



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

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glendaleca.gov

December 18, 2023

Arman Abgaryan
A61 Design Studio Inc.
336 N. Central Avenue #9
Glendale, CA 91203

**RE: ADMINISTRATIVE USE PERMIT CASE NO. PAUP-002384-2023
3313 N. Verdugo Road**

The Director of Community Development will render a final decision on or after **December 29, 2023**, for the following project:

Project proposal: Application for an Administrative Use Permit (AUP) to allow the on-site sales, service, and consumption of alcoholic beverages (Type 47) at an existing full-service restaurant (Hill Restaurant).

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

DRAFT CONDITIONS

1. That the development shall be in substantial accord with the plans submitted with the application except for any modifications as may be required to meet specific Code standards or other conditions stipulated herein to the satisfaction of the Director of Community Development.
2. That all necessary permits shall be obtained from the Building and Safety Division and all construction shall be in compliance with the Glendale Building Code and all other applicable regulations.
3. That all necessary licenses, approvals and permits as required from Federal, State, County or City authorities including the City Clerk shall be obtained and kept current at all times.
4. That any expansion or modification of the facility or use which intensifies the existing Administrative Use Permit shall require a new Administrative Use Permit application. Expansion shall constitute adding floor area, increased hours of operation, changes to the use or operation, or any physical change as determined by the Director of Community Development.

5. That at all times when the premises are open for business, the service of any alcoholic beverage shall be made only in the areas designated with an Alcoholic Beverage Control (ABC) license. Consumption of alcoholic beverages will only be on those same licensed areas.
6. That no patron of the restaurant shall be allowed to bring any alcoholic beverages that were purchased off-site, unless the restaurant has an established corkage policy allowing and regulating such.
7. That the restaurant shall remain open to the public during business hours. If the establishment has a private party during normal business hours, the restaurant still needs to remain open for business to regular customers.
8. That the proprietor and his/her employees shall make an active and conscientious effort to keep customers and employees from trespassing on other nearby properties or otherwise making disturbances in the area.
9. That the premises shall maintain a bona fide restaurant and shall provide a menu containing an assortment of foods normally offered in such restaurant. Food service shall be available at all times and in all areas of the premises during normal operating hours.
10. That the service of alcoholic beverages shall be done in conjunction with the dispensing of meals.
11. That the service of alcohol shall be in full accord with the regulations and conditions established by the State Department of Alcoholic Beverage Control.
12. That music or noise shall be contained within the edifice of the establishment. The business shall comply with the state and local laws and ordinances concerning excessive noise and disturbing the peace. No amplified sound may be produced without first obtaining an "Amplified Sound Permit."
13. That no live entertainment is permitted without a "Live Entertainment Permit."
14. If the premises has a designated dance floor area, dancing will be allowed with a "Dance" permit.
15. That no separate bar shall be installed for the service of alcoholic beverages.
16. That the sale of alcoholic beverages for consumption off the premises is strictly prohibited.
17. That the hours of operation for the restaurant shall be 11:00 a.m. to 11:00 p.m. Monday through Sunday. That the sale, service and consumption of alcoholic beverages shall be permitted only between the hours of 11:00 a.m. to 10:00 pm.

18. An establishment that primarily provides for the on-premises sale, serving and consumption of alcoholic beverages and that derives more than fifty (50) percent of gross revenues from the sale of alcoholic beverages is by definition of the code a “tavern” and requires approval of a conditional use permit. Taverns include bars, pubs, cocktail lounges and similar establishments.
19. Any establishment serving alcoholic beverages which has a dance floor of greater than 200 square feet is considered a nightclub and will require a separate conditional use permit.
20. The front and back doors of the establishment shall be kept closed at all times while the location is open for business, except in case of emergency.
21. That the business shall adhere to the City’s Fresh Air Ordinance, Title 8, Chapter 8.52 of the Glendale Municipal Code.
22. That access to the premises shall be made available to all City of Glendale Planning and Neighborhood Services Division, Police Department, and Fire Department staff upon request for the purpose of verifying compliance with all laws and conditions of this approval.

PROJECT BACKGROUND

Previous Permits for the Site:

In 2021, a Business Registration Certificate (BRC3318156) was issued for the restaurant. The most recent BRC application was filed on May 22, 2023. The use shown on the BRC is described as a “full-service restaurant”. A prior tenant (Magic Wok) also occupied the space as a restaurant.

On August 15, 1997, a Conditional Use Permit (9714-CU) Renewal application was approved for the continued service of alcoholic beverages.

On May 28, 1987, a Conditional Use Permit (8120-CU) Renewal was approved for the continued service of alcoholic beverages.

On December 30, 1983, a Conditional Use Permit (7521-CU) was issued to permit the serving of alcoholic beverages at a restaurant.

Related Concurrent Permit Application(s): None on file.

Environmental Recommendation:

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption, pursuant to State CEQA Guidelines Section 15301, because the discretionary permit request is to allow for on-site consumption of alcoholic beverages at an existing full-

service restaurant and there is no added floor area proposed.

General Plan:

Community Services Commercial

Zone:

C3 I – Commercial Service Zone

Description of existing property and uses:

The project site is currently developed with a one-story, 11,819 square-foot, shopping center located on the west side of Verdugo Road. The Hill Restaurant tenant space is 2,740 square feet. The building was built in 1983 and is a multi-tenant shopping center. The site has 56 on-site parking spaces which serve the tenants within the shopping center. Twenty-nine of the parking spaces are located in the surface parking lot which are accessed from Verdugo Road and Glencoe Way. The remaining parking spaces are located in a semi-subterranean parking which are accessed from Glencoe Way. An existing 20-foot alley is located directly behind the subject property. No outdoor seating is proposed at this location.

Neighboring zones and uses:

	Zoning	Existing Uses
North	C3 I	Commercial – motorcycle dealership
South	C3 I	Commercial – offices
East	R1 II	Residential-Single family
West	R-3050	Residential-Multi family
Project Site	C3 I	Proposed Full-Service Restaurant

COMMENTS FROM OTHER CITY DEPARTMENTS: No major concerns were received from the various City divisions/departments for the existing restaurant to serve alcoholic beverages. Conditions were received from the Police Department to ensure that any potential negative impacts will be appropriately mitigated.

PROJECT ANALYSIS

The applicant is requesting approval of an Administrative Use Permit (AUP) to allow the on-site sales, service, and consumption of alcoholic beverages (Type 47) at an existing full-service restaurant (Hill Restaurant). The subject site is located in the C3 I Commercial Service Zone and the General Plan Land Use Element designation is Community Service Commercial. Goods and services offered in this zone generally attract clientele from the adjoining residential neighborhoods as well as the surrounding community. The on-site sales, service and consumption of alcoholic beverages within an existing restaurant at this location is appropriate in an area of the city zoned for commercial uses and approval of the AUP will provide the option for the dining public to enjoy alcoholic beverages with their meals.

The on-site sales, service and consumption of alcoholic beverages at an existing restaurant will be consistent with the elements and objectives of the General Plan. The

land use designation of the site is Community Services where retail and restaurant services along major arterials, such as Verdugo Road, are desired. The project site is already developed, and the applicant's request is to allow the on-site sales, service and consumption of alcoholic beverages at an existing full-service restaurant. The project site is surrounded by other complementary businesses, including retail and service type uses. Single family residential neighborhoods are located nearby, but do not directly abut the project site. Montrose Community Park is located nearby behind the commercial uses on the east side of Verdugo Road. The Land Use Element is the most directly related to the approval of this use. All other elements of the General Plan, including Open Space, Recreation, Housing, and Noise Elements, will not be impacted as a result of the applicant's request. This application does not include any added floor area or modifications to the existing building; therefore, there will be no increase in required parking for this use. The proposal to add alcoholic beverages as an ancillary use will not impact the existing parking and landscaping conditions. The existing on-site parking has proven to be sufficient for the restaurant and has not resulted in conflicts with nearby businesses or residential development. The applicant's request to allow the on-site sales, service and consumption of alcoholic beverages with meals is not anticipated to create any negative traffic-related impacts on North Verdugo Road over and above the existing conditions.

