CITY OF GLENDALE, CALIFORNIA
Community Development
Planning

633 E. Broadway, Suite 103
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glendaleca.gov

**January 12, 2024**

**Applicant:**
David Law
C/o Law Design Group
1500 W. Alhambra Road, Suite 6
Alhambra, CA 91801

**RE: Design Review Case No. PADR-000989-2023**
**1614 Don Carlos Avenue**

The Director of Community Development will render a final decision on or after **January 31, 2024** for the following project:

**PROJECT DESCRIPTION**:
To construct a 500 square-foot family room addition at the rear, main level of the existing house and add a new 472 square-foot bedroom suite at the rear, lower level (approximately feet below existing grade) of the existing 2,085 square-foot, two-story single-family house (built in 1926) with an existing 828 square-foot detached garage. Also, the existing raised wood deck attached to the rear of the house will be removed and a new approximately 180 square-foot deck is proposed at the main of the house. The subject site is a 13,875 square-foot lot located in the R1-I (Low Density Residential, Floor Area Ratio District I) zone.

**STAFF RECOMMENDATION: APPROVE WITH CONDITIONS**

***For more information or to submit comments, please contact the case planner, Milca Toledo, at 818-937-8181 or mitoledo@glendaleca.gov.***

Comments must be received prior to **January 31, 2024**, in order to be considered by the Director.

**DECISION:** A decision letter will be posted online on or after the date listed above and may be accessed online at: http://www.glendaleca.gov/planning/decisions. You may also request notification of the decision when the decision is rendered.

Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available online at http://www.glendaleca.gov/appeals.

Sincerely,

Milca Toledo
Senior Planner

**CITY OF GLENDALE, CA**

**DESIGN REVIEW STAFF REPORT – SINGLE FAMILY**

| | |
|---|---|
| **January 31, 2024**<br>*Hearing Date* | **1614 Don Carlos Avenue**<br>*Address* |
| **Administrative Design Review (ADR)**<br>*Review Type* | **5614006012**<br>*APN* |
| **PADR-000989-2023**<br>*Case Number* | **David Law c/o Law Design Group**<br>*Applicant* |
| **Milca Toledo**<br>*Case Planner* | **David Law**<br>*Owner* |

**Project Summary**
To construct a 500 square-foot family room addition at the rear, main level of the existing house and add a new 472 square-foot bedroom suite at the rear, lower level (approximately feet below existing grade) of the existing 2,085 square-foot, two-story single-family house (built in 1926) with an existing 828 square-foot detached garage. Also, the existing raised wood deck attached to the rear of the house will be removed and a new approximately 180 square-foot deck is proposed at the main of the house. The subject site is a 13,875 square-foot lot located in the R1-I (Low Density Residential, Floor Area Ratio District I) zone.

**Environmental Review**
The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing house will not result in an increase of more than 10,000 square feet and all public services and facilities are available.

**Existing Property/Background**
The 13,875 square-foot (SF) rectangular-shape consist of gently sloping terrain, located in the Verdugo Woodlands West neighborhood. Presently, the site is developed with a 2,085 SF, two-story single-family residence (built in 1926) and an enlarged, detached 828 SF garage and a swimming pool at the rear. The house features an existing attic area designed with dormer windows at the front, sides and rear. The area surrounding the site includes single-family residential development. While the property is not identified as a historic resource, however, the English Tudor style home exhibits many original, character-defining features.

**Staff Recommendation**
Approve with Conditions

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**Last Date Reviewed / Decision**
First time submittal for final review.

**Zone: RI FAR District: I**
Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**
Mechanical Equipment Permit No. BM-SFD-001278-2022

**Site Slope and Grading**
Approximately 70 cubic yards of grading is proposed at the rear of the house for purposes of accommodating the bedroom suite addition at the lower level, approximately four feet below grade. The lot gently slopes downward from the street, north to south.

**Neighborhood Survey**

| | Average of Properties within 300 linear feet of subject property | Range of Properties within 300 linear feet of subject property | Subject Property Proposal |
|---|---|---|---|
| Lot size | 12,632 SF | 8,276 SF – 14,374 SF | 13,875 SF |
| Setback | 33 ft. | 29.5 ft. – 43 ft. | 35 ft., 8-inches |
| House size | 2,231SF | 1,236 SF – 3,922 SF | 3,057 SF |
| Floor Area Ratio | .17 | 0.09 - .30 | 0.24 |
| Number of stories | 50% one story, and 50% two stories | 1 and 2 stories | 2 stories |

**DESIGN ANALYSIS**

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**Site Planning**
Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
☐ Setbacks of buildings on site
☐ Prevailing setbacks on the street
☐ Building and decks follow topography

**Garage Location and Driveway**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*

☐ Predominant pattern on block
☐ Compatible with primary structure
☐ Permeable paving material
☐ Decorative paving

Access to the existing garage will remain from Don Carlos Avenue via the existing driveway apron on the east side of the lot.

**Landscape Design**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
☐ Complementary to building design
☐ Maintains existing trees when possible
☐ Maximizes permeable surfaces
☐ Appropriately sized and located

**Walls and Fences**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
☐ Appropriate style/color/material
☐ Perimeter walls treated at both sides
☐ Retaining walls minimized
☐ Appropriately sized and located

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The site plan remains relatively unchanged. The existing raised wood deck at the rear of the house will be removed and a new 500 square-foot addition at the home's main level, a new 472 square-foot master bedroom suite at the lower level and a 138 square-foot outdoor terrace are all proposed at the rear of the existing house.
- The new addition will be setback approximately 14 feet from the west interior property line and approximately 16 feet from the east interior property. The new addition at the rear will not be visible from the street. Overall, the proposed setbacks are appropriate to the site and the neighborhood.
- The existing garage is and will remain located towards the rear of the lot and accessed from the existing driveway on the east side of the property, appropriate to the site and the neighborhood.
- A new 138 square-foot outdoor raised deck is proposed at the rear of the house at the main (upper) level of the house, overlooking the backyard. The new raised deck is appropriately located on the site and respects the privacy of adjacent residential development.

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**Massing and Scale**
Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*
- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

**Building Relates to Existing Topography**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*
- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

**Consistent Architectural Concept**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*
- ☐ Concept governs massing and height

**Scale and Proportion**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*
- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

**Roof Forms**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*
- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the project are consistent with the existing residence.

- The mass and scale of the family room addition at the main (upper) level and the new master suite addition at the lower level are compatible with those of adjoining and nearby properties in the neighborhood. The additions are proposed at the rear of the house, not visible from the street.
- The existing house is and will remain two stories. The mass and scale of the addition appropriately relate to the existing house and surrounding context. The height of the addition will be approximately 16 feet, significantly lower than the existing overall building height of approximately 25 feet.
- The addition will provide appropriate setbacks from the east and west interior property lines of 14'-9" and 16'-10" at the side façades to avoid an overbearing presence toward the neighbors and provide a visual indication that it is an addition to the original house.
- The addition features a flat roof design and a 14-foot by 7-foot skylight in the middle. The roof reinforces the design concept appropriate to the existing house and the neighborhood.
- The proportions of the addition are modest and do not have a monumental appearance. As previously mentioned, the addition to the house is located at the rear of the existing house and will not be visible form the street. The height of the addition is significantly lower than the existing roof, and the sides of the addition are setback further than the existing building wall on the east and west sides. Overall, the facades are appropriately articulated through setbacks, stepping back the addition from the sides, breaks in plane, roof forms, balcony, use of fenestration, and architectural details. The building's proper use of design elements appropriately complements and integrates with the existing house and the neighborhood.

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**Design and Detailing**
Are the following items satisfactory and compatible with the project site and surrounding area?

**Overall Design and Detailing**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*

☐ Consistent architectural concept
☐ Proportions appropriate to project and surrounding neighborhood
☐ Appropriate solid/void relationships

The design of the addition at the rear appropriately integrates with the existing house and features architectural details consistent with the English Tudor style of the house.

**Entryway**
☒ **yes** ☐ **n/a** ☐ **no**

*If "no" select from below and explain:*

☐ Well integrated into design
☐ Avoids sense of monumentality
☐ Design provides appropriate focal point
☐ Doors appropriate to design

The front entry is and will remain in its current form. The project does not involve changes to the front entry. Therefore, no changes are proposed to the front façade and main front entry to the house.

**Windows**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

**Privacy**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
- ☐ Consideration of views from "public" rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

**Finish Materials and Color**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

**Paving Materials**
**☐ yes ☒ n/a ☐ no**

*If "no" select from below and explain:*
- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

**Lighting, Equipment, Trash, and Drainage**
**☒ yes ☐ n/a ☐ no**

*If "no" select from below and explain:*
- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

**Ancillary Structures**
**☐ yes ☒ n/a ☐ no**

*If "no" select from below and explain:*

☐ Design consistent with primary structure
☐ Design and materials of gates complement primary structure

**Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition's design and detailing are compatible with the English Tudor style of the house through the use of architectural treatments, materials, windows, and color to match existing.
- The aluminum clad wood framed windows for the addition are similar to existing. Their operation will be casement, nail-in frame, and they will be recessed within the opening with a wood frame and sill underneath. The existing windows on the rest of the house will remain unchanged. A condition is included to provide window sections depicting a typical opening.
- The exterior finish of the addition consists of smooth plaster painted similar to a sand color, appropriately matching the new paint color on the house.
- The new 138 square-foot outdoor raised deck located at the rear of the house would not compromise the privacy of adjacent residences.

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**Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions.** This determination is based on the implementation of the following recommended conditions:

**Conditions**

1. Submit window sections depicting a typical opening, recessed within the opening with a wood frame and sill underneath.
2. Ensure that all gutters and downspouts are appropriately located on the building, painted to match the adjacent wall color.
3. Show light fixtures on the addition that complements and matches the existing Tudor style of the house. And provide a cutsheet of the light fixture for staff review and approval.

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**Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

# HERBST ADDITION

## 1614 DON CARLOS AVE., GLENDALE, CA 91208

## CODES & NOTES

GOVERNING BUILDING CODES:
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA BUILDING CODE (CBC) (STRUCTURAL ONLY)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE (BEES)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
LOCAL JURISDICTIONAL AMENDMENTS

GENERAL NOTES:
1. PROVIDE PORTABLE TOILET & HAND WASH STATION PER OSHA REGULATIONS.

2. HOUSE NUMBER SHALL BE MOUNTED TO THE HOUSE & SHALL BE VISIBLE & LEGIBLE FROM THE STREET IN A CONTRASTING COLOR, 4" TALL MIN.

3. SPECIAL INSPECTOR SHALL REGISTER WITH THE CITY.

## CONSULTANTS


ARCHITECT:
DAVID A. LAW
LAW DESIGN GROUP, INC.
LICENSE # C37473
1500 W. ALHAMBRA RD. SUITE #6, ALHAMBRA, CA 91801
626.529.3800


PLANNING NOTES:
1. NO OTHER APPROVALS ARE GRANTED. ANY CONSTRUCTION OR LAND USE CONTRADICTORY TO THE GMC IS NOT APPROVED BY THIS PERMIT.
2. ANY NEW FENCES, GATES, OR WALLS FOR WHICH A BUILDING PERMIT IS NOT REQUIRED SHALL REQUIRE ZONING/DESIGN REVIEW APPROVAL PRIOR TO CONSTRUCTION.
3. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.
4. NO NEW ROOFTOP EQUIPMENT IS ALLOWED

## SHEET INDEX



## PLAN CHECK NOTES CONT.

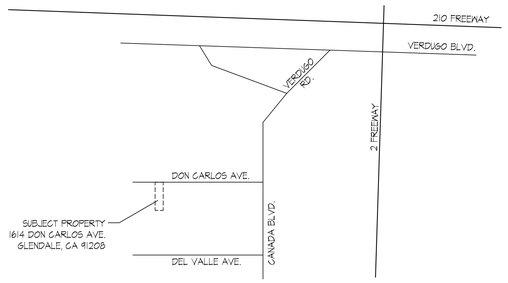
SECURITY REQUIREMENTS
1. EXTERIOR DOORS, DOORS BETWEEN A HOUSE AND A GARAGE, WINDOWS AND THEIR HARDWARE SHALL CONFORM TO THE SECURITY PROVISIONS OF CHAPTER 67 OF THE COUNTY OF LOS ANGELES BUILDING CODE. A. SINGLE SWINGING DOORS, ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A LATCH AND A DEADBOLT. IF THE LATCH HAS A KEY-LOCKING FEATURE, A DEAD LATCH SHALL BE USED. THE DEADBOLT LOCK SHALL BE KEY OPERATED FROM THE EXTERIOR SIDE OF THE DOOR, AND OPERATED FROM THE INTERIOR SIDE OF THE DOOR BY A DEVICE NOT REQUIRING A KEY, TOOL, OR EXCESSIVE FORCE. DEADBOLTS SHALL HAVE A HARDENED INSERT WITH 1" MINIMUM THROW AND 5/8" MINIMUM EMBEDMENT INTO THE JAMB. (BG 6709.2)
B. INACTIVE LEAF OF A PAIR OF DOORS AND THE UPPER LEAF OF DUTCH DOORS SHALL HAVE A DEADBOLT AS PER PARAGRAPH "A", UNLESS IT IS NOT KEY OPERATED FROM THE EXTERIOR, OR HAS A HARDENED DEADBOLT AT TOP AND BOTTOM WITH ½" EMBEDMENT. (BG 6709.3)
C. SWINGING WOOD DOOR(S) SHALL BE SOLID CORE NOT LESS THAN 1-3/8" THICK. (BG 6709.11)
D. PANELS OF WOOD DOORS SHALL BE 9/16" THICK AND NOT MORE THAN 300 SQ. INCHES. STILES AND RAILS TO BE 1-3/8" THICK AND 3" MINIMUM WIDTH. (BG6709.12)
E. DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE. (BG 6709.5)
F. DOOR STOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE PIECE CONSTRUCTION OR JOINED BY A RABBET. (BG 6709.4)
G. WINDOWS AND DOOR LIGHTS WITHIN 40" OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED/APPROVED BURGLARY RESISTANT/PROTECTED BY BARS, SCREENS OR GRILLS. (BG 6714)
H. OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK, A PADLOCK WITH A HARDENED STEEL SHACKLE OR EQUIVALENT WHEN NOT OTHERWISE LOCKED BY ELECTRIC POWER OPERATION. JAMB LOCKS SHALL BE ON BOTH JAMBS FOR DOORS EXCEEDING 9 FEET IN WIDTH (BG 6711)
I. SLIDING GLASS DOORS AND SLIDING GLASS WINDOWS SHALL BE CAPABLE OF WITHSTANDING THE TESTS SET FORTH IN SECTION 6706 AND 6707 OF THE LOS ANGELES COUNTY BUILDING CODE AND SHALL BEAR A LABEL INDICATING COMPLIANCE WITH THESE TESTS. LOCKING DEVICES ON SLIDING GLASS DOORS COMPLYING WITH SECTION 1010 AND 1030, AND EMERGENCY EGRESS WINDOWS COMPLYING WITH SECTION 1030, SHALL BE RELEASABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR EXCESSIVE FORCE. (BG 6710, 6715)

