

CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

November 2, 2023	1201 San Luis Rey Drive, 91208
Decision Date	Address
Administrative Design Review (ADR)	5614-028-032
Review Type	APN
PADR-001035-2023	Nareg Khodadadi
Case Number	Applicant
Chloe Cuffel, Planner	Gevorg Nazaryan
Case Planner	Owner

Project Summary

The project proposes adding a total of 816 square feet at the front and rear of an existing single-story, 1,918 square-foot single-family dwelling (built in 1957) with an attached 395 square-foot garage located on a 11,520 square-foot corner lot. The proposed addition includes 263 square feet at the front façade, 553 square feet at the rear, and an attached 332 square-foot covered patio. The total floor area of the house with the additions combined will be 2,734.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 50% of the floor area of the structure before the addition.

Existing Property/Background

Originally developed in 1957, the project site is an 11,520 square-foot rectangular-shaped corner lot that fronts San Luis Rey and has driveway access off Via Saldivar. The site was developed with a 1,918 square-foot, one-story single-family residence, and an attached 395 square-foot two-car garage. The house was designed in a Colonial Ranch style, featuring two front facing gables, brick cladding, and dentils along the roofline. A pool was added to the back yard in 2022. There are no Oak, Bay or Sycamore trees on the property.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R1R – FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

The Building permit for this clearance is currently in review (BSFD-008322-2023).

Site Slope and Grading

Less than 50% current average slope and less than 1,500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	16,980 sq. ft.	46,350 sq. ft. – 11,520 sq. ft.	11,520 sq. ft.
Setback	26 feet	10 feet – 50 feet	37.5 feet
House size	2,265	3,792 sq. ft. – 1,344 sq. ft.	2,734 sq. ft.
Floor Area Ratio 0.13		0.08 - 0.24	0.24
Number of stories	17 homes are 1-story,3 homes are 2-stories,1 home is 3-stories	1 to 2-stories	1-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

⊠ yes □ n/a □ no

If "no" select from below and explain:

- □ Setbacks of buildings on site
- □ Prevailing setbacks on the street
- □ Building and decks follow topography
- □ Alteration of landform minimized

Yards and Usable Open Space

🖂 yes 🗌 n/a 🗌 no

If "no" select from below and explain:

- □ Avoid altering landform to create flat yards
- □ Outdoor areas integrated into open space
- □ Use of retaining walls minimized

□ Provide landscaping to reduce visual impact of retaining walls

Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

⊠ yes □ n/a □ no

If "no" select from below and explain:

- $\hfill\square$ Consistent with predominant pattern on street
- \Box Compatible with primary structure
- □ Permeable paving material
- $\hfill\square$ Decorative paving

Landscape Design (Existing Landscaping to Remain)

⊠ yes 🛛 n/a 🛛 no

If "no" select from below and explain:

- □ Complementary to building design and surrounding site
- □ Maintains existing trees when possible
- □ Maximizes permeable surfaces
- $\hfill\square$ Appropriately sized and located

Walls and Fences

⊠ yes □ n/a □ no

If "no" select from below and explain:

- □ Appropriate style/color/material
- $\hfill\square$ Perimeter walls treated at both sides
- □ Retaining walls minimized
- □ Appropriately sized and located
- □ Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The additions are appropriately integrated into the design of the existing house and will not significantly change the site planning.
- The 263 square-foot addition at the front façade maintains street front setback requirement and is in keeping with the style of the existing residence.
- The 553 square-foot addition at the rear of the house will not alter the existing home's appearance as viewed from the street. Landscaping and trees along the front and sides of the property will be retained.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

⊠ yes □ n/a □ no

- If "no" select from below and explain:
- □ Appropriate proportions and transitions
- □ Impact of larger building minimized

Building Relates to Existing Topography ⊠ yes □ n/a □ no

If "no" select from below and explain:

- \Box Form and profile follow topography
- $\hfill\square$ Alteration of existing land form minimized
- \Box Retaining walls terrace with slope

Consistent Architectural Concept

⊠ yes □ n/a □ no

If "no" select from below and explain:□ Concept governs massing and height

Scale and Proportion

⊠ yes □ n/a □ no

If "no" select from below and explain:

- \Box Scale and proportion fit context
- $\hfill\square$ Articulation avoids overbearing forms
- □ Appropriate solid/void relationships
- □ Entry and major features well located
- $\hfill\square$ Avoids sense of monumentality

Roof Forms

⊠ yes □ n/a □ no

If "no" select from below and explain:

- \square Roof reinforces design concept
- \Box Configuration appropriate to context

Provide proposed roof plan for Planning review.

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the project are consistent with and appropriate to the existing residence and the neighborhood.
- The roof features pitched gables at the front and sides with varying slopes.

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

⊠ yes □ n/a □ no

If "no" select from below and explain:

- □ Consistent architectural concept
- $\hfill\square$ Proportions appropriate to project and surrounding neighborhood
- □ Appropriate solid/void relationships

Entryway

🗆 yes 🛛 n/a 🖾 no

If "no" select from below and explain:

- $\hfill\square$ Well integrated into design
- \boxtimes Avoids sense of monumentality
- $\hfill\square$ Design provides appropriate focal point
- \Box Doors appropriate to design

Provide cut sheet and dimension of front door for Planning review.

Windows

🗆 yes 🛛 n/a 🖾 no

If "no" select from below and explain:

□ Appropriate to overall design

- □ Placement appropriate to style
- □ Recessed in wall, when appropriate

Revise Window Schedule to replace any visible slider windows with hung or fixed operations.

Privacy

⊠ yes □ n/a □ no

If "no" select from below and explain:

- $\hfill\square$ Consideration of views from "public" rooms and balconies/decks
- $\hfill\square$ Avoid windows facing adjacent windows

Finish Materials and Color

⊠ yes □ n/a □ no

If "no" select from below and explain:

- $\hfill\square$ Textures and colors reinforce design
- $\hfill\square$ High-quality, especially facing the street
- $\hfill\square$ Respect articulation and façade hierarchy
- $\hfill\square$ Wrap corners and terminate appropriately
- $\hfill \square$ Natural colors appropriate to hillside area

Paving Materials

□ yes □ n/a ⊠ no

If "no" select from below and explain:

- □ Decorative material at entries/driveways
- □ Permeable paving when possible
- \boxtimes Material and color related to design

Existing driveway includes brick to match brick cladding on the house. If this is to be replaced to match proposed Stone siding, please provide details on the plans for Planning review.

Lighting, Equipment, Trash, and Drainage

⊠ yes □ n/a □ no

If "no" select from below and explain:

- □ Light fixtures appropriately located/avoid spillover and over-lit facades
- □ Light fixture design appropriate to project
- Equipment screened and well located
- □ Trash storage out of public view
- □ Downspouts appropriately located
- □ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

🗆 yes 🛛 n/a 🛛 no

If "no" select from below and explain:

- Design consistent with primary structure
- □ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design, detailing and architectural concept of the addition will be consistent with the character of the existing Ranch style house.
- The finish materials are appropriate to the Ranch style including Hardie plank siding, stucco finish, and stone siding.
- The proposed windows are vinyl with a combination of single-hung and fixed operations, which will be compatible with the proposed design. A condition is included to revise the window schedule to replace any visible slider windows with hung or fixed operations.
- Charcoal gray shingle roof is proposed for the addition to match existing roof color and material, which is appropriate to the house and the neighborhood.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

- 1. That a cut sheet of the proposed front door be provided for Planning Review
- 2. That the Window Schedule be revised to replace sliders where visible from the street with hung or fixed operations.
- 3. Provide details of proposed driveway if materials will be revised to match new design of the house.

Attachments

- 1. Reduced Plans
- 2. Photos of Existing Property
- 3. Location Map
- 4. Neighborhood Survey



SCOPE OF WORK

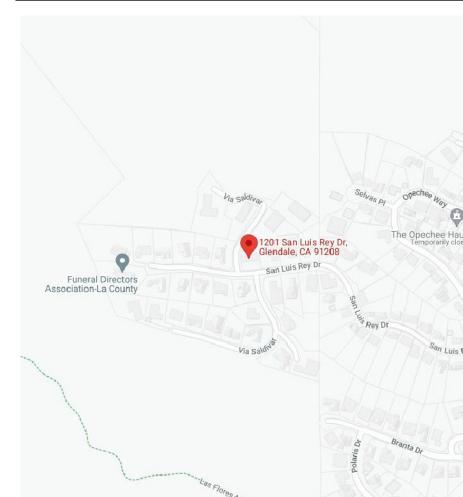
- NEW ADDITION (816 SQ. FT.) TO REAR AND FRONT OF EXT'G SINGLE FAMILY RESIDENCE (1.918 SQ. FT.) AND

- NEW ATTACHED COVERED PATIO/BBQ AREA (332 SQ. FT.) AND - INTERIOR REMODEL ADDING POWDER ROOM AND PANTRY

- ALL NEW WINDOWS

- NEW SMOOTH STUCCO, NEW SIDING AND NEW STONE FACADE TO REPLACE BRICK

SITE MAP



INTERIOR REMODEL, NEW ADDITION & NEW COVERED PATIO NAZARYAN RESIDENCE 1201 SAN LUIS REY DR., GLENDALE CA 91208

MJC Roofin

PROJECT INFORMATION PROJECT LOCATION 1201 SAN LUIS REY DR.,

SHEET INDEX

SECURITY & GREEN SHEETS

DOOR & WINDOW SCHEDULE

PROPOSED SECTIONS & DETAIL

SITE PLAN & ROOF PLAN

PROPOSED FLOOR PLAN

PROPOSED ELEVATIONS

PROPOSED ELEVATIONS

GENERAL NOTES

DETAILS

FOUNDATION PLAN

ROOF FRAMING PLAN

EXT'G FLOOR PLAN

GLENDALE, CA 91208

PROJECT DESIGNER

DESIGNNRK

213 N. ORANGE ST. UNIT: E

GLENDALE, CA 91203

OFFICE: 818.823.7286

FAX 888.424.8125

INFO@DESIGNNRK.COM

ARCHITECTURAL SHEETS:

ENERGY CALCULATION SHEETS:

STRUCTURAL SHEETS :

TITLE 24

TITLE 24

COVER SHEET

A0.1

A0.2

A1.1

A2.0

A2.1

A3.1

A3.2

A4.1

T1

T2

S-1

S-2

S-3

S-4

<u>OWNER</u> NAZARYAN 1201 SAN LUIS REY DR., GLENDALE, CA 91208 ENGINEER VK ENGINEERING 1101 E. BROADWAY STE: 202 GLENDALE, CA 91205 818-500-0360

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, **BEFORE COMMENCING WORK.** HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/ OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

NOTES

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING :

- 1. RETAINING WALL OF BLOCK FENCE WALL
- 2. GRADING WORK 3. SWIMMING POOL
- 4. A SEPARATE STRUCTURE
- 5. SHORING
- 6. DEMOLITION

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

ROOFTOP EQUIPMENT IS PROHIBITED IN THIS ZONE.

FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET. ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.

3. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND /OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

4. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

PROJECT	FLOOR PL/	AN ARFA	& DATA

LOT AREA	11,520 SQ. FT.
EXT'G SINGLE FAMILY RES	1,918 SQ. FT.
EXT'G 2-CAR GARAGE	395 SQ. FT.
NEW ADDITION	816 SQ. FT.
NEW ATTACHED COVERED PATIO/BBQ AREA	260 SQ. FT.
EXT'G POOL & SPA	681 SQ. FT.
EXT'G FRONT PORCH	22 SQ. FT.
TOTAL LIVING AREA	2,734 SQ. FT.

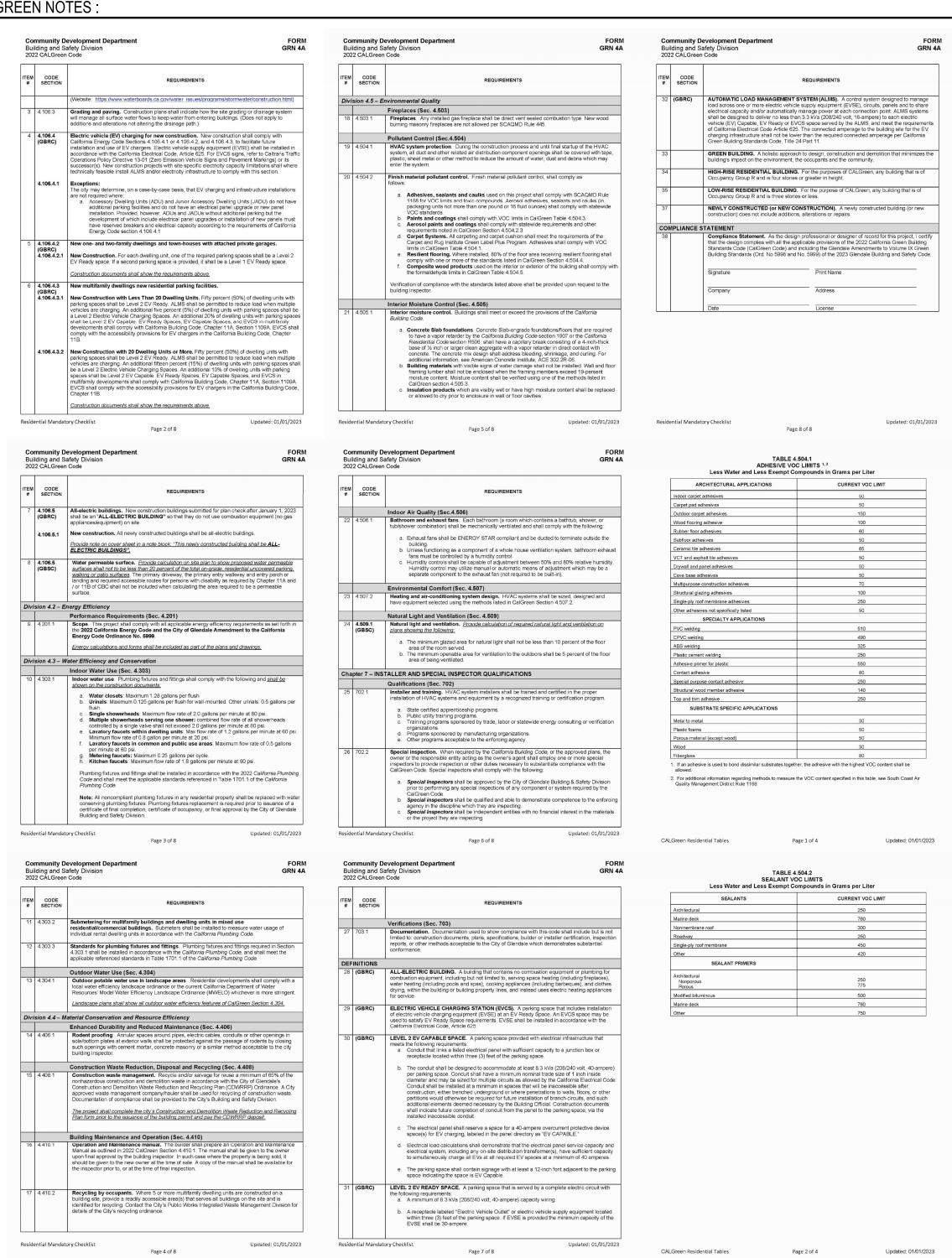
FLOOR AREA RATIOMAX. 40% (OF 10,000) - 4,000 SQ. FT.MAX. 10% (OF 1,520) -152 SQ. FT.TOTAL MAX.4,152 SQ. FT.	NEW LIVING AREA (2,734 SQ. FT.) 24 % LOT AREA (11,520 SQ. FT.)
LOT COVERAGE RATIO MAX. 40% - 4,608 SQ. FT.	NEW LIVING AREA (2,734 SQ. FT.) 30 % EXT'G 2-CAR GARAGE (395 SQ. FT.) NEW ATTACHED PATIO/BBQ (260 SQ. FT.) EXT'G FRONT PORCH (22 SQ. FT.) TOTAL LOT COVERAGE (3,411 SQ.FT.) LOT AREA (11,520 SQ. FT.)
LANDSCAPE RATIO MIN. 40% - 4,608 SQ. FT.	LANDSCAPED AREA (5,035 SQ. FT.) 44 % LOT AREA (11,520 SQ. FT.)
LEGAL DESCRIPTION	TRACT # 21494 LOT 14
YEAR BUILT ZONING APN OCCUPANCY	1957 R1R-II 5614-028-032 RESIDENCE - R3 GARAGE - U
CONSTRUCTION TYPE FIRE SPRINKLERS NUMBER OF STORIES FIRE ZONE CA CLIMATE ZONE	V-B NO 1 YES 9

APPLICABLE CODES

PROJECT SHALL COMPLY W/ THE 2019 CBC. CMC. CEC. CPC. GFD. CFC & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

213 n. orange st. ste: e glendale, ca 91203 818.823.7286 o. 888.424.8125 f. www.designNRK.com info@designNRK.com
design de
COVER SHEET NAZARYAN RESIDENCE 1201 SAN LUIS REY DR., GLENDALE, CA 91208
COVER SHEET DAZARANA RES. 1201 SAN LUIS REY DR., GLENDALE, CA 91208
DATE: 08/2022 DRAWN BY: NRK JOB NO. 22071 SHEET NO. AO.1

GREEN NOTES:



SECURITY NOTES:



SUPPLEMENTAL CORRECTION SHEET SECURITY STANDARDS - RESIDENTIAL

- 1. The following buildings shall comply with the Security Provisions: a. New residential buildings of all types.
 - b. Additions or alterations to residential buildings of all types. c. Multiple family dwelling units converted to privately owned family units (condominiums or cooperatives).
- Identify all security openings clearly on plans. The symbol * may be used, but any system which clearly defines security openings will be acceptable. a. Security Openings are defined as:
- b. All exterior doors of residential buildings.
- c. The door leading from garage into attached dwelling units. d. Entrance doors to individual apartments or condominiums from a public area.
- e. Any glazed opening within 40" of any door locking mechanism in the closed mechanism. f. Louvered windows within 12' vertically or 6' horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
- g. Openings or windows into public parking areas. h. All openable windows. See Item 4 below.
- 3. Provide details and specifications for all swinging doors in security openings. a. Specify thickness, type, and materials as applicable for wood, metal, and glass doors. b. Specify deadbolts with hardened inserts; dead-locking latch key-operated locks on exterior; locks openable without key, special knowledge or special effort on interior; and
- type, throw, and embedment of deadbolts for single swing doors, active leaf of dutch door. c. Show means of securing inactive leaf of double door and upper leaf of dutch door. 4. Architect shall specify sliding glass doors and openable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition
- of the California Building Code. 5. Show the method of securing metal or wood overhead or sliding doors.
- 6. For multiple family dwellings, show illuminated diagram on plans as specified in General Notes. item 12.2.

