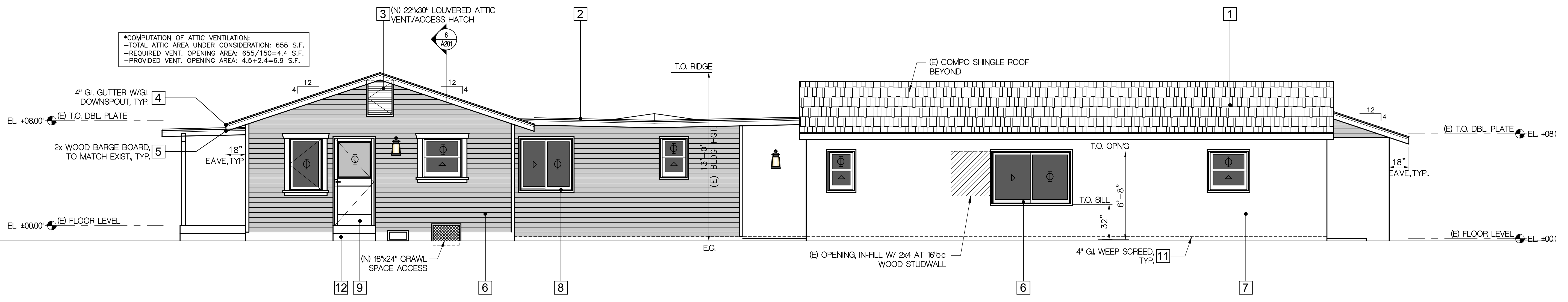
EXTERIOR FINISH SCHEDULE:

1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 SLOPE BY "OWENS CORNING", CC ESR-1372, CRRC D 0800-004 HARBOR FOG.
2	BUILT-UP ROOF CLASS "A" AT 2:12 SLOPE TO MATCH EXISTING BUILDING
3	24GA GL LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
4	4" GUTTER 24GA GL W/GL DOWN SPOUT. COLOR TO MATCH SURROUNDING SURFACES
5	ORNAMENTAL WOODEN MOLDINGS, TRIMS, ETC., SIZE, COLOR, TYPE TO MATCH EXISTING HOUSE
6	"HARDIEPLANK" LAP SIDING BY "JAMESHARDIE" SIZE & STYLE TO MATCH EXISTING HOUSE COLOR PEARL GRAY
7	7/8" THK STUCCO OVER DBL. "TY" BUILDING PAPER. TEXTURE TO MATCH EXISTING BUILDING COLOR BY "LA HABRA STUCCO" CRYSTAL WHITE.
8	OFF-WHITE COLOR VINYL DOORS & WINDOWS BY "MILGARD" OR APPROVED EQ. COLOR & STYLE TO MATCH EXISTING HOUSE
9	CRAFTSMAN STYLE DOOR COLOR TO MATCH EXISTING HOUSE
10	SECTIONAL OVERHEAD GARAGE DOOR COLOR & TEXTURE TO MATCH DOORS & WINDOWS
11	CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
12	CONCRETE LANDING & CONCRETE STEP-ON-GRADE.
13	COLORLED CONCRETE PAVING

NOTE:
1. INSTALLATION OF BUILDING MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

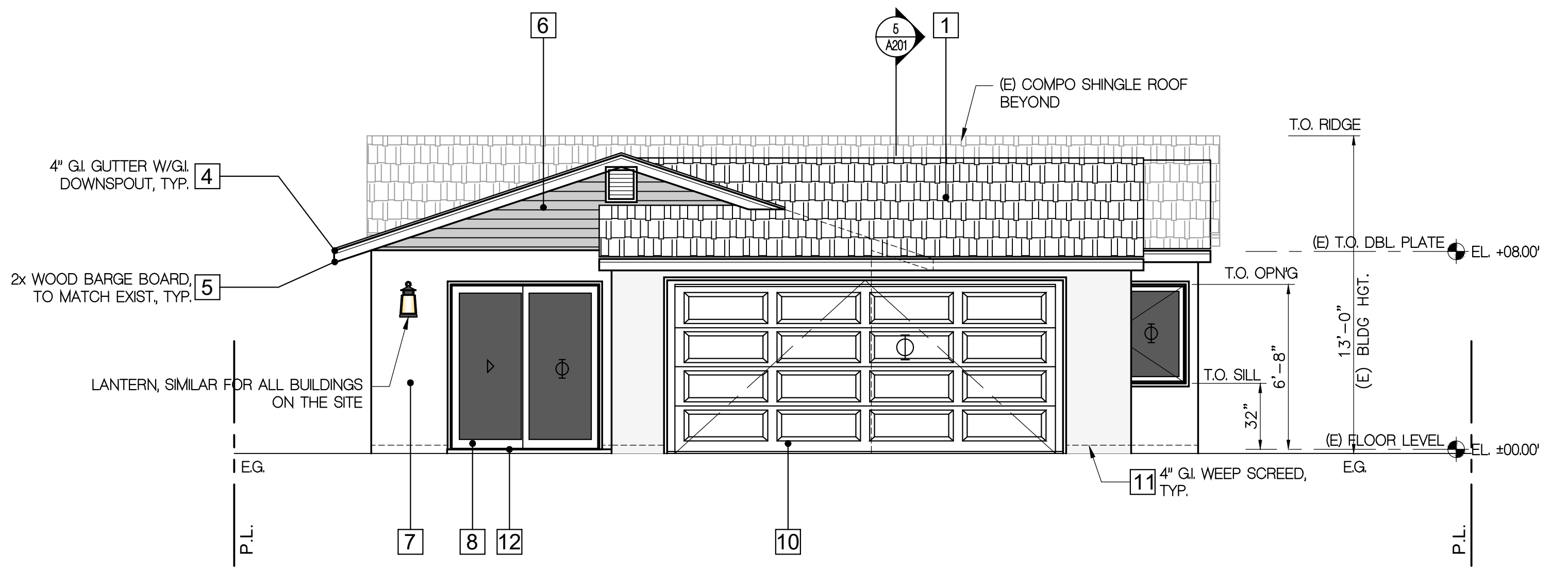
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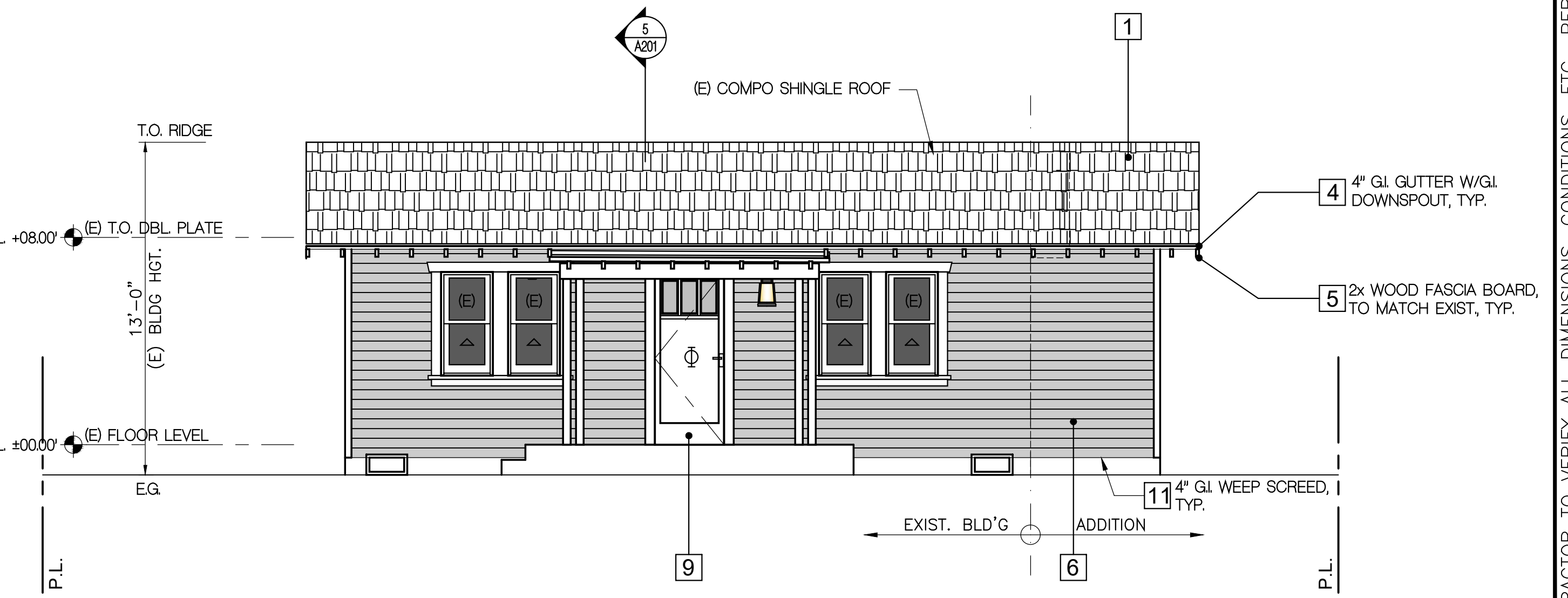
SIDE (SOUTH) ELEVATION