CONSTRUCTION REQUIREMENTS
2. NOTCHING OF STUDS IN EXTERIOR OR BEARING WALLS SHALL NOT EXCEED 25% OF ITS WIDTH. NOTCHING OF STUDS IN NON-BEARING WALLS SHALL NOT EXCEED 40% OF ITS WIDTH. BORED HOLES IN STUDS SHALL NOT EXCEED 60% OF ITS WIDTH. SHALL NOT BE CLOSER THAN 5/8" TO THE EDGE OF THE STUD, AND SHALL NOT BE LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR OR BEARING WALLS SHALL BE DOUBLED IF BORED OVER 40% AND UP TO 60% OF ITS WIDTH. (R 602.6)
3. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200, AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25, AND A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450. (R 302.9, 302.10)
4. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF COMBUSTIBLE STUD WALLS, PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL, AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL, AND BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM. (R 302.11)
5. DUCTS INSTALLED UNDER A FLOOR IN A CRAWL SPACE SHALL NOT PREVENT ACCESS TO AN AREA OF THE CRAWL SPACE. WHERE IT IS REQUIRED TO MOVE UNDER DUCTS FOR ACCESS TO AREAS OF THE CRAWL SPACE, A VERTICAL CLEARANCE OF 18" MINIMUM SHALL BE PROVIDED. (MC 603.1)
6. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH (NO. 26 GALVANIZED SHEET). (R 903.2.1)
7. ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. WOOD STRUCTURAL PANEL SHEATHING SHALL COMPLY WITH SECTION R803.2. (R 803)
8. END JOINTS IN LUMBER USED AS SUBFLOORING SHALL OCCUR OVER SUPPORTS, UNLESS END-MATCHED LUMBER IS USED, IN WHICH CASE EACH PIECE SHALL BEAR ON NOT LESS THAN TWO JOISTS. WOOD STRUCTURAL PANEL SHEATHING USED FOR STRUCTURAL PURPOSES SHALL COMPLY WITH SECTION R503.2. (R 503)

GLAZING REQUIREMENTS
9. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING PER SECTION R308:
A. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
B. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS: 1. WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
2. WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
C. WINDOW GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
2. THE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR.
3. THE TOP EDGE IS MORE THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
D. GLAZING IN GUARDS, RAILINGS, STRUCTURAL BALUSTER PANELS, AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
E. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS, WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
1. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE ANY STANDING OR WALKING SURFACE.
2. THE GLAZING IS WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A HOT TUB, SPA, WHIRLPOOL, BATHTUB, OR SWIMMING POOL, OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM.
F. GLAZING ADJACENT TO STAIRS AND RAMPS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS, AND RAMPS, UNLESS THE GLAZING IS 36 INCHES OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE, OR A RAIL IS DESIGNED PER SECTION R308.4.6.
G. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60-INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING, UNLESS THE GLAZING IS MORE THAN 18 INCHES FROM A PROTECTIVE GUARD PER SECTION R312.

MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS
10. DWELLING SHALL BE PROVIDED WITH COMFORT HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS. (R303.9)
11. THE FOLLOWING ARE REQUIRED FOR CENTRAL HEATING FURNACES AND LOW-PRESSURE BOILERS IN A COMPARTMENT:
A. LISTED APPLIANCES SHALL BE INSTALLED WITH CLEARANCES IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (MC 904.2(1))
B. UNLISTED APPLIANCES SHALL MEET BOTH THE CLEARANCES IN TABLE 904.2, AND THE CLEARANCES ALLOWED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (MC 904.2(2))
C. WHEN COMBUSTION AIR IS TAKEN FROM INSIDE, THE FREE AREA OF COMBUSTION AIR OPENINGS SHALL BE 1 SQ. INCH PER 1,000 BTU (100 SQ. INCH MINIMUM) PER OPENING. ONE OPENING SHALL BE WITHIN 12 INCHES OF THE TOP OF THE ENCLOSURE AND THE SECOND SHALL BE WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE. THE DIMENSION SHALL NOT BE LESS THAN 3 INCHES. (MC 701.5(1))

## PROJECT LOCATION




## PLAN CHECK NOTES

D. NOT LESS THAN 1/4 OF AN INCH SCREEN MESH IS REQUIRED AT OPENINGS WHERE COMBUSTION AIR IS TAKEN FROM THE OUTSIDE. (MC 701.10(1))
E. SEPARATE DUCTS SHALL BE USED FOR UPPER AND LOWER COMBUSTION AIR OPENINGS, AND MAINTAINED TO THE SOURCE OF COMBUSTION AIR. (MC 701.11(4))

12. THE FOLLOWING ARE REQUIRED FOR APPLIANCES INSTALLED IN AN ATTIC.
A. AN OPENING AND PASSAGEWAY SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES, AND NOT LESS THAN THE SIZE OF THE LARGEST COMPONENT OF THE APPLIANCE. (MC 304.4)
B. WHERE THE PASSAGEWAY HEIGHT IS LESS THAN 6 FEET, THE DISTANCE FROM ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20 FEET, AS MEASURED ALONG THE CENTERLINE. (MC 304.4.1)
C. PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24 INCHES WIDE FROM ENTRANCE TO APPLIANCE. (MC 304.4.2)
D. A LEVEL WORKING PLATFORM NOT LESS THAN 30 INCHES BY 30 INCHES IS REQUIRED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (MC 304.4.3)
E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. LIGHT SWITCH SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (MC 304.4.4)
F. A TYPE B OR L GAS VENT SHALL TERMINATE NOT LESS THAN 5 FEET ABOVE THE HIGHEST CONNECTED APPLIANCE FLUE COLLAR OR DRAFT HOOD. (MC 802.6.2.1)
G. APPLIANCE INSTALLATION SHALL MEET ALL LISTED CLEARANCES. (MC 303.1)

13. CLOTHES DRYER EXHAUST DUCT SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING IN ACCORDANCE WITH SECTION 502.2.1 AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION. (MC 504.4)
14. CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL BE 4 INCHES IN DIAMETER AND IS LIMITED TO A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (MC 504.4.2)
15. APPLIANCES (WATER HEATER, FURNACE, ETC.) LOCATED IN THE GARAGE SHALL BE INSTALLED SO THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR, UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. (MC 305.1)
16. DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
17. FLUSH VOLUMES OF PLUMBING FIXTURES AND FLOW RATES OF PLUMBING FITTINGS SHALL COMPLY WITH SECTION 4.303 OF THE GREEN CODE.
18. ABS AND PVC DWV PIPING INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES OF AREAS. (PC 701.2(2))
19. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 408.3)
20. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE ON THE UPPER 1/3 OF THE TANK, AND ONE ON THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. (PC 507.2)
21. PLUMBING PLAN CHECK AND APPROVAL IS REQUIRED FOR 2 INCH AND LARGER WATER LINES, 2 INCH AND LARGER GAS LINES, OR ANY GAS LINE WITH A PRESSURE OF 2PSI AND HIGHER.
22. GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED IN BATHROOMS, GARAGES, NON-HABITABLE ACCESSORY STRUCTURES AT OR BELOW GRADE LEVEL, OUTDOOR LOCATIONS, CRAWL SPACES AT OR BELOW GRADE LEVEL, NON-HABITABLE BASEMENTS, KITCHENS WHERE THE RECEPTACLES SERVE COUNTERTOP SURFACES, LOCATIONS WITHIN 6FT OF THE OUTSIDE EDGE OF SINKS/BATHTUBS/SHOWERS, BOATHOUSES, AND LAUNDRY AREAS. THE GFCI SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION. (EC 210.8(A))
23. ARC-FAULT CIRCUIT-INTERRUPTION (AFCI) PROTECTION SHALL BE PROVIDED IN ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN KITCHENS, HABITABLE ROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS, BY ANY MEANS DESCRIBED IN 210.12(A). (EC 210.12(A))
24. IN ANY OF THE AREAS SPECIFIED IN ITEM 23, WHERE EXISTING BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED, OR EXTENDED BY MORE THAN 6FT AND/OR ADDS ANY OUTLET OR DEVICE, THE BRANCH CIRCUIT SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
A. A LISTED COMBINATION-TYPE AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT.
B. A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTACLE OUTLET OF THE EXISTING BRANCH CIRCUIT. (EC 210.12(B))
25. TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN 210.52, ALL NONLOCKING-TYPE 12-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (EC 406.12)
26. WHERE NM CABLE (ROMEX) IS RUN ACROSS THE TOP OF JOISTS AND/OR WHERE THE ATTIC IS NOT ACCESSIBLE BY PERMANENT STAIRS OR LADDERS, PROTECTION WITHIN 6 FEET OF THE NEAREST EDGE OF THE SCUTTLE OR ATTIC ENTRANCE SHALL BE PROVIDED. (EC 334.23, 320.23(A))

## PROJECT SUMMARY

| | | |
|---|---|---|
| CURRENT CODE | 2022 CRC, CBC, CEC, CMD, CPC, CGBC and TITLE XXIV ENERGY CODE W/ L.A. COUNTY AMENDMENTS | |
| LEGAL DESCRIPTION | SELVAS DE VERDUGO LOT 12 BLK 3 | |
| ASSESSOR PARCEL # | 5614-006-012 | |
| ZONE | R1-1 | |
| OCCUPANCIES | R-3: Residence & U: Garage (EXISTING) | |
| # OF DWELLING UNITS | ONE | |
| CONSTRUCTION TYPE | V-B | |
| HEIGHT LIMIT | 25' + 3' FOR ROOFS SLOPED > 3:12 | |
| LOT AREA | 13,875 s.f. (per L.A. County Assessor) | |
| MAX. LOT COVERAGE | 0.4 x LOT AREA. = 5,550 S.F. | |
| FRONT SETBACK | 25'-0" | |
| SIDE SETBACK | 6'-0" | |
| REAR SETBACK | . | |
| MAXIMUM FAR | 0.3 x 10,000 + 0.1 x 3,875 = 3,388 S.F. | |
| NUMBER OF STORIES | TWO | |
| **SQUARE FOOTAGE AREA** | (EXISTING) MAIN RESIDENCE: | 2,085 S.F. |
| (FIRST 500 S.F. DOES NOT COUNT TOWARDS MAX. F.A.R.) | (EXISTING) GARAGE: | 828 S.F. |
| | EXISTING LANDSCAPING: | +/- 6,800 S.F. |
| | EXISTING LOT COVERAGE: | 2,913 S.F. 21% |
| (INC. 328 S.F. OF (E) GARAGE) | EXISTING FAR: | 2,413 S.F. 17% |
| | NEW UPPER FLR. ADDITION: | 500 S.F. |
| | NEW LOWER FLR. ADDITION: | 472 S.F. |
| | | |
| EXISTING LANDSCAPE | ± 5,883 S.F. (42.4%) | |
| | | |
| | PROPOSED LOT COVERAGE: | 3,415 S.F. 25% |
| | PROPOSED FAR: | 3,385 S.F. 24% |
| | | |
| FIRE SPRINKLERS | NONE AT EXIST., NOT REQUIRED FOR NEW ADDITION | |
| | | |
| PARKING | EXISTING NON-CONFORMING 1 CAR GARAGE | |

## SCOPE OF WORK

THIS PROJECT GENERALLY INCLUDES A NEW TWO-STORY, FAMILY ROOM & BEDROOM SUITE ADDITION ON THE REAR OF THE EXISTING SINGLE FAMILY RESIDENCE.
THE NEW FAMILY ROOM (500 S.F.) IS LOCATED AT THE SAME FLOOR LEVEL AS THE EXISTING PRIMARY RESIDENCE. THE NEW BEDROOM SUITE (BEDROOM AND BATHROOM) IS LOCATED BELOW THE NEW FAMILY ROOM.
THE PROJECT ALSO INCLUDES A NEW TERRACE ON THE SOUTH (REAR).
ALL NEW WINDOWS SHALL BE CUSTOM WOOD FRAMED WINDOWS SIMILAR TO EXISTING W/ DUAL PANE GLAZING.

THE PROPOSED DESIGN IS INTENDED NOT TO MIMIC THE EXISTING ENGLISH TUDOR STYLE RESIDENCE BUT TO APPEAR AS A 'CONSERVATORY' ADDITION.

THE EXISTING GARAGE, DRIVEWAY AND ALL AREAS OF THE EXISTING RESIDENCE NOT WITHIN THE CURRENT SCOPE OF WORK ARE TO BE PROTECTED IN PLACE.