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- 7. Openings or windows referred to in item 2g above, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be openable by this Code.
- 8. In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5892. The following example notes may be used in part or in total as appropriate:

GENERAL NOTES:

- All openings marked * are security openings and the following notes shall apply: 1. Each unit in a residential development shall be keved differently than any other units under the
- same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.
- Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and he frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.
- 3. In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.
- 4. Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.
- 5. Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max. securely fastened.
- 6. Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.
- 7. Door stops for in-swinging doors shall be integrated (rabetted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.
- 8. The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.
- Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.
- 10. Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
- 11. Garage Door Types: Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards: 11.1. Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.
- 11.2. Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted
- together a minimum of eighteen (18) inches (458mm) on center along the outside seams.

RN 4A	VOC CONTENT LIMITS FOR ARCHI	TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3} Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds			
	COATING CATEGORY	VOC LIMITS			
	Flat coatings	50			
	Nonflat coatings	100			
ge ire	Nonflat-high gloss coatings	150			
ns	SPECIALTY COATINGS				
ients	Aluminum roof coatings	400			
EV a	Basement specialty coatings	400			
	Bituminous roof coatings	50			
s the	Bituminous roof primers	350			
suie	Bond breakers	350			
f	Concrete curing compounds	350			
'	Concrete/masonry sealers	100			
	Driveway sealers	50			
	Dry fog coatings	150			
	Faux finishing coatings	350			
w	Fire resistive coatings	350			
	Floor coatings	100			
	Form-release compounds	250			
ertify	Graphic arts coatings (sign paints)	500			
en	High temperature coatings	420			
ode.	Industrial maintenance coatings	250			
	Low solid coatings 1	120			
	Magnesite cement coatings	450			
	Mastic texture coatings	100			
	Metallic pigmented coatings	500			
	Multicolor coatings	250			
	Pretreatment wash primers	420			
	Primers, sealers, and undercoaters	100			
	Reactive penetrating sealers	350			
	Recycled coatings	250			
	Rust preventative coatings	250			
	Shellac				
	Clear Opaque	730 550			
	Specialty primers, sealers and undercoaters	100			
	Stains	250			
	Stone Consolidation	450			
	Swimming pool coatings	340			

CALGreen Residential Tables

CALGreen Residential Tables

Grams of VOC per liter of Coating, Less V	HITECTURAL COATINGS ^{2, 3} Vater and Less Exempt Compounds
Traffic marking coatings	100
Tub and Tile refinish coating	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340
	ding overant compounds
 Grams of VOC per liter of coating, including water and inclu 	ang exempt compounds.

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PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard 2	0.13

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			ed prior to request for final bi		,	
CALGree	en VOC Content Verificati	on Checklist	Page 2 of 2			Updated: (
fiberbo	dehyde emissions v ard composite wood s	ORMALDEHYI erification of non-st shall be identified on	CITY OF GLEN LDING AND SAFE DE EMISSIONS V WORKSHEET ructural engineered wo this checklist. Formalde ion sheets and other s	ETY DIVISION ERFICATION CH WS-4 wod, hardwood plywood hyde limits shall meet t	od, particleboard, the limits specified	in the 2022 I
ltem #	Product Category (e.g. particleboard, hardwood plywood, etc.)	Location (o.g. bodream, kitchon)	Product Manufacturer	Product Specification	Formaldehyde Content dn parts per million)	Formalde Limit (in parts per
CALGra	an Formaldehyde Emissio	ns Varification Checklist	Page 1 of 2			Updated: 0
CALGIN		The Vernication Checkins				opdated. c
	F		CITY OF GLEN LDING AND SAFE DE EMISSIONS VI WORKSHEET	ETY DIVISION ERFICATION CH	IECKLIST	LARL Controller L
	lowing section shall be		rson with overall respons	sibility for the planning	and design portion	of the projec
			laws of the State of Ca	lifornia, the information	provided is true ar	nd correct.
			rials, components, or m e installation is consister			
Respo		ne: I	٦ 	Responsible Person's	Signature:	
Date S	^{signed:} 8-7-23		P	osition/Title:		
Notes	-					

NOTE: This form should be completed, signed and submitted prior to request for final building inspection as required by the enforcing agency.

CITY OF GLENDALE

BUILDING AND SAFETY DIVISION

VOC CONTENT VERIFICATION CHECKLIST WORKSHEET WS-3 VVCROTEL I VV-> VVCC content verification of paints, coatings, carpets, cushions, resilient flooring, adhesives, sealants, and caulks shall be identified on this checklist. VOC limits shall meet the limits specified in the 2022 Edition of the CALGreen Code. <u>Attach product specification</u> <u>sheets and other supporting documents</u>. Use additional sheets, if necessary.

Product Category (og.paint, carpet, athorized) (og.p. paint, carpet, athorized) (og.paint, carpet, athorized) (og.p. paint, carpet, athorized) (og.p. paint, carpet, athorized) (og.paint, carpet, athorized) (og.

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CITY OF GLENDALE

BUILDING AND SAFETY DIVISION

WORKSHEET WS-3

The following section shall be completed by a person with overall responsibility for the planning and design portion of the project.

• I certify under penalty of perjury, under the laws of the State of California, the information provided is true and correct.

VOC CONTENT VERIFICATION CHECKLIST

I certify that the installed measures, materials, components, or manufactured devices identified on this certificate conform to all
applicable codes and regulations, and the installation is consistent with the plans and specifications approved by the enforcing

Responsible Person's Signature:

osition/Title

CALGreen VOC Content Verification Checklist

DECLARATION STATEMENT

Responsible Person's Name:

agency.

ate Signed:

Updated: 01/01/2023

Updated: 01/01/2023

LARUCP

Updated: 01/01/2023

LARUCP

Updated: 01/01/2023

- There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door. 11.3. Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1831 gram/m²) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m²).
- 11.4. Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch 11.5. Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door
- frame header; or, torsion spring counter balance type hardware may be used. 11.6. Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half ($\frac{1}{2}$) inch (13mm) and protrude at least one and one-half (1 $\frac{1}{2}$) inches (38mm) into the receiving guide. A bolt diameter of threeeights (3/8) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.
- 12. Swinging Exterior Doors: All exterior swinging doors of any residential building and attached garages (Except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows: 12.1. All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 $\frac{3}{4}$ inches (45mm), or with panels not less than nine-sixteenths ($\frac{9}{16}$) inch (15mm) thick.
- 12.2. A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths $\binom{3}{4}$ inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (1 /4) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.
- 12.3. The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eights $({}^{5}/_{8})$ inch (16mm) into the head and threshold or the door frame. 12.4. Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.
- 12.5. Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180°) door viewer.

Rev 01/20 - Page 3 of 4

12.6. Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing

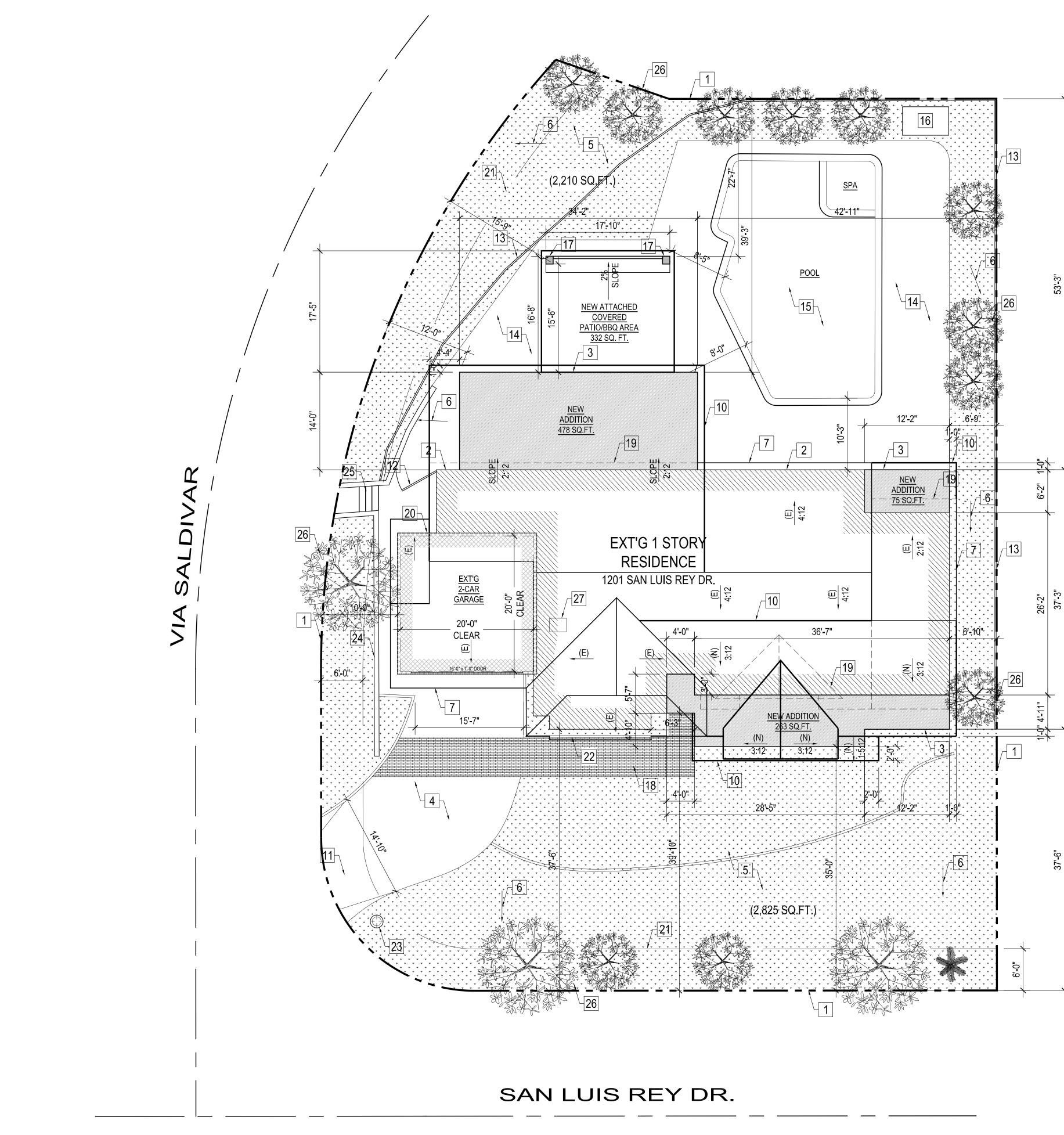
CALGreen Formaldehyde Emissions Verification Checklist Page 2 of 2

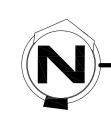
- 12.7. Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard 13. Address Number and Identifying Data: Address numbers and other identifying data shall be
- displayed as follows 13.1. All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway,
- 13.2. Multiple Family Dwelling; Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of: 13.2.1. The viewer;

alleyway or parking lot shall also display the same numbers on the rear of the building.

- 13.2.2. The unit designations within the complex. 13.2.3. Each unit that is a "smoking unit and a "non smoking" unit (as governed by Chapter 8.52 of the <u>Glendale Municipal Code</u>, 1995, or any successor legislation 13.2.4. A smoking permitted area authorized under Section 8.52.130 of the GMC; and 13.2.5. The complex's exits, stairwells, elevators, fire alarm annunciator panels, and standpipes.
- In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with rear vehicular access shall also display the same numbers on the rear of the building. 14. Lighting; Multiple Family Dwelling. Lighting in multiple family dwellings shall be as follows:
- 14.1. Aisles, Passageways and Recesses; Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five hundredths (.25) of a footcandle (2.7 lux) at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
- 14.2. Parking Structures, Parking Lots and Carports: Parking structures, parking lots and carports shall be provided with a minimum of two (2) footcandles (21.5 lux) of light on the parking surface during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers
- 15. Note: These notes are intended as a guide only. Contractor and supplier shall refer to the Glendale Building & Safety Code, Volume VII for more complete and specific details.

213 n. orange st. ste: e	glendale, ca 91203 818.823.7286 o. 888.424.8125 f. www.designNRK.com info@designNRK.com
A N R K K	residential + commercial design
GREEN NOTES & SECURITY NOTES	NAZARYAN RESIDENCE 1201 SAN LUIS REY DR., GLENDALE, CA 91208
DATE: DRAWN I JOB NO.	