SCALE: 1/4"=1'-0" 2



REAR (EAST) ELEVATION

SCALE: 1/4"=1'-0" 3



FRONT (WEST) ELEVATION

SCALE: 1/4"=1'-0" 1

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT TITLE:
ADDITION TO DUPLEX

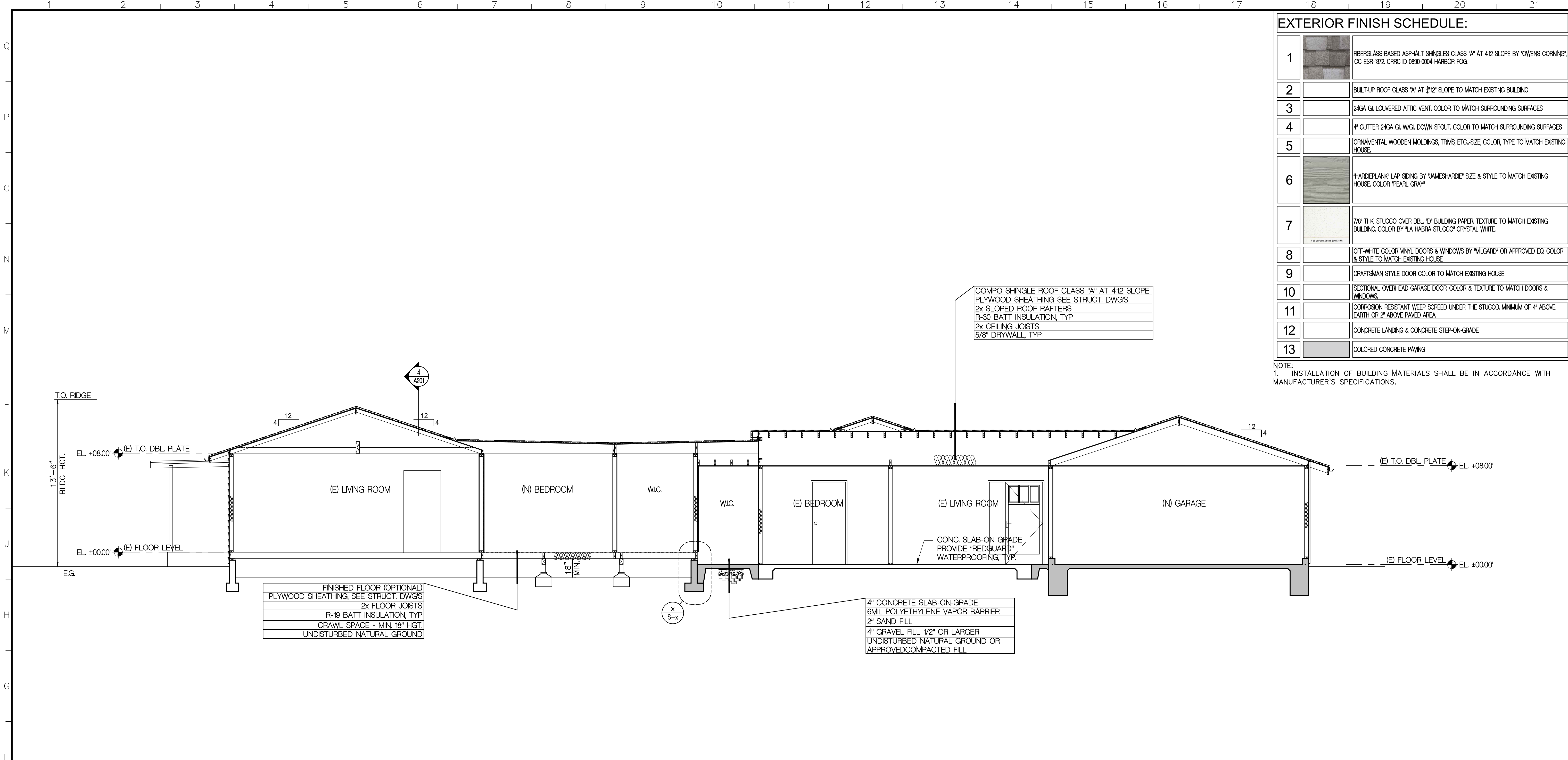
JOB ADDRESS:
410 IRVING AVE., GLENDALE, CA 91201

SHEET TITLE:
BUILDING ELEVATIONS,
SECTIONS

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:

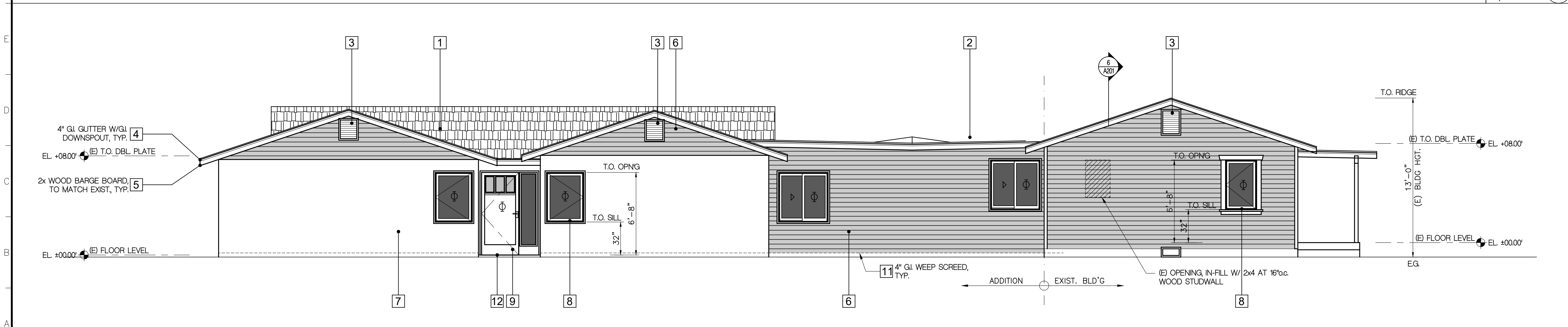
SHEET NUMBER
A201

SHEETS OF



BUILDING SECTION

SCALE: 1/4"=1'-0" 2



SIDE (NORTH) ELEVATION

SCALE: 1/4"=1'-0" 1

EXTERIOR FINISH SCHEDULE:

1		FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 SLOPE BY "OMENS CORNING", CC ESR-1372, CIRC D 0800-0004 HARBOR FOG.
2		BUILT-UP ROOF CLASS "A" AT 4:12 SLOPE TO MATCH EXISTING BUILDING
3		2X4 GL LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
4		4" GUTTER 2X4 GL W/GL DOWN SPOUT. COLOR TO MATCH SURROUNDING SURFACES
5		ORNAMENTAL WOODEN MOLDINGS, TRIMS, ETC.-SIZE, COLOR, TYPE TO MATCH EXISTING HOUSE.
6		"HARDIEPLANK" LAP SIDING BY "JAMESHARDIE" SIZE & STYLE TO MATCH EXISTING HOUSE. COLOR "PEARL GRAY"
7		7/8" THK STUCCO OVER DBL "D" BUILDING PAPER. TEXTURE TO MATCH EXISTING BUILDING. COLOR BY "LA HABRA STUCCO" CRYSTAL WHITE.
8		OFF-WHITE COLOR VINYL DOORS & WINDOWS BY "MILGARD" OR APPROVED EQ. COLOR & STYLE TO MATCH EXISTING HOUSE
9		RAFTSMAN STYLE DOOR COLOR TO MATCH EXISTING HOUSE
10		SECTIONAL OVERHEAD GARAGE DOOR. COLOR & TEXTURE TO MATCH DOORS & WINDOWS.
11		CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
12		CONCRETE LANDING & CONCRETE STEP-ON-GRADE.
13		COLORLED CONCRETE PAVING

NOTE:
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PROJECT TITLE:
ADDITION TO DUPLEX

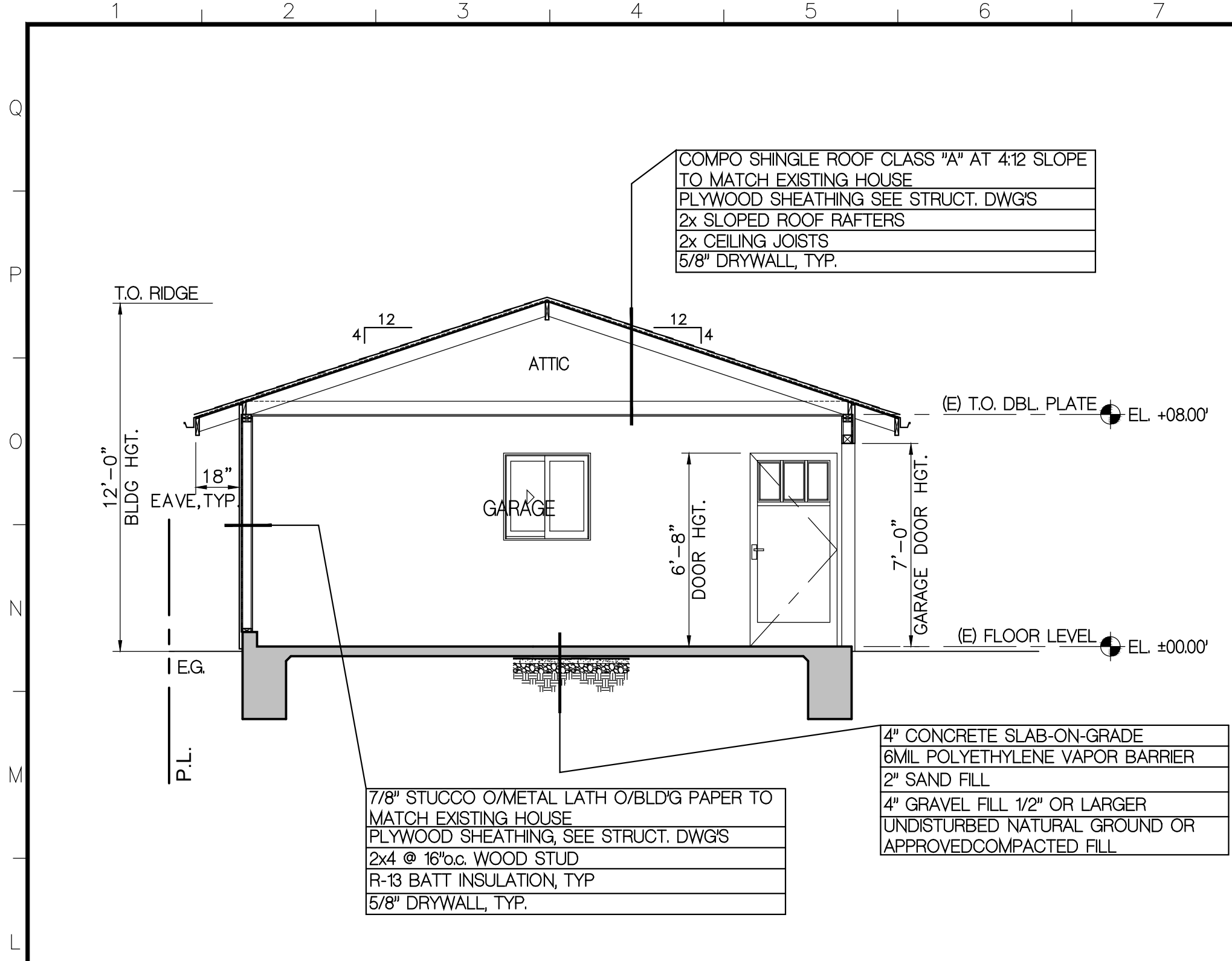
JOB ADDRESS:
410 IRVING AVE., GLENDALE, CA 91201

