



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

February 28, 2024 <i>Decision Date</i>	2235 Flintridge Drive <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5658-036-005 <i>APN</i>
PADR-001936-2023 <i>Case Number</i>	George Grigorian <i>Applicant</i>
Shoghig Yepremian, Planner <i>Case Planner</i>	Richard Satur <i>Owner</i>

Project Summary

The project proposes to add a new 1,200 square foot second story to an existing one-story, 2,353 square-foot single-family house (originally constructed in 1979) with an attached three-car garage located on a 25,000 square-foot lot. The proposed second story living area will be situated above the existing 3-car garage and above a portion of the house. The entire second floor addition is situated on the east side of the house. The total combined floor area for the existing house including proposed additions will be 3,553 square feet. There are no changes proposed to the first floor except adding an interior staircase to lead to the second floor. The existing landscaping will remain as is and no changes are proposed to the site, except adding a new wall at the front next to the garage (height and setback are unmarked on the plans). The plans also show interior walls on each side of the property. The height and location of all "new" walls need to comply with the zoning requirements.

The property is zoned RIR III (Restricted Residential Zone, Floor Area Ratio III). Comprehensive Design Guidelines (Hillside) are applicable to this property. The project is within the Emerald Isle neighborhood.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square feet of floor area.

Existing Property/Background

Originally developed in 1979, the project site is a 25,000 square-foot lot with frontage on Flintridge Drive. The existing dwelling is a 2,353 square-foot single-family residence with an attached three-car garage. The house sits on a flat pad (gentle slope from street to house). The site then slopes up towards the back of the property. The overall lot has a 40

to 49% slope according to city maps. Access to the existing garage from a driveway located along Flintridge Drive will be maintained. The project site also features an existing swimming pool at the rear of the house which is proposed to remain.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R1R – FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope. No grading is proposed since this is a second-floor addition to an existing single-family house. No additional review is required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	16,984 sq. ft.	8,721 sq. ft. – 37,897 sq. ft.	25,000 sq. ft.
Setback	25 feet	10 feet – 102 feet	25 feet
House size	2,863	2,353 sq. ft. – 4,205 sq. ft.	3,553 sq. ft.
Floor Area Ratio	0.21	0.08 – 0.48	0.09
Number of stories	2 homes are 1-story & 20 homes are 2-stories	1 to 2-stories	2 nd story addition

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

- Building and decks follow topography
- Alteration of landform minimized

The proposed project is a 1,200 square foot second story addition. The project does not propose any new square foot addition on the first floor of the house or any other location on the property.

Yards and Usable Open Space

- yes** **n/a** **no**

If “no” select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

- yes** **n/a** **no**

If “no” select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design (Existing Landscaping to Remain)

- yes** **n/a** **no**

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

- yes** **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

The proposed project plans show a solid wall adjacent to the garage (east side) which has an entry gate behind the wall. The plans also show walls on the east side and on the west side. However, it is not clear from the submitted plans if these walls are existing walls or new walls. Any proposed new walls need to comply with the Zoning Code requirements for location and height.

Determination of Compatibility: Site Planning

The proposed second floor addition does not alter the overall site conditions. The proposal is to add a second story livable area to an existing single-story house. Site planning is appropriate to the site and its surroundings, as modified by proposed conditions, for the following reasons:

- The site plan remains relatively unchanged; the project features a 1,200 square-foot second story addition, above the existing three-car attached garage, facing Flintridge Drive and a portion of the addition above the house which is set back further.
- The second-floor addition above the garage facing the street is setback from the existing 3-car garage at 6'-6" to the bedroom wall and 2' to the bathroom bay window/wall. The portion of the second-floor addition which is located above the house sets back 16'-6" from the garage building line.
- No landscaping or site plan changes are proposed except a new wall in the front next to the garage. The plans show walls around the property as well, but not clear if the walls are existing or proposed. Any new walls need to comply with the Zoning Code requirements.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

The proposed second floor addition sets back from the garage building line approximately 6'-6" to the bedroom wall and 2 feet to the bathroom bay windows/wall. The second-floor addition above the house sets back approximately 16'-6".

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If “no” select from below and explain:

Concept governs massing and height

The proposed second floor addition, as presented, is not compatible with the existing house design due to the incorporation of curved features that are inconsistent with the design of the house. The recommended conditions will help makes the design more compatible with the existing house design.

Scale and Proportion

yes n/a no

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

The addition is in keeping with similar second story volumes found in the area and appears to not create any overbearing mass that could negatively impact adjoining properties.

Roof Forms

yes n/a no

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale would be appropriate to the site and its surroundings, if modified by the proposed conditions attached to this report, for the following reasons:

- Overall, the mass, proportions, and architectural concept of the project are not consistent with the existing residence. However, the massing would be improved by reducing the floor-to-ceiling height at the second floor. A condition of this effect has been incorporated.
- The immediate neighborhood features a combination of one- and two- story single-family residences. The subject property will become two-stories, with appropriate massing for the existing home and the neighboring properties. The proposed staff conditions will make the massing and scale more compatible with the existing house and with the houses in the neighborhood.
- The addition features a gable-roof design with a 4:12 pitch that is consistent with the roof form of the existing house.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

The proposed second story façade is not compatible with the existing house design. The proposed addition introduces different design elements such as curved window, bay and an adjoining curved balcony that are inconsistent with the rectilinear quality of the house.

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

The proposed second story windows and balcony door design are not compatible with the existing rectangular windows and doors. A condition is added to have flat heads at the new windows and doors for the proposed second story addition to match existing windows and doors.

Privacy

yes n/a no

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing is appropriate to the site and its surroundings, as modified by any proposed conditions, for the following reasons:

- The curved walls, window heads, and balcony at