- 12. EXT'G GATE 18. EXT'G BRICK WALKWAY
- * * * * * * * * * * * * * * *

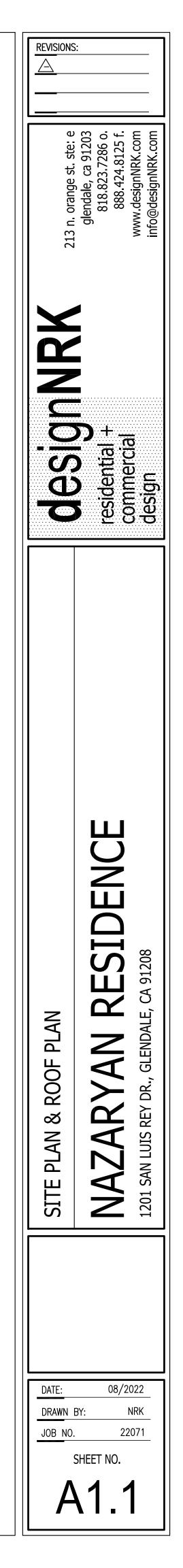
SITE PLAN KEYED NOTES

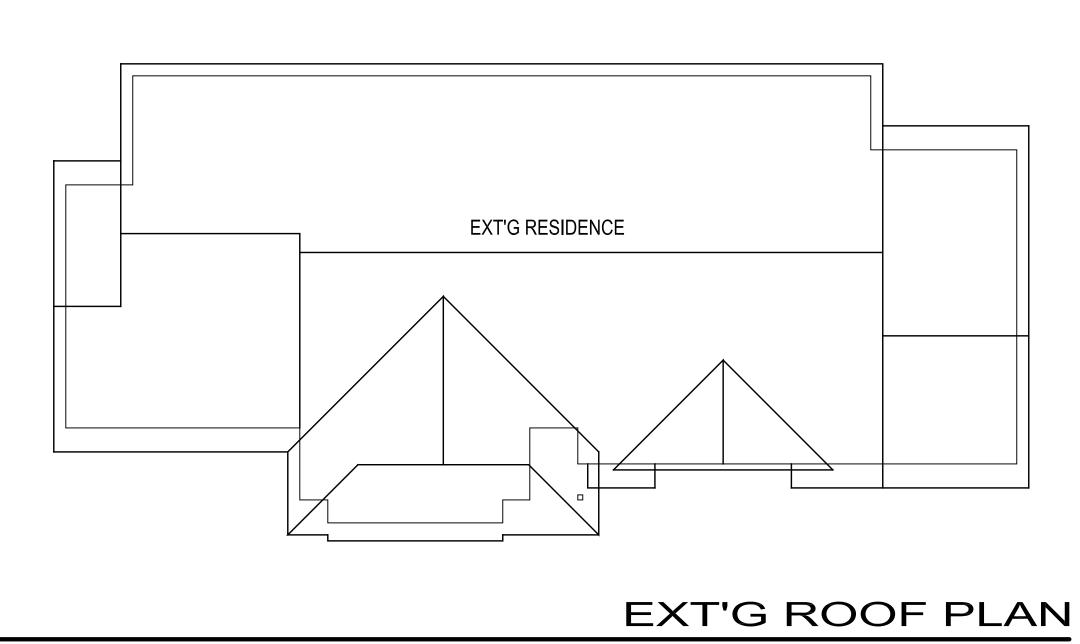
1. PROPERTY LINE

- 2. EXT'G RESIDENCE WALL LINE
- 3. NEW ADDITION WALL LINE
- 4. EXT'G CONCRETE DRIVEWAY TO REMAIN
- 5. EXT'G LANDSCAPING TO REMAIN
- 6. DIRECTION OF SHEET FLOW MIN 2%
- 7. EXT'G CLASS 'A' ROOF LINE
- 8. NEW CONCRETE LANDING
- 9. EXT'G 6'-0" WIDE PUBLIC UTILITY EASEMENT
- 10. NEW ADDITION CLASS 'A' ROOF LINE
- 11. EXT'G APRON
- 13. EXT'G WOOD FENCE TO REMAIN
- 14. EXT'G CONC. HARDSCAPE
- 15. EXT'G POOL & SPA
- 16. EXT'G POOL EQUIPMENT LOCATION
- 17. NEW 12" X 12" POSTS
- 19. DEMO ROOF LINE
- 20. EXT'G ELECTRICAL METER LOCATION
- 21. EXT'G 6'-0" WIDE PUBLIC UTILITY EASEMENT
- 22. EXT'G PLANTER
- 23. EXT'G PILASTER & LIGHT FIXTURE
- 24. EXT'G BLOCK WALL
- 25. EXT'G BRICK STAIRS
- 26. EXT'G TREE(S) TO REMAIN
- 27. EXT'G FIREPLACE TO REMAIN

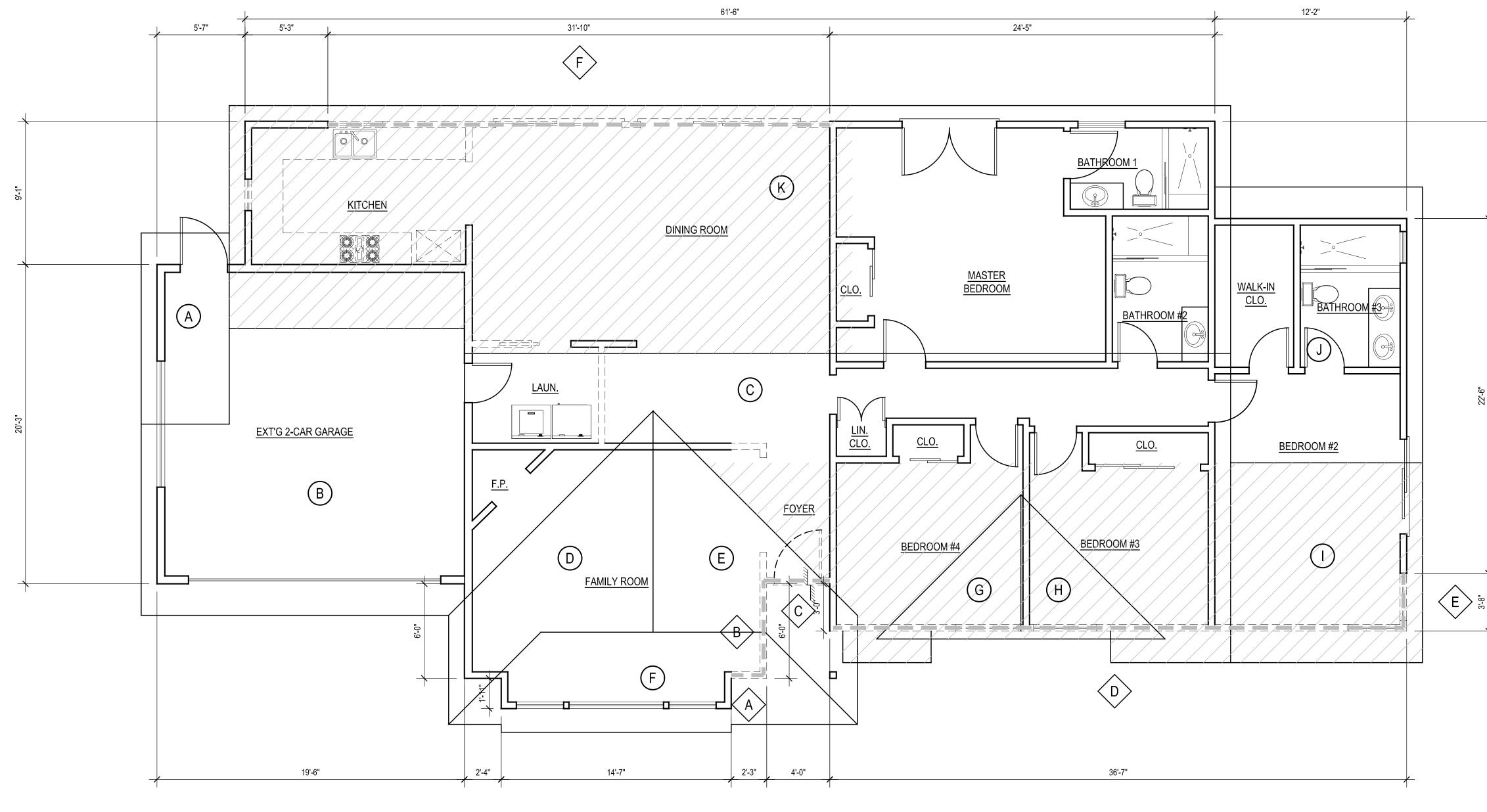
EXT'G RESIDENCE	

- EXT'G 2-CAR GARAGE
- NEW ADDITION
- EXT'G LANDSCAPING

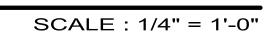




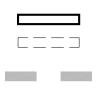




DEMOLITION FLOOR & EXT'G ROOF PLAN



DEMOLITION PLAN LEGEND

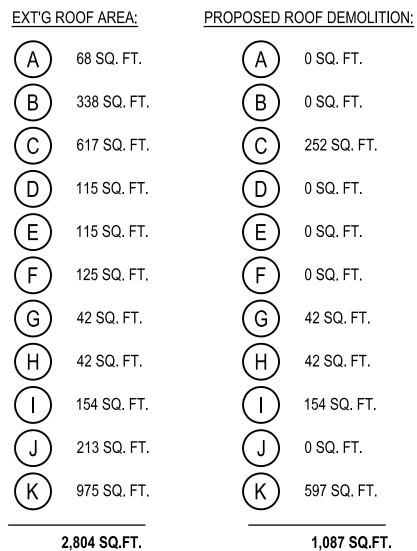


WALLS TO REMAIN EXT'G WALL TO BE REMOVED EXT'G EXTERIOR FULL HEIGHT WALLS TO BE REMOVED



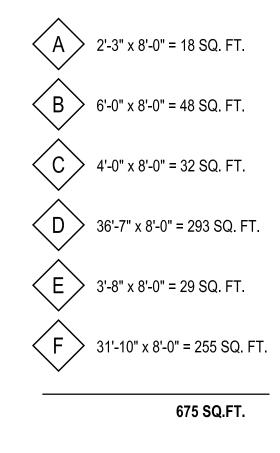
PART OF ROOF TO BE ALTERED CONSIDERED AS PART TO BE DEMOLISHED

DEMOLITION AREA CALCULATIONS :



EXT'G EXTERIOR FULL HEIGHT EXT'G EXTERIOR WALL TO BE REMOVED: WALL AREA:

61'-6" x 8'-0" = 492 SQ. FT. 6'-2" x 8'-0" = 49 SQ. FT. 12'-2" x 8'-0" = 97 SQ. FT. 26'-2" x 8'-0" = 209 SQ. FT. 36'-7" x 8'-0" = 293 SQ. FT. 3'-0" x 8'-0" = 24 SQ. FT. 4'-0" x 8'-0" = 32 SQ. FT. 6'-0" x 8'-0" = 48 SQ. FT. 2'-3" x 8'-0" = 18 SQ. FT. 1'-11" x 8'-0" = 15 SQ. FT. 14'-7" x 8'-0" = 117 SQ. FT. 1'-11" x 8'-0" = 15 SQ. FT. 2'-4" x 8'-0" = 19 SQ. FT. 6'-0" x 8'-0" = 48 SQ. FT. 19'-6" x 8'-0" = 156 SQ. FT. 20'-3" x 8'-0" = 162 SQ. FT. 5'-7" x 8'-0" = 45 SQ. FT. 9'-1" x 8'-0" = 73 SQ. FT. 1,912 SQ.FT.



EXT'G ROOF AREA:

EXT'G EXTERIOR FULL HEIGHT WALL AREA:

EXT'G ROOF TO BE DEMO: EXT'G EXTERIOR WALL TO BE DEMO:

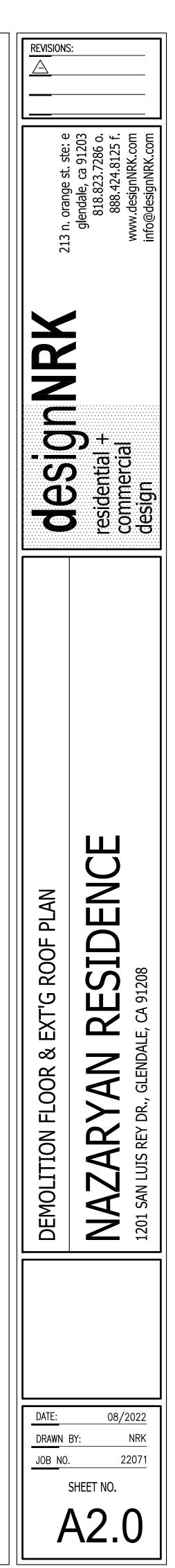
1,087 SQ. FT. <u>675 SQ. FT.</u> 1,762 SQ. FT.

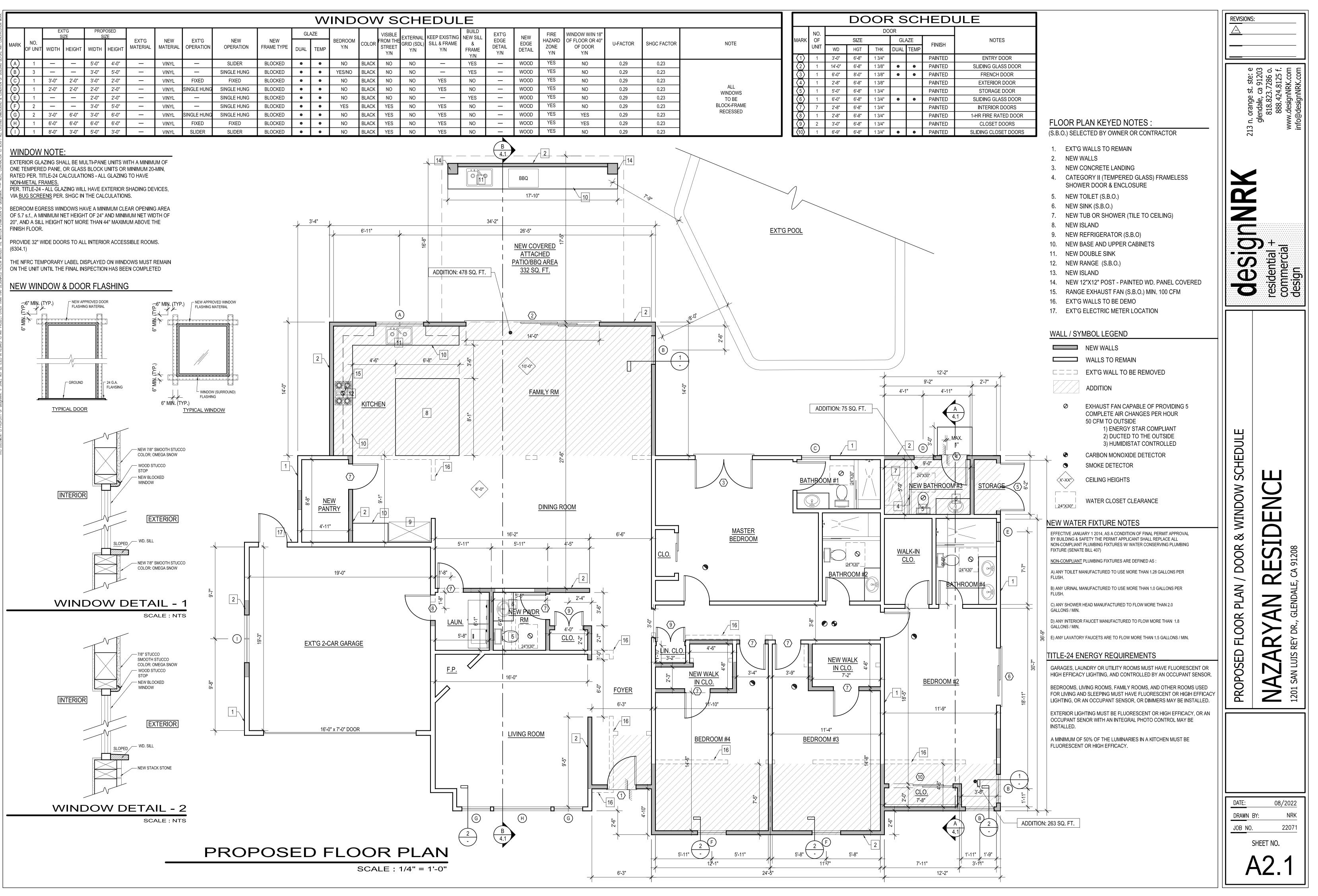
2,804 SQ. FT.

<u>1,912 SQ. FT.</u>

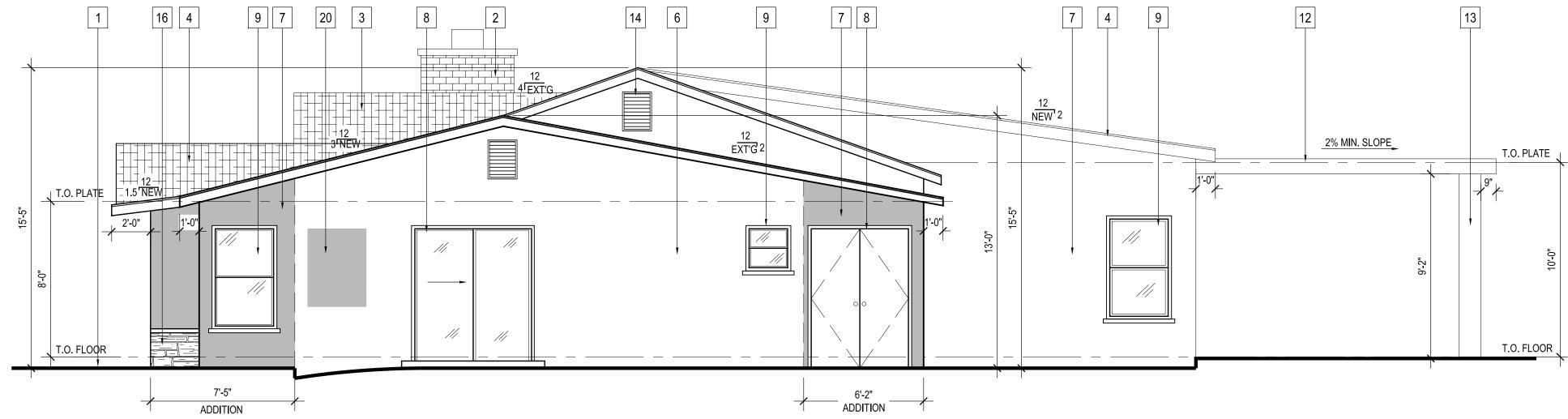
4,716 SQ. FT.