SHEET TITLE:
BUILDING ELEVATIONS,
SECTIONS

SHEET NUMBER

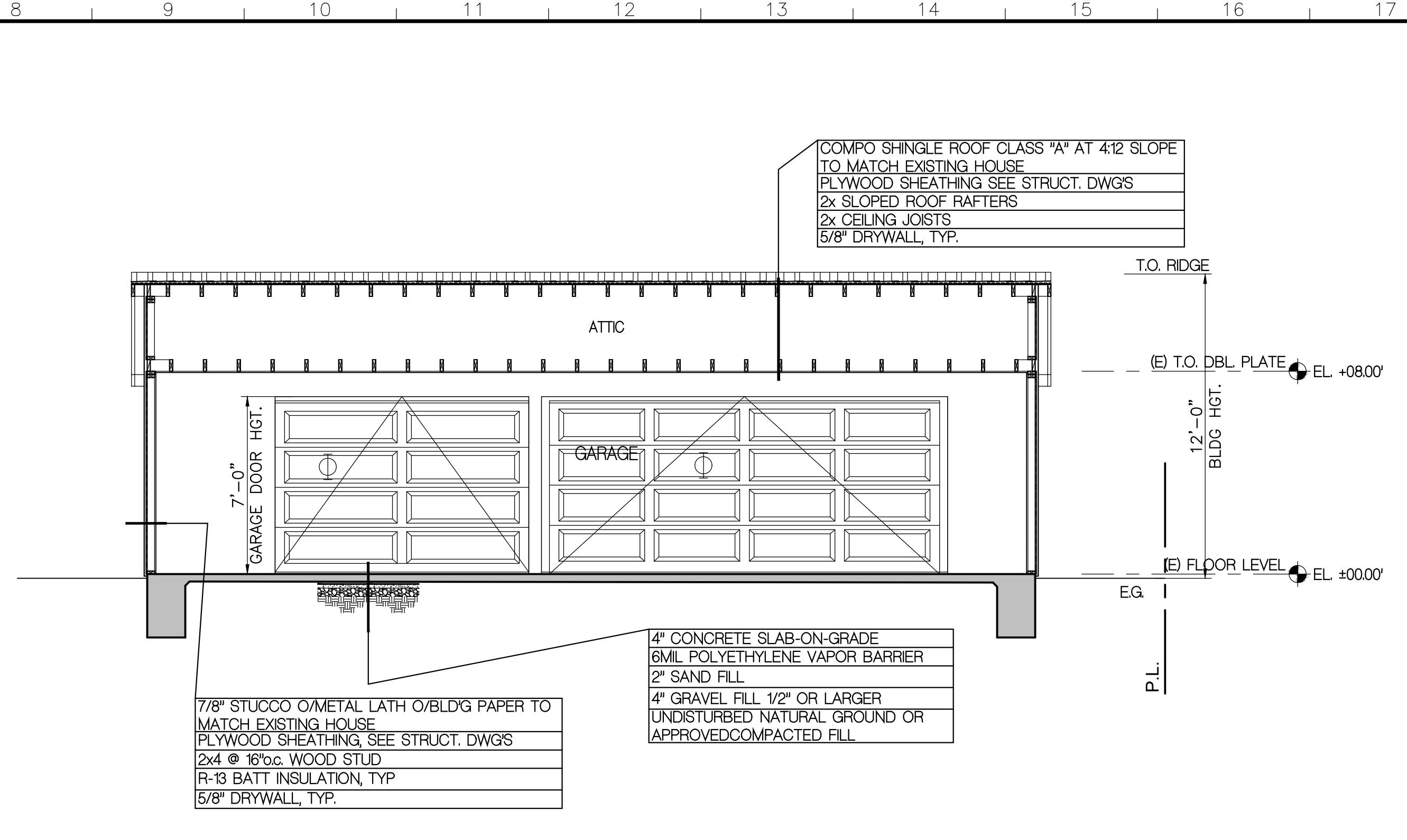
A202

SHEETS OF



GARAGE SECTION

SCALE: 1/4"=1'-0" 5



GARAGE SECTION

SCALE: 1/4"=1'-0" 5

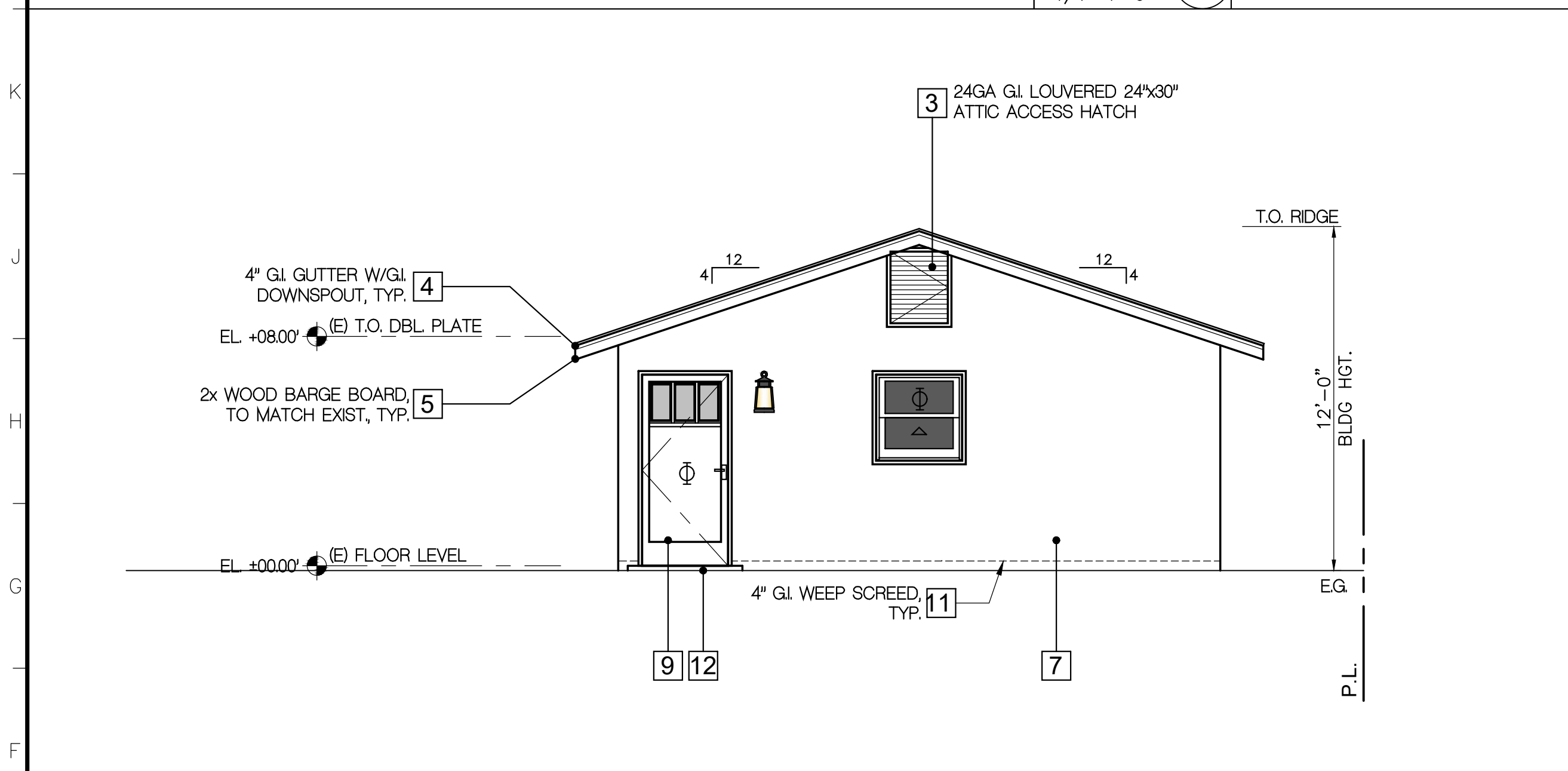
EXTERIOR FINISH SCHEDULE:

1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 SLOPE BY "OWENS CORNING", ECC ESR-1372, CRRC D 0800-0004 HARBOR FOG.
2	BUILT-UP ROOF CLASS "A" AT 2:12 SLOPE TO MATCH EXISTING BUILDING
3	24GA GL LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
4	4" GUTTER 24GA GL W/GL DOWN SPOUT. COLOR TO MATCH SURROUNDING SURFACES
5	ORNAMENTAL WOODEN MOLDINGS, TRIMS, ETC., SIZE, COLOR, TYPE TO MATCH EXISTING HOUSE.
6	"HARDIEPLANK" LAP SIDING BY "JAMESHARDIE" SIZE & STYLE TO MATCH EXISTING HOUSE. COLOR PEARL GRAY
7	7/8" THK STUCCO OVER DBL. TP BUILDING PAPER. TEXTURE TO MATCH EXISTING BUILDING. COLOR BY "LA HABRA STUCCO" CRYSTAL WHITE.
8	OFF-WHITE COLOR VINYL DOORS & WINDOWS BY "MILGARD" OR APPROVED EQ. COLOR & STYLE TO MATCH EXISTING HOUSE
9	CRFTSMAN STYLE DOOR COLOR TO MATCH EXISTING HOUSE
10	SECTIONAL OVERHEAD GARAGE DOOR COLOR & TEXTURE TO MATCH DOORS & WINDOWS
11	CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
12	CONCRETE LANDING & CONCRETE STEP-ON-GRADE.
13	COLORLED CONCRETE PAVING

NOTE:
1. INSTALLATION OF BUILDING MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