The on-site sales, service, and consumption of alcoholic beverages at the existing full-service restaurant will not be detrimental to the safety and public welfare of the neighborhood in general. According to the Glendale Police Department, the subject property is located in Census Tract 3006.02 where the suggested limit for on-sale alcohol establishments is three. Currently, there are 35 on-sale establishments located in this tract and this restaurant will bring the total licenses to 36 in this Tract. Based on Part 1 crime statistics for this Census Tract, there were 85 crimes in 2021, 49 percent below the citywide average of 167. Within the last calendar year, there were 8 calls for police service at this location. Seven of the calls were regarding noise complaints. One call was a false alarm. Currently, there is no "active" or "pending" liquor license for this location, per the ABC website as noted by the Glendale Police Department.

The on-site sales, service and consumption of alcoholic beverages at the existing full-service restaurant is not anticipated to be detrimental to the community or adversely conflict with the community's normal development. The consumption of alcoholic beverages with food at the existing full-service restaurant will not conflict with the adjacent land uses and will be ancillary to the primary restaurant use. Montrose Community Park is within the immediate area of the subject site located at 3529 Clifton Place (0.7 miles to the east) and John C. Fremont Elementary School located at 3320 Las Palmas Avenue (0.3 miles to the south). While these facilities and uses are within close proximity, given their orientation in relation to the subject property and the nature of consumption of alcoholic beverages with meal service, it is not anticipated that the applicant's request will impede their existing operations.

Overall, the applicant's request to allow the on-site sales, service and consumption of alcoholic beverages at the existing full-service restaurant, is supportable based on the

facts surrounding this application and the findings.

DRAFT FINDINGS

A. That the proposed use will be consistent with the various elements and objectives of the general plan.

The applicant is requesting to serve alcoholic beverages with meal at an existing 2,740 square foot full-service restaurant (Hill Restaurant) (Type 47). The proposed addition of alcoholic beverage service will be consistent with the elements and objectives of the General Plan. The subject site is located within the “C3 I” Commercial Service Zone, and the General Plan Land Use Element designation as a Community Services Commercial.

The subject site is located within a commercial area, surrounded by retail stores, counter and full-service restaurants, and personal services. Alcoholic beverages for on-site sale, service and consumption at this location is permitted within the “C3” Commercial Service Zone of the City since it is zoned for commercial uses and will provide an option for the community and clients to purchase alcoholic beverages for on-site consumption. Retail and service uses are permitted in the “C3” Commercial Service Zone and are consistent with the Community Service Commercial land use designation. The Land Use Element is the most directly related to the approval of this use and the other elements of the General Plan, including the Open Space, Recreation, Housing, and Noise Elements, will not be impacted because of the applicant’s request. This application does not include any added floor area or modifications to the existing tenant space, therefore, there will be no increase in the required parking for the use.

The Circulation Element identifies Verdugo Road as a Major Arterial. Verdugo Road can adequately handle the existing traffic circulation around the site. The project site is surrounded by commercial and residential uses and the applicant’s request to allow the on-site sale, service and consumption of alcoholic beverages is not anticipated to create any negative traffic related impacts on these streets and the surrounding uses over and above the existing conditions.

B. That the use and its associated structures and facilities will not be detrimental to the public health or safety, the general welfare, or the environment.

The sale of alcoholic beverages for on-site consumption will not be detrimental to the health, safety, and public welfare of the neighborhood in general. According to the Glendale Police Department, the subject property is located in Census Tract 3006.02 where the suggested limit for on-sale alcohol establishments is three. Currently, there are 35 on-sale establishments located in this tract and this restaurant will bring the total licenses to 36 in this Tract. Based on Part 1 crime statistics for this Census Tract, there

were 85 crimes in 2021, 49 percent below the citywide average of 167. Currently, there is no “active” or “pending” liquor license for this location, per the ABC website as noted by the Glendale Police Department. The Glendale Police Department did not cite any concerns with the applicant’s request to allow the existing restaurant to offer the on-site sale, service and consumption of alcoholic beverages at this location and suggested conditions of approval have been included to mitigate any potential negative impacts.

C. That the use and facilities will not adversely affect or conflict with adjacent uses or impede the normal development of surrounding property.

It is not anticipated that the applicant’s request to provide on-site sales, service and consumption of full alcoholic beverages will be detrimental to the community or adversely conflict with the community’s normal development of surrounding properties, as conditioned. The existing restaurant space is surrounded by various commercial uses that features other complementary businesses, including retail and service uses. Montrose Community Park is located to the east of Verdugo Road and the park is accessed from Clifton Place. The park is located behind other commercial uses located on Verdugo Road. It is not anticipated that any negative impacts to the community would occur based on the applicant’s request to allow alcoholic beverage sales for on-site consumption. Montrose Community Park is within the immediate area of the subject site located at 3529 Clifton Place (0.4 miles to the east) and John C. Fremont Elementary School located at 3320 Las Palmas Avenue (0.7 miles to the south). While these facilities and uses are within close proximity, given their orientation in relation to the subject property and the nature of consumption of alcoholic beverage with meal service, it is not anticipated that the applicant’s request will impede their existing operations.

The proposed incidental sale of alcoholic beverage is not anticipated to cause any conflicts with surrounding development in the future and will not adversely impact existing facilities, property values, or developments within the surrounding area. There were no concerns or comments submitted by the Police Department or Neighborhood Services Division that would indicate that the approval of a type 47 Alcoholic Beverage License for the existing full-service restaurant would have a negative impact on the surrounding area, and the proposed conditions of approval will serve to mitigate any potential negative impacts on the surrounding properties.

D. That adequate public and private facilities such as utilities, landscaping, parking spaces and traffic circulation measures are or will be provided for the proposed use.

The applicant’s Administrative Use Permit request for alcoholic sales, service and on-site consumption will not require any new city services, nor will it require any changes to the landscaping, parking or traffic circulation. The commercial building was built in 1947 and had retail/service establishments. The prior uses and existing uses at the location

will be serviced with utilities for water, electricity, sewer, and trash. For the current request, the ability to sell, serve and consume alcoholic beverages at the restaurant will remain a complementary use and is not anticipated to increase the need for public or private facilities. No changes are anticipated for the parking demand, as the request does not propose to add additional floor area to the building. The surrounding neighborhood is also developed with adequate public and private facilities and infrastructure. The Circulation Element identifies Verdugo Road as a Major Arterial. Glencoe Way and Paloma Avenue are both classified as local streets. These streets are fully developed and can adequately handle the existing traffic circulation around the site.

REQUIRED ADDITIONAL FINDINGS OF FACT FOR AN AUP FOR ALCOHOL SALES, SERVICE AND CONSUMPTION

That all the criteria set forth in Section 30.49.030 (E) to be considered in making the findings in subsection a. through d. above have all been met and thoroughly considered:

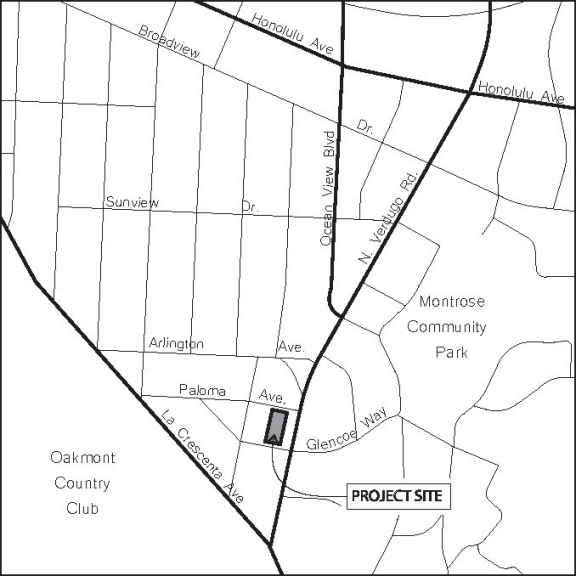
1. That where an existing or proposed on-site use is located in a census tract with more than the recommended maximum concentration of on-site uses or where an existing or proposed off-site use is located in a Census Tract with more than the recommended maximum concentration of off-site uses, both as recommended by the California Department of Alcoholic Beverage Control (ABC), such use does not or will not tend to intensify or otherwise contribute to the adverse impacts on the surrounding area caused by such over concentration as described in Finding B above.
2. That where the existing or proposed use is located in a crime reporting district with a crime rate which is 49 percent below the citywide average of 167 for Part I crimes, as reported by the Glendale Police Department, such use does not or will not tend to encourage or intensify crime within the district because conditions of approval have been included in the approval of this application to ensure that any potential negative impacts will be appropriately mitigated, as described in Finding B above.
3. That the existing or proposed use does not or will not adversely impact any other uses within the surrounding area (church, public or private schools or college, day care facility, public park, library, hospital, or residential use), as described in Finding C above.
4. That adequate parking and loading facilities are or will be provided for the existing or proposed use or other reasonable alternatives satisfy the transportation and parking needs of the existing or proposed use as described in Finding D above.