NEW LANDSCAPING IS NOT PROPOSED
CHANGES TO THE EXISTING SITE DRAINAGE IS NOT PROPOSED
NO GRADING IS PROPOSED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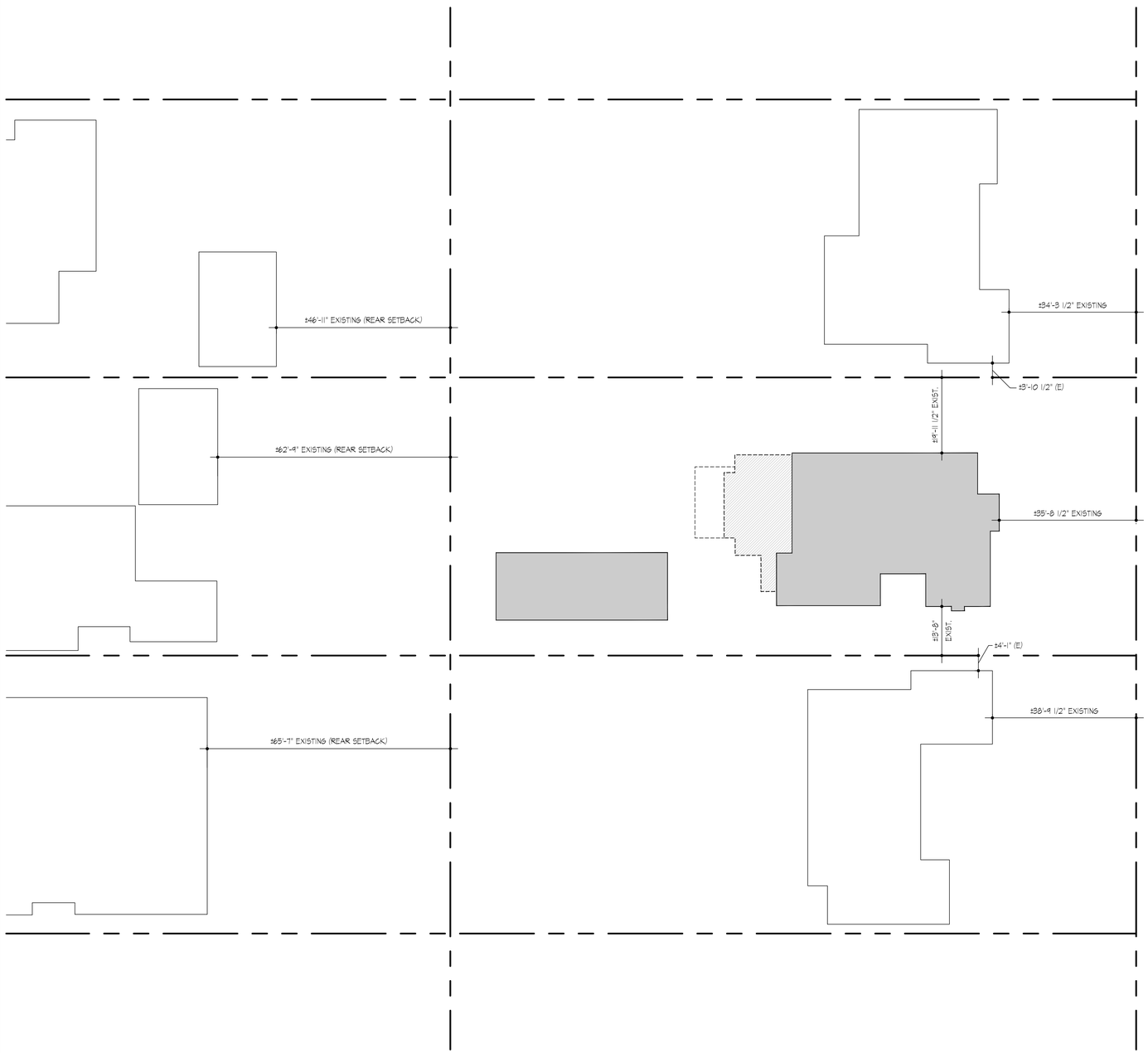
Approved By:
Owner Date
Reviewed By:
Contractor Date

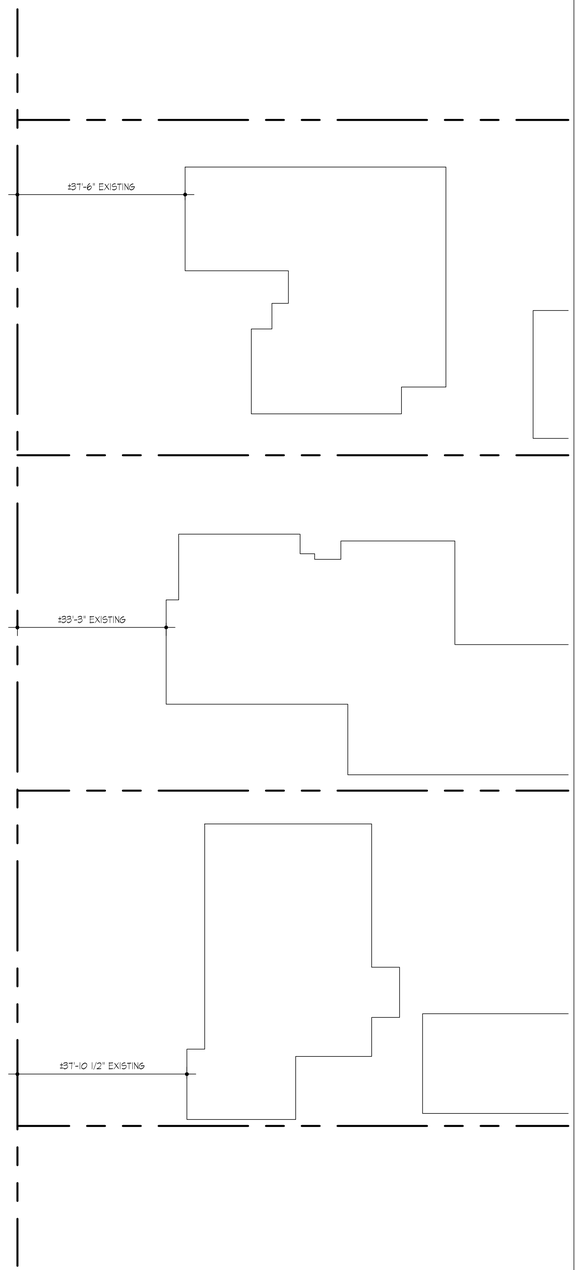
HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208
For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

Revisions:

Sheet Created: June 1, 2022
Job # 22-65
Sheet Name: TITLE SHEET
Sheet Number: T0.1






N

## NEIGHBORING PROPERTY PLAN

SCALE : 1/16"=1'-0"

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Contractor Date

# HERBST RESIDENCE

1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

Revisions:

| | |
|---|---|
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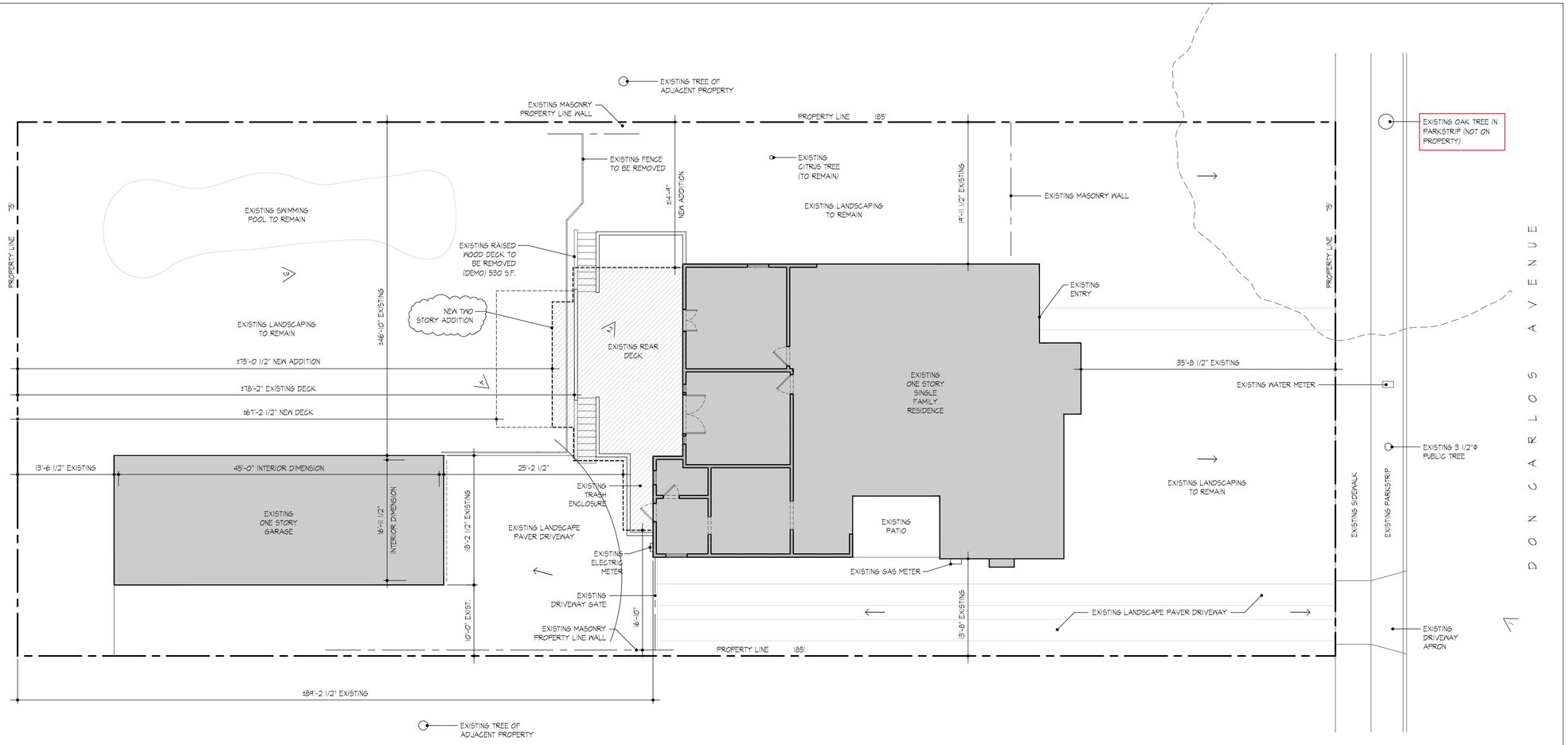
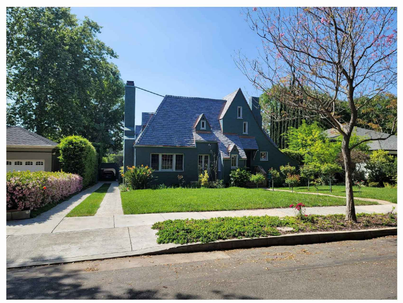
Sheet Created: Nov. 8, 2022

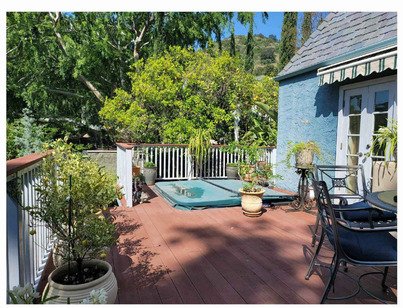
Job # 22-65

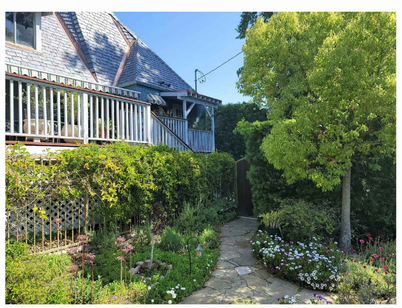
Sheet Name: NEIGHBORING PROPERTIES PLAN

Sheet Number: A1.0







## SITE PLAN

SCALE : 1/8"=1'-0"

## LEGEND

- AREA OF EXISTING RESIDENCE & DETACHED GARAGE
- AREA OF NEW ADDITION
- DIRECTION OF POSITIVE SITE DRAINAGE. FIELD VERIFY
- PHOTO STUDY LOCATIONS

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# HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

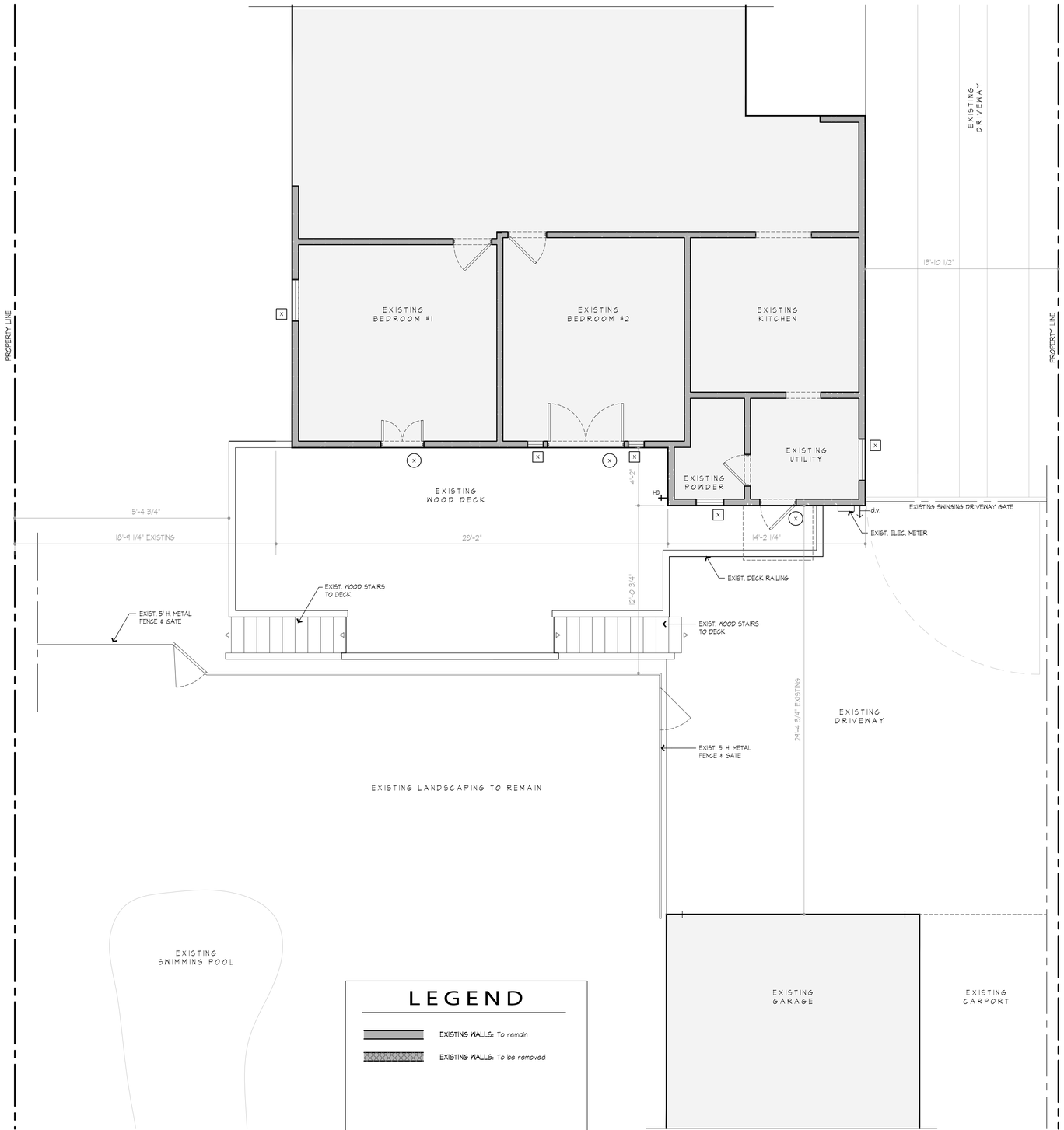
Revisions:

Sheet Created: Nov. 2, 2022

Job # 22-65

Sheet Name: SITE PLAN

Sheet Number: A1.1




## LEGEND

EXISTING WALLS: To remain

EXISTING WALLS: To be removed

EXISTING GAS OUTLET

EXISTING HOSE BIBB

EXISTING CLEAN OUT

N

# EXISTING FLOOR PLAN

SCALE : 1/4"=1'-0"

SEE SHT. A2.1 FOR NEW FLOOR PLAN &NEW WINDOW & DOOR SCHEDULE

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Approved By:

Owner Date

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Contractor Date

# HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

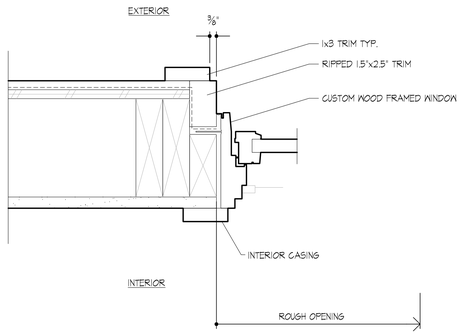
Revisions:

Sheet Created: April 11, 2022

Job # 22-65

Sheet Name: EXISTING FLOOR PLAN

Sheet Number: A2.0




# LEGEND

**EXISTING WALLS:** *To remain u.n.o. other wise per Existing/Demolition Plan Sht. A2.0*

**NEW WALLS:** *2x6 D.F. (u.n.o.) No.2 or better studs at 16" o/c, u.n.o. 1/2" CDX-1 plywood sheathing, R-19 (min.) batt insulation u.n.o. Finish per ext. elevations*

EXISTING WALLS TO BE REMOVED.

**AREA OF NEW ADDITION**

**LAYOUT DATUM:** *See also sht. A.1 for overall dimensions*

X — COLOR FINISH PER SCHEDULE

X — DOOR PER SCHEDULE (THIS SHEET)

X — WINDOW PER SCHEDULE (THIS SHEET)

A — APPLIANCES PER SCHEDULE

GAS OUTLET

HB — HOSE BIBB

DUPLEX OUTLET
W.P. - WATERPROOF ENCLOSURE
ALL OUTLETS AT KITCHEN, POWDER ROOM & EXTERIOR SHALL BE GFCI PROTECTED
ALL NEW OUTLETS SHALL BE AFCI PROTECTED

**4 PORT USB OUTLET BY LEGRAND**
MDL.# TM8USB4NCC6

**HARDWIRED DATA CONNECTION (Cat6 MIN.)**

## FLOOR PLAN NOTES:

1. ALL 15 & 20 AMPERES RECEPTACLE OUTLETS MUST BE LISTED TAMPER RESISTANT TYPE (CEC 406.12).
2. PROVIDE A DISCONNECT BOX FOR THE A/C CONDENSER WITH 15" CLEAR TO THE SIDES AND 36" CLEAR IN THE FRONT.
3. THE GAS SYSTEM SHALL BE TESTED PER THE CPC.
4. ALL WATER HEATER INSTALLATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM SHALL HAVE:
a. A 120v ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.
b. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
c. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW.
d. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 200,000 BTU/hr. SYSTEM.
5. SHOWER COMPARTMENTS SHALL NOT BE LESS THAN 1,024 SQUARE INCHES & ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE UNDER THE SHOWER HEAD. (CPC 408.6)
6. WALL COVERINGS OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF CEMENT PLASTER, TILE OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. BACKING FOR TILE SHALL BE CEMENT BOARD OR CEMENT PLASTER, NOT GREEN BOARD. (CRC R307.2)
7. PROVIDE ANTI-SIPHON FOR ALL NEW HOSE BIBBS.
8. ALL PLUMBING FIXTURES & FITTINGS SHALL COMPLY WITH THE FOLLOWING MAXIMUM FLOW RATES: (CGBSC 4.303.1)

| | |
|---|---|
| a. WATER CLOSETS | 1.28 GALLONS/FLUSH |
| b. SHOWERHEADS (SINGLE) | 1.8 GPM @ 80 psi |
| c. SHOWERHEADS (MULTIPLE) | 1.8 GPM @ 80 psi COMBINED |
| d. LAVATORY FAUCETS | 1.2 GPM @ 60psi |
| e. KITCHEN FAUCETS | 1.8 GPM @ 60psi |

9. BATHROOMS CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTED FOR THE PURPOSES OF HUMIDITY CONTROL w/ A HUMIDISTAT CONTROLLER IN ACCORDANCE WITH THE CMC, CHAPTER 4, CGBS CODE CHAPTER 4, DIVISION 4.5 & R303.3.1 SEE ALSO SHT. A3.1 FOR LOCATION.
10. THE A/C CONDENSER SHALL BE MOUNTED TO A SLAB 3" ABV. GRADE.
11. ALL SHOWERS & TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (CPC 408.3)

NEW WINDOW & DOOR NOTES:
ALL LITES SHALL BE TRUE DIVIDED LITES TO MATCH EXISTING - SIMULATED LITES SHALL NOT BE ACCEPTED.
ALL FRAMES SHALL BE SOLID WOOD CUSTOM FABRICATED TO MATCH EXISTING
INTENT IS FOR ALL REVEALS, TRIM, STICKING ETC. TO MATCH EXISTING.
ALL NEW WINDOWS & DOORS SHALL BE DUAL PANE. ADDITIONAL SASH THICKNESS SHALL BE REQUIRED TO MATCH EXISTING REVEALS

ALL NEW WINDOWS SHALL HAVE SOLID REDWOOD SILLS TO MATCH EXISTING TYP.

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

CONTRACTOR SHALL PROVIDE COMPLETE SHOP DRAWINGS FOR NEW WINDOWS & DOORS FOR APPROVAL BY OWNER & ARCHITECT.

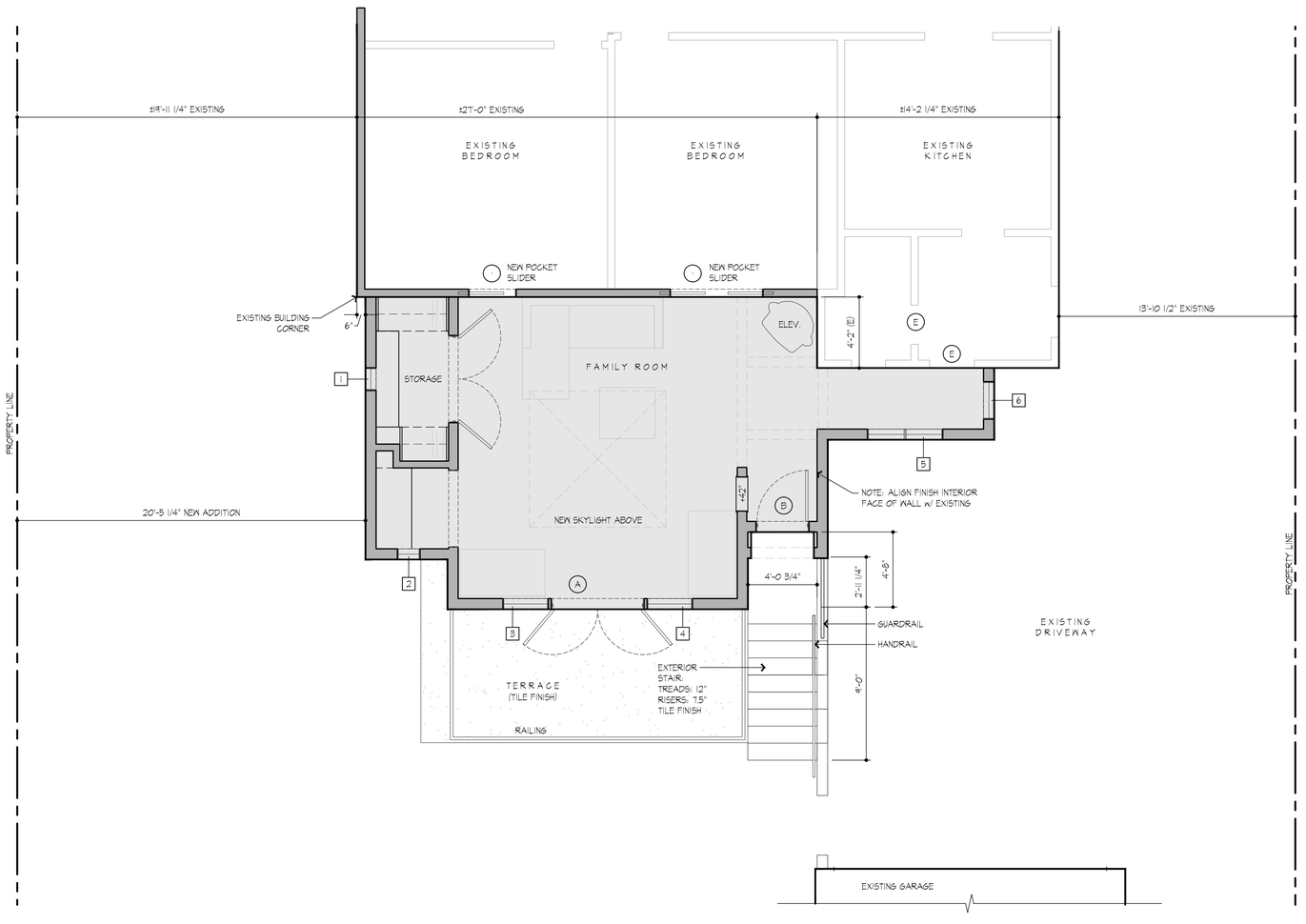
DOOR SCHEDULE

| DOOR NUMBER | NEW WIDTH x HEIGHT | NEW MATERIAL | VISIBLE FROM STREET | NEW OPERATION | NEW FRAME TYPE | EXTERNAL GRID | BEDROOM Y/N | TEMPERED | FIRE HAZARD ZONE | WINDOW WITHIN 18" OF FLR. OR 40" OF DOOR? |
|---|---|---|---|---|---|---|---|---|---|---|
| (A) | 5'-6" x 7'-0" | ALUMINUM CLAD | NO | FRENCH PAIR | NAIL-FIN | YES | NO | YES | NO | NO |
| (B) | 3'-0" x 7'-0" | ALUMINUM CLAD | NO | FRENCH | NAIL-FIN | YES | NO | YES | NO | NO |
| (C) | 3'-0" x 7'-0" | ALUMINUM CLAD | NO | FRENCH | NAIL-FIN | YES | NO | YES | NO | NO |

WINDOW SCHEDULE

| WINDOW NUMBER | NEW WIDTH x HEIGHT | NEW MATERIAL | VISIBLE FROM STREET | NEW OPERATION | NEW FRAME TYPE | EXTERNAL GRID | BEDROOM Y/N | TEMPERED | FIRE HAZARD ZONE | WINDOW WITHIN 18" OF FLR. OR 40" OF DOOR? |
|---|---|---|---|---|---|---|---|---|---|---|
| 1 | 1'-4 1/2" x 1'-10" | ALUMINUM CLAD | NO | CASEMENT | NAIL-FIN | YES | NO | NO | NO | NO |
| 2 | 1'-4 1/2" x 1'-10" | ALUMINUM CLAD | NO | CASEMENT | NAIL-FIN | YES | NO | NO | NO | NO |
| 3 | 2'-8" x 7'-0" | ALUMINUM CLAD | NO | CASEMENT | NAIL-FIN | YES | NO | NO | NO | YES |
| 4 | 2'-8" x 7'-0" | ALUMINUM CLAD | NO | CASEMENT | NAIL-FIN | YES | NO | NO | NO | YES |
| 5 | 4'-5" x 3'-6" | ALUMINUM CLAD | NO | CASEMENT PAIR | NAIL-FIN | YES | NO | NO | NO | NO |
| 6 | 1'-6" x 2'-1 1/2" | ALUMINUM CLAD | NO | CASEMENT | NAIL-FIN | YES | NO | NO | NO | NO |
| 7 | 7'-6" x 4'-0" | ALUMINUM CLAD | NO | 2 CASEMENTS CENTER FIXED | NAIL-FIN | YES | YES | YES | NO | NO |
| 8 | 2'-0" x 3'-0" | ALUMINUM CLAD | NO | CASEMENT | NAIL-FIN | YES | YES | NO | NO | NO |
| 9 | 3'-0" x 2'-1 1/2" | ALUMINUM CLAD | NO | CASEMENT PAIR | NAIL-FIN | YES | NO | YES | NO | YES |
| 10 | 1'-6" x 2'-1 1/2" | ALUMINUM CLAD | NO | AWNING | NAIL-FIN | YES | NO | NO | NO | NO |
| 11 | 3'-0" x 2'-1 1/2" | ALUMINUM CLAD | NO | CASEMENT PAIR | NAIL-FIN | YES | NO | NO | NO | NO |
| 12 | 1'-6" x 2'-1 1/2" | VINYL | NO | CASEMENT | NAIL-FIN | YES | NO | YES | NO | NO |

NEW WINDOW & DOOR NOTES:
ALL NEW WINDOWS & EXTERIOR DOORS SHALL BE CONSIDERED ENERGY EFFICIENT.
ALL NEW WINDOWS & DOORS SHALL UTILIZED THE EDGE DETAIL NOTED ABOVE.
ALL WINDOW & DOOR QUANTITIES SHALL BE CONSIDERED 1 PER # DESIGNATION.
ALL NEW DOORS & WINDOWS SHALL BE INSTALLED IN NEW JAMB, HEAD & SILL FRAMING TYP.