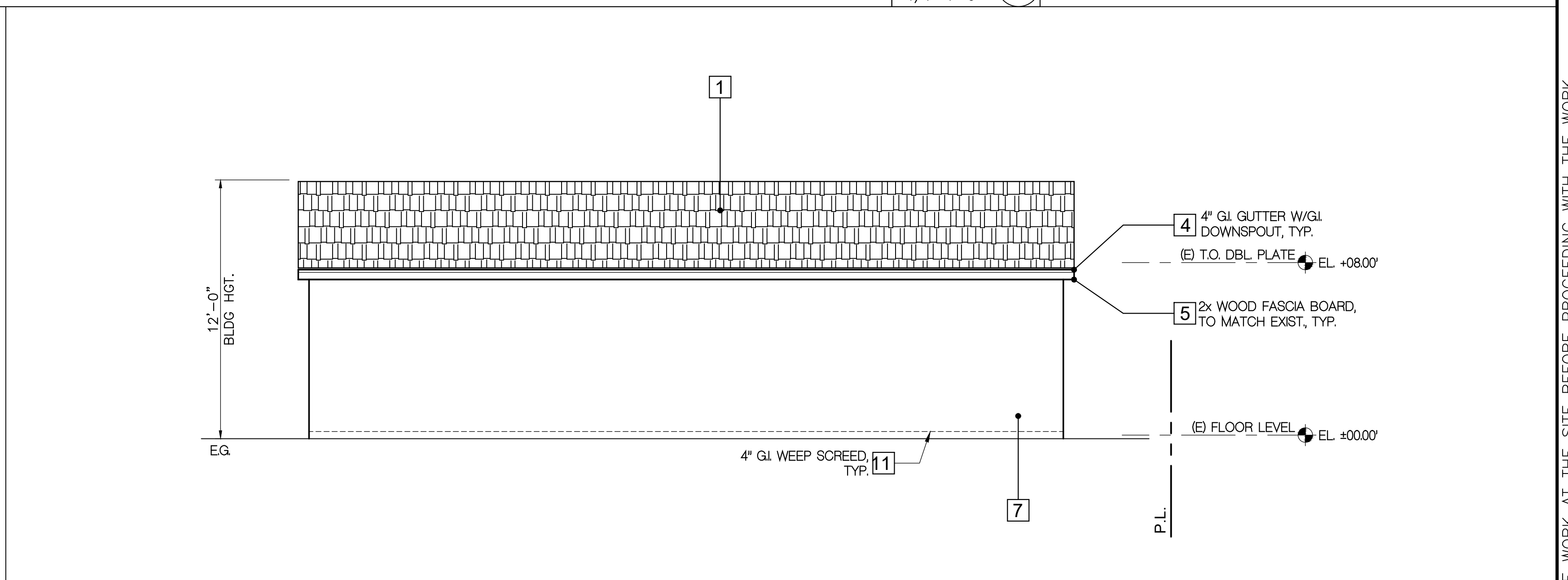
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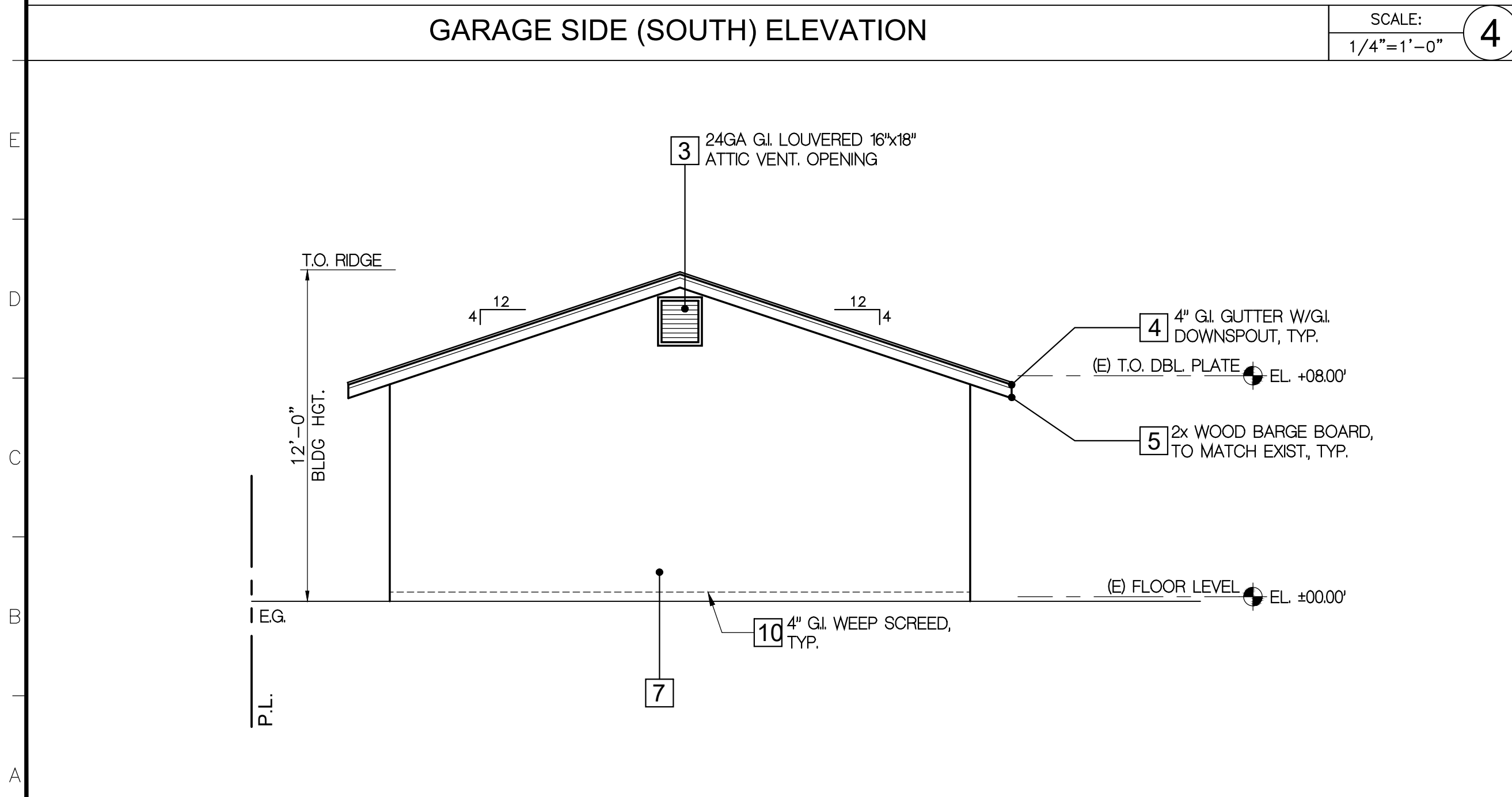
GARAGE SIDE (SOUTH) ELEVATION

SCALE: 1/4"=1'-0" 4



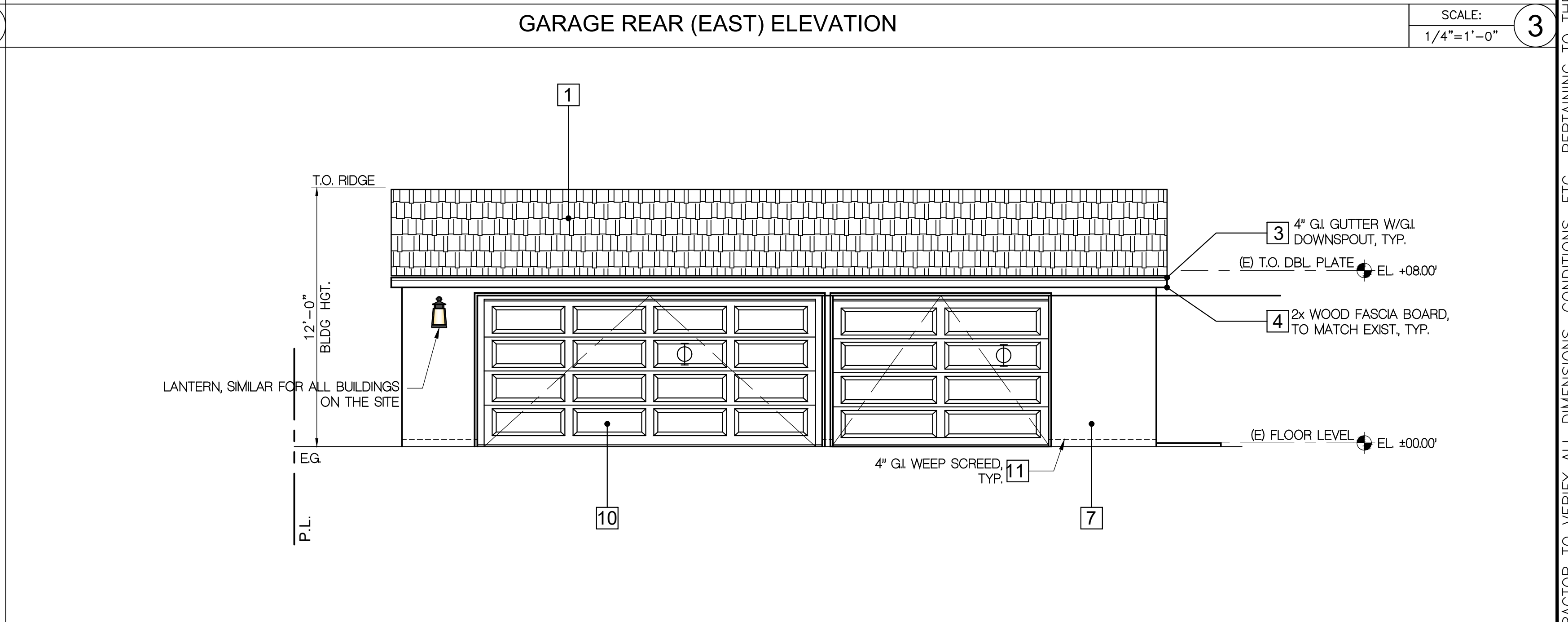
GARAGE REAR (EAST) ELEVATION

SCALE: 1/4"=1'-0" 3



GARAGE SIDE (NORTH) ELEVATION

SCALE: 1/4"=1'-0" 2



GARAGE FRONT (WEST) ELEVATION

SCALE: 1/4"=1'-0" 1

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PROJECT TITLE: ADDITION TO DUPLEX