5. That notwithstanding consideration in subsections 1 through 4 above, the proposed operation of existing full-service restaurant with the sale of alcoholic beverages for on-site sale, service, and consumption does serve a public convenience for the area because it serves local residents, businesses, and the surrounding community. Conditions placed on the approval of the project will ensure that it will not adversely impact nearby businesses and residential uses.

For more information or to submit comments, please contact the case planner, Shoghig Yepremian, at 818-937-8135 or syepremian@glendaleca.gov.

ATTACHMENT:

1. Location Map
2. Reduced Plans
3. Departmental Comments



Broadview

Honolulu Ave

Honolulu Ave

Sunview

Dr.

Ocean View Blvd

Dr.

N. Verdugo Rd.

Arlington

Ave.

Montrose
Community
Park

Paloma

Ave.

La Crescenta Ave

Glencoe Way

Oakmont
Country
Club

PROJECT SITE

NO.	ISSUED FOR:	DATE:
	B & S SUBMITTAL	
REV	BY:	DATE:
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JOB NO.:	2301-A61
DRAWN BY:	A.A.
CHECKED BY:	A.A.
DATE:	06-22-23

Sheet Description

COLORED SITE PLAN

Sheet Number

A-1.1

Sheet Of



COLORED SITE PLAN

SCALE: 1/8" = 1'-0"

HILL RESTAURANT

3313 NORTH VERDUGO ROAD GLENDALE, CA 91208

A.U.P. PERMIT

A61

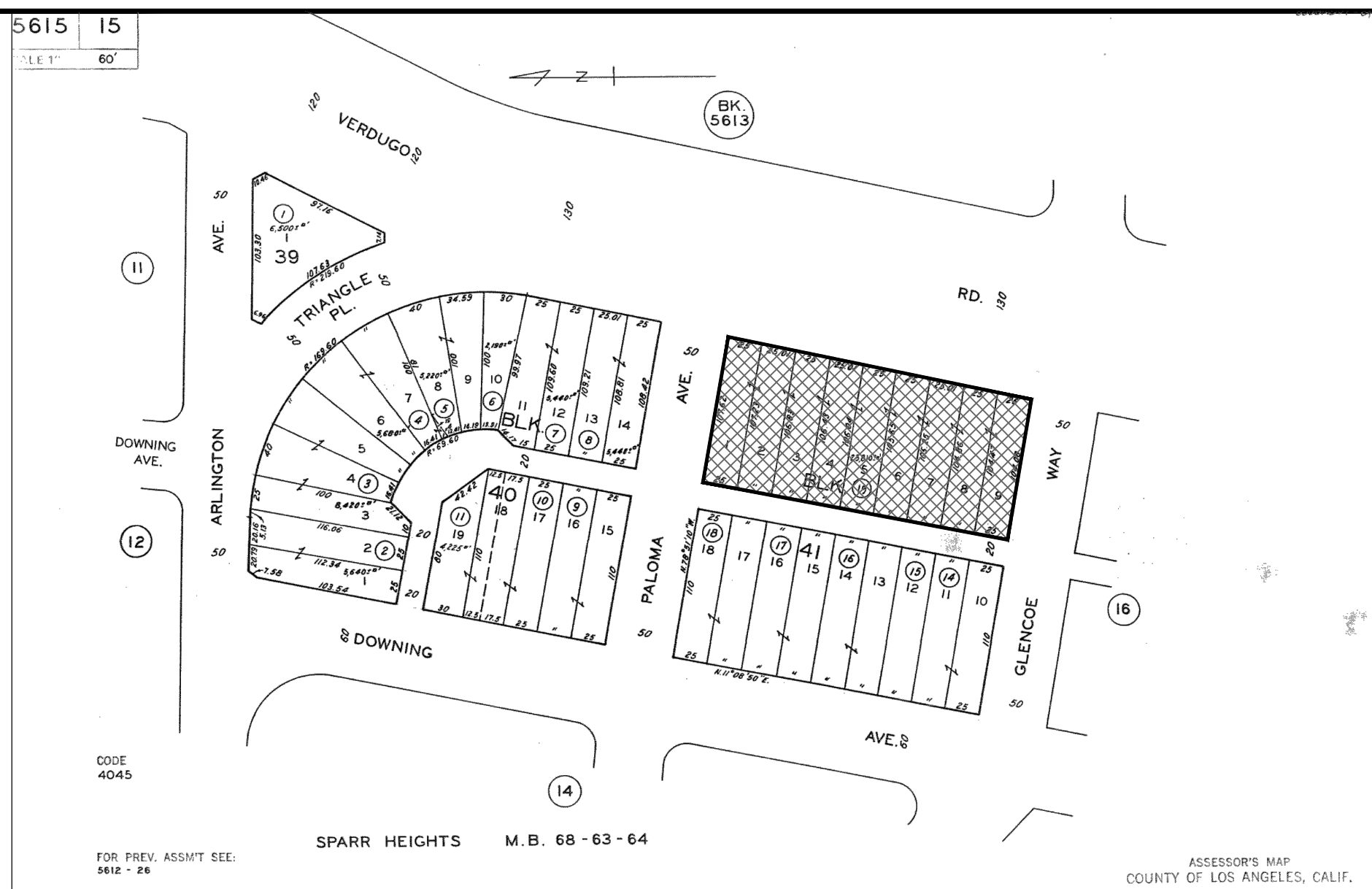
DESIGN STUDIO INC.

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VICINITY MAP



SCOPE OF WORK

ADMINISTRATIVE USE PERMIT
FOR THE SALES, SERVICE AND CONSUMPTION OF ALCOHOL
(BEER , WINE AND FULL LIQUOR)

NO CHANGE IN THE USE
NO ADDITIONAL FOOTAGE ADDED
MECH'L , ELECL AND PLUMBING UNDER SEPARATE PERMIT

Stamp and Signature

Project Name and Location

HILL RESTAURANT

3313 N VERDUGO RD.
GLENDALE , CA 91208

PROJECT DATA

PROPERTY TYPE	COMMERCIAL
LOT AREA	2,460.0 SQ/FT
ASSESSOR PARCEL NUMBER	5615-015-019
TRACT NUMBER	SPARR HEIGHTS
LOT NUMBER	LOTS 1 TRU LOT 9, BLK 41
ZONING	C3 1

AREA TABULATION

LOT AREA	23,810.0 SQ/FT
EXISTING BUILDING FLOOR AREA	11,819.0 SQ/FT
HILL RESTAURANT AREA	2,740.0 SQ/FT
TYPE OF CONSTRUCTION	V-B
NUMBER OF STORIES	TWO STORY
OCCUPANCY GROUP	A-2
HIGH FIRE / HAZARD ZONE	NO
FIRE SPRINKLERS	NO
PARKING	15 - COMPACT PARKING 39 - STANDARD PARKING 2 - ADA PARKING <hr/> TOTAL 56 PARKING

REFERENCE CODE

CALIFORNIA BUILDING CODE (C.B.C.) 2022
 CITY OF GLENDALE BUILDING CODE (G.B.C.) 2022
 CITY OF GLENDALE FIRE CODE (G.F.C.) 2022
 TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC) , CALIFORNIA MECHANICAL CODE (CMC) , CALIFORNIA PLUMBING CODE (CPC) , CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEnc) , AND CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC).