THEREFORE: 1,762 SQ. FT. / 4,716 SQ. FT. = 37.4% < 50% MAX. ALLOWED







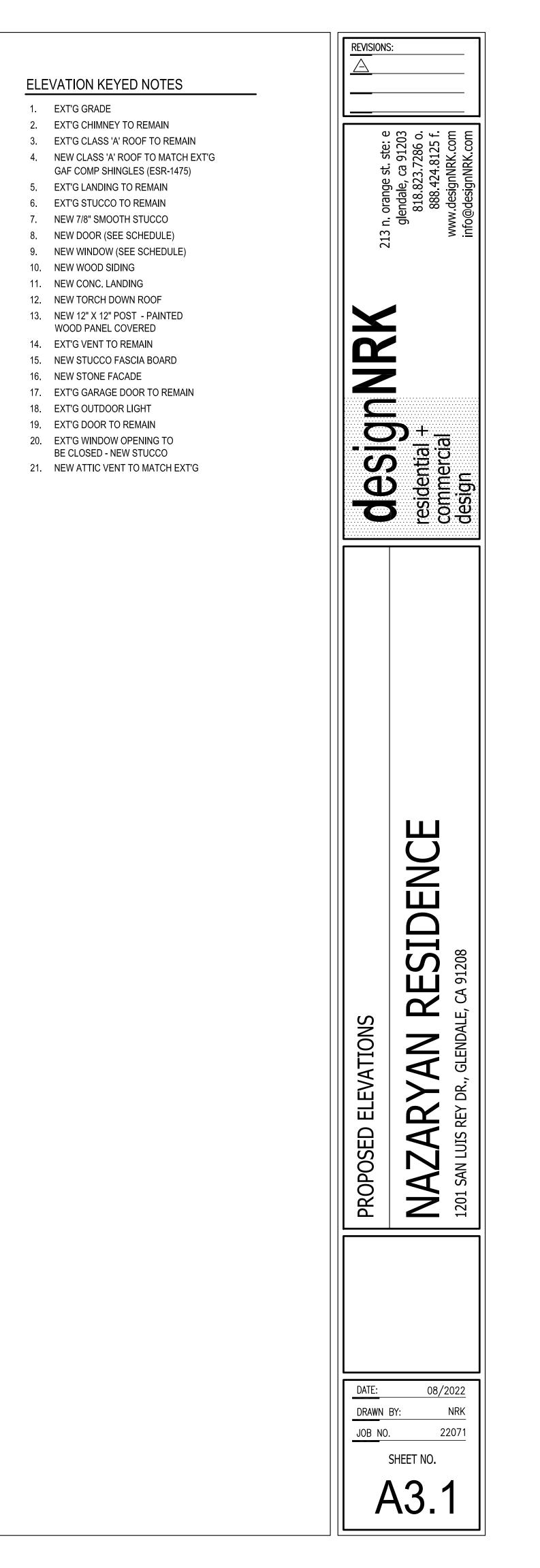


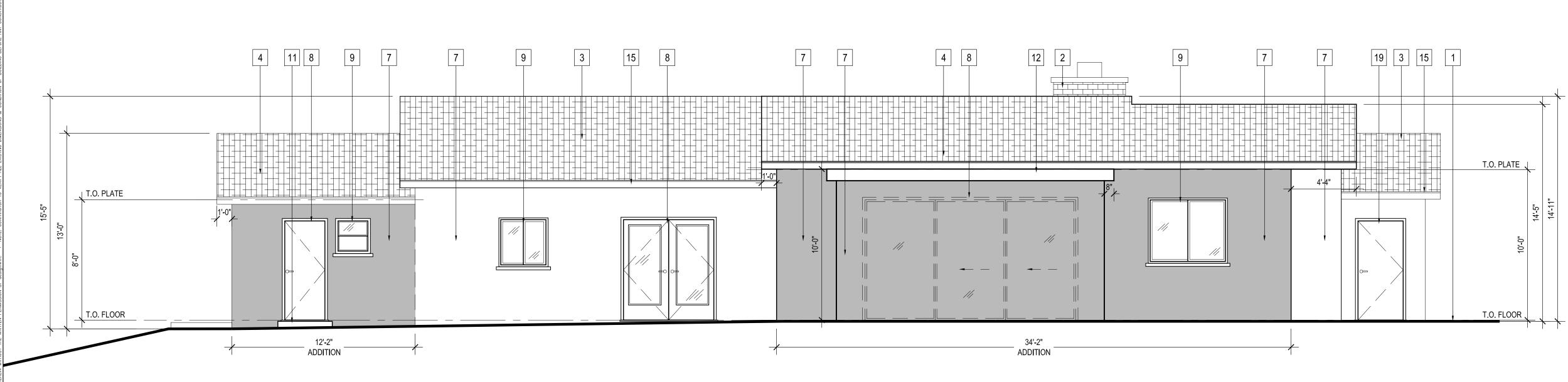
SOUTH ELEVATION

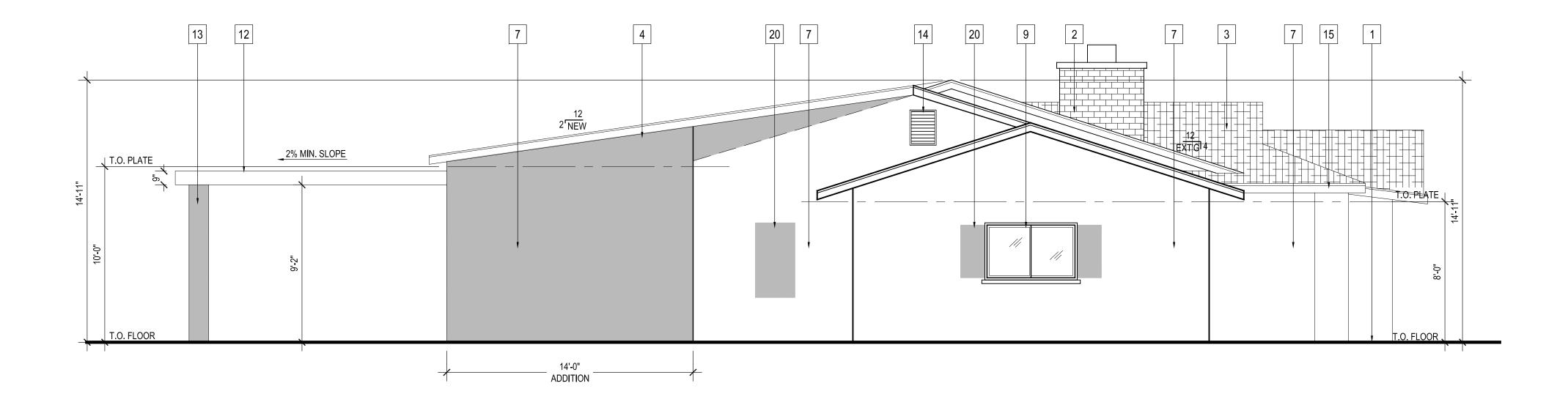
SCALE : 1/4" = 1'-0"

EAST ELEVATION

SCALE : 1/4" = 1'-0"







NORTH ELEVATION

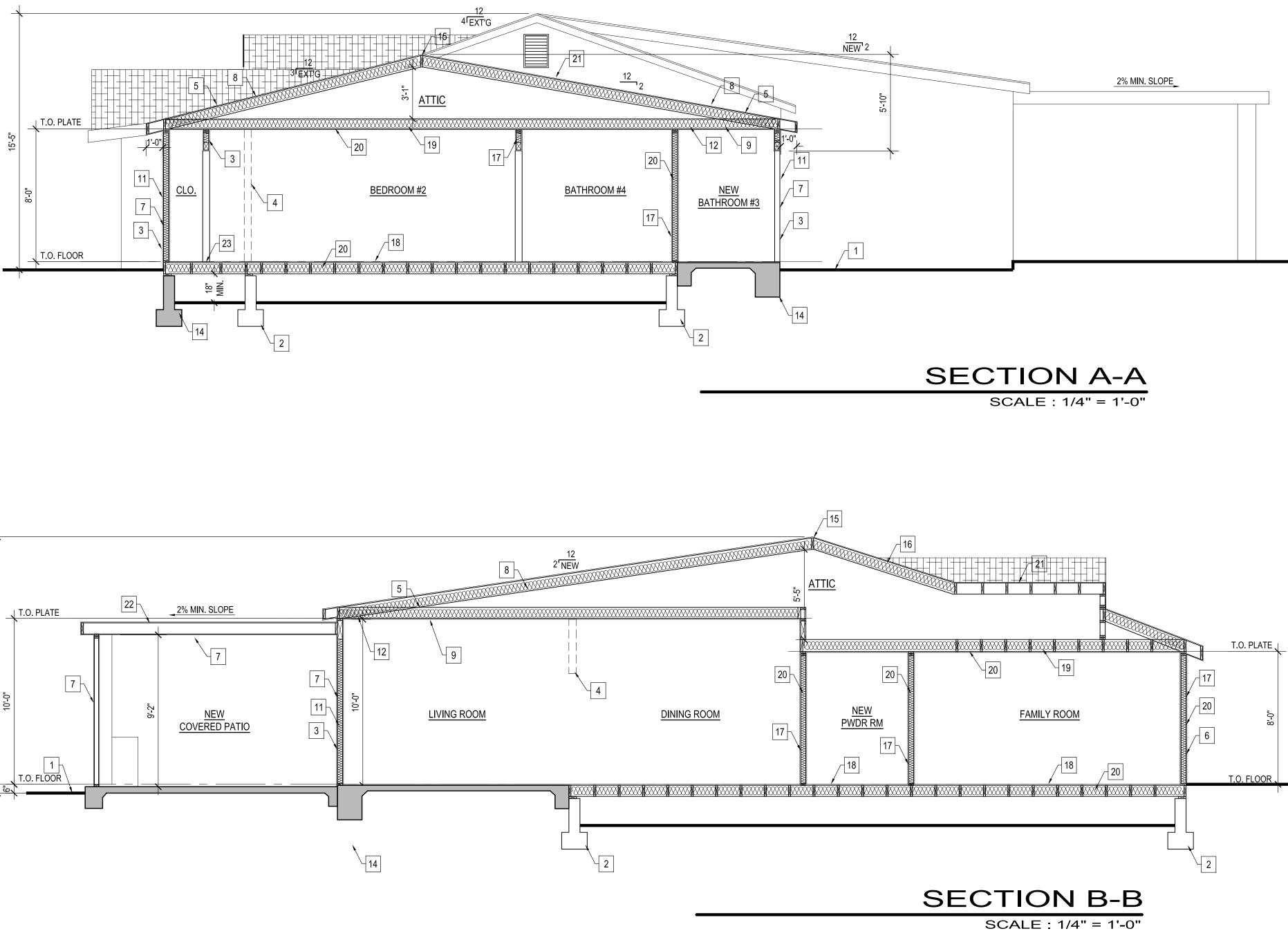
SCALE : 1/4" = 1'-0"

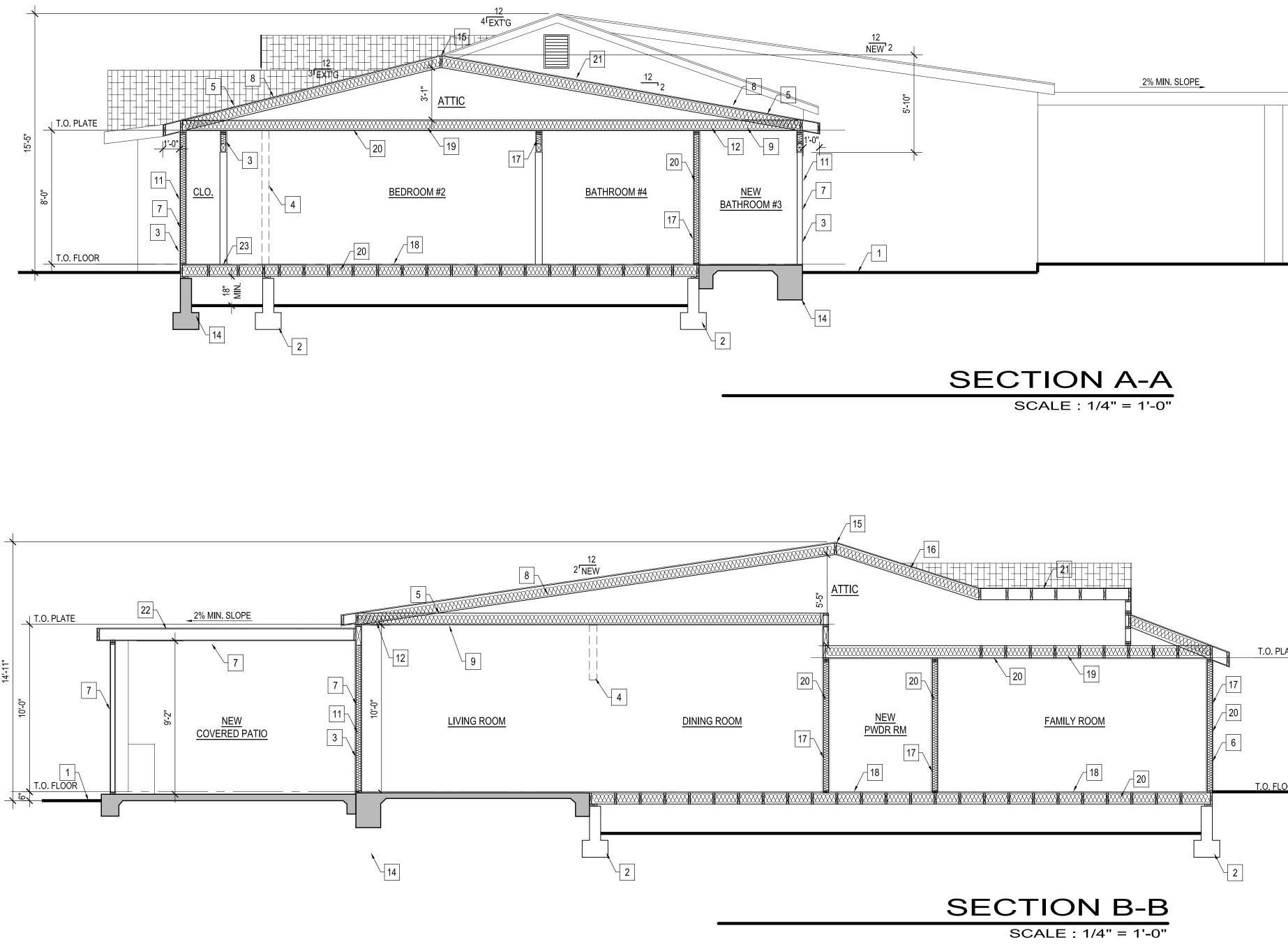
SCALE : 1/4" = 1'-0"