JOB ADDRESS: 410 IRVING AVE., GLENDALE, CA 91201

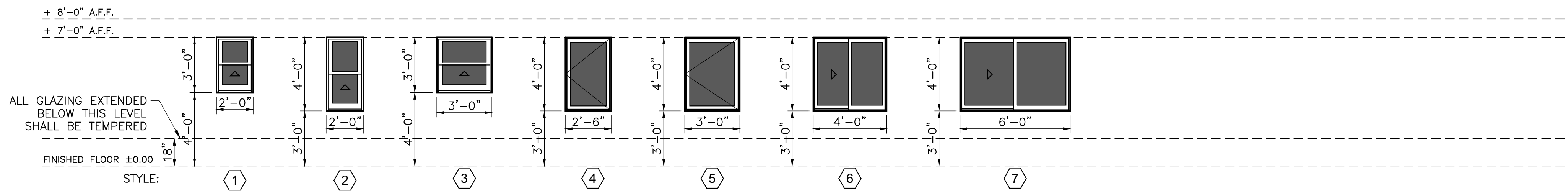
SHEET TITLE: GARAGE ELEVATIONS SECTIONS

SHEET NUMBER: A301

SHEETS OF: 1

WINDOW NO.	QUANTITY	EXISTING WIDTH x HEIGHT (INCH)	NEW WIDTH x HEIGHT (INCH)	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM STREET	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BED ROOM	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR
1	2	-	24"x36"	-	VNL	N	-	HG	NLN	N	-	Y	-	FW	N	Y	Y	N	N
2	4	24"x48"	-	WD	-	Y	HG	-	-	N	Y	-	MW	-	Y	Y	N	N	N
3	2	-	36"x36"	-	VNL	N	-	HG	NLN	N	-	Y	-	FW	N	Y	Y	N	N
4	1	24"x36"	24"x36"	WD	VNL	Y	HG	CA	NLN	N	Y	-	MW	-	Y	Y	N	N	N
5	2	-	34"x48"	-	VNL	N	-	CA	NLN	N	-	Y	-	FLS	Y	Y	N	N	N
6	3	-	48"x48"	-	VNL	N	-	SL	NLN	N	-	Y	-	FLS	Y	Y	N	N	N
7	1	-	72"x48"	-	VNL	N	-	SL	NLN	N	-	Y	-	FLS	N	Y	N	N	N

NOTE: FOR WINDOW TYPE AND INSTALLATION SEE DETAILS 3/A501, 4/A501 - FOR SIDING APPLICATIONS, 5/A501 - FOR PLASTERED WALL APPLICATIONS



DOOR & WINDOW NOTES:

- ALL DOORS AND WINDOWS SHALL COMPLY WITH THE MINIMUM STANDARD SET FORTH IN THE PROJECT SPECIFICATIONS.
- UNLESS NOTED OTHERWISE, DOORS AND OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALL OR SHALL BE LOCATED 5" FROM FINISH WALL TO EDGE OR BACK OF DOOR.
- INSTALL DOORS AND FRAMES PLUMB, STRAIGHT, IN TRUE ALIGNMENT AND RIGIDLY SECURED TO WALLS. ERECT IN PROPER SEQUENCE WITH WORK OF OTHER TRADES.
- SPECIAL LOCKING DEVICES IF SPECIFIED SHALL BE OF A CITY APPROVED TYPE.
- INSTALLATION OF GLASS SHALL CONFORM TO FEDERAL SPECIFICATION 16-CFR-1202 AND THE C.B.C. AND ALL LOCAL CODES AND ORDINANCES. SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL CONFORM TO C.B.C. SECTION 2406.
- ALL DOOR AND OPERABLE WINDOWS TO BE COMPLETELY WEATHER-STRIPPED, INCLUDING ROLL-UP TRUCK DOORS.
- ALL MANUFACTURED WINDOW AND DOOR UNITS SHALL BE LABELED AS MEETING ANSI STANDARD FOR AIR INFILTRATION.
- INSULATION MATERIAL SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 2.5312 B.E.E.S. - MOST CURRENT EDITION.
- DOORS AND WINDOWS SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 2.5317 B.E.E.S. - MOST CURRENT EDITION.
- DOOR OPENING IN MASONRY WALLS SHALL BE 4" HORIZONTAL AND 2" VERTICAL LARGER THAN DOOR DIMENSION TO PROVIDE FOR METAL DOOR FRAME.
- ALL DOORS AND WINDOWS DIMENSIONS ARE CLEAR OPENING DIMENSIONS.
- INSTALL ICE & WATER SHIELD @ EXTERIOR WINDOWS BY W.I. GRACE CO. AT WINDOW HEAD: INSTALL SHIELD UNDER BUILDING PAPER.
- USE FIBERGLASS EXTERIOR DOORS & WINDOWS BY "MILGARD"- OR APPROVED EQUAL, U- FACTOR =0.30, SHGC=0.28
- THE PERSON WITH OVERALL RESPONSIBILITY FOR CONSTRUCTION OR THE PERSON RESPONSIBLE FOR THE INSTALLATION OF REGULATED MANUFACTURED DEVICES SHALL POST, OR MAKE AVAILABLE

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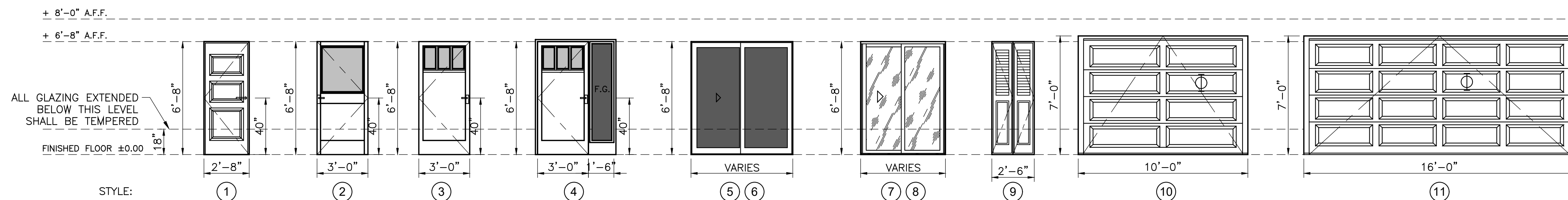
SAFETY GLAZING IN HAZARDOUS AREAS: R308.4

- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
 - GLAZING IN RAILINGS.
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

WINDOW STYLES

SCALE: 1/4"=1'-0" **2**

DOOR SCHEDULE																
DOOR NO.	SIZE			DOOR			GLAZING			OTHER ITEMS			ENERGY EFFICIENCY		REMARKS	
	WIDTH	HEIGHT	THCK.	TYPE	SCREEN	CONSTR.	FACE MATERIAL	THCK.	TYPE	COLOR	SELF CLOSING	UL LABEL/HR	THRE SHOLD	U FACTOR		SHGC
1	2'-8"	6'-8"	1 3/8"	SW	N	HC	VEN	-	-	-	N	-	-	-	-	PANEL DOOR
2	3'-0"	6'-8"	1 3/4"	SW	Y	SC	VEN	C	DG/T	CLR	N	-	-	-	-	EXTERIOR PANEL DOOR
3	3'-0"	6'-8"	1 3/4"	SW	Y	SC	VEN	C	DG/T	OB	N	-	-	-	-	ENTRY PANEL DOOR
4	4'-6"	6'-8"	1 3/4"	SW	Y	SC	VEN	C	DG/T	OB	N	-	-	-	-	ENTRY PANEL DOOR W/SIDELIGHTS
5	5'-0"	6'-8"	1 3/4"	SL	Y	VNL	-	C	DG/T	CLR	N	-	-	0.29	0.2	PATIO DOOR, TEMPERED
6	6'-0"	6'-8"	1 3/4"	SL	Y	VNL	-	C	DG/T	CLR	N	-	-	0.29	0.2	PATIO DOOR, TEMPERED
7	5'-0"	6'-8"	1 3/8"	SL	N	AL	-	C	T	M	N	-	-	-	-	CLOSET DOOR
8	6'-0"	6'-8"	1 3/8"	SL	N	AL	-	C	T	M	N	-	-	-	-	CLOSET DOOR
9	2'-6"	6'-8"	1 3/8"	FLD	N	HC	LVR	-	-	-	N	-	-	-	-	CLOSET DOOR
10	10'-0"	7'-0"	1 3/4"	OH	N	SC	VEN	-	-	-	N	UL 325	-	-	-	OVERHEAD SECTIONAL GARAGE DOOR
11	16'-0"	7'-0"	1 3/4"	OH	N	SC	VEN	-	-	-	N	UL 325	-	-	-	OVERHEAD SECTIONAL GARAGE DOOR



DOOR & WINDOW LEGEND:

- | | |
|---|---|
| 1 SL - SLIDING
SW - SWINGING
CA - CASEMENT
DH - DOUBLE HUNG
SH - SINGLE HUNG
PVT - PIVOTED
FIX - FIXED
FLD - FOLDING | 4 BLK - BLOCK FRAME
NLN - NAIL-ON FRAME
FIN - FLUSH FIN FRAME |
| 2 SC - SOLID CORE
HC - HOLLOW CORE
AL - ALUMINUM
HMI - HOLLOW METAL INTERIOR
HME - HOLLOW METAL EXTERIOR
WG - WOOD & GLASS
VNL - VINYL
FG - FIBERGLASS
ACD - ALUMINUM/WOOD CLAD
VCD - VINYL/WOOD CLAD
FCD - FIBERGLASS/WOOD CLAD | 5 Y - YES
N - NO
6 C - CODE
7 PP - POLISHED PLATE
T - TEMPERED GLASS
W - WIRE
L - LAMINATED
SG - SINGLE GLASS
DG - DOUBLE GLASS |
| 3 TH - TEMPERED HARDBOARD
LVR - LOUVERED WOOD
LP - LAMINATED PLASTIC
MET - METAL
AL - ALUMINUM
DF - VERTICAL GRAIN DOUGLAS FIR
VEN - WOOD VENEER | 8 CLR - CLEAR GLASS
OB - OBSCURE
M - MIRROR
STN - STAINED GLASS
9 FW - FLAT WOOD CASING
MW - MOLDED WOOD CASING
RE - ROUNDED EDGE
FLS - FLUSH, NO TRIM |

DOOR STYLES

SCALE: 1/4"=1'-0" **1**

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT TITLE:
ADDITION TO DUPLEX

JOB ADDRESS:
410 IRVING AVE., GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:

SHEET TITLE:
DOOR & WINDOW SCHEDULE

SHEET NUMBER

A601

SHEETS OF

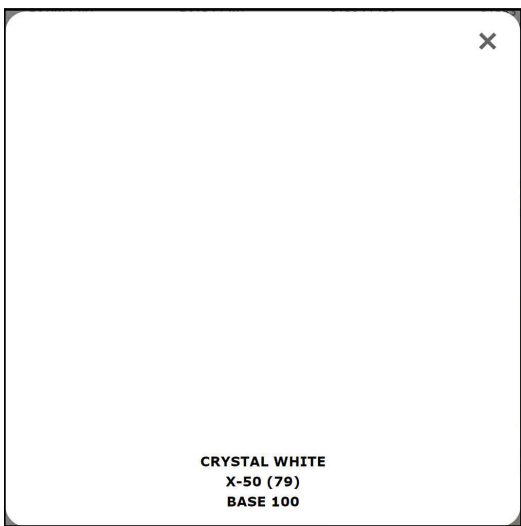


Harbor Fog

1 "CORNING OWENS" – HARBOR FOG



6 "JAMES HARDY" – HARDYPLANK (PEARL GRAY)







7 "DUNN EDWARDS" – WHISPER



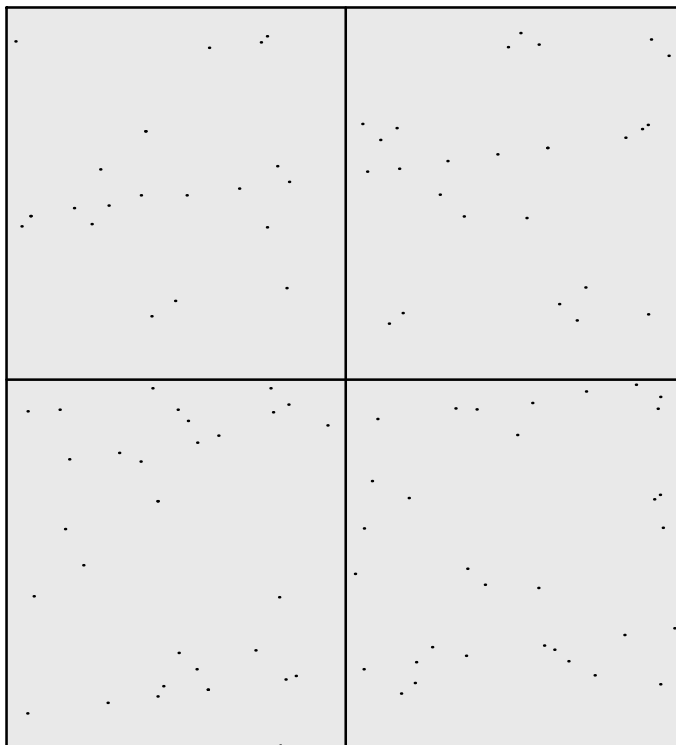
8 9 10 "MILGARD" – STANDARD WHITE

EXTERIOR FINISH SCHEDULE:

1		FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 SLOPE BY "OWENS CORNING", ICC ESR-1372. CRRC ID 0890-0004 HARBOR FOG.
2		BUILT-UP ROOF CLASS "A" AT 1/4":12" SLOPE TO MATCH EXISTING BUILDING
3		24GA G.I. LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
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13		COLORED CONCRETE PAVING

NOTE:

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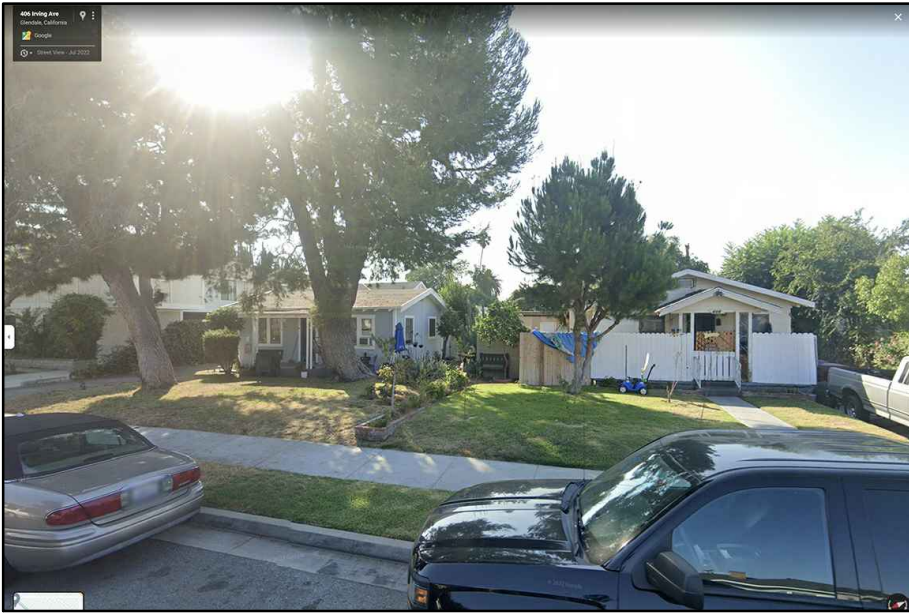


13 COLORED CONCRETE PAVER

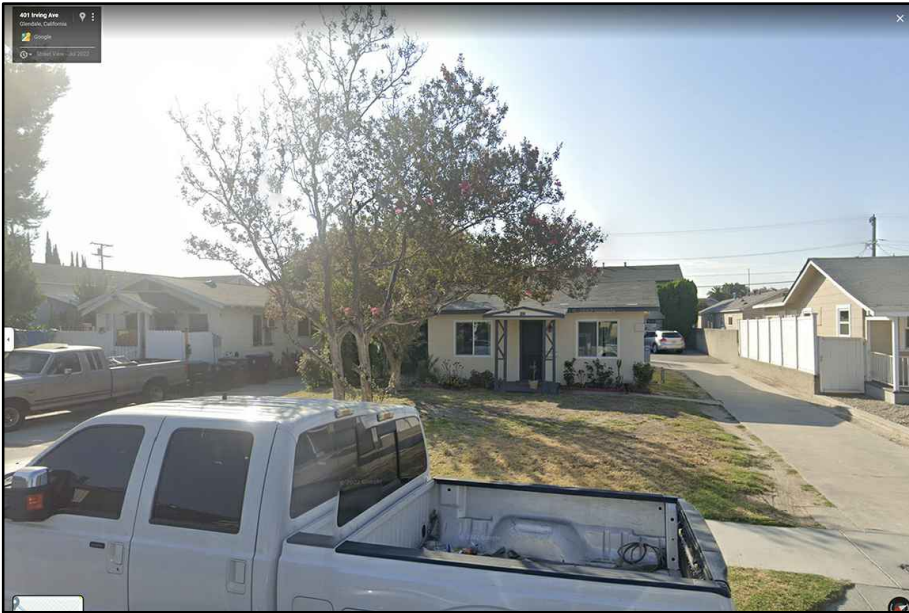
1 SHEET 1 OF 1	
JOB ADDRESS:	410 IRVING AVE., GLENDALE, CA 91201
PROJECT TITLE:	ADDITION
SHEET TITLE:	MATERIAL BOARD
SCALE:	NONE
	
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	SHEET TITLE:	VICINITY & PHOTOGRAPHIC SURVEY MAP	
	SCALE:	1"=100'	



1. 406 IRVING AVE.



2. 402 IRVING AVE.



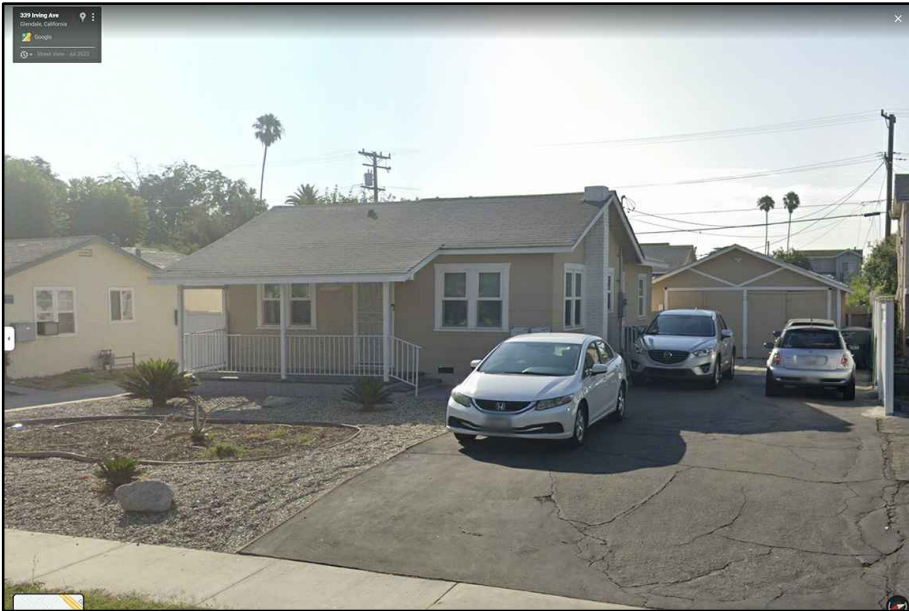
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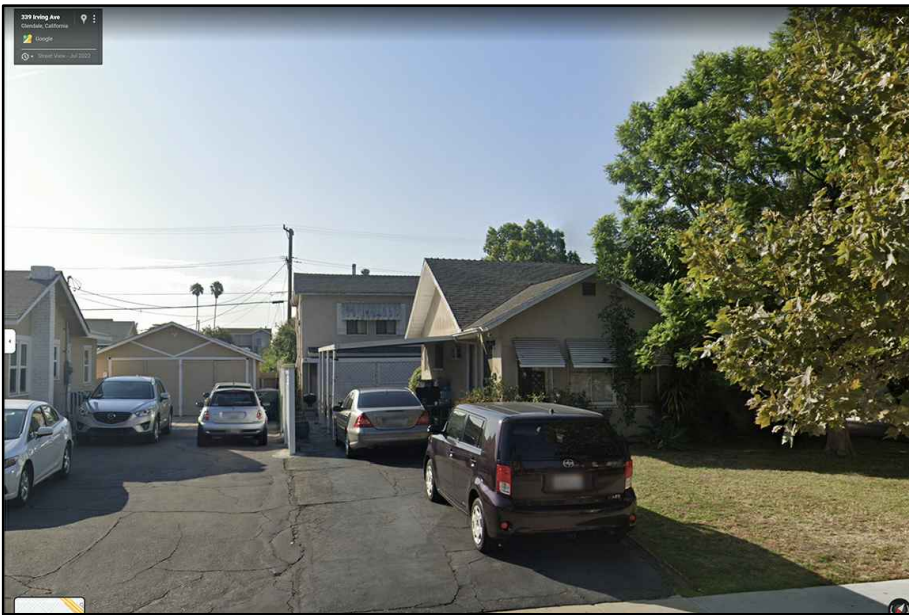
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SHEET TITLE:	PHOTOGRAPHIC SURVEY

1

SHEET 1 OF 15



3. 340 IRVING AVE.