ADA NOTES

"AMERICAN WITH DISABILITIES ACT (ADA) ARE FEDERAL OBLIGATIONS ONLY AND IS NOT REVIEWED BY LOCAL ENFORCEMENT AGENCIES. THIS PROJECT SHALL COMPLY WITH THE DISABLED ACCESS PROVISIONS SET FORTH IN THE CURRENT CALIFORNIA BUILDING CODE (CBC). IT IS THE PROPERTY OWNER'S AND THEIR AGENT'S RESPONSIBILITY TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES." REMOVE ALL NOTES AND DETAILS REFERENCING ADA AND/OR REPLACE WITH THE TERM ACCESSIBILITY, ACCESSIBLE AND/OR DISABLED ACCESS PER 11B CBC. NOT ALL CODE REQUIREMENTS ARE SHOWN BELOW AND SOME ARE FOR INFORMATION PURPOSE ONLY. SEE PLANS FOR ANY ADDITIONAL COMMENTS.

NOTE :

THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL - BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.

SHEET INDEX

ARCHITECTURAL	
A-0.0	COVER SHEET
A-1.0	SITE PLAN
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A-1.2	SITE PHOTOS
A-2.0	SEMISUBTERRANEAN PARKING FLOOR PLAN
A-2.1	HILL RESTAURANT FLOOR PLAN

NO.	ISSUED FOR:	DATE:
	B & S SUBMITTAL	

JOB NO.:	2301-A61
DRAWN BY:	A.A.
CHECKED BY:	A.A.
DATE:	06-22-23

Sheet Description

SITE PLAN

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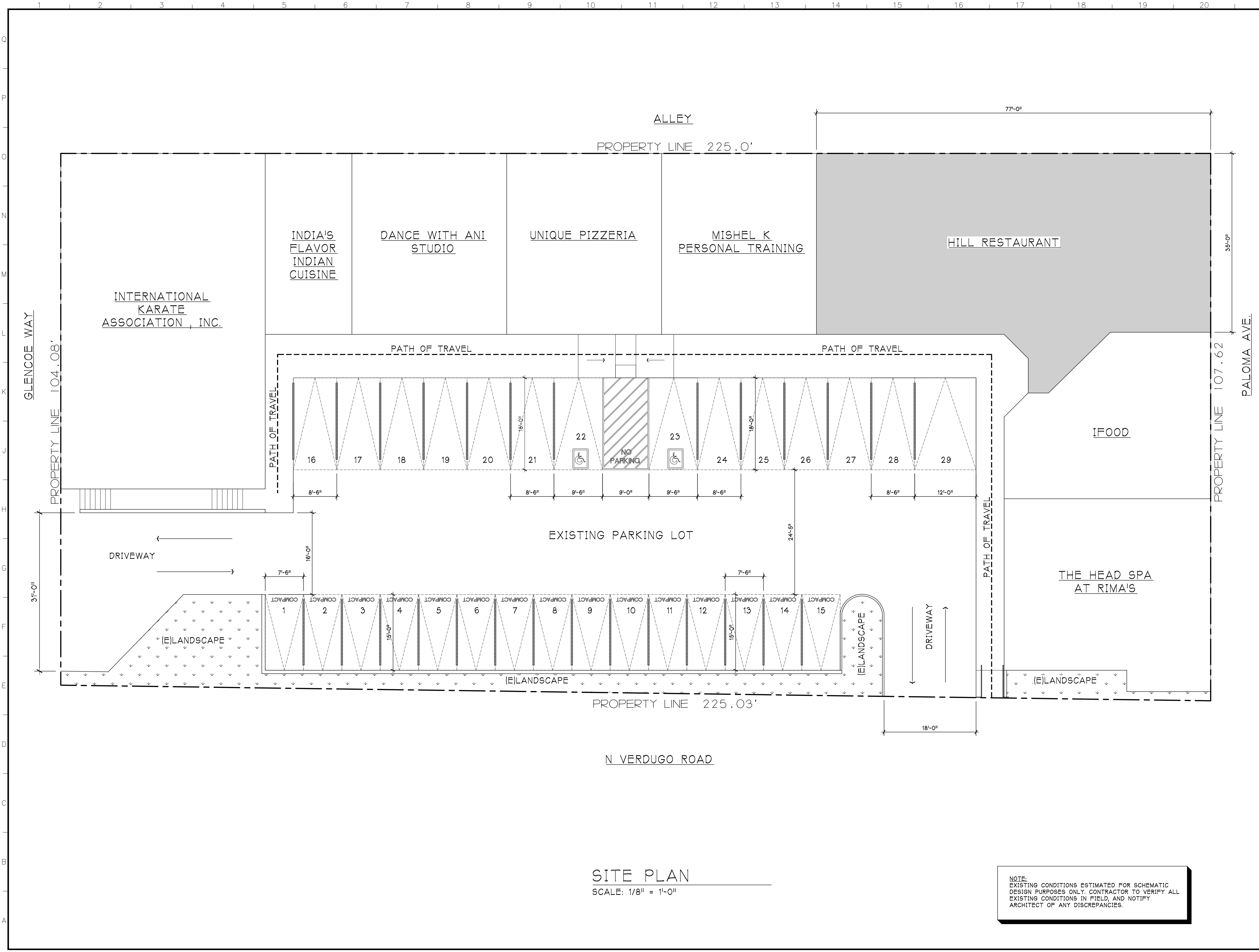
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SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE:
EXISTING CONDITIONS ESTIMATED FOR SCHEMATIC DESIGN PURPOSES ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

Stamp and Signature

Project Name and Location

HILL RESTAURANT
3313 N VERDUGO RD.
GLENDALE, CA 91208

NO.	ISSUED FOR:	DATE:
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JOB NO.:	2301-A61
DRAWN BY:	A.A.
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Sheet Description