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# NEW UPPER FLOOR PLAN

SCALE : 1/4"=1'-0"

502 S.F. NEW UPPER FLOOR ADDITION

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Approved By:

Owner Date

Reviewed By:

Contractor Date

# HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

Revisions:

| | |
|---|---|
| | Owners s.d. phase approval 04.27.22 |

Sheet Created: April 18, 2022

Job # 22-65

Sheet Name: NEW UPPER FLOOR PLAN

Sheet Number: A2.1

# LEGEND

**EXISTING WALLS:** To remain u.n.o. other wise per Existing/Demolition Plan Sht. A2.0

**NEW WALLS:** 2x6 D.F. (u.n.o.) No.2 or better studs at 16" o/c, u.n.o. 1/2" CDX-1 plywood sheathing, R-19 (min.) batt insulation u.n.o. Finish per ext. elevations

EXISTING WALLS TO BE REMOVED.

**AREA OF NEW ADDITION**

**LAYOUT DATUM:** See also sht. A1.1 for overall dimensions

COLOR FINISH PER SCHEDULE

DOOR PER SCHEDULE SHEET A2.1

WINDOW PER SCHEDULE SHEET A2.1

APPLIANCES PER SCHEDULE

GAS OUTLET

HOSE BIBB

DUPLEX OUTLET
W.P. - WATERPROOF ENCLOSURE
ALL OUTLETS AT KITCHEN, POWDER ROOM & EXTERIOR SHALL BE GFCI PROTECTED
ALL NEW OUTLETS SHALL BE AFCI PROTECTED

**4 PORT USB OUTLET BY LEGRAND**
MDL.# TM8USB4NCC6

**HARDWIRED DATA CONNECTION (Cat6 MIN.)**

## FLOOR PLAN NOTES:

1. ALL 15 & 20 AMPERES RECEPTACLE OUTLETS MUST BE LISTED TAMPER RESISTANT TYPE (CEC 406.12).
2. PROVIDE A DISCONNECT BOX FOR THE A/C CONDENSER WITH 15" CLEAR TO THE SIDES AND 36" CLEAR IN THE FRONT.
3. THE GAS SYSTEM SHALL BE TESTED PER THE CPC.
4. ALL WATER HEATER INSTALLATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM SHALL HAVE:
a. A 120v ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.
b. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
c. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW.
d. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 200,000 BTU/hr. SYSTEM.
5. SHOWER COMPARTMENTS SHALL NOT BE LESS THAN 1,024 SQUARE INCHES & ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE UNDER THE SHOWER HEAD. (CPC 408.6)
6. WALL COVERINGS OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF CEMENT PLASTER, TILE OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. BACKING FOR TILE SHALL BE CEMENT BOARD OR CEMENT PLASTER, NOT GREEN BOARD. (CRC R307.2)
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b. SHOWERHEADS (SINGLE) 1.8 GPM @ 80 psi
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d. LAVATORY FAUCETS 1.2 GPM @ 60psi
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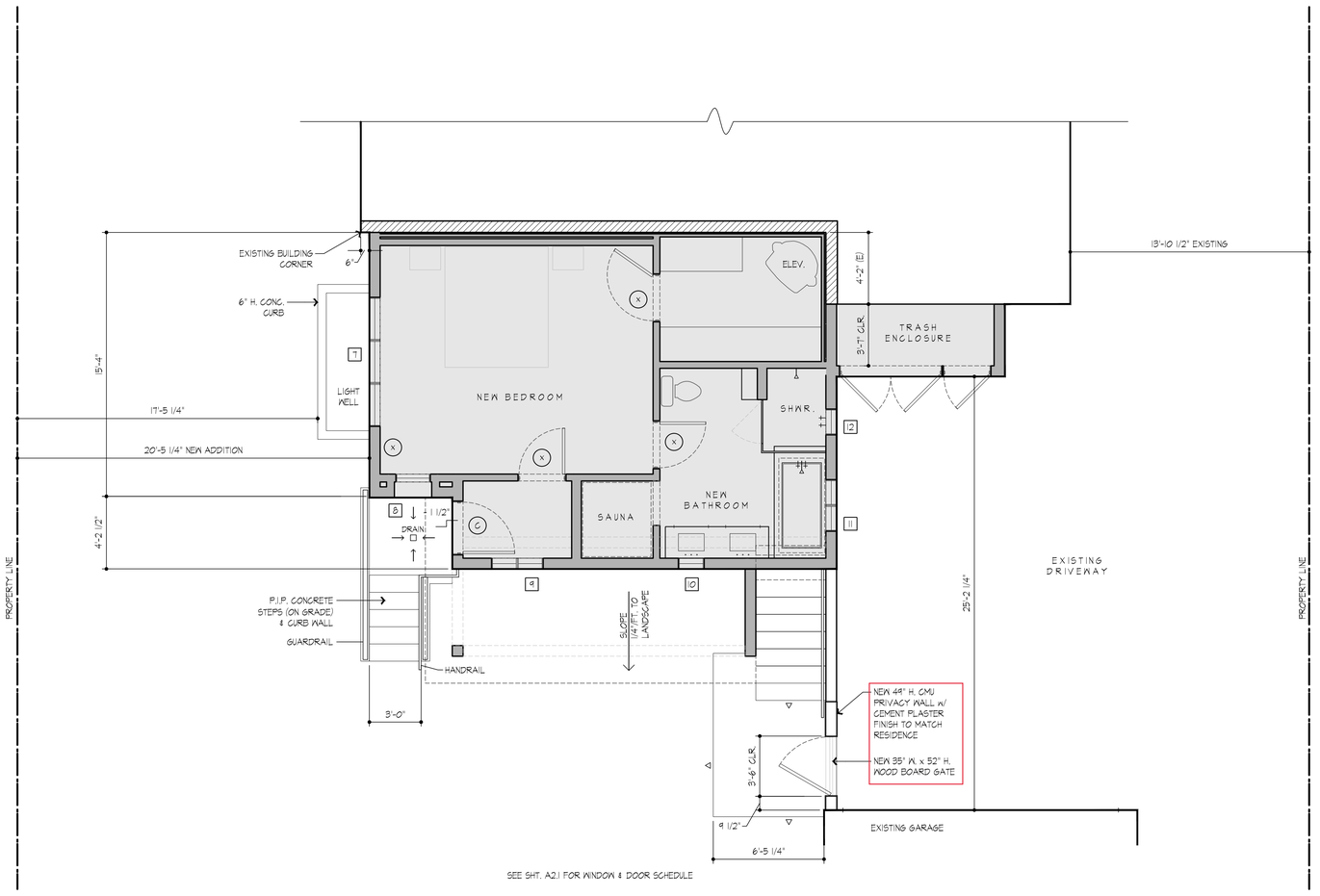
9. BATHROOMS CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTED FOR THE PURPOSES OF HUMIDITY CONTROL w/ A HUMIDISTAT CONTROLLER IN ACCORDANCE WITH THE CMC, CHAPTER 4, GGBS CODE CHAPTER 4, DIVISION 4.5 & R303.3.1 SEE ALSO SHT. A3.1 FOR LOCATION.
10. THE A/C CONDENSER SHALL BE MOUNTED TO A SLAB 3" ABV. GRADE.
11. ALL SHOWERS & TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (CPC 408.3)

CONCRETE NOTE:
ALL EXPOSED CONCRETE SHALL BE FINISHED w/ TOPCAST #3 (MEDIUM EXPOSED AGGREGATE FINISH)
CONTRACTOR SHALL PROVIDE SAMPLE FOR OWNER & ARCHITECT APPROVAL

INTERIOR FINISH:
ALL INTERIOR FINISH SHALL BE 5/8" DRYWALL U.N.O.
5/8" GREENBOARD SHALL BE USED ON ALL BATHROOM & POWDER ROOM INTERIOR WALLS.
WHERE BEADBOARD IS SPECIFIED, BEADBOARD SHALL BE INSTALLED OVER DRYWALL.

ALL WALLS SHALL BE TYPE 5 - SMOOTH FINISH




SEE SHT. A2.1 FOR WINDOW & DOOR SCHEDULE

N

# LOWER FLOOR PLAN

SCALE : 1/4"=1'-0"

572 S.F. NEW LOWER FLOOR ADDITION


LDG
LAW | Design Group

1500 W. Alhambra Road. #6
Alhambra, CA 91801

Tel. 626.529.3800
info@lawdesigngroup.com


Approved By:

Owner Date

Reviewed By:

Contractor Date

# HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

Revisions:

| | |
|---|---|
| | Owners s.d. phase approval 04.27.22 |
| | |
| | |
| | |

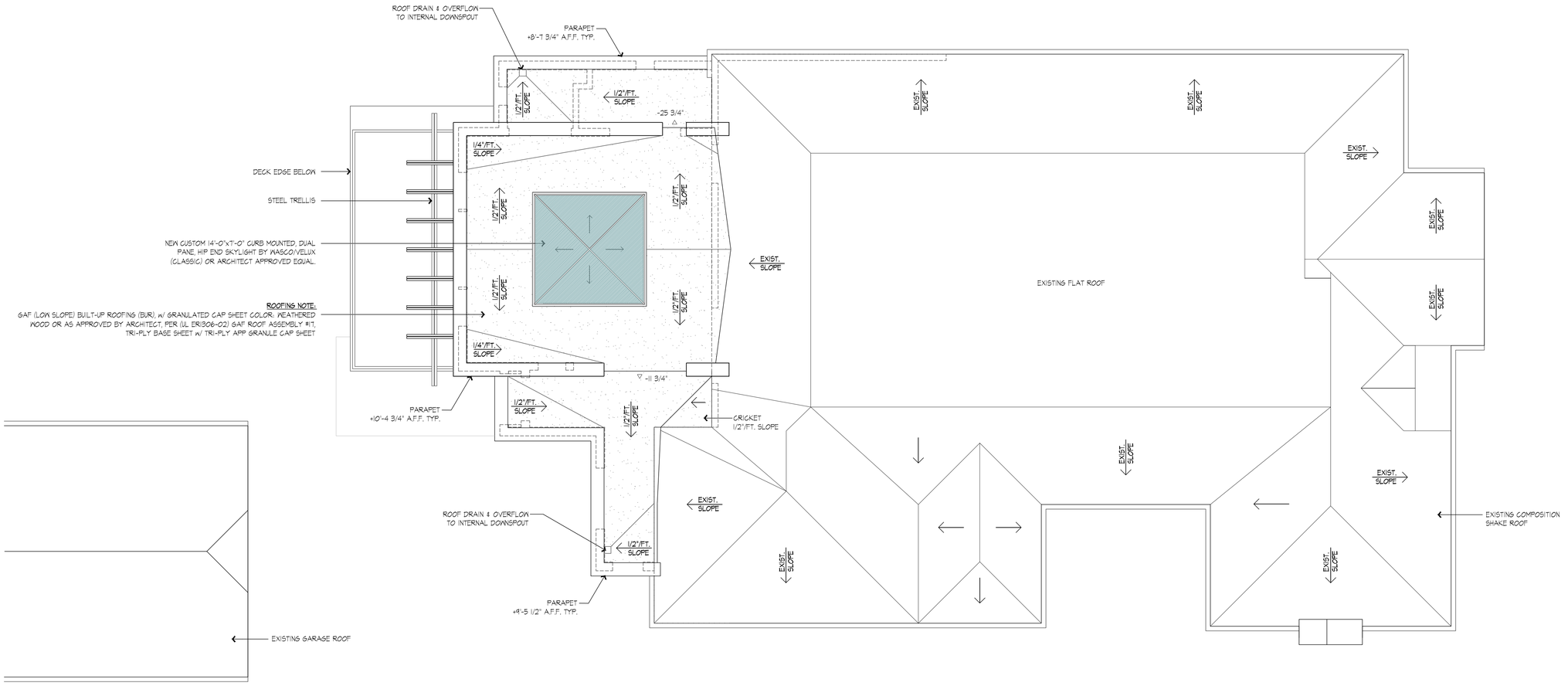
Sheet Created: April 18, 2022

Job # 22-65

Sheet Name: NEW LOWER FLOOR PLAN

Sheet Number: A2.2

PROPERTY LINE




PROPERTY LINE

# ROOF PLAN

SCALE : 1/4"=1'-0"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Tel. 626.529.3800
info@lawdesigngroup.com


Approved By:

Owner Date

Reviewed By:

Contractor Date

HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208

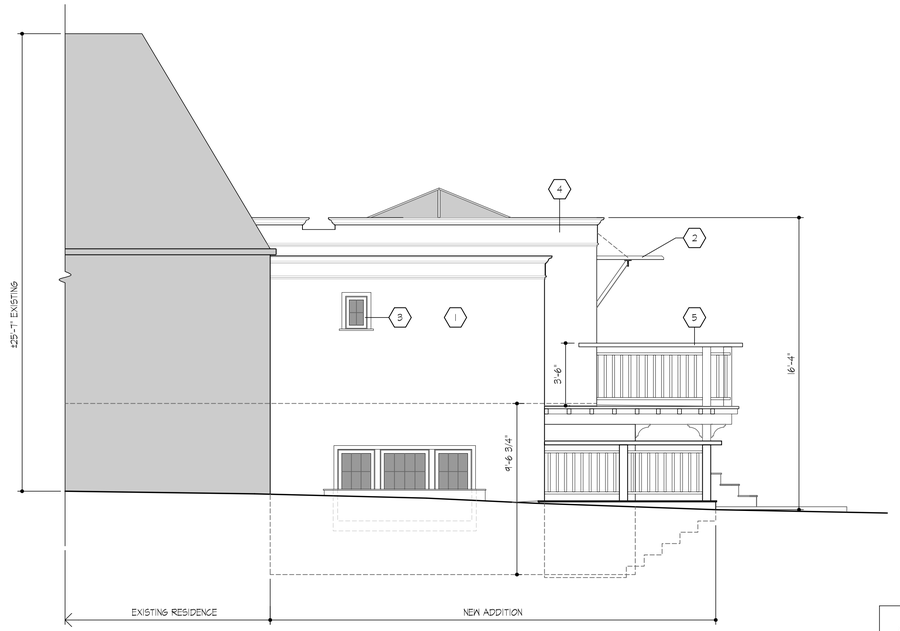
For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

Revisions:

| Sheet Created: | Job # |
|---|---|
| Nov. 29, 2022 | 22-65 |

Sheet Name: ROOF PLAN

Sheet Number: A4.1




## WEST ELEVATION

SCALE : 1/4"=1'-0"

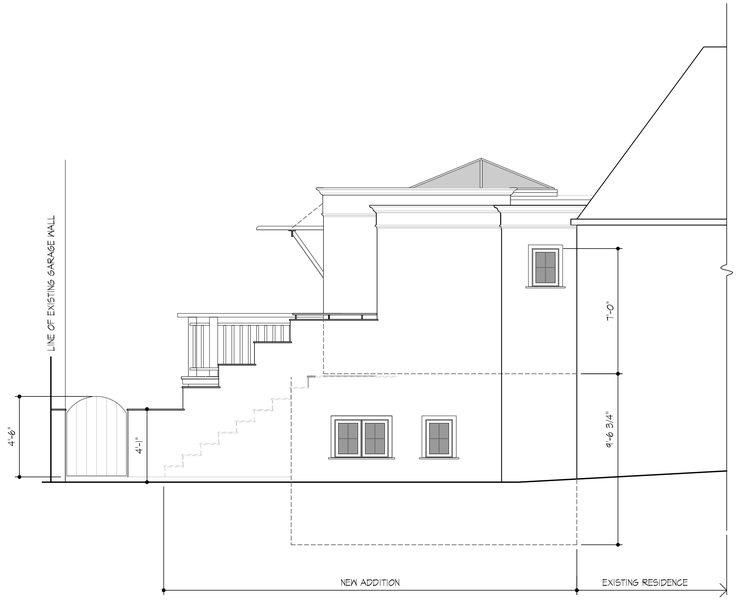

## SOUTH ELEVATION

SCALE : 1/4"=1'-0"

## FINISH SCHEDULE

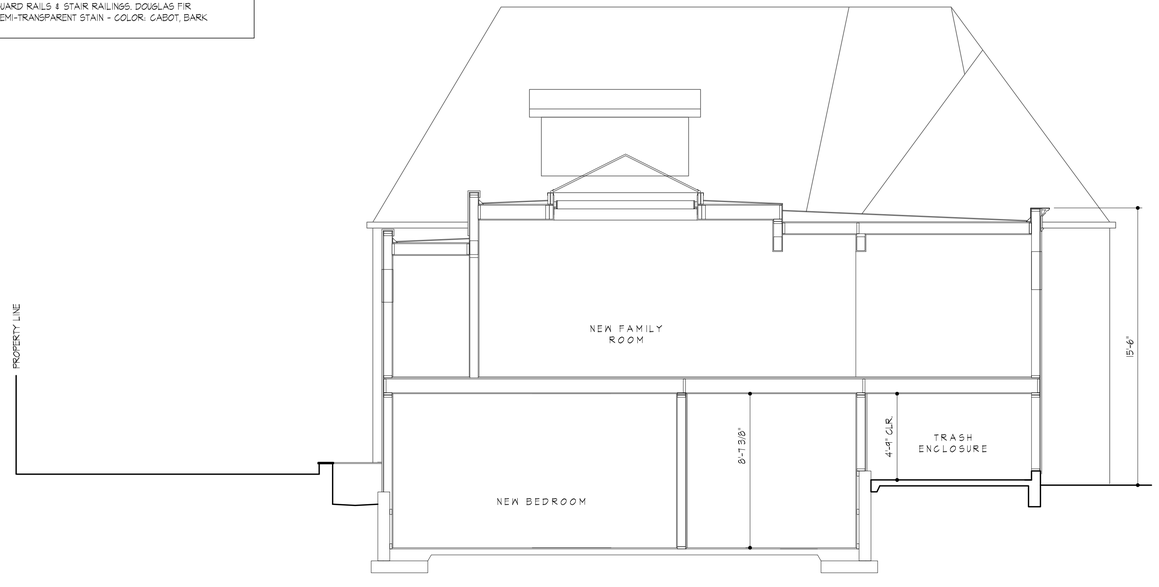
SEE ALSO SHT. A5.2 FOR COLOR BOARD

1. NEW CEMENT PLASTER - SMOOTH, SANTA BARBARA FINISH (NON-COMBUSTABLE) - COLOR: SW GOSSAMER VEIL
2. NEW EXPOSED STEEL TRELLIS COLOR: MATTE BLACK WROUGHT IRON
3. NEW ALUMINUM CLAD, WOOD FRAMED WINDOWS & EXTERIOR DOORS (SIERRA PACIFIC OR EQUAL) COLOR: WHITE
4. PAINT GRADE WOOD TRIM, CASING & CAP COLOR: SHERWIN WILLIAMS, GREEK VILLA
5. GUARD RAILS & STAIR RAILINGS, DOUGLAS FIR SEMI-TRANSPARENT STAIN - COLOR: CABOT, BARK




## EAST ELEVATION

SCALE : 1/4"=1'-0"




## BUILDING SECTION A-A

SCALE : 1/4"=1'-0"

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Approved By:

Owner Date

Reviewed By:

Contractor Date

# HERBST RESIDENCE

1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

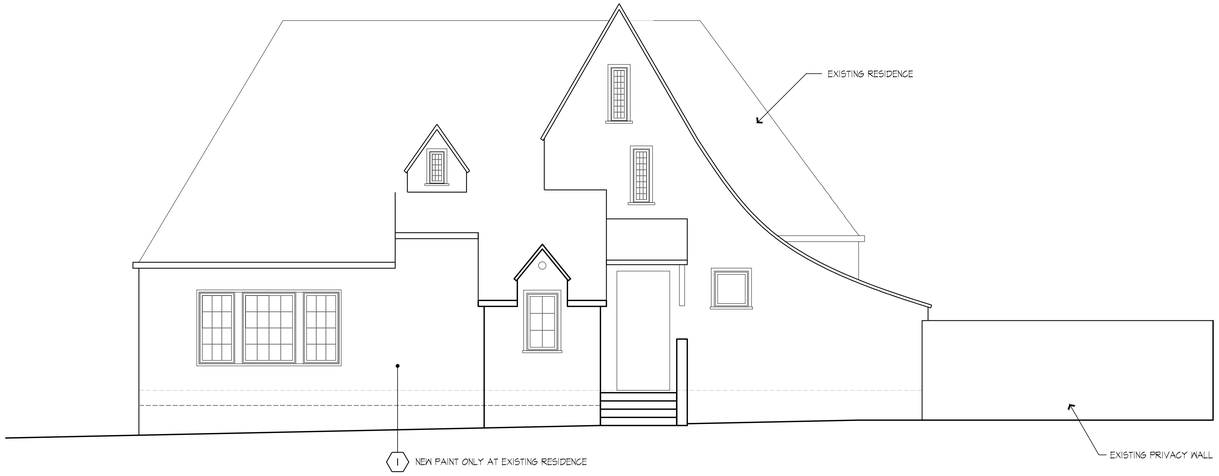
Revisions:

Sheet Created: July 11, 2022

Job # 22-65

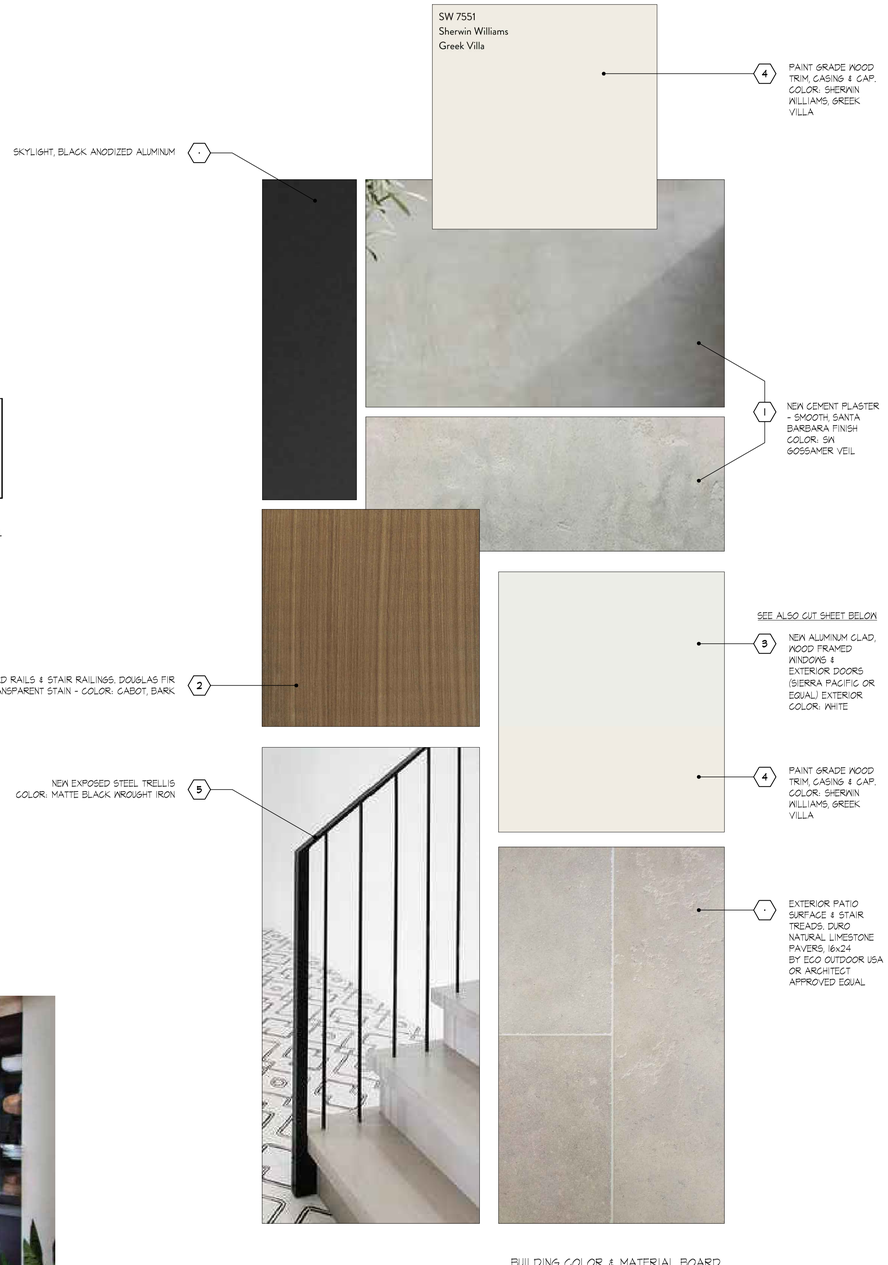
Sheet Name: EXTERIOR ELEVATIONS

Sheet Number: A5.1

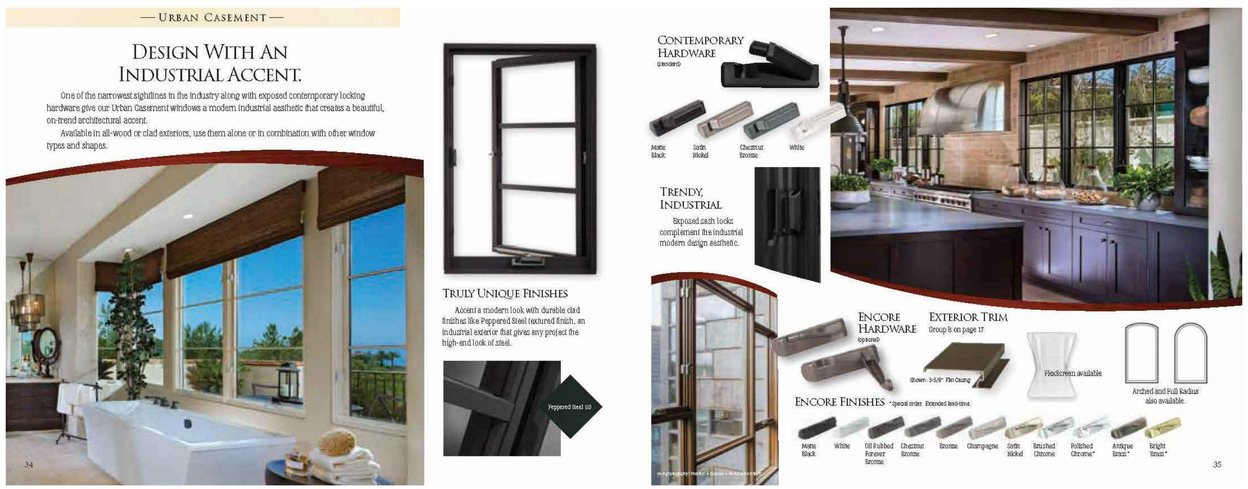



## NORTH ELEVATION

SCALE : 1/4"=1'-0"