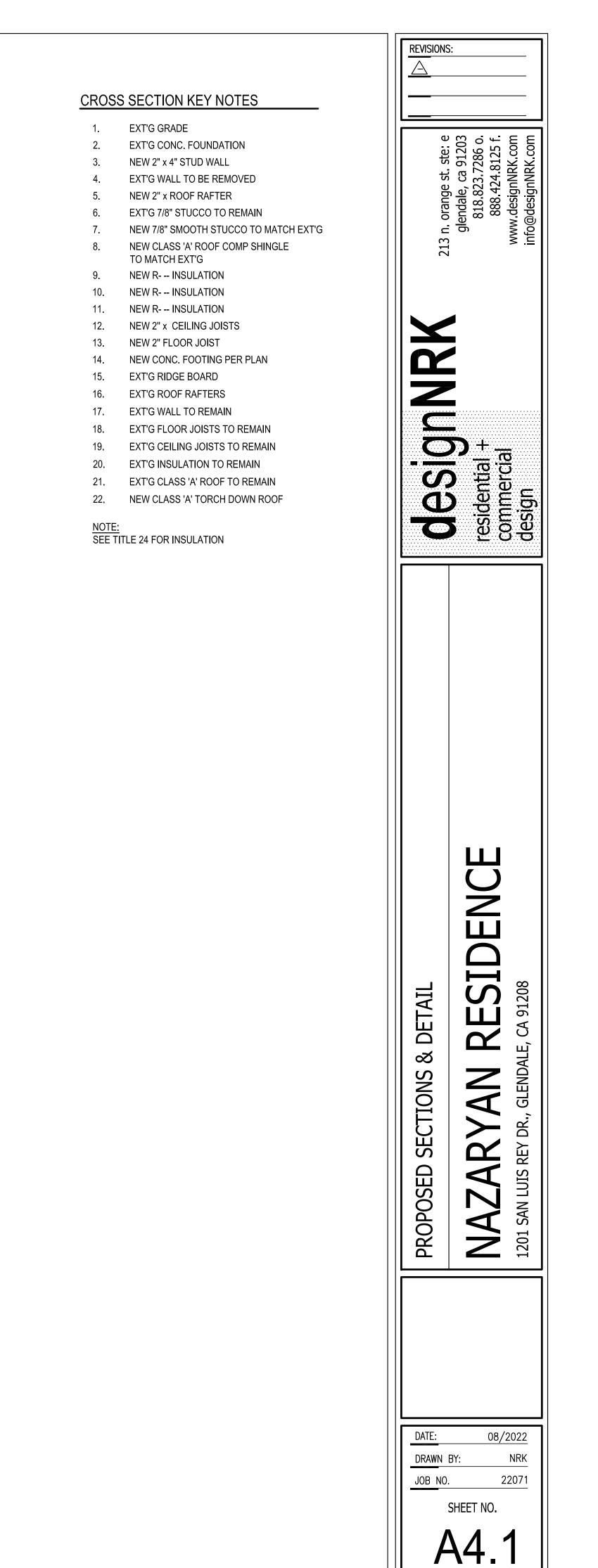
ELEVATION KEYED NOTES

- 1. EXT'G GRADE
- 2. EXT'G CHIMNEY TO REMAIN
- 3. EXT'G CLASS 'A' ROOF TO REMAIN
- 4. NEW CLASS 'A' ROOF TO MATCH EXT'G
- GAF COMP SHINGLES (ESR-1475)5. EXT'G CONC. LANDING TO REMAIN
- 6. OMIT
- 7. NEW 7/8" SMOOTH STUCCO COLOR: OMEGA SMOOTH STUCCO SNOW
- 8. NEW DOOR (SEE SCHEDULE)
- 9. NEW WINDOW (SEE SCHEDULE)
- 10. NEW JAMES HARDIE WOOD SIDING COLOR: WHITE
- 11. NEW CONC. LANDING
- 12. NEW TORCH DOWN ROOF
- 13. NEW 12" X 12" POST COVERED IN SMOOTH STUCCO - COLOR: OMEGA SNOW
- 14. EXT'G VENT TO REMAIN
 15. NEW STUCCO FASCIA BOARD
- 16. NEW STOCCO FASCIA BOARD
- ODYSSEE GREY
- 17. EXT'G GARAGE DOOR TO REMAIN
- 18. EXT'G OUTDOOR LIGHT
- 19. EXT'G DOOR TO REMAIN
- 20. EXT'G WINDOW OPENING TO BE CLOSED - NEW STUCCO

DATE: DRAWN JOB NO	PROPOSED ELEVATIONS	NRK NRK	213 n. orande st. ste: e	
BY:	NAZARYAN RESIDENCE	residential +	glendale, ca 91203 818.823.7286 o. 888.424.8125 f.	5:
2022 NRK 22071	1201 SAN LUIS REY DR., GLENDALE, CA 91208	<u> </u>	www.designNRK.com info@designNRK.com	







CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Nazaryan Residence Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Input File Name: 1201 San Luis Rey Dr.ribd22

01	Project Name	lazaryan Residence						
02	Run Title	Title 24 Analysis	e 24 Analysis					
03	Project Location	1201 San Luis Rey Dr						
04	City	Glendale	05	Standards Version	2022			
06	Zip code	91208	07	Software Version	CBECC-Res 2022.2.1			
08	Climate Zone	9	09	Front Orientation (deg/ Cardinal)	175			
10	Building Type	Single family	11	Number of Dwelling Units	1			
12	Project Scope	Addition and/or Alteration	13	Number of Bedrooms	4			
14	Addition Cond. Floor Area (ft ²)	816	15	Number of Stories	1			
16	Existing Cond. Floor Area (ft ²)	1918	17	Fenestration Average U-factor	0.3			
18	Total Cond. Floor Area (ft ²)	2734	19	Glazing Percentage (%)	13.60%			
20	ADU Bedroom Count	n/a						

Building Complies with Computer Performance 01 02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provide

Registration Number: 423-P010142357A-000-000-0000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. CA Building Energy Efficiency Standards - 2022 Residential Compliance

Building does not incorporate Special Features

Report Version: 2022.0.000 Report Generated: 2023-08-09 03:08:33 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Nazaryan Residence

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Calculation Description: Title 24 Analysis Input File Name: 1201 San Luis Rey Dr.ribd22

01	02	03	04	05	06	
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	S
Existing Zone	Conditioned	HVAC System	1918	8	DHW System	Existing
Addition Zone	Conditioned	HVAC System	263	8	DHW System	
Addition Zone	Conditioned	HVAC System	478	10	DHW System	
Addition Zone	Conditioned	HVAC System	75	8	DHW System	

OPAQUE SURFACES

03

OPAQUE SURFA	CES									
01	02	03	04	05	06	07	08	09	10	Γ
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	ſ
Front	Existing Zone	Existing Wall	175	Front	135	72	90	none	Existing	Γ
Left	Existing Zone	Existing Wall	265	Left	136	0	90	none	Existing	ſ
Back	Existing Zone	Existing Wall	355	Back	219	46	90	none	Existing	Γ
Right	Existing Zone	Existing Wall	85	Right	228	44	90	none	Existing	ſ
Front	Addition Zone	R-15 Wall	175	Front	343	65	90	none	New	Γ
Left	Addition Zone	R-15 Wall	265	Left	39	0	90	none	New	Γ
Right	Addition Zone	R-15 Wall	85	Right	59	15	90	none	New	ſ
Left	Addition Zone	R-15 Wall	265	Left	140	0	90	none	New	Γ
Back	Addition Zone	R-15 Wall	355	Back	342	132	90	none	New	Γ
Right	Addition Zone	R-15 Wall	85	Right	140	15	90	none	New	ſ
Back	Addition Zone	R-15 Wall	355	Back	97	21.8	90	Extension	New	Γ
Right	Addition Zone	R-15 Wall	85	Right	49	33.3	90	Extension	New	Γ
To Add	Existing Zone>>Addition Zone	Interior Wall	n/a	n/a	32	0	n/a		Altered	

Registration Number: 423-P010142357A-000-000-0000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-09 03:08:33 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Nazaryan Residence Calculation Date/Time: 2023-08-09T03:08:02-07:00 Calculation Description: Title 24 Analysis Input File Name: 1201 San Luis Rey Dr.ribd22

calculation Desci	iption. Inte 24	Allalysis			input the Maine	· 1201 Sali Luis Ney	DI.IIDUZZ		
OPAQUE DOORS									
01 02 03 Name Side of Building Area (ft ²) U-1		02		03			05		06
		Area (ft ²) U-factor Status		Area (ft ²)		Status Verified Existing Cond			
D-4		Back		17.8	0.2	2 New			n/a
D-5	D-5 Rig			33.3		0.2			n/a
SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition

Name	Zone	Area (ft ²)	Perimeter (ft)	R-value and Depth	R-value and Depth	Carpeted Fraction	Heated	Status	ve
Slab	Addition Zone	263	55.2	none	0	80%	No	New	
Slab	Addition Zone	478	62.2	none	0	80%	No	New	
Slab	Addition Zone	75	18.3	none	0	80%	No	New	

OPAQUE SURFACE CONST	PAQUE SURFACE CONSTRUCTIONS									
01	02	03	04	05	06	07	08			
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers			
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.087	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Sheathing / Insulation: Wood Siding/sheathing/decking Exterior Finish: 3 Coat Stucco			
Existing Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.286	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Sheathing / Insulation: Wood Siding/sheathing/decking Exterior Finish: 3 Coat Stucco			

Registration Number: 423-P010142357A-000-000-0000000-0000 NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS Report Version: 2022.0.000 Report Generated: 2023-08-09 03:08:33 Schema Version: rev 20220901

CF1R-PRF-01E (Page 1 of 12)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Nazaryan Residence

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Nazaryan Residence

OPAQUE SURFACES

Calculation Description: Title 24 Analysis

Calculation Description: Title 24 Analysis

ENERGY USE SUMMARY

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Input File Name: 1201 San Luis Rey Dr.ribd22

Calculation Date/Time: 2023-08-09T03:08:02-07:00

Input File Name: 1201 San Luis Rey Dr.ribd22

CF1R-PRF-01E (Page 2 of 12)

CF1R-PRF-01E

(Page 5 of 12)

11

Verified Existin

No

No

No

No

n/a

n/a

n/a

No

10

Verified Existing

Condition

No

No

n/a

n/a

Condition

10

Status

Altered

Altered

Altered

Existing

New

New

New

Existing

09

Status

Existing

Existing

New

New

CERTIFICATE OF COMPLIANCE - RE Project Name: Nazaryan Residence Calculation Description: Title 24 Analysis

ENERGY USE INTENSITY

ler.	

ENERGY USE SUIVINIARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2
Space Heating	0	22.91	0	23.31	0	-0.4
Space Cooling	0	65.73	0	63.07	0	2.66
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	15.71	0	16.61	0	-0.9
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	0	104.35	0	102.99	0	1.36
Photovoltaics		0		0		
Battery				0		
Flexibility						
Indoor Lighting	0	6.25	0	6.25		
Appl. & Cooking	0	18.83	0	18.82		
Plug Loads	0	23.83	0	23.83		
Outdoor Lighting	0	1.61	0	1.61		
TOTAL COMPLIANCE	0	154.87	0	153.5		

Registration Number: 423-P010142357A-000-000-0000000-0000 NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (and cannot guarantee, the accuracy or completeness of the information contained in this document. Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS HEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-09 03:08:33 Schema Version: rev 20220901

CF1R-PRF-01E (Page 4 of 12)

07 Status ing Unchanged New New New

11 Verified Existing Condition No No

No No n/a n/a n/a n/a n/a n/a n/a

n/a

No

01 02 03 04 05 06 07 08 09 Window and Wall Exceptions Zone Construction Tilt (deg) Name Orientation Gross Area (ft²) Azimuth Door Area (ft2) Existing To Add Interior Wall n/a 84 n/a ne>>Additior n/a Zone Existing n/a To Add one>>Addition Interior Wall n/a n/a 97 0 Zone Existing To Add Interior Wall n/a ne>>Addition 49 n/a n/a Zone n/a 1918 n/a Ceiling Existing Zone Existing Ceiling n/a n/a Ceiling Addition Zone R-38 Ceiling n/a n/a 263 n/a n/a 478 Ceiling Addition Zone R-38 Ceiling n/a n/a n/a n/a Ceiling Addition Zone R-38 Ceiling n/a n/a 75 n/a n/a Floor Existing Zone Existing Floor n/a n/a 1918 n/a n/a 01 02 03 04 05 06 07 08 Roof Radiant Roof Rise Roof Name Construction Туре Cool Roof (x in 12) Reflectance Emittance Barrier Attic Asphalt Shingle Roof Ventilated 4 0.1 0.85 No No Attic Asphalt Shingle Roof Ventilated 2 0.1 0.85 No No Attic Asphalt Shingle Roof Ventilated 3 0.1 0.85 No No Ventilated 2 Asphalt Shingle Roof 0.1 0.85 No Attic No

Registration Number: 423-P010142357A-000-000-0000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-09 03:08:33 Schema Version: rev 20220901

CF1R-PRF-01E	CERTIFICATE OF COMPLI	ANCE - RES		PERFORMANCE COMP	PLIANCE METHOD				CF1R-PRF-01E			
(Page 7 of 12)	Project Name: Nazaryan	Residence			Calcu	lation Date/Ti	me: 2023-08-09T03	3:08:02-07:	00 (Page 8 of 12)			
	Calculation Description:	Title 24 An	alysis		Input	Input File Name: 1201 San Luis Rey Dr.ribd22						
	OPAQUE SURFACE CONSTR	UCTIONS										
06	01	02	2	03	04	05	06	07	08			
ting Condition	Construction None	Gunfaar	Turne	Construction True	Framina	Total Cavity	Total Cavity	Total Cavity	Total Cavity	Interior / Exterior Continuous	U-factor	A secondal v Levrene
n/a	Construction Name	Surface Type		Construction Type	Framing	R-value	R-value	U-factor	Assembly Layers			
n/a	Interior Wall	Interior	Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board			
10 Verified Existing Condition	Asphalt Shingle Roof	Attic F	Roofs	Wood Framed Ceiling	2x6 @ 16 in. O. C.	R-0	None / None	0.624	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x6			
n/a n/a	Existing Floor	Floors Crawls		Wood Framed Floor	2x6 @ 16 in. O. C.	R-0	None / None	0.22	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x6			
n/a	R-38 Ceiling	Ceilings atti	•	Wood Framed Ceiling	2x10 @ 16 in. O. C.	R-38	None / None	0.026	Over Ceiling Joists: R-13.9 insul. Cavity / Frame: R-24.1 / 2x10 Inside Finish: Gypsum Board			
yers	Existing Ceiling	Ceilings atti	•	Wood Framed Ceiling	2x10 @ 16 in. O. C.	R-0	None / None	0.462	Cavity / Frame: no insul. / 2x10 Inside Finish: Gypsum Board			
yers												
um Board	BUILDING ENVELOPE - HER	RS VERIFICAT	ION									
-15 / 2x4	01			02	03		04		05			
ion: Wood /decking	Quality Insulation Installa	ation (QII)	High R-va	lue Spray Foam Insulation	n Building Envelope Air	Leakage	CFM50		CFM50			
Coat Stucco	Not Required			Not Required	N/A		n/a		n/a			

Gross EUI¹ Net EUI² 2. Net EUI is Energy Use Total (including PV) / Total Building Area. REQUIRED SPECIAL FEATURES NO SPECIAL FEATURES REQUIRED HERS FEATURE SUMMARY Kitchen range hood Minimum Airflow

Verified EER/EER2 Verified SEER/SEER2 Verified Refrigerant Charge Fan Efficacy Watts/CFM Verified HSPF2 Verified heat pump rated heating capacity Duct leakage testing

BUILDING - FEATURES INFORMATION													
01	02	03	04	05	06	07							
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems							
Nazaryan Residence	2734	1	4	4	0	1							

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Nazaryan Residence Calculation Description: Title 24 Analysis

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientatio n	Azimuth	Width (ft)	Heigh t (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
W-G	Window	Front	Front	175	3	6	2	36	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-H	Window	Front	Front	175	6	6	1	36	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-C	Window	Back	Back	355	3	2	1	6	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
D-3	Window	Back	Back	355	6	6.66 667	1	40	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-E	Window	Right	Right	85	2	2	1	4	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
D-6	Window	Right	Right	85	6	6.66 667	1	40	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-B	Window	Front	Front	175	3	5	1	15	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-F	Window	Front	Front	175	3	5	2	30	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-B	Window	Right	Right	85	3	5	1	15	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-A	Window	Back	Back	355	5	4	1	20	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
D-2	Window	Back	Back	355	14	8	1	112	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-B	Window	Right	Right	85	3	5	1	15	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W-D	Window	Back	Back	355	2	2	1	4	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

OPAQUE DOORS												
01	02	03	04	05	06							
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition							
D-1	Front	20	0.2	New	n/a							
Registration Number: 423-P01	Registration Number: 423-P010142357A-000-000-0000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS											

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Nai	oject Name: Nazaryan ResidenceCalculation Date/Time: 2023-08-09T03:08:02-07:00alculation Description: Title 24 AnalysisInput File Name: 1201 San Luis Rey Dr.ribd22														CF1R-PRF-018 (Page 9 of 12
WATER HEA	TING SYSTEI	٧S													
01	0	2	03		04	05	06		07	08	09	:	10	11	12
Name	Systen	n Type	Distributi Type	on W	ater Heater Name	Number of Units	Solar He Syste	U U	ompact tribution	HERS Verification	Water He Name	Sta	atus	Verified Existing ondition	Existing Water Heating System
DHW Syste	m Hot V (DH	Vater	Standar	ł	New Tankless	2	n/a		None	n/a	New Tankless		ew	NA	
WATER HEA	TERS														
01	02		03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Таі	nk Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating Pilot	Inculation	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Locatio	on Status	Verified Existing Condition
New Tankless	Gas		nsumer ntaneous	2	0	UEF	0.96	Btu/Hr	20000	0 0	n/a			New	n/a
WATER HEA	TING - HERS	VERIFIC	CATION												
	01		02			03		04		05		0	6		07
N	ame		Pipe Insul	ation	Par	allel Piping	Com	pact Distrib	ution	Compact Distr Type	ibution	Recirculation	on Control		in Water Hea overy
DHW Sy	vstem - 1/2		Not Requ	ired	No	t Required		Not Require	d	None		Not Required		Not Required	

Registration Number: 423-P010142357A-000-000-0000000-0000 NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. CA Building Energy Efficiency Standards - 2022 Residential Compliance

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SIDENTIAL	PERFORMANCE	COMPLIANCE	METHOD

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Input File Name: 1201 San Luis Rey Dr.ribd22

CF1R-PRF-01E (Page 3 of 12) **REVISIONS:**

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ste: 9120 286 3125

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esid

Margin Percentage Standard Design (kBtu/ft² - yr) Proposed Design (kBtu/ft² - yr) Compliance Margin (kBtu/ft² - yr 18.25 18.15 0.1 0.55 18.15 0.55 18.25 0.1 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional

detail is provided in the buildng tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Registration Number: 423-P010142357A-000-000-0000000-0000 NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (and cannot guarantee, the accuracy or completeness of the information contained in this document. Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS ERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, Report Version: 2022.0.000 Report Generated: 2023-08-09 03:08:33 Schema Version: rev 20220901

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Input File Name: 1201 San Luis Rey Dr.ribd22

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> ш 08/2022 DATE DRAWN BY: 22071 JOB NO. SHEET NO.