4. 336 IRVING AVE.



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JOB ADDRESS:

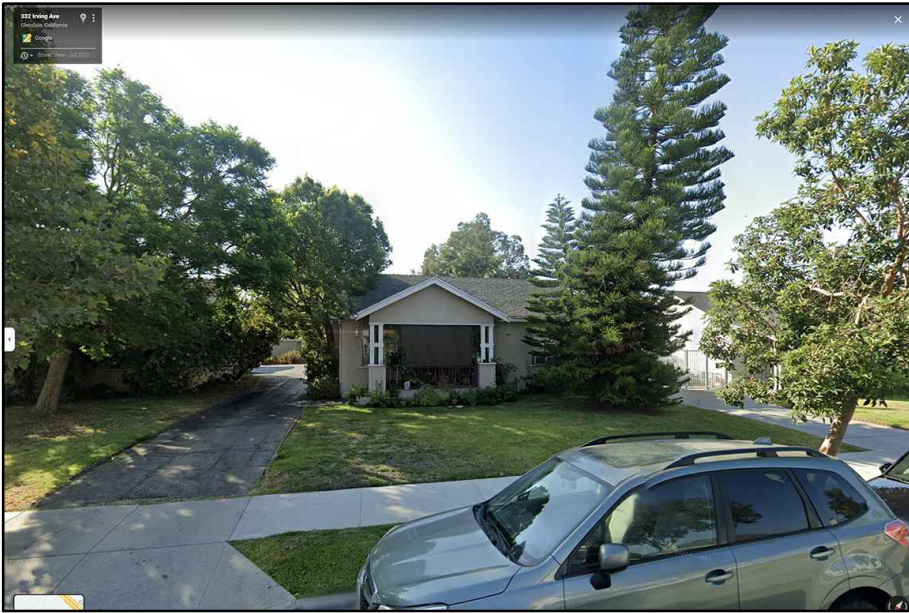
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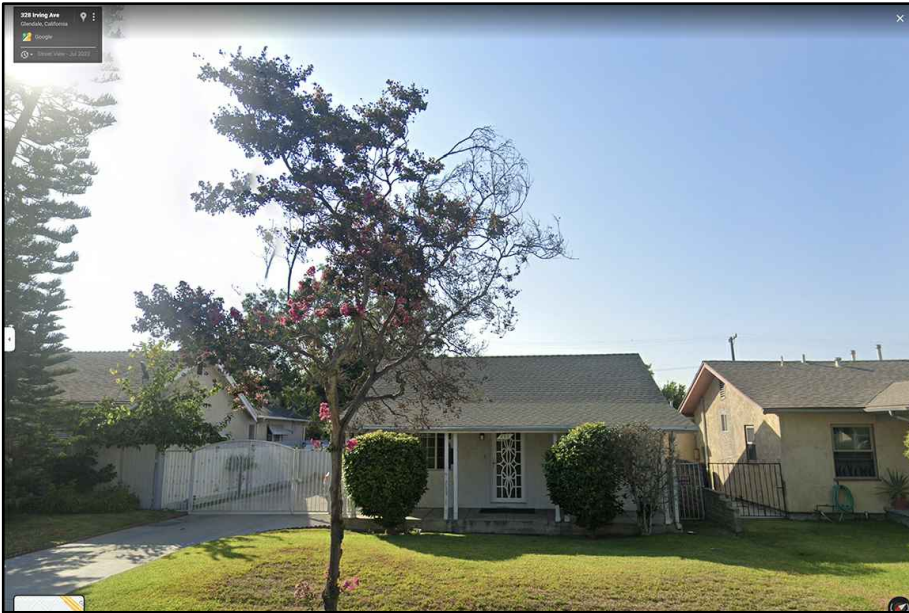
PHOTOGRAPHIC SURVEY

2


SHEET 2 OF 15



3. 332 IRVING AVE.

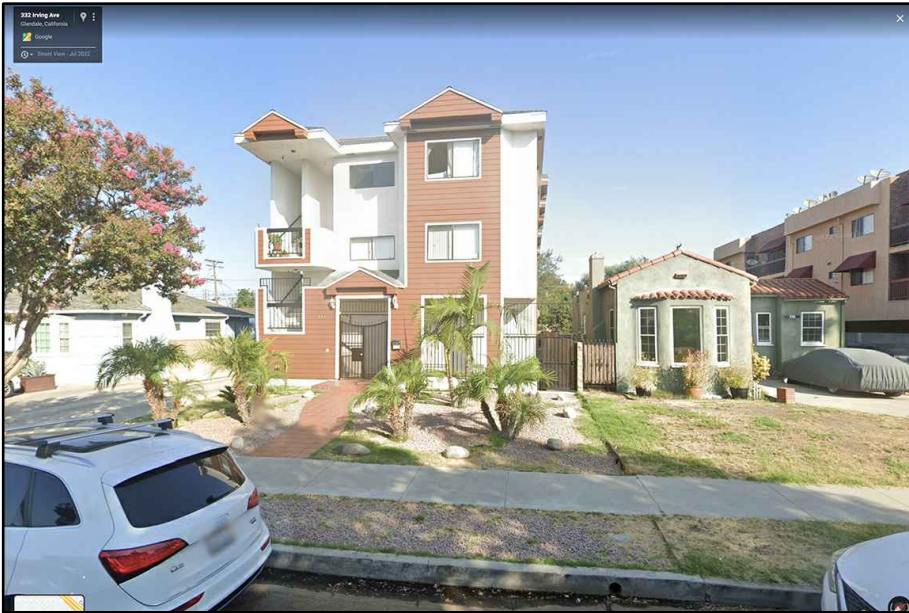


4. 328 IRVING AVE.

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	SHEET TITLE:	PHOTOGRAPHIC SURVEY	



7. 327 IRVING AVE.



8. 331 IRVING AVE.



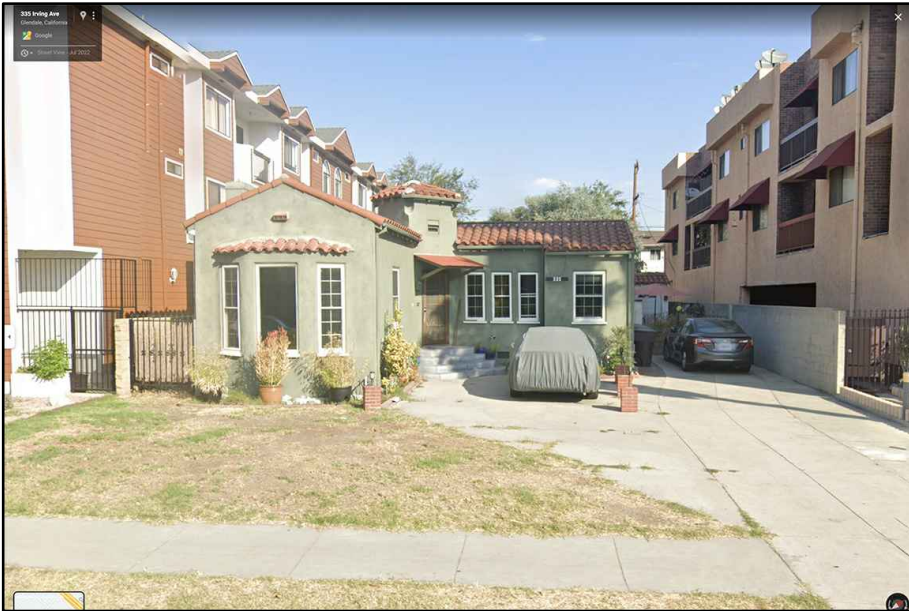
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9. 335 IRVING AVE.



10. 339 IRVING AVE.

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	SHEET TITLE:	PHOTOGRAPHIC SURVEY	



11. 401 IRVING AVE.



12. 405 IRVING AVE.



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JOB ADDRESS:

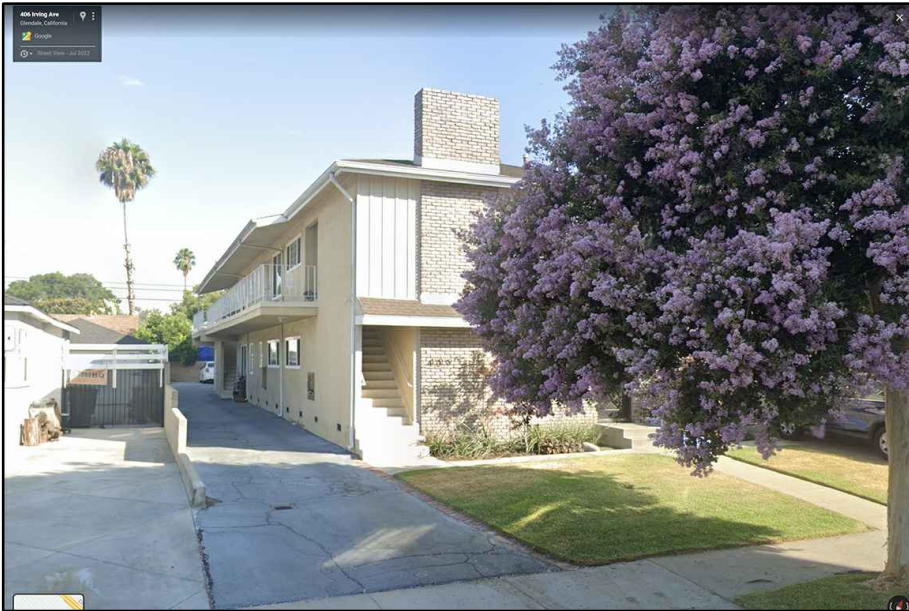
410 IRVING AVE., GLENDALE, CA 91201

SHEET TITLE:

PHOTOGRAPHIC SURVEY

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13. 409 IRVING AVE.