COLORED SITE PLAN

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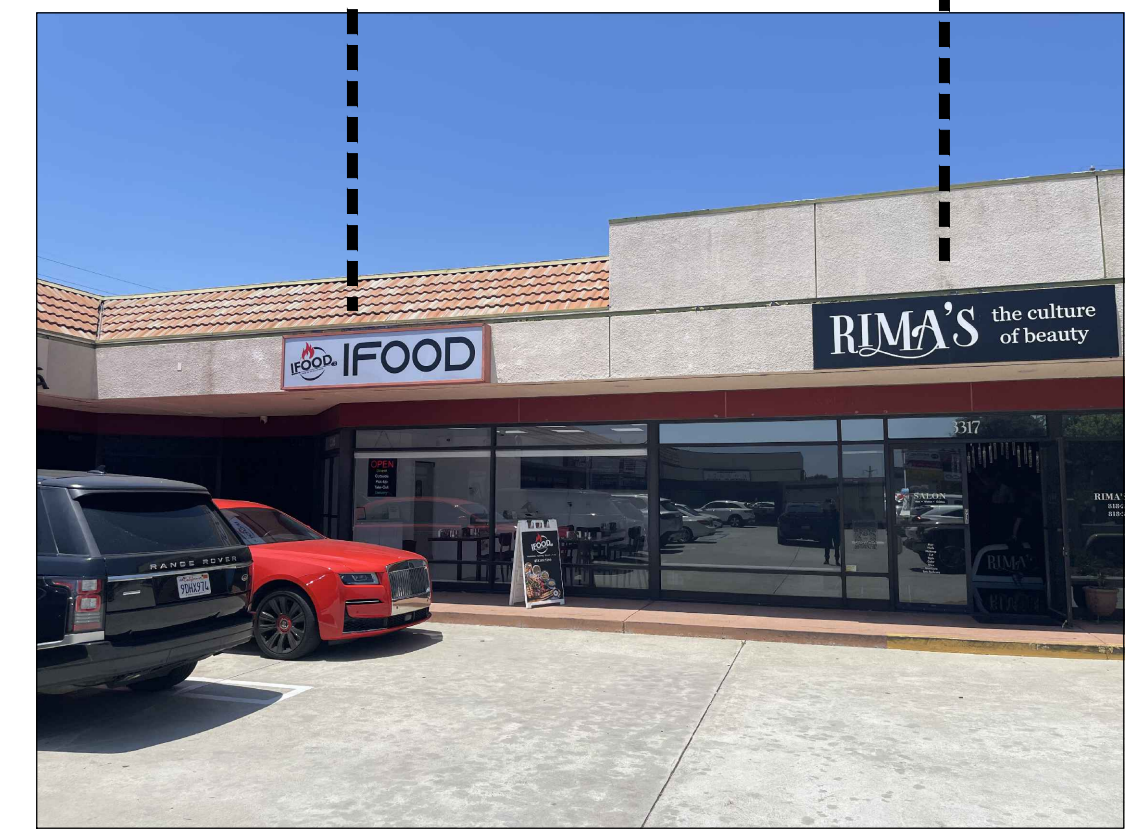
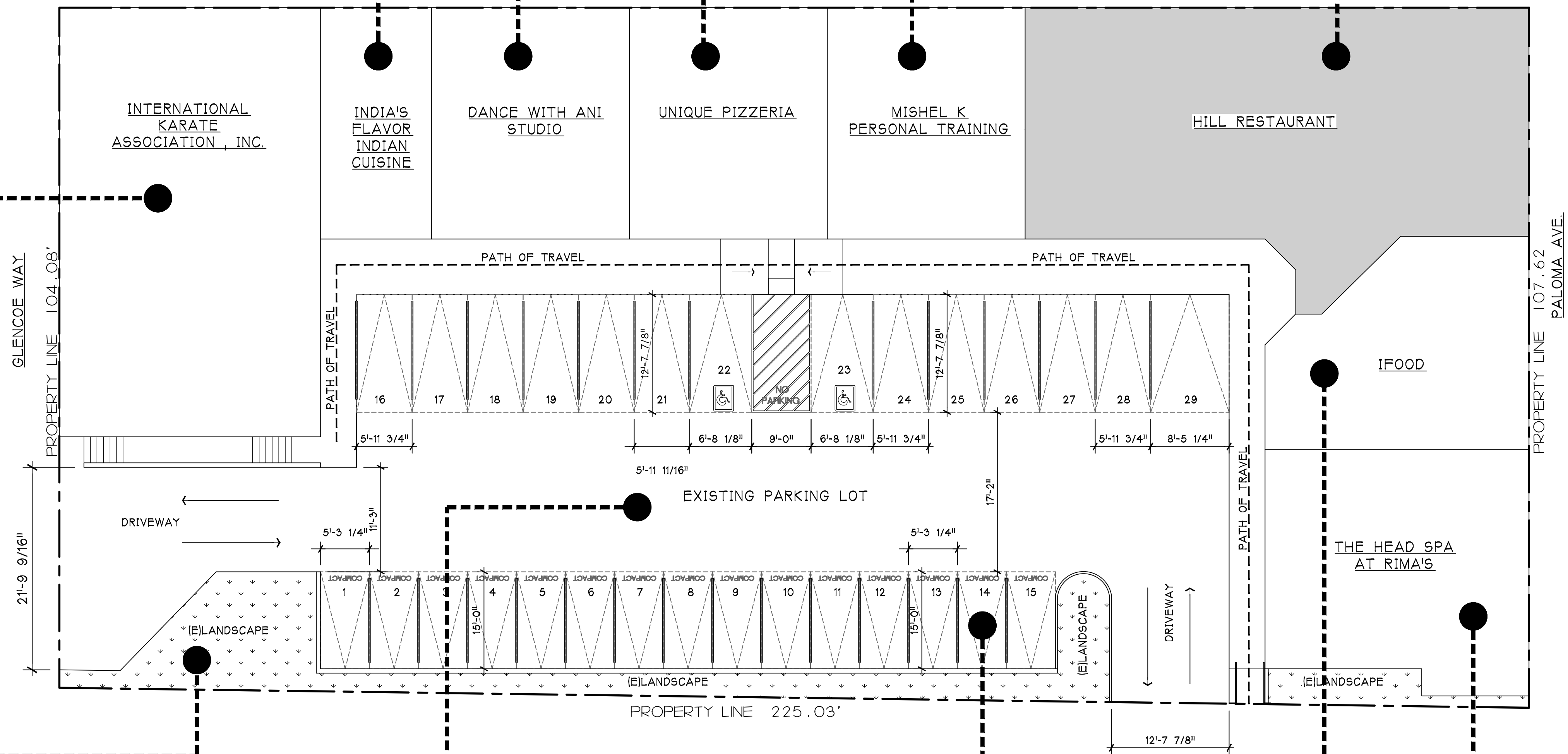
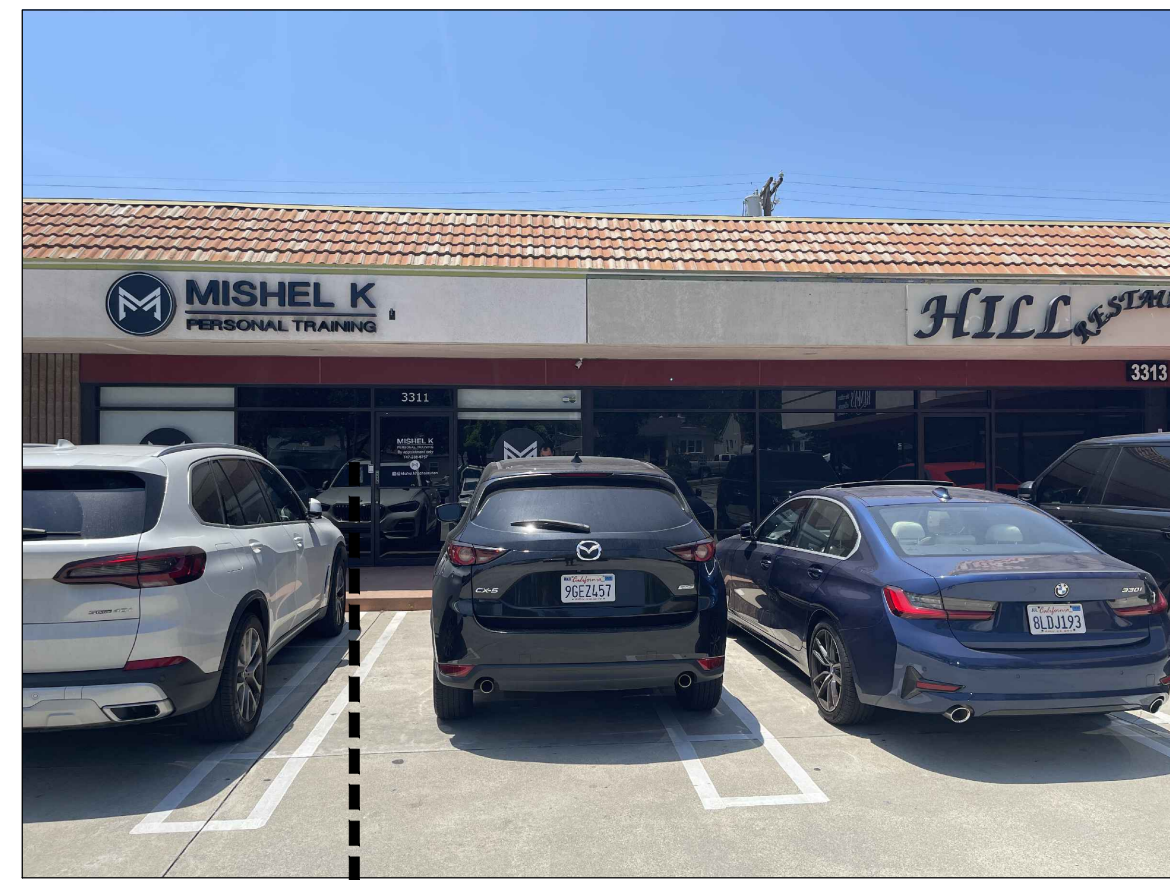
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JOB NO.:	2301-A61
DRAWN BY:	A.A.
CHECKED BY:	A.A.
DATE:	06-22-23