Registration Date/Time: 08/09/2023 03:10 Report Version: 2022.0.000 Schema Version: rev 20220901

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Nazaryan Residence Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Input File Name: 1201 San Luis Rey Dr.ribd22

SPACE CONDITIO	NING SYSTEMS	;																		
01	02	03		0	4		05		06		07		08)9		10	11		12
Name	System Type	Heating Name		Hea Equip Cou	0	1	ling Unit Name	Equ	ooling ipment ount	Fan	n Nan	ne	Distribution Name	Theri	uired nostat /pe	s	tatus	Verifie Existir Conditi	g	Existing HVAC System
HVAC System	Heat pump heating cooling	New Sp Heat Pu	I	2	2		ew Split at Pump		2	Ne	ew Fa	n	New Ducts	Set	back		New	No		
HVAC - HEAT PUN	MPS				-			Ż			-	_		_						
01	02	2	0)3	04		05	06	; O	7		08	09	10	11	L	12			13
							Heati	ng					Cooling							
Name	System	Туре		ber of nits	Efficie Typ		HSPF / HSPF2 / COP	Сар	47 Car	0 17		ciency ype	SEER / SEER2	EER / EER / CEER	Zona Contro	•	Compress Type	or H	IERS V	erification
New Split Heat Pump	Central s	split HP	1	2	HSPI	F2	7.8	480	00 240	000	EER2	2SEER2	2 15.2	12	Not Z	onal	Single Speed			Split Heat ers-htpump
						_					_									
HVAC HEAT PUM	PS - HERS VERI		<u> </u>	03			04			5	_	_	06		07		08			09
Name	Verified		Ai	rflow Ta	irget	Veri	fied EER/E	ER2	Veri	ified SEER2		Verifi	ed Refrigeran Charge		/erified PF/HSPF2	2	Verified H Cap	leating	Ver	ified Heating Cap 17
New Split Hea Pump-hers-htpu	I Real	iired		350		N	ot Require	d	Not Re	quired	1		Yes		No		Ye	S		Yes

Registration Number: 423-P010142357A-000-000-0000000-0000 Registration Date/Time: 08/09/2023 03:10 HERS Provider: CHEERS NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. HERS Provider: CHEERS CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

2022 Single-Family Residential Mandatory Requirements Summary

<u>NOTE:</u> Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

used. Review the i Building Envelope	respective section for more information. e:		Space Con a hole for th
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *	§ 150.0(m)13:	be ≥ 350 CF handlers an
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).		cooling cap
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*	Ventilation and Ir	Reference
C 440 7	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be		Requireme
§ 110.7:	caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household	§ 150.0(o)1:	Ventilation
§ 110.8(a): § 110.8(g):	Goods and Services (BHGS). Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).	§ 150.0(o)1B:	Central Far dwelling un
3 110.0(g).	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the		prevents al
§ 110.8(i):	roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.		ventilation s
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.	§ 150.0(o)1C:	Whole-Dwo and attache
	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted	\$ 150 0(a)10	spaces mus
	average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average	§ 150.0(o)1G:	controlled e
§ 150.0(a):	U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to		continuous
	prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration		§150.0(o)1
	as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. *	§ 150.0(o)1H&I:	Airflow Me
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.	o ()	be measure
3 100.0(0).	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood		Residential
§ 150.0(c):	framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102.		minimum a
5(-):	Masonry walls must meet Tables 150.1-A or B. *	0.450.04.30	Field Verif
§ 150.0(d):		§ 150.0(o)2:	and HRV a
3 150.0(u).	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *		must be ve
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from abwield deprese and LV/light determine when insulation water lade on a start of a backet data and the service meet of \$ 140.9(r)	Pool and Spa Sys	rates and s
	physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).		Certificatio
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to \$150.0(d).	§ 110.4(a):	with the Ap the heater
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.	§ 110.4(b)1:	use electric Piping. Any dedicated s
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.	§ 110.4(b)2:	Covers. Or
ireplaces, Decor	ative Gas Appliances, and Gas Log:	§ 110.4(b)3:	Directional switch that
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.	§ 110.5:	Pilot Light
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.	-	Pool Syste
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.	§ 150.0(p):	sizing, flow
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *	Lighting:	Lighting C
	ng, Water Heating, and Plumbing System:	§ 110.9:	requiremen
§ 110.0-§ 110.3:	Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.	§ 150.0(k)1A:	Luminaire range hoods
\$ 110 2(a);	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. *		closets with
§ 110.2(a).	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance	§ 150.0(k)1B:	Screw bas
§ 110.2(a).	controls for near pumps with supplementary electric resistance nearers. near pumps with supplementary electric resistance		
	heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and	§ 150.0(k)1C:	
	heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.		and must be
§ 110.2(b):	heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a	§ 150.0(k)1C: § 150.0(k)1D:	and must be Light Sour elevated ter
§ 110.2(a): § 110.2(b): § 110.2(c):	heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat. * Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank		and must be Light Sour elevated ter Blank Elec luminaire or
§ 110.2(b):	heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat. *	§ 150.0(k)1D:	Recessed I and must be Light Sour- elevated ter Blank Elec luminaire or control, low Lighting In

CF1R-PRF-01E (Page 10 of 12)

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Duct Ins.

R-value

03

Duct Leakage

Target (%)

5.0

03

Design Type

Non-

Verified

02

Duct Leakage

Verification

Yes

01

04 05 06 07 08 09

Duct

Suppl Retur Suppl Retur Suppl Retur

y n y n y n

Atti Atti

Location

Surface Area

n/a

04

Verified Duct

Location

Not Required

02

Project Name: Nazaryan Residence Calculation Description: Title 24 Analysis

01

Name

New Ducts

01

Name

New

Ducts-hers-dist

HVAC - FAN SYSTEMS

HVAC - DISTRIBUTION SYSTEMS

02

Туре

Unconditio

ned attic

HVAC DISTRIBUTION - HERS VERIFICATION

Calculation Date/Time: 2023-08-09T03:08:02-07:00 Input File Name: 1201 San Luis Rey Dr.ribd22

12

HERS

Verification

New

Ducts-hers-

dist

13

Status

New

07

Deeply Buried

Ducts

Credit not taken

03

14

Verified

Existing

n/a

08

Low-leakage Air

Handler

Not Required

Condition

15

Existing

system

Distribution

CF1R-PRF-01E (Page 11 of 12)

16

New Ducts

25 ft

No

09

Low Leakage

Ducts Entirely in

Conditioned

No

04

Space

CERTIFICATE OF COMPLIANCE - RESIDE Project Name: Nazaryan Residence Calculation Description: Title 24 Analys DOCUMENTATION AUTHOR'S DECLARATION I certify that this Certificate of Compliance umentation Author Name: Gilberto Carrillo Company: Title 24 Guys, LLC 10964 Memory Park Ave City/State/Zip: Aission Hills, CA 91345 RESPONSIBLE PERSON'S DECLARATION S ertify the following under penalty of perjury, 1. I am eligible under Division 3 of the E I certify that the energy features and The building design features or system calculations, plans and specifications onsible Designer Name: Gevorg Nazaryan Homeowner - Gevorg Nazaryan

14604 Cohasset Street ty/State/Zip: /an Nuys, CA 91405

Name	Туре	Fan Pov	ver (Watts/CFM)	Name	
New Fan	HVAC Fan		0.45	New Fan-hers-fan	
HVAC FAN SYSTEMS - HERS VERIFICATION					
01	02		03		
Name	Verified Fan Watt Draw		Required Fan Efficacy (Watts/CFM)		
New Fan-hers-fan	Required		0.45		

10

No Bypass

Duct

05

Verified Duct

Design

Not Required

11

Sealed and

Tested

06

Buried Ducts

Not Required

Bypass Duct Duct Leakage

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2022 Single-Family Residential Mandatory Requirements Summary

	Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have
13:	a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be > 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy < 0.45 watts per CFM for gas furnace air handlers and < 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow > 250 CFM per ton of nominal
	cooling capacity, and an air-handling unit fan efficacy \leq 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *
nd In	door Air Quality:
	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *
:	Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole- dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that
	prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
D:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses . Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
G:	Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand- controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
1&1:	Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.
	Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow
	rates and sound requirements per §150.0(o)1G
a Sys	tems and Equipment:
	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *
:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, o dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.
	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable
A:	requirements of § 110.9. * Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen
	range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting integral to drawers, cabinets, and liner closets with an efficacy of at least 45 lumens per watt.
	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.
C:	and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met. Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8
C: D:	and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met. Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a
:: C: D: E:	and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met. Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.



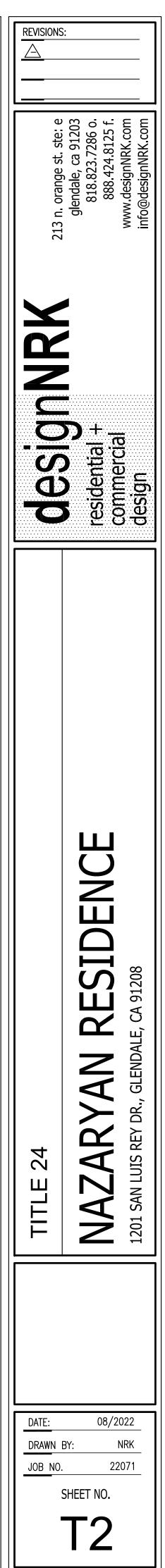
2022 Single Femily Desidential Mandatory Dequirements Su

Z-LINE COMMITTEE	2022 Single-Family Residential Mandatory Requirements Summary
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. * Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8
§ 150.0(k)1H:	elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.*
§ 150.0(k)2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall- mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
Solar Readiness:	
§ 110.10(a)1:	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings are trans 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. *
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

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	2022 Single-Family Residential Mandatory Requirements Summary
Electric and Ene § 150.0(s) § 150.0(t)	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, <u>or</u> a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated
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§ 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 110.5:	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, gr a dedicated raceway from the main service to a subpanel that supplies the branch circuits is § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 25 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the mai panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready." and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready." and a
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 § 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 150.0(h)1: § 150.0(h)3A: 	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits. or a dedicated raceway from the main service to a subpanel that supplies the branch circuits ins (§16.0)(s); at least four branch circuits. or and bid and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet, main panelboard must have a minimum busbar rating of 25 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 2400 branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready, Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the drave location with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cothes Dreyre
 § 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 150.0(h)1: § 150.0(h)3A: § 150.0(h)3B: 	ergy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits or a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying a sleeging room receptated outlet, main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the mai panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wing installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Clottes Dyper Ready. Clottes dryer locations with gas or propane furnaces in a double pole circuit breaker permanently marked as "For Future 240V use." Electric Clottes Dyper Ready. Clottes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circui
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 § 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 150.0(h)1: § 150.0(h)3A: § 150.0(h)3B: § 150.0(j)1: 	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptade outlet; main panelboard must have an iminum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wining installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover jermanently marked as "For Future 240V use." Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wining installed within 3' of the conktop with circuit conductors rated at least 50 amps with the blank cover permanently marked as "For Future 240V use." Electric Cooktop Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wining installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready." and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Flot Lights. Continuously burning pilot lights are prohibited for natural gas: far-type cen
 § 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 150.0(h)3R: § 150.0(h)3B: § 150.0(j)1: § 150.0(j)2: 	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following. Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits. <i>y</i> a dedicated raceway from the main service to a subpanel that supples the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suble to be supplied by the ESS, with one circuit supplying the refigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptated outlet, main panelboard must have a minimum busbar rating of 252 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3 of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane conclop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wing installed within 3 of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use". Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wing installed within 3 of the dryne location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready." and a reserve dimain electrical service panel plance to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use". Electric Cohtes Drype Rady. Clothes drype locations with gas or propane plumbing to serve individual dwelling units must include: A dedicat
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 § 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 150.0(h)1: § 150.0(h)3A: § 150.0(h)3B: § 150.0(j)1: § 150.0(j)2: § 150.0(n)1: § 150.0(n)3: 	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Ether ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits gr a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits gr a dedicated raceway from the main period to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their near the primary exit, and one circuit supplying a sleeping room receptade outlet, main panelboard must have a minimum busbar raing of 225 amps; sufficient space must be reserved to an electrical service panel space to allow the connection of backup power source identified as "2400 ready," and a reserved main electrical service panel space to allow tor the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cocktop Ready, Systems using as or propane cocktop to serve individual dwelling units must include: A dedicated 440V branch circuit wiring installed within 3" of the cocktop to serve individual dwelling units must include: A dedicated unobstructed 440V branch circuit wiring installed within 3" of the cocktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3" of the dryler locations with quest out wiring installed within 3" of the cocktop wire to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cocktop Ready, Systems using as or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3" of the dryler location with circuit conductors rated at least 30 amps with the blank cover identified as "YedV ready," and a reserved main electrical service panel space to allow for the installation of a dou
 § 150.0(s) § 150.0(t) § 150.0(u) § 150.0(v) § 150.0(v) § 150.0(h)1: § 150.0(h)3A: § 150.0(h)3B: § 150.0(j)1: § 150.0(j)2: § 150.0(j)2: § 150.0(n)1: § 150.0(n)3: Ducts and Fans 	ergy Storage Ready: Energy Storage System (ESS) Ready. All single-family residences must meet all of the following. Either ESS-ready interconnection equipment with backed up, capacity of 60 amps or more and four or more ESS supplied branch circuits, and a dedicated canavy from the main service to a subpanel that supplies the branch circuits in s 150 (0) (s) it teast fur branch circuits must be identified and have their source collocated at a single panebbard suitable to be supplied by the ESS, with one circuit supplying the effigierator, one input supplices the branch circuits in spit. O(10) (s) it teast fur branch circuits must be installation apareboard, with receasive sinstalled between the panebbaard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane coxktop to serve individual dwelling units must include: A dedicated undestructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "2400 ready". Electric Coxtep Ready. Systems using gas or propane coxktop to serve individual dwelling units must include: A dedicated undestructed 240V branch circuit wiring installed within 3' of the coxktop twin's rate at least 50 amps with the blank cover identified as "2400 ready." Electric Coxtep Ready. Systems using gas or propane coxktop to serve individual dwelling units must include: A dedicated undestructed 240V branch circuit wiring installed within 3' of the coxktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V use". Electric Coxtee Royer, Coxtee dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 50 amps with the blank cover identified as "240V use". Electric Coxtee Royer Ready, Coxtee dryer locations with gas or propane plumbing to s
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GENERAL NOTES

GENERAL:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF GLENDALE BUILDING CODE., 2022 EDITION (BASED ON 2022 CBC), AND ALL OTHER APPLICABLE REQUIREMENTS, ORDERS, ORDINANCES
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE.
-) UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS, CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL AND SHALL BE FULLY RESPONSIBLE FOR SAME.

) ANY CONFLICT WITH BETWEEN STRUCTURAL DRAWINGS AND SITE CONDITIONS MUST BE VERIFIED WITH ENGINEER BEFORE CONSTRUCTION CAN PROCEED.

FOUNDATION:

- 1) FOUNDATION DESIGN IS BASED ON AN ALLOWANCE SOIL BEARING PRESSURE OF 1,500 PSF
- 2) FOOTING EXCAVATIONS SHALL BE CLEAN AND FREE OF ALL DEBRIS AND LOOSE SOIL BEFORE ANY REINFORCEMENT IS PLACED.