BUILDING COLOR & MATERIAL BOARD

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Approved By:

Owner Date

Reviewed By:

Contractor Date

# HERBST RESIDENCE
1614 Don Carlos Avenue,
Glendale, CA 91208

For: Douglas Herbst, 1614 Don Carlos Ave, Glendale, CA 91208

Revisions:

Sheet Created: Mar. 17, 2023

Job # 22-65

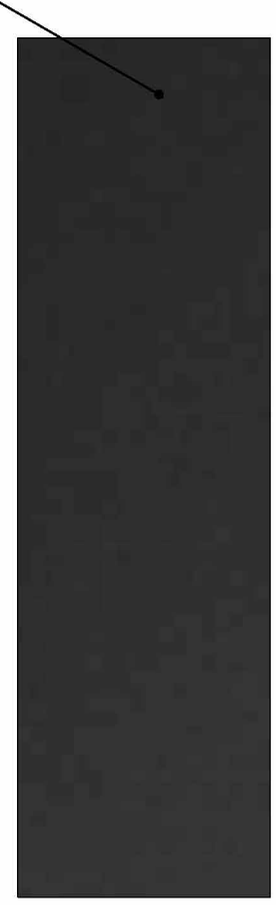
Sheet Name: ELEVATION & MATERIAL BOARD

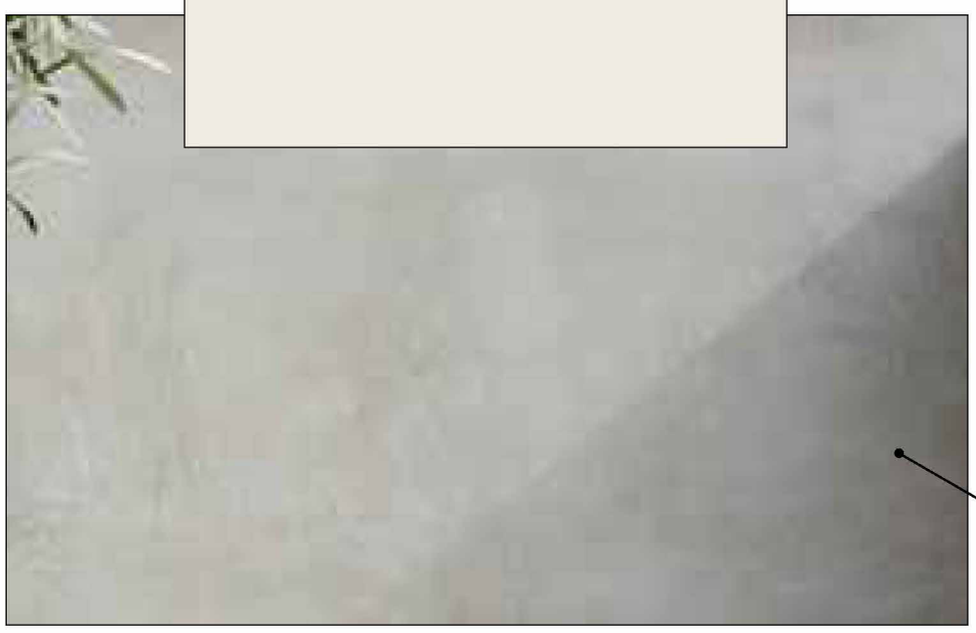
Sheet Number: A5.2

SW 7551
Sherwin Williams
Greek Villa

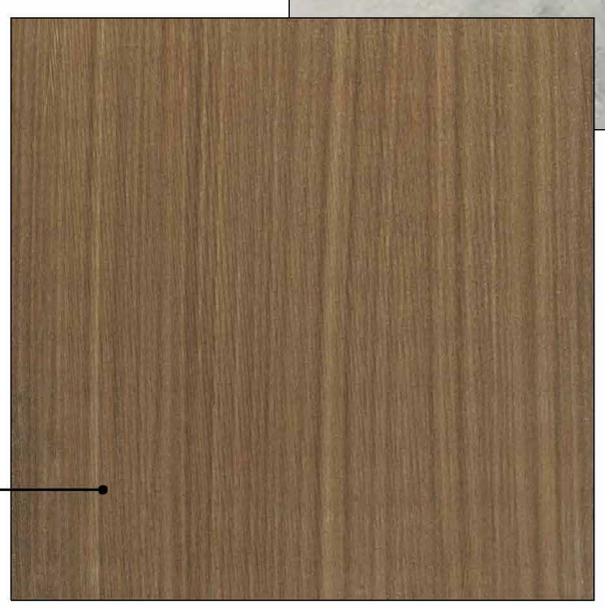
4 PAINT GRADE WOOD TRIM, CASING & CAP. COLOR: SHERWIN WILLIAMS, GREEK VILLA

SKYLIGHT, BLACK ANODIZED ALUMINUM ·





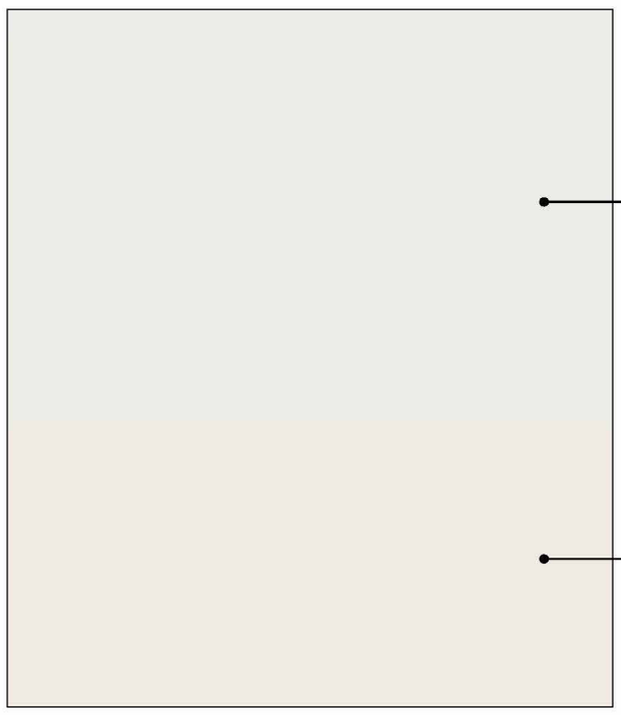
1 NEW CEMENT PLASTER - SMOOTH, SANTA BARBARA FINISH COLOR: SW GOSSAMER VEIL



GUARD RAILS & STAIR RAILINGS. DOUGLAS FIR SEMI-TRANSPARENT STAIN - COLOR: CABOT, BARK 2

SEE ALSO CUT SHEET BELOW

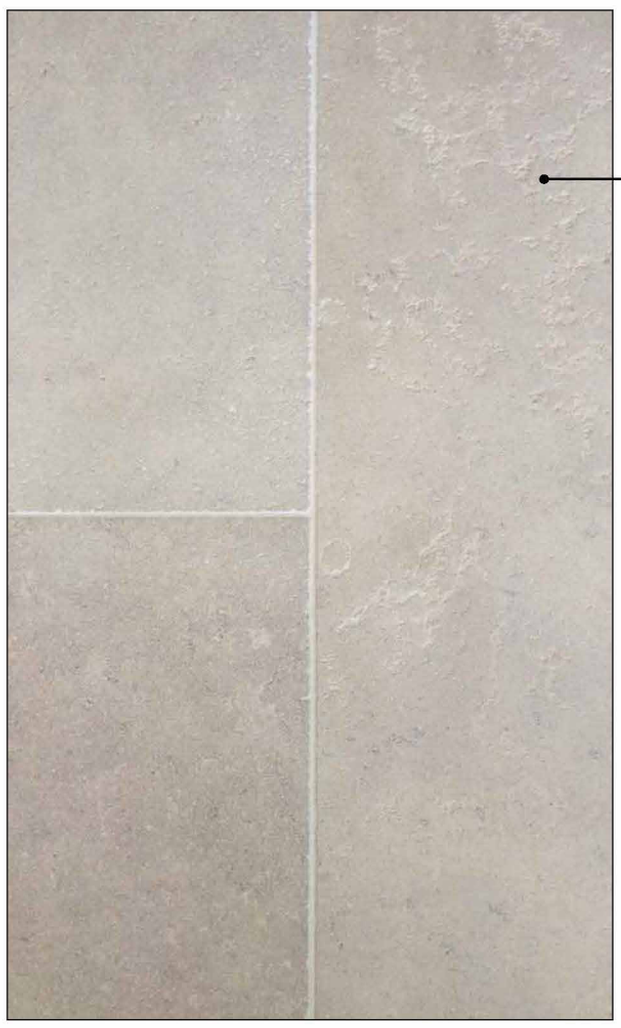
3 NEW ALUMINUM CLAD, WOOD FRAMED WINDOWS & EXTERIOR DOORS (SIERRA PACIFIC OR EQUAL) EXTERIOR COLOR: WHITE



4 PAINT GRADE WOOD TRIM, CASING & CAP. COLOR: SHERWIN WILLIAMS, GREEK VILLA

NEW EXPOSED STEEL TRELLIS COLOR: MATTE BLACK WROUGHT IRON 5

· EXTERIOR PATIO SURFACE & STAIR TREADS. DURO NATURAL LIMESTONE PAVERS, 16x24 BY ECO OUTDOOR USA OR ARCHITECT APPROVED EQUAL



BUILDING COLOR & MATERIAL BOARD

^1 Existing Rear Elevation

Existing Garden ^2

^3 Existing Front Elevation

Existing Deck ^4

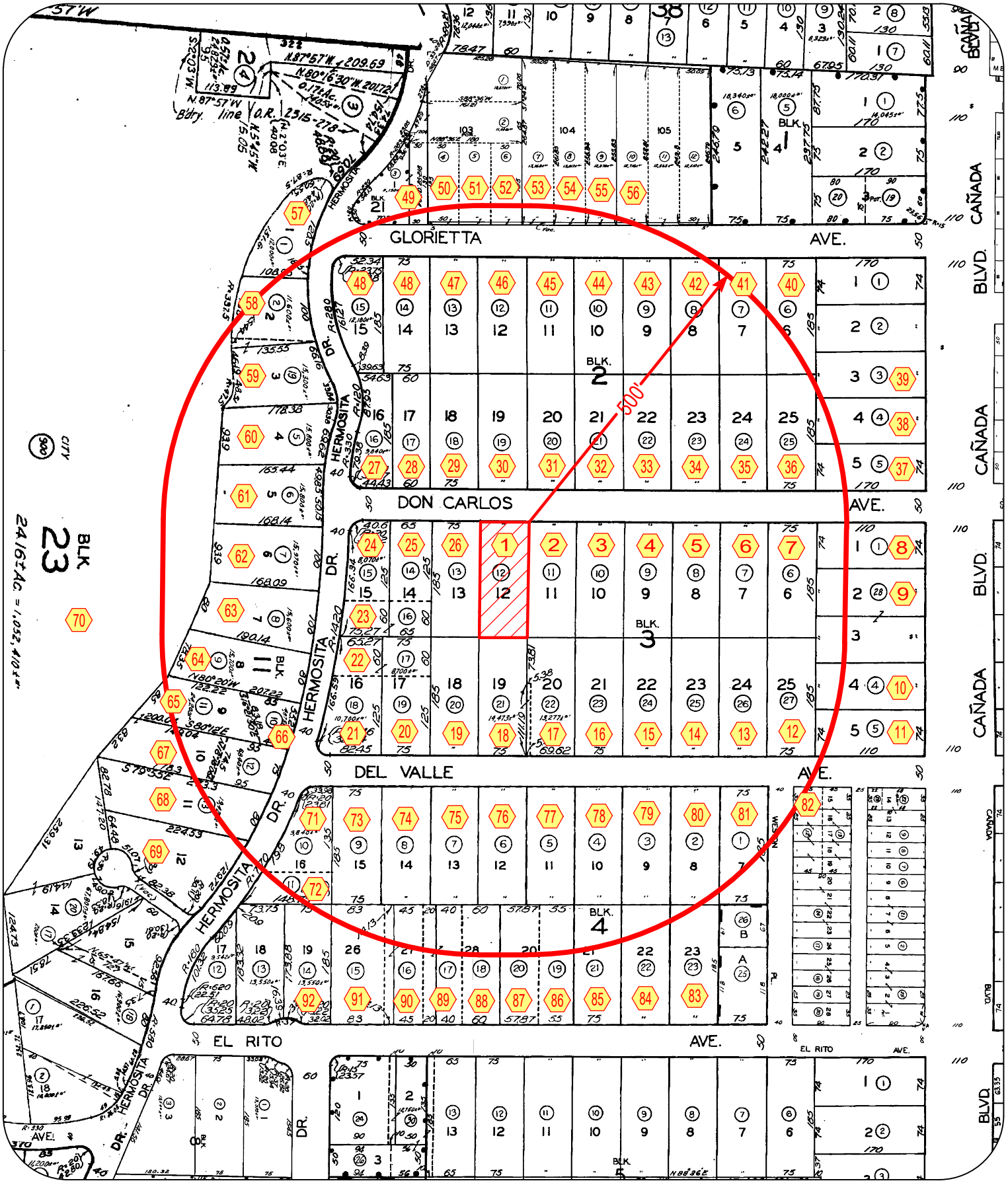
# PROJECT INFORMATION

1614 DON CARLOS AVE

GLENDALE, CA.