Sheet Description

PHOTOS

Sheet Number

A-1.2

Sheet Of

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GLENDALE, CA 91208

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JOB NO.:	2301-A61
DRAWN BY:	A.A.
CHECKED BY:	A.A.
DATE:	06-22-23

Sheet Description

FLOOR PLAN

Sheet Number

A-2.0

Sheet Of

ALLEY

TRASH

(E)ELEC.
ROOM

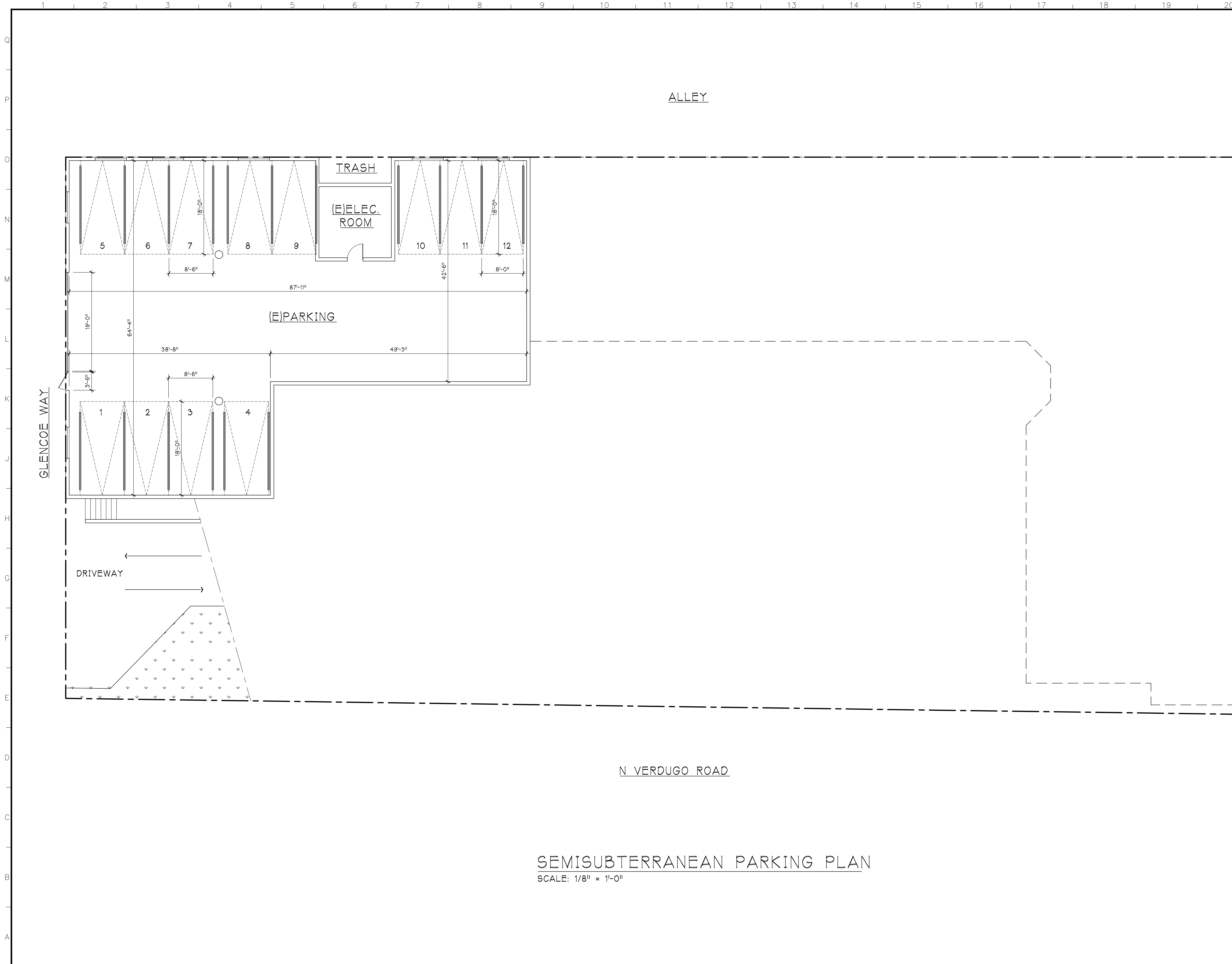
(E)PARKING

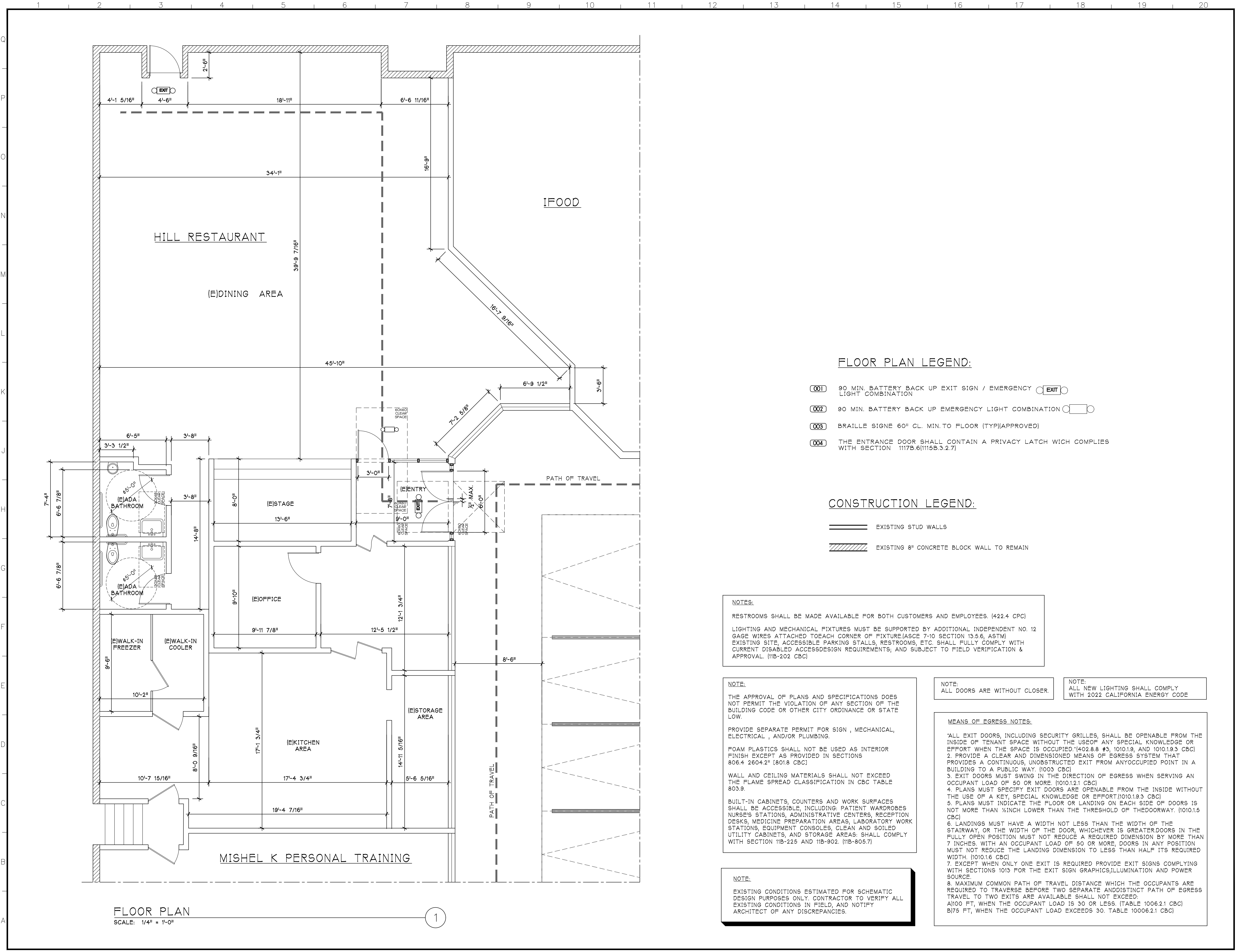
DRIVEWAY

N VERDUGO ROAD

SEMISUBTERRANEAN PARKING PLAN

SCALE: 1/8" = 1'-0"