CONCRETE:

- 1) ALL CONCRETE SHALL BE NORMAL WEIGHT, 150 LB/CU. FT. AND SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS, BASED ON AN APPROVED LABORATORY DESIGNED MIX, OF 2500 PSF
- 2) PORTLAND CEMENT SHALL CONFIRM TO ASTM C-150.
- 3) LOCATION OF ALL CONSTRUCTION JOINTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER IF NOT SHOWN ON THE DRAWINGS.
- 4) NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
- 5) CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED WITH F'c GREATER THAN 2500 PSI

REINFORCING STEEL:

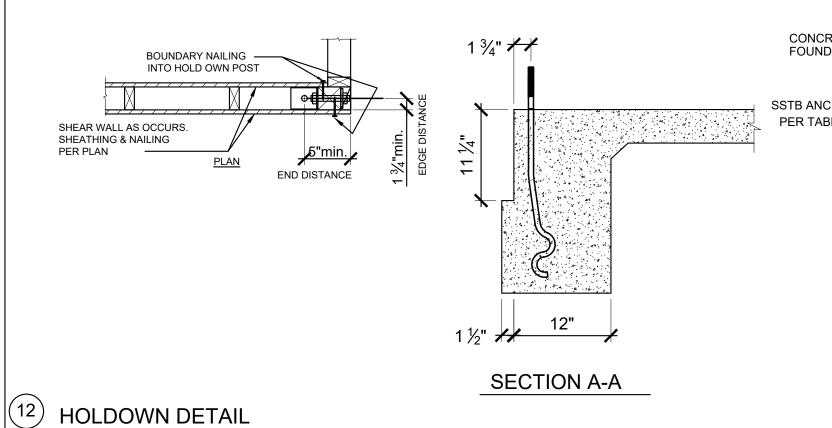
- 1) ALL REINFORCING STEEL CONSIST OF DEFORMED BARS CONFORMING TO ASTM A/615 GRADE 60.
- 2) REINFORCING BARS SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVER; A. CONCRETE POURED AGAINST EARTH.
- B. CONCRETE POURED AGAINST EARTH BUT FORMED.
- 3) PROVIDE SPACER BARS, CHAIRS, SPREADERS, ETC. AS REQUIRED TO HOLD THE STEEL SECURELY IN PLACE.
- 4) REINFORCING MARKED CONTINUOUS MAY BE SPLICED BY LAPPING 30 BAR DIAMETERS IN CONCRETE AND 40 BAR DIAMETERS IN MASONRY. UNLESS NOTED OTHERWISE
- 5) DOWELS SHALL MATCH WALL REINFORCING IN SIZE AND NUMBER REQUIRED UNLESS NOTED OTHERWISE.

WOOD:

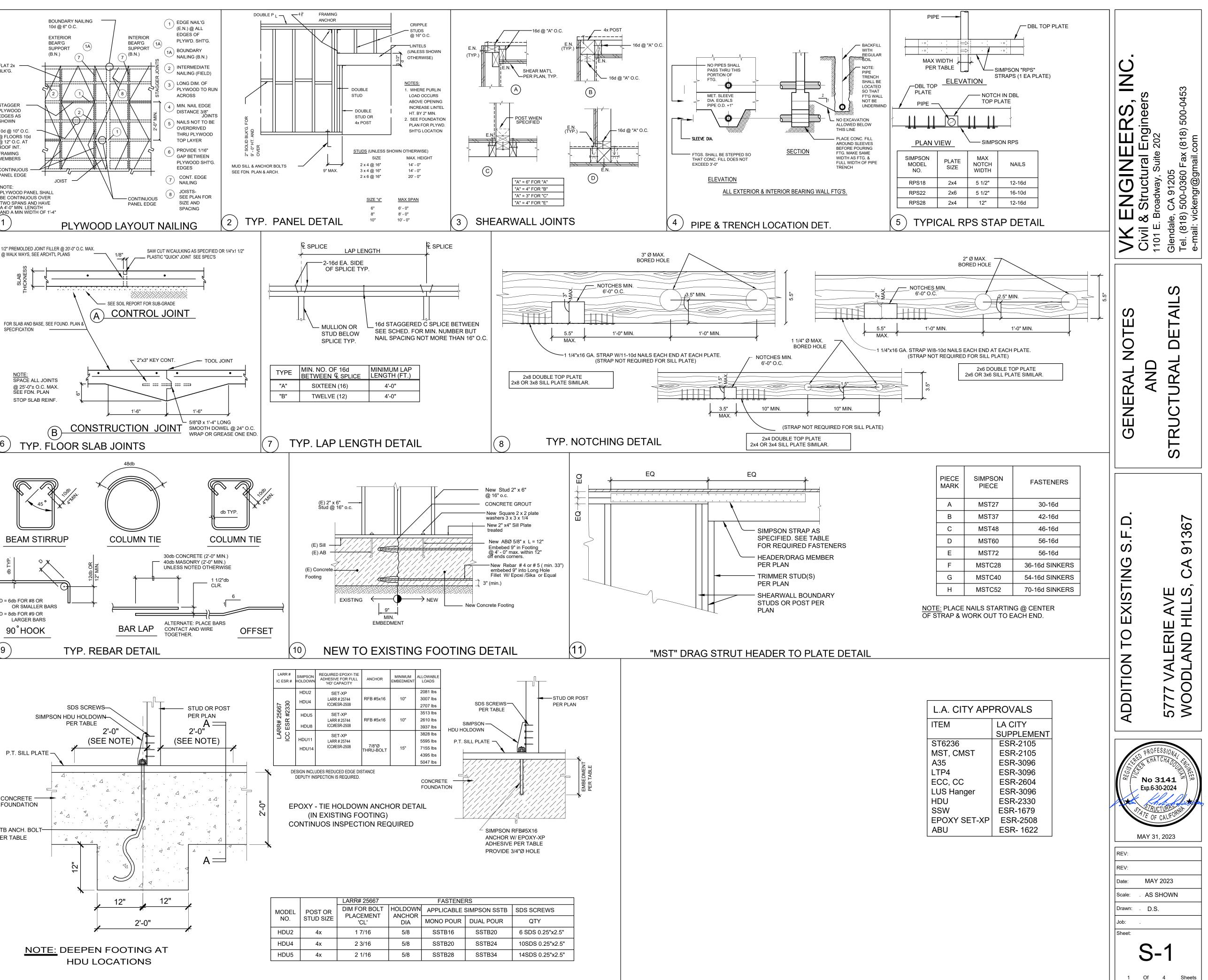
- 1) ALL NEW LUMBER-DOUGLAS FIR.
- 2) BEAM AND POST-#1 GRADE, EXCEPT AS NOTED.
- 3) JOISTS AND RAFTERS,-#2 GRADE, EXCEPT AS NOTED.
- 4) STUDS-CONSTRUCTION GRADE.
- 5) PLYWOOD-DOUGLAS FIR P.S 1-95.
- 6) ALL PLYWOOD USED ON ROOF SHALL BE BONDED WITH EXTERIOR GLUE.
- 7) SILL PLATES SHALL BE PRESSURE TREATED D.F. OR FOUNDATION GRADE REDWOOD.
- 8) NEW SILLS BE ANCHORED WITH 5/8"DIA.x10" BOLTS AT 4'-0" AND NOT OVER 9" FROM END OF EACH PIECE.
- 9) HOLES FOR BOLTS-SAME SIZE AS BOLTS OR 1/16" LARGER.
- 10) BOLTS TO HAVE PLATE WASHERS.
- 11) 2" CROSS BRIDGING AT 10'-0" SHALL BE PROVIDED FOR ROOF JOISTS. APPROVED METAL BRIDGING MAY BE USED IN LIEU OF WOOD BRIDGING.
- 12) 2" SOLID BLOCK AT EACH SUPPORT
- 13) 2" SOLID FIRE BLOCKING IN STUD WALLS @8'-0" MAX.
- 14) NAILING SHALL CONFORM TO TABLE 2304.9.1. OF THE CODE.
- 15) ALL ROOF SHEATHING SHALL BE INSPECTED BEFORE APPLYING ROOFING TO INSURE SOUND BOARDS AND NAILING.