23-024

SCALE 1" = 200'



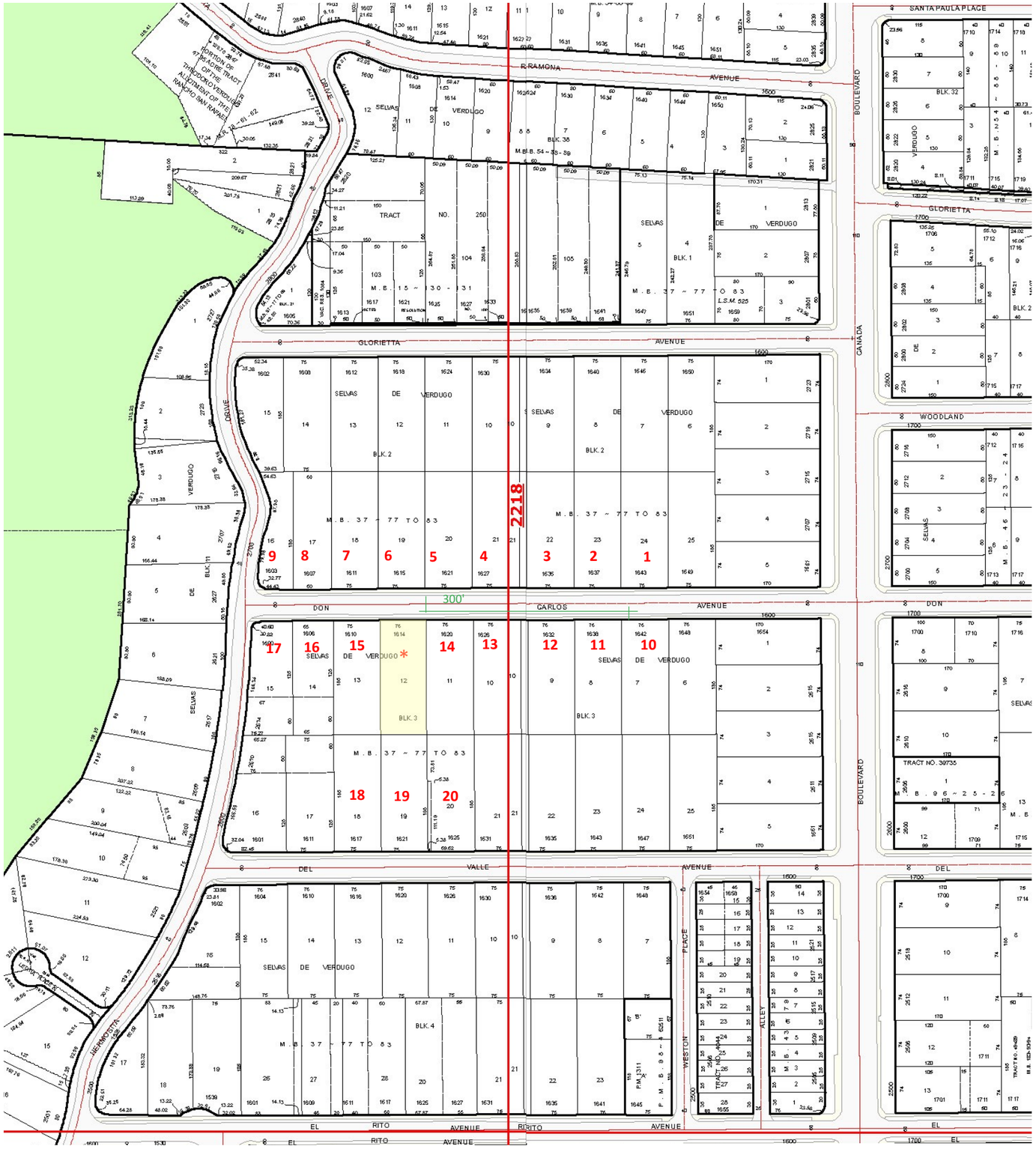
Survey List: 1614 Don Carlos Ave

300' Radius Survey List: 1614 Don Carlos Ave

| # | ADDRESS | STORIES | SETBACK | F.A.R | S.F. | LOT |
|---|---|---|---|---|---|---|
| | | | | | | |
| 1 | 1643 Don Carlos Ave | 2 | 33' | 23.6 | 3,293 | 13,939.20 |
| 2 | 1637 Don Carlos Ave | 2 | 37' | 28.1 | 3,922 | 13,939.20 |
| 3 | 1635 Don Carlos Ave | 2 | 40' | 20.6 | 2,866 | 13,939.20 |
| 4 | 1627 Don Carlos Ave | 2 | 36' | 20.0 | 2,792 | 13,939.20 |
| 5 | 1621 Don Carlos Ave | 1 | 36.5' | 10.9 | 1,526 | 13,939.20 |
| 6 | 1615 Don Carlos Ave | 2 | 32' | 22.4 | 3,122 | 13,939.20 |
| 7 | 1611 Don Carlos Ave | 1 | 40' | 16.9 | 2,356 | 13,939.20 |
| 8 | 1607 Don Carlos Ave | 1 | | | | |
| 9 | 1603 Don Carlos Ave | 2 | | | | |
| 10 | 1642 Don Carlos Ave | 2 | 40' | 16.6 | 2,307 | 13,939.20 |
| 11 | 1638 Don Carlos Ave | 2 | 43' | 17.3 | 2,409 | 13,939.20 |
| 12 | 1632 Don Carlos Ave | 2 | 40' | 9.2 | 1,236 | 13,503.60 |
| 13 | 1626 Don Carlos Ave | 1 | 31.5' | 14.0 | 1,952 | 13,939.20 |
| 14 | 1620 Don Carlos Ave | 1 | 39.5' | 21.4 | 2,985 | 13,939.20 |
| * | 1614 Don Carlos Ave | | | | | **Subject Property** |
| 15 | 1610 Don Carlos Ave | 1 | 35' | 21.3 | 2,877 | 13,503.60 |
| 16 | 1606 Don Carlos Ave | 1 | 40' | 17.9 | 1,400 | 7,840.80 |
| 17 | 1600 Don Carlos Ave | 2 | 35' | 29.9 | 2,471 | 8,276.40 |
| 18 | 1617 Del Valle Ave | 1 | 31.5' | 15.8 | 2,204 | 13,939.20 |
| 19 | 1621 Del Valle Ave | 1 | 37.5' | 14.3 | 2,059 | 14,374.80 |
| 20 | 1625 Del Valle Ave | 1 | 29.5' | 21.0 | 2,838 | 13,503.60 |

Vicinity and Photographic Survey Map for 1614 Don Carlos AVe

* = Subject property: 1614 Don Carlos



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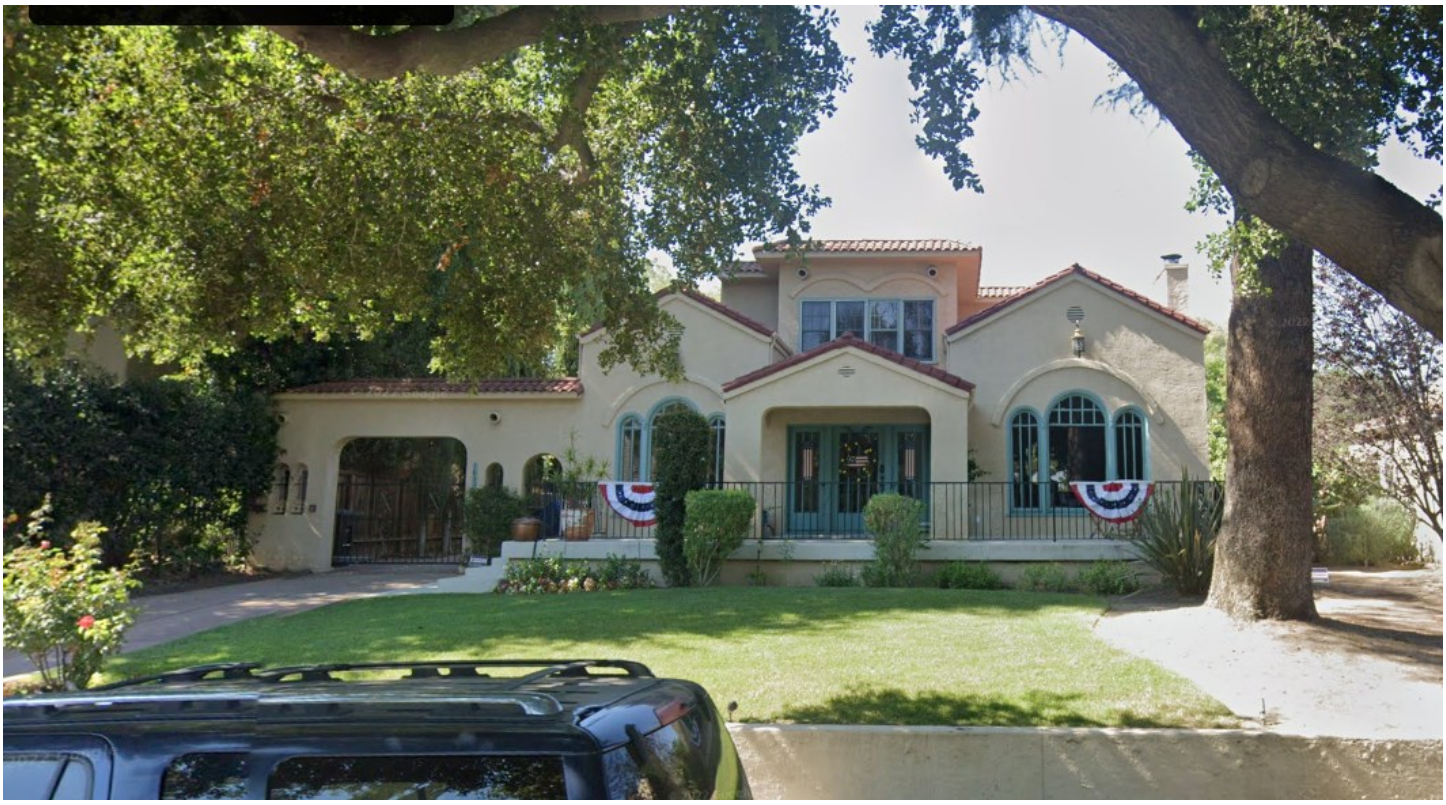
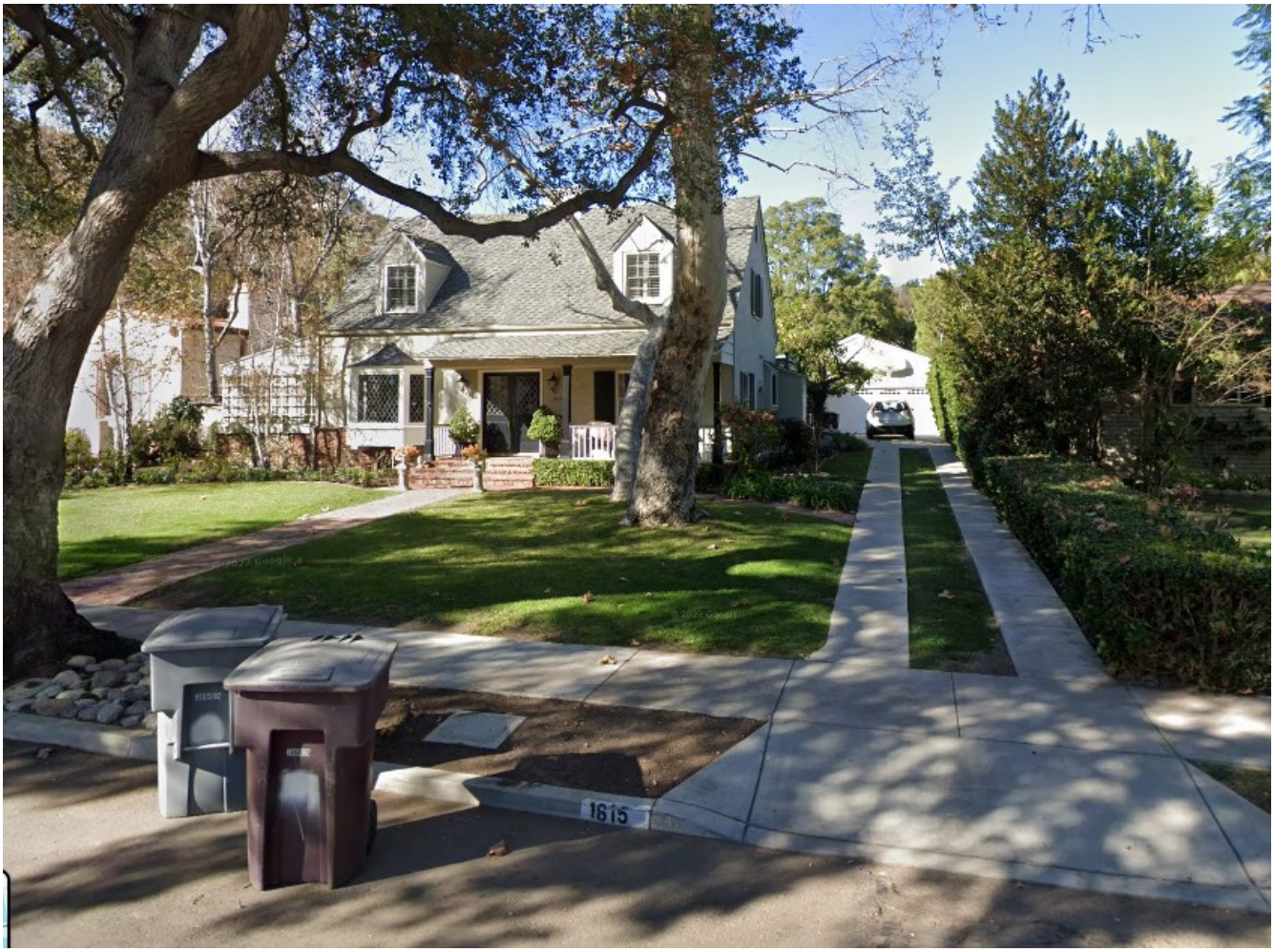


#2

#3

#4


#5

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