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 GLENDALE, CA 91208

FLOOR PLAN LEGEND:

- 001 90 MIN. BATTERY BACK UP EXIT SIGN / EMERGENCY LIGHT COMBINATION
- 002 90 MIN. BATTERY BACK UP EMERGENCY LIGHT COMBINATION
- 003 BRAILLE SIGN 60" CL. MIN. TO FLOOR (TYP) APPROVED
- 004 THE ENTRANCE DOOR SHALL CONTAIN A PRIVACY LATCH WHICH COMPLIES WITH SECTION 1117B.6(1)115B.3.2.7

CONSTRUCTION LEGEND:

- EXISTING STUD WALLS
- EXISTING 8" CONCRETE BLOCK WALL TO REMAIN

NOTES:
 RESTROOMS SHALL BE MADE AVAILABLE FOR BOTH CUSTOMERS AND EMPLOYEES. (422.4 CPC)
 LIGHTING AND MECHANICAL FIXTURES MUST BE SUPPORTED BY ADDITIONAL INDEPENDENT NO. 12 GAGE WIRES ATTACHED TO EACH CORNER OF FIXTURE (ASCE 7-10 SECTION 13.5.6, ASTM)
 EXISTING SITE, ACCESSIBLE PARKING STALLS, RESTROOMS, ETC. SHALL FULLY COMPLY WITH CURRENT DISABLED ACCESS DESIGN REQUIREMENTS; AND SUBJECT TO FIELD VERIFICATION & APPROVAL. (11B-202 CBC)

NOTE:
 THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.

NOTE:
 ALL DOORS ARE WITHOUT CLOSER.

NOTE:
 ALL NEW LIGHTING SHALL COMPLY WITH 2022 CALIFORNIA ENERGY CODE

PROVIDE SEPARATE PERMIT FOR SIGN, MECHANICAL, ELECTRICAL, AND/OR PLUMBING.
 FOAM PLASTICS SHALL NOT BE USED AS INTERIOR FINISH EXCEPT AS PROVIDED IN SECTIONS 806.4 2604.2" (801.8 CBC)
 WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN CBC TABLE 803.9.
 BUILT-IN CABINETS, COUNTERS AND WORK SURFACES SHALL BE ACCESSIBLE, INCLUDING: PATIENT WARDROBES, NURSE'S STATIONS, ADMINISTRATIVE CENTERS, RECEPTION DESKS, MEDICINE PREPARATION AREAS, LABORATORY WORK STATIONS, EQUIPMENT CONSOLES, CLEAN AND SOILED UTILITY CABINETS, AND STORAGE AREAS. SHALL COMPLY WITH SECTION 11B-225 AND 11B-902. (11B-805.7)

MEANS OF EGRESS NOTES:
 1. ALL EXIT DOORS, INCLUDING SECURITY GRILLES, SHALL BE OPENABLE FROM THE INSIDE OF TENANT SPACE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED. (402.8.8 #3, 1010.1.9, AND 1010.1.9.3 CBC)
 2. PROVIDE A CLEAR AND DIMENSIONED MEANS OF EGRESS SYSTEM THAT PROVIDES A CONTINUOUS, UNOBSTRUCTED EXIT FROM ANY OCCUPIED POINT IN A BUILDING TO A PUBLIC WAY. (1003 CBC)
 3. EXIT DOORS MUST SWING IN THE DIRECTION OF EGRESS WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE. (1010.1.21 CBC)
 4. PLANS MUST SPECIFY EXIT DOORS ARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. (1010.1.9.3 CBC)
 5. PLANS MUST INDICATE THE FLOOR OR LANDING ON EACH SIDE OF DOORS IS NOT MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. (1010.1.5 CBC)
 6. LANDINGS MUST HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY, OR THE WIDTH OF THE DOOR, WHICHEVER IS GREATER. DOORS IN THE FULLY OPEN POSITION MUST NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WITH AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION MUST NOT REDUCE THE LANDING DIMENSION TO LESS THAN HALF ITS REQUIRED WIDTH. (1010.1.6 CBC)
 7. EXCEPT WHEN ONLY ONE EXIT IS REQUIRED PROVIDE EXIT SIGNS COMPLYING WITH SECTIONS 1013 FOR THE EXIT SIGN GRAPHICS, ILLUMINATION AND POWER SOURCE.
 8. MAXIMUM COMMON PATH OF TRAVEL DISTANCE WHICH THE OCCUPANTS ARE REQUIRED TO TRAVERSE BEFORE TWO SEPARATE AND DISTINCT PATH OF EGRESS TRAVEL TO TWO EXITS ARE AVAILABLE SHALL NOT EXCEED:
 A) 100 FT, WHEN THE OCCUPANT LOAD IS 30 OR LESS. (TABLE 1006.2.1 CBC)
 B) 75 FT, WHEN THE OCCUPANT LOAD EXCEEDS 30. (TABLE 1006.2.1 CBC)

NOTE:
 EXISTING CONDITIONS ESTIMATED FOR SCHEMATIC DESIGN PURPOSES ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

1

NO.	ISSUED FOR:	DATE:
	B & S SUBMITTAL	
REV	BY:	DATE:
△		
△		

JOB NO.:	2301-A61
DRAWN BY:	A.A.
CHECKED BY:	A.A.
DATE:	06-22-23

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 11/6/2023 **DUE DATE:** 11/20/23
NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Shoghig Yepremian, planner **Tel. #** 8135

PROJECT ADDRESS: 3313 N. Verdugo Road

Applicant: Arman Abgaryan, A61 Design Studio Inc.

Property Owner: Jayma Lovejoy and Pamela Robinson

PROJECT DESCRIPTION: The applicant has filed for an Administrative Use Permit to allow the service, sale and consumption of full alcohol (Type 47) at an existing full-service restaurant.

PLEASE CHECK:

- | | |
|---|--|
| <p><input type="checkbox"/> A. CITY ATTORNEY</p> <p><input type="checkbox"/> B. COMMUNITY DEVELOPMENT:</p> <p><input checked="" type="checkbox"/> (1) Building & Safety</p> <p><input checked="" type="checkbox"/> (2) Neighborhood Services</p> <p><input type="checkbox"/> (3) Design Review & Historic</p> <p><input type="checkbox"/> (4) Economic Development</p> <p><input type="checkbox"/> (5) Housing</p> <p><input type="checkbox"/> (6) Urban Design & Mobility</p> <p><input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:</p> <p><input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p><input type="checkbox"/> F. GLENDALE WATER & POWER:</p> <p><input type="checkbox"/> (1) Water</p> <p><input type="checkbox"/> (2) Electric</p> | <p><input type="checkbox"/> G. INFORMATION SERVICES
(Wireless Telecom)</p> <p><input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):</p> <p><input type="checkbox"/> (1) Engineering & Land Development</p> <p><input type="checkbox"/> (2) Traffic</p> <p><input type="checkbox"/> (3) Facilities (city projects only)</p> <p><input type="checkbox"/> (4) Integrated Waste</p> <p><input type="checkbox"/> (5) Maintenance Services/Urban Forester</p> <p><input checked="" type="checkbox"/> J. GLENDALE POLICE</p> <p><input type="checkbox"/> K. OTHER:</p> <p><input checked="" type="checkbox"/> (1) STATE-Alcohol Beverage Control (ABC)</p> <p><input type="checkbox"/> (2) Tribal Consultations (EIFs)</p> <p><input type="checkbox"/> (3) City Clerk's Office</p> |
|---|--|

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
AUP/CUP Case No.: PAUP-002384-2023
ADR/DRB Case No.: _____

Tentative Tract/Parcel Map No.: _____
Zone Change/GPA: _____
Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project Address: 3313 N. Verdugo Road	Project Case No.: PAUP-002384-2023
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If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: 11/17/2023

Print Name: Jessica Sada **Title:** Administrative Associate
Dept. Neighborhood Services, CDD Tel.:818-937-8167

a. ADDITIONAL COMMENTS:

- 1. There is a code enforcement case with the City Attorney's office.
Case # NCONST2114080
Assigned inspector: Michael Chong, Senior Code Compliance Inspector, ext. 8172.