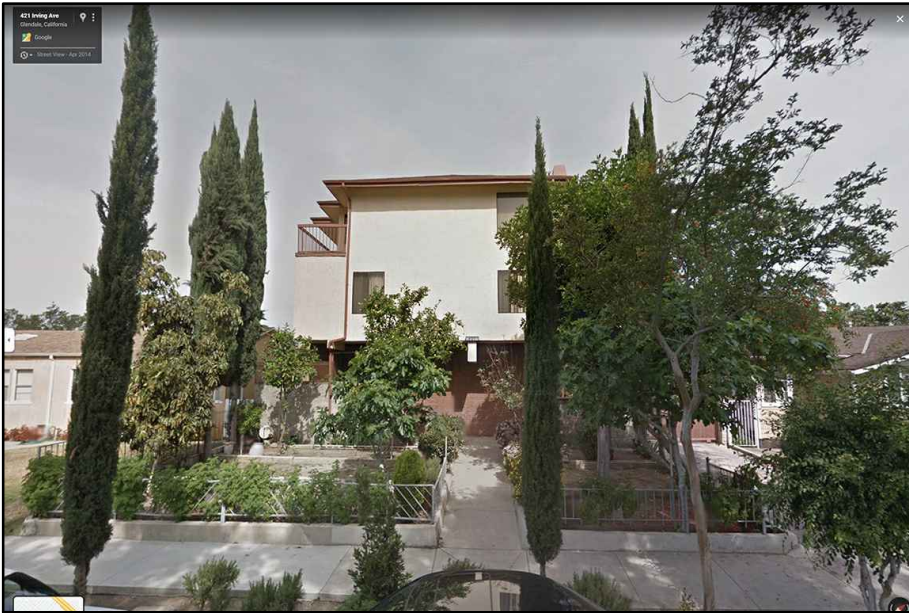


14. 413 IRVING AVE.

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	SHEET TITLE:	PHOTOGRAPHIC SURVEY	



15. 419 IRVING AVE.



16. 421 IRVING AVE.



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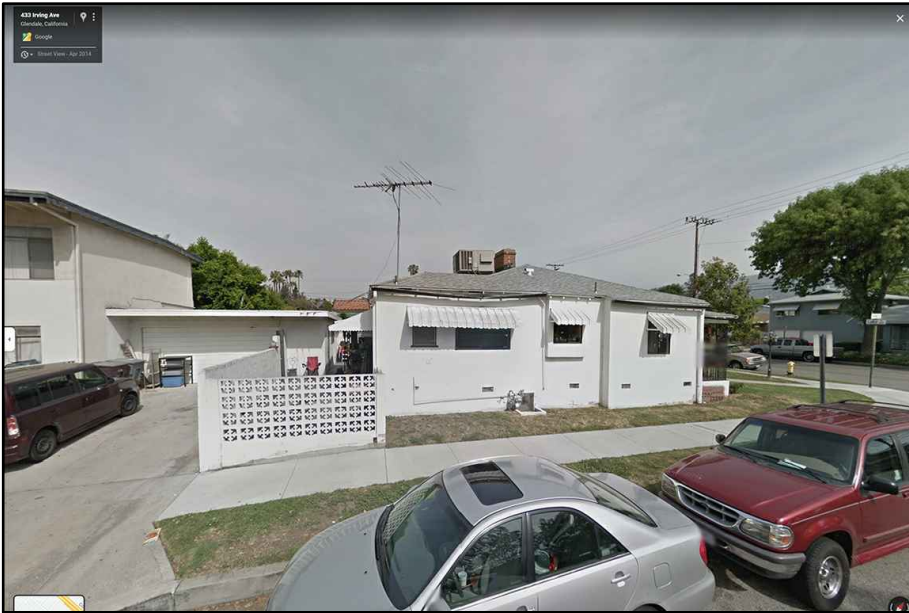
JOB ADDRESS:	410 IRVING AVE., GLENDALE, CA 91201
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17. 433 IRVING AVE.



18. 1834 LAKE AVE.



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SHEET TITLE:

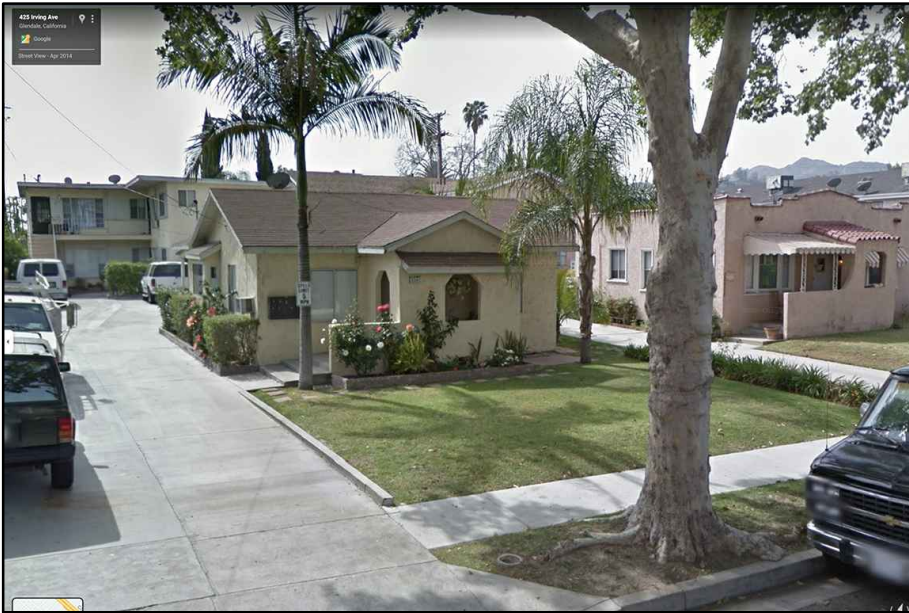
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19. 1824 LAKE AVE.



20. 424 IRVING AVE.



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21. 420 IRVING AVE.



22. 416 IRVING AVE.



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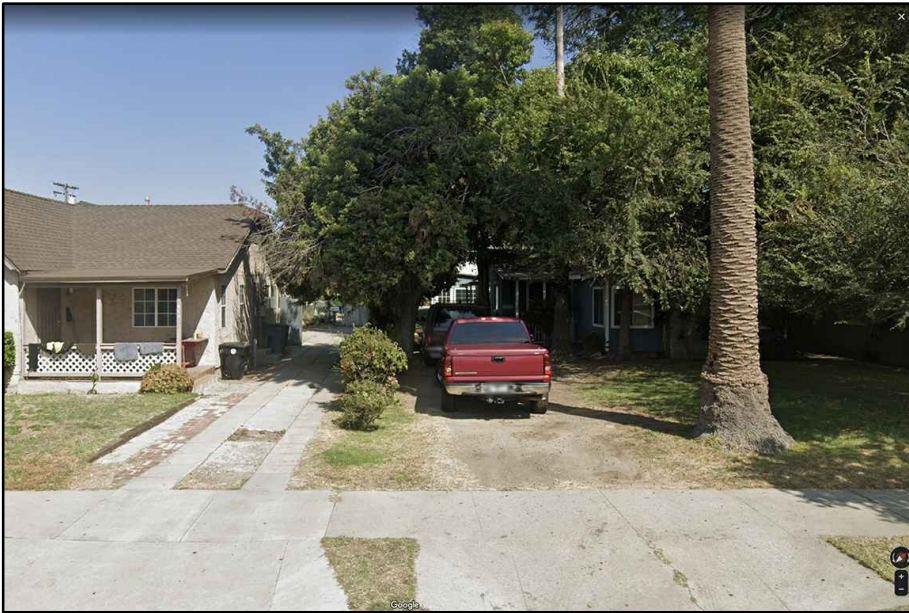
JOB ADDRESS:	410 IRVING AVE., GLENDALE, CA 91201
SHEET TITLE:	PHOTOGRAPHIC SURVEY

11

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23. 414 IRVING AVE.



24. 415 THOMPSON AVE.

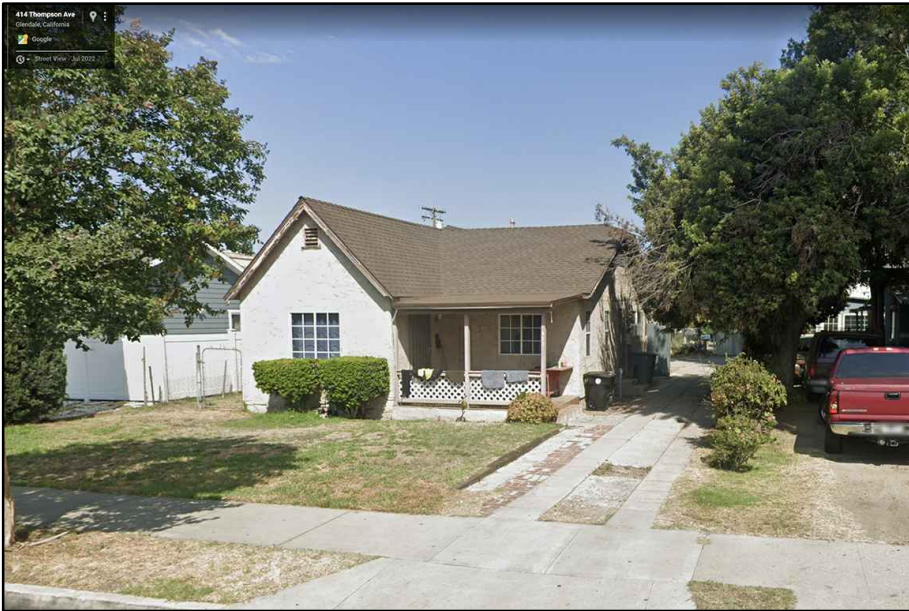


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25. 411 THOMPSON AVE.



26. 407 THOMPSON AVE.



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SHEET TITLE:

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27. 410 IRVING AVE. - UNIT "B" FRONT



28. 410 IRVING AVE. - UNIT "B" NORTH SIDE



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29. 410 IRVING AVE. - UNIT "B" SOUTH SIDE



30. 410 IRVING AVE. - BACK UNIT "A"



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1"=200'