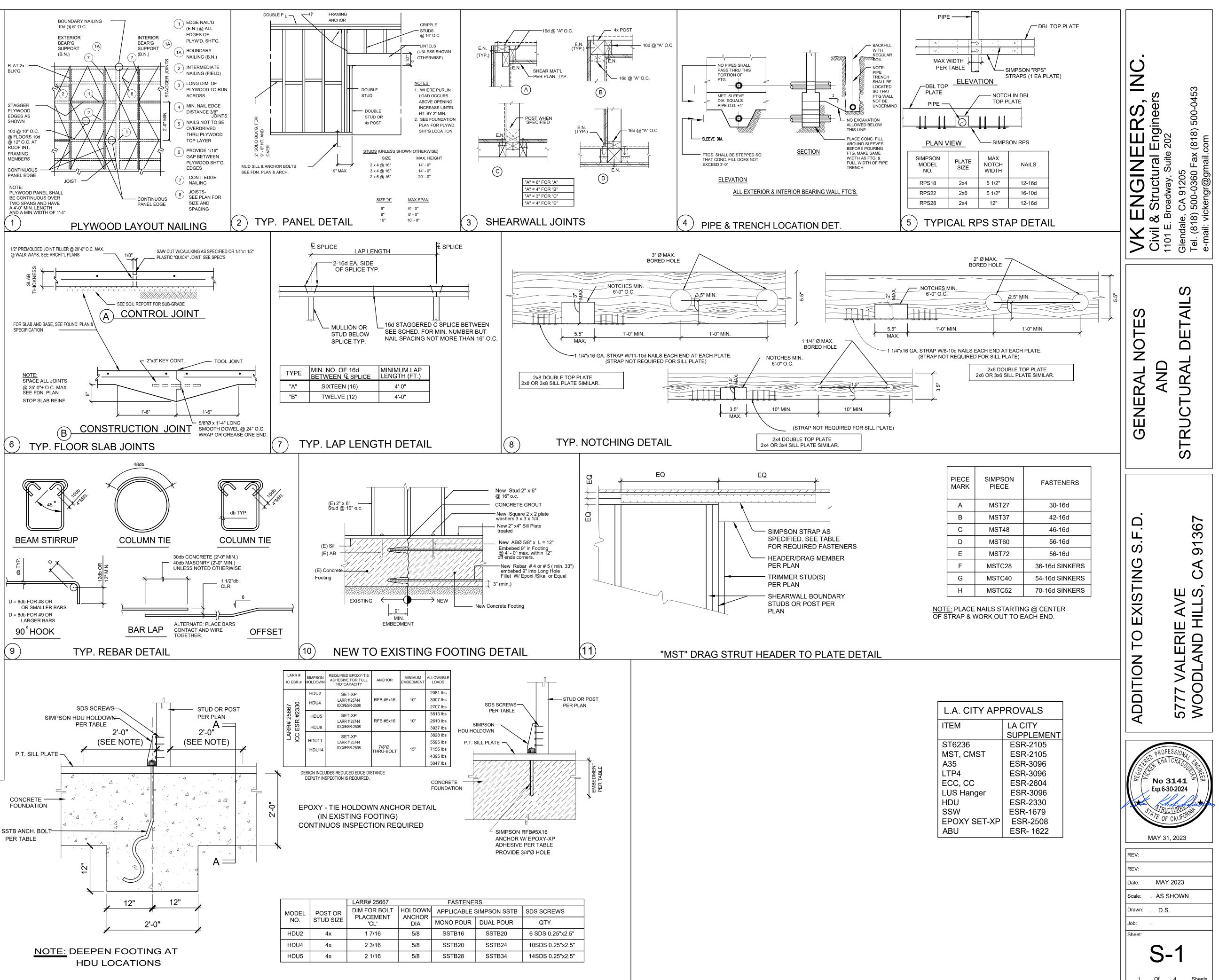
REQUIRED SPECIAL INSPECTIONS

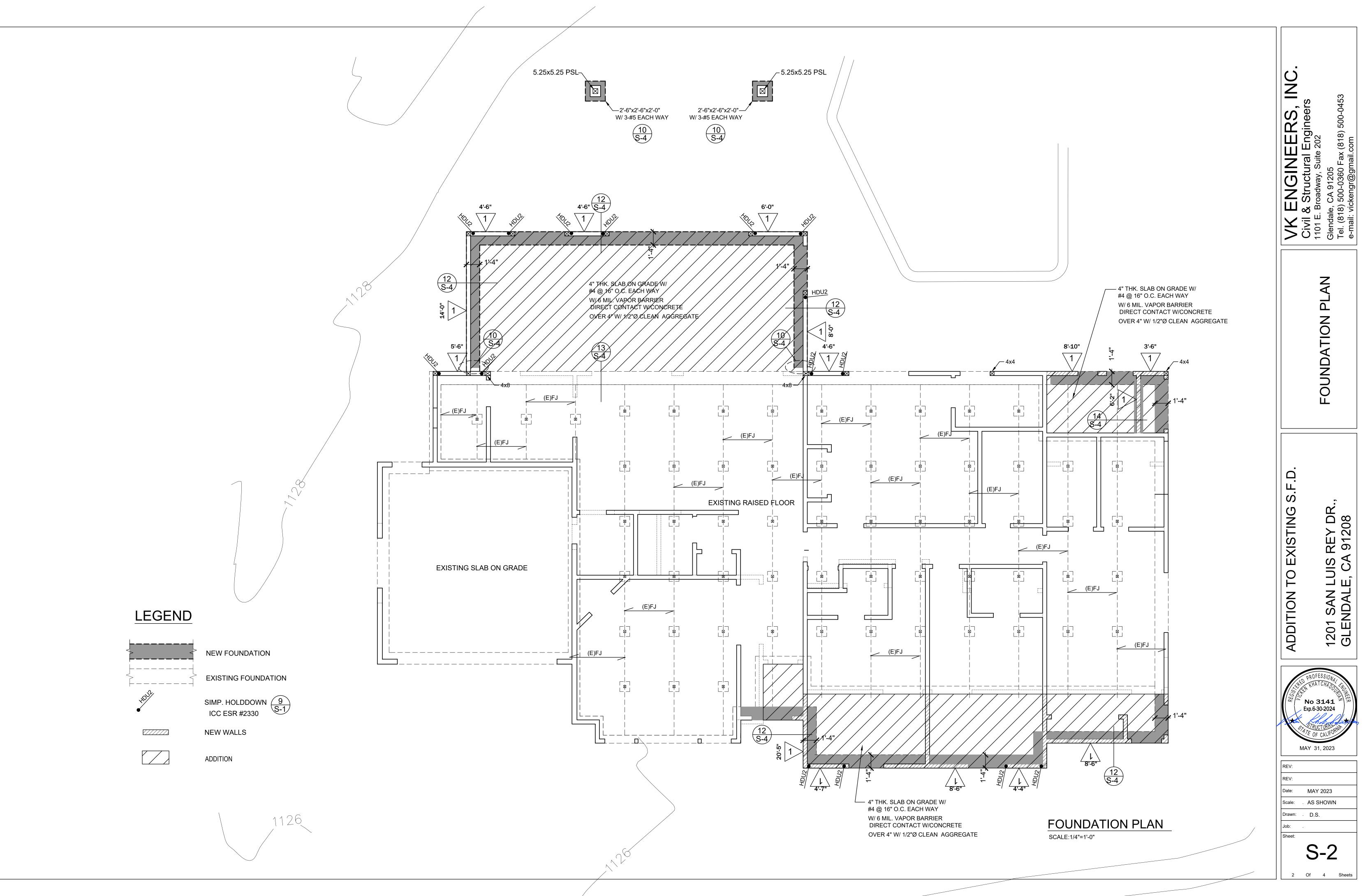


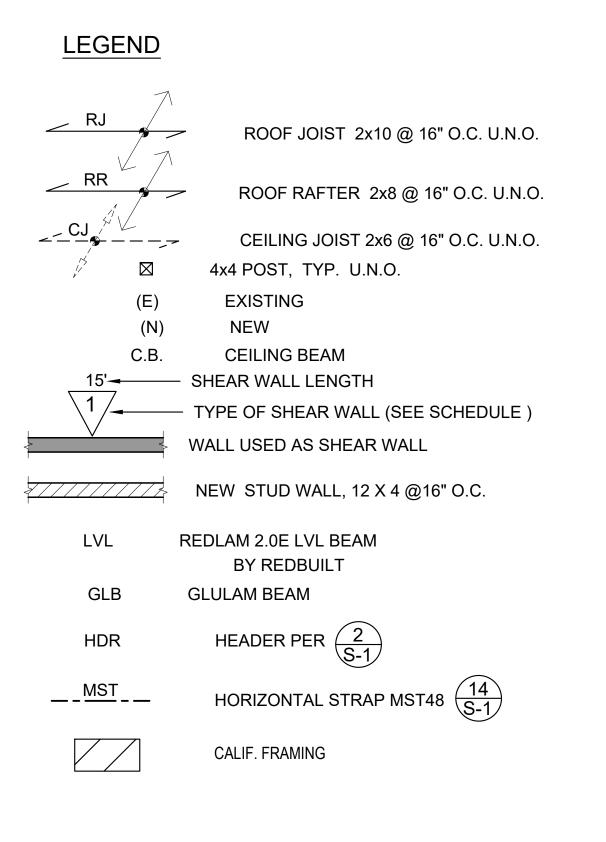


YES

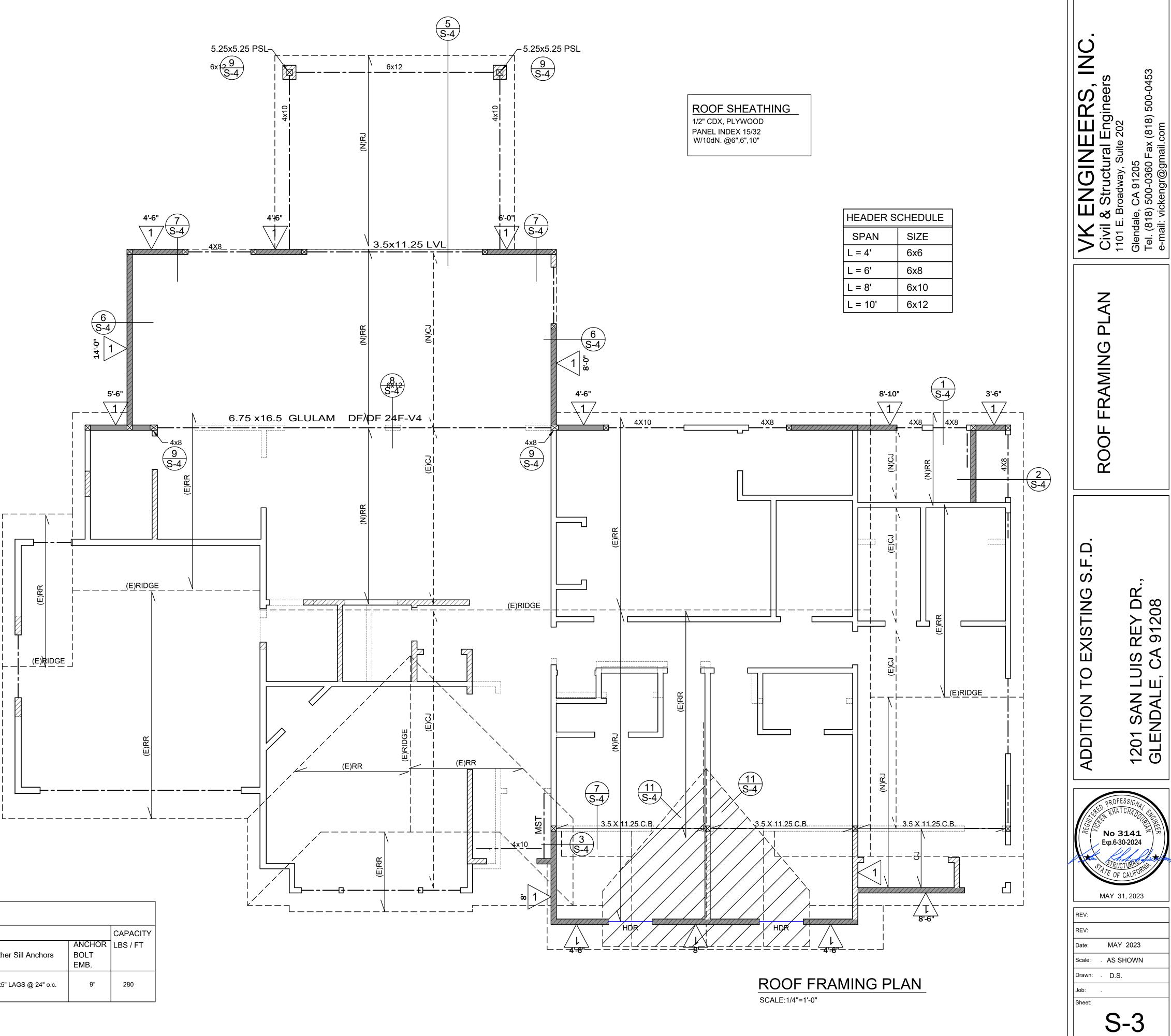




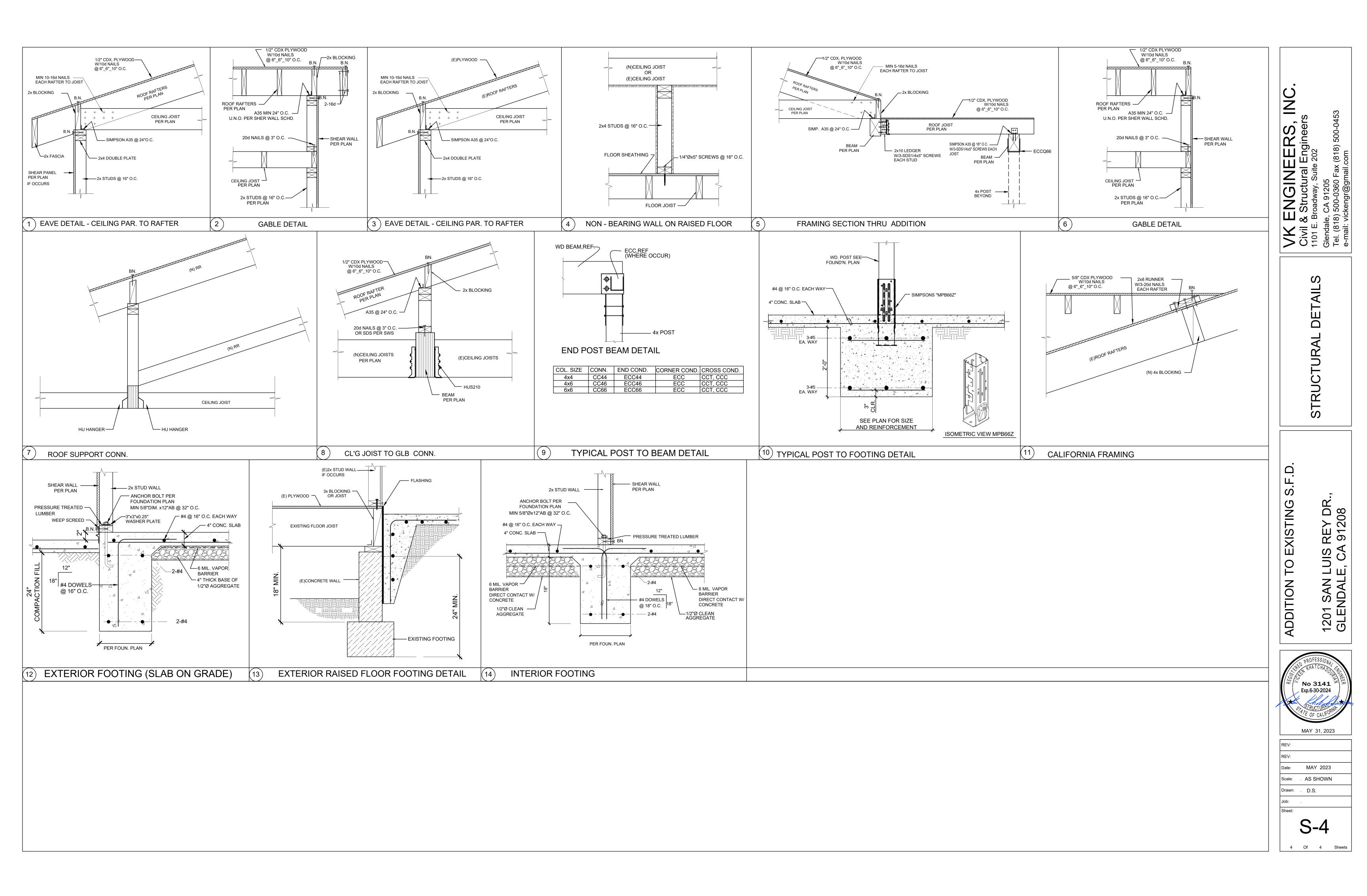




	SHEAR WALL SCHEDULE												
		PANE	EL NAILING		SHEAR ANCH	ORAGE							
TYPE	MATERIAL	PERIMETER	FIELD	@ END OF SHEAR WALL PANEL	BLOCKING TO TOP PLATE CONNECTION	ANCHOR BOLTS SILL PLATE FOUND CONNECTION F'c=2500 PSI	All Other Sill						
1	1/2" STRUCTURAL 1 PLYWOOD 8d COMMON NAILS	6" O.C.	12" O.C.	4x4 STUDS	A35 @ 16" O.C.	5/8"Ø @ 48" O.C.	3/8"Øx5" LAGS						



HEADER SCHEDULE					
SPAN	SIZE				
L = 4'	6x6				
L = 6'	6x8				
L = 8'	6x10				
L = 10'	6x12				





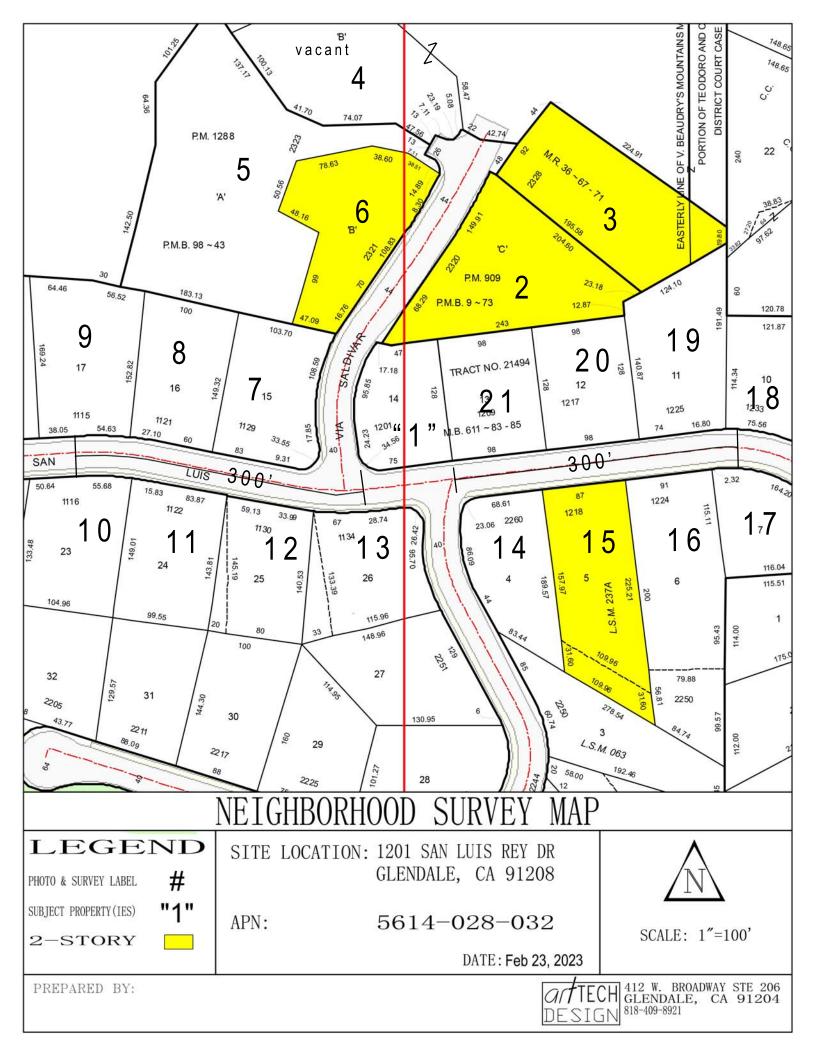












NEIGHBORHOOD SURVEY FOR: 1201 SAN LUIS REY DR

KEY	ADDRESS	PARCEL NUMBER	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF	
1(SITE)	1201 SAN LUIS REY DR	5629-006-012	11,520	1,918	17%	1	37.5	SHINGLE	
2	2320 VIA SALDIVAR ST	5630-025-007	22,950	2,645	12%	2	10	TILE	
3	2328 VIA SALDIVAR ST	5630-025-003	22,660	3076	14%	2	50	TILE	
4	VACANT LOT	5630-025-002	1,517,630	\succ	\succ	\succ	$>\!$	>	
5	2323 VIA SALDIVAR ST	5630-025-005	46,360	3,630	8%	1	30	TILE	
6	2321 VIA SALDIVAR ST	5630-025-006	18,300	2,470	13%	3	20	SPANISH TILE	
7	1129 SAN LUIS REY DR	5614-037-001	14,900	1,669	11%	1	30	SHINGLE	
8	1121 SAN LUIS REY DR	5614-037-002	13,741	1,909	14%	1	30	SPANISH TILE	
9	1115 SAN LUIS REY DR	5614-037-003	17,066	1,909	11%	1	30	TILE	
10	1116 SAN LUIS REY DR	5614-037-009	14,523	1,846	13%	1	35	SHINGLE	
11	1122 SAN LUIS REY DR	5614-037-023	15,943	1,841	12%	1	30	SHINGLE	
12	1130 SAN LUIS REY DR	5614-037-022	14,364	1976	14%	1	25	SPANISH TILE	
13	1134 SAN LUIS REY DR	5614-037-026	12,765	2037	16%	1	20	TILE	
14	2260 VIA SALDIVAR ST	5614-025-025	13,200	2,958	22%	1	10	TILE	
15	1218 SAN LUIS REY DR	5614-025-034	16,720	3792	23%	2	20	SPANISH TILE	
16	1224 SAN LUIS REY DR	5614-025-029	16,800	1669	10%	1	15	SHINGLE	
17	1234 SAN LUIS REY DR	5614-025-028	12,180	2303	19%	1	15	FLAT	
18	1233 SAN LUIS REY DR	5614-028-028	12,600	1590	13%	1	30	SHINGLE	
19	1225 SAN LUIS REY DR	5614-028-029	17,920	1,344	8%	1	20	SHINGLE	
20	1217 SAN LUIS REY DR	5614-028-030	12,544	2096	17%	1	25	TILE	
21	1209 SAN LUIS REY DR	5614-028-031	12,544	2630	21%	1	30	TILE	
AVERAGE		>>	16,980	2,265	13%	1	26	>	
1 (SITE) PROPOSED	1201 SAN LUIS REY DR	5629-006-012	11,520	2,734	24%	1	37.5	COMP. SHINGLE	
NOTE: #4 & PROPOSED NOTE CALCULATED IN AVERAGE									



1. 1201 SAN LUIS REY DR (PHOTO FROM SAN LUIS REY)



1. 1201 SAN LUIS REY DR (PHOTO FROM VIA SALDIVAR ST)







4. VACANT (5630-025-0020 & 5. 2323 VIA SALDIVAR ST





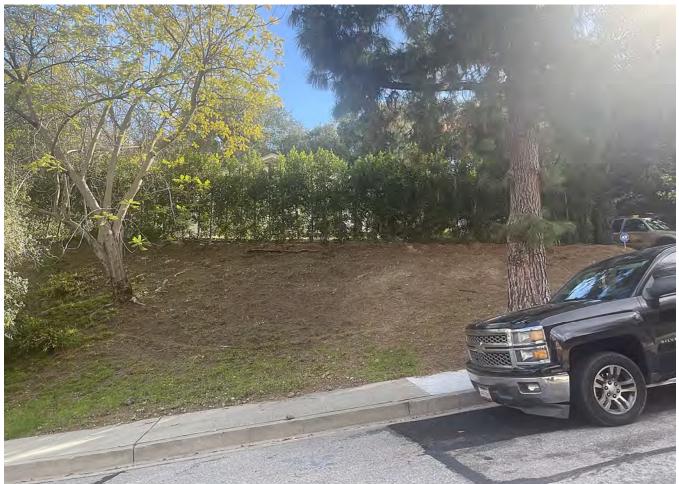
7. 1129 SAN LUIS REY DR (PHOTO FROM SAN LUIS REY)





8. 1121 SAN LUIS REY DR





10. 1116 SAN LUIS REY DR





12. 1130 SAN LUIS REY DR





14. 2260 VIA SALDIVAR ST





16. 1224 SAN LUIS REY DR





18. 1233 SAN LUIS REY DR





20. 1217 SAN LUIS REY DR