Violations:

Violation Code: GMC.30.50.130
Code Description: Landscaping Required (RMU)

Violation Code: GMC.30.33.050
Code Description: Permits required

Violation Code: BSC.V1.105.1
Code Description: Permits - Required

Violation Code: GMC.5.16.020.A
Code Description: Entertainment Business License Required

Violation Code: GMC.30.12.020.C
Code Description: Commercial district land uses and requirements-Administrative Uses and Structures

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

**INTERDEPARTMENTAL COMMUNICATION
ENVIRONMENTAL IMPACT COMMENTS**

(PLEASE SEND OUT THIS FORM ONLY WHEN ENVIRONMENTAL IMPACT COMMENTS ARE NEEDED.)

Location: _____

_____ The project **would not** have adverse environmental effects on areas regulated by this Division/Section.

_____ The project **would** have potential environmental impacts on areas regulated by this Division/Section identified below.

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

POTENTIAL ENVIRONMENTAL IMPACT(S):

PROPOSED MITIGATION MEASURE(S):

The following mitigation measures are required to reduce adverse environmental effects to less than significant. (Please do not include code requirements listed in comment below):

ADDITIONAL COMMENTS:

CASE No.: _____ Property Address: _____

Name/Signature _____ Date: _____

Title: _____ Dept. _____ Tel. (Ext.): _____

POINT PERSON – DEPARTMENTS/DIVISION

CITY ATTORNEY – GILLIAN VAN MUYDEN (Miah Yun and Yvette Neukian, Alternates)

CITY CLERK – KAREN CORTES

COMMUNITY DEVELOPMENT:

Building and Safety – MIROSLAV LHOTSKY

Neighborhood Services – JESSICA SADA

Design Review & Historic (Glendale Register & Historic Districts) – JAY PLATT

Economic Development – MARK BERRY

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Facilities (City projects) – KEVIN TODD

OTHERS:

STATE ABC – PATRICIA HALPIN (Patricia.Halpin@abc.ca.gov),

TRIBAL CONSULTATION (EIF Applications) –

THCP Officer (Tribal Historic and Cultural Preservation Department, Fernandeno Tataviam Band of Mission Indians)

JOSEPH ONTIVEROS (Cultural Resource Director, Soboba Band of Luiseno Indians)

LINDA CANDELARIA (Co-Chairwoman, Gabrielino-Tongva Tribe)

(Sample Letters on Planning Share: [..\..\..\Environmental\Tribal Consultation Sample Letters](#))

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

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FROM: Shoghig Yepremian, planner **Tel. #** 8135

PROJECT ADDRESS: 3313 N. Verdugo Road
 Applicant: Arman Abgaryan, A61 Design Studio Inc.
 Property Owner: Jayma Lovejoy and Pamela Robinson

PROJECT DESCRIPTION: The applicant has filed for an Administrative Use Permit to allow the service, sale and consumption of full alcohol (Type 47) at an existing full-service restaurant.

PLEASE CHECK:

- | | |
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| <p><input type="checkbox"/> A. CITY ATTORNEY</p> <p><input type="checkbox"/> B. COMMUNITY DEVELOPMENT:</p> <p><input checked="" type="checkbox"/> (1) Building & Safety</p> <p><input checked="" type="checkbox"/> (2) Neighborhood Services</p> <p><input type="checkbox"/> (3) Design Review & Historic</p> <p><input type="checkbox"/> (4) Economic Development</p> <p><input type="checkbox"/> (5) Housing</p> <p><input type="checkbox"/> (6) Urban Design & Mobility</p> <p><input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:</p> <p><input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p><input type="checkbox"/> F. GLENDALE WATER & POWER:</p> <p><input type="checkbox"/> (1) Water</p> <p><input type="checkbox"/> (2) Electric</p> | <p><input type="checkbox"/> G. INFORMATION SERVICES
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Tentative Tract/Parcel Map No.: _____
 Zone Change/GPA: _____
 Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project Address: 3313 N. Verdugo Road	Project Case No.: PAUP-002384-2023
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COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: <u>November 7, 2023</u>
Print Name: <u>Alex Krikorian</u>
Title: <u>Lieutenant</u> Dept.: <u>Police</u> Tel.: <u>818-937-8434</u>

a. ADDITIONAL COMMENTS:

- 1. Applicant Arman Abgaryan is in the process of obtaining an Administrative Use Permit to allow the sales, service and consumption of full alcohol (Type 47 liquor license) at an existing full-service restaurant located at 3313 N. Verdugo Road DBA Hill Restaurant.

Hill Restaurant is located in census tract 3006.02 which allows for 3 On-Sale establishments. There are currently 35 On-Sale licenses in the tract. Hill Restaurant will bring the total to 36. Based on arrests and Part 1 crime statistics for census tract 3006.02 in 2021, there were 85 crimes, 49% below the city wide average of 167.

Within the last calendar year there were 8 calls for police service at the location:

- 11/03/22 – Party/Noise complaint (No DR)
- 03/11/23 – Disturbance (female yelling at vacant business, No DR)
- 03/19/23 – Noise Complaint (No DR)
- 03/31/23 – GMC vio (business operating with valet and loud music complaint, No DR)
- 05/27/23 – Disturbance (loud noise and females drinking outside, no activity found, No DR)
- 05/27/23 – Noise Complaint (loud music, No DR)
- 06/09/23 – Disturbance (RP reporting location is operating as a banquet hall and has seen liquor being unloaded into location. No DR)
- 07/02/23 – False Alarm (No DR)

Per the ABC website, there are no “active” or “pending” liquor licenses for this location.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

1. At all times when the premises are open for business, the service of any alcoholic beverage shall be made only in the areas designated with an ABC license. Consumption of alcoholic beverages will only be on those same licensed areas.
2. Sales, service or consumption of alcoholic beverages shall be permitted only between the hours of _____ to _____ each day of the week (*hours to be determined by the Planning / Zoning Administrator – week night and weekend restrictions may be considered*).
3. No patron to any of the business establishments will be allowed to bring into any establishment or maintain in the establishments, any alcoholic beverage unless that alcoholic beverage was purchased within that same establishment unless the facility has an established corkage policy allowing and regulating such.
4. The restaurant shall remain open to the public during business hours. If the establishment has a private party during normal business hours, the restaurant still needs to remain open for business to regular customers.
5. That the proprietor and his/her employees shall make an active and conscientious effort to keep customers and employees from trespassing on other nearby properties or otherwise making disturbances in the area.
6. Those premises may be utilized for banquets, private parties, or other events, provided that all events comply with the provisions of the applicant’s Alcoholic Beverage Control license, and provided they have appropriate Conditional Use Permits and Use Variances if required.
7. There shall be no video machine maintained upon the premises.
8. Dancing is only allowed on the premises in designated dance floor areas, with a proper “Dance” permit.
9. No live entertainment is permitted without a “Live Entertainment Permit”. No karaoke, no bikini activities or events, no lingerie activities or events, no swimwear activities or events, nor any similar activities or events be allowed where partial clothing of male, female or any individual for entertainment is provided.
10. Music or noise shall be contained within the edifice of the establishment. The business shall comply with all state and local laws and ordinances concerning excessive noise and disturbing the peace.
11. The front and back doors of the establishment shall be kept closed at all times while the location is open for business, except in case of emergency.

12. An establishment that primarily provides for the on-premises sale, serving and consumption of alcoholic beverages and that derives more than fifty (50) percent of gross revenues from the sale of alcoholic beverages is by definition of the code a “tavern” and requires approval of a separate conditional use permit. Taverns include bars, pubs, cocktail lounges and similar establishments.
13. Any establishment serving alcoholic beverages which has a dance floor of greater than 200 square feet is considered a nightclub and will require a separate conditional use permit.
14. The sale of beer, wine, and/or distilled spirits for consumption off the premises is strictly prohibited.
15. The Manager and or Staff should be proactive in the enforcement of the City of Glendale Clean Air Act.

**INTERDEPARTMENTAL COMMUNICATION
ENVIRONMENTAL IMPACT COMMENTS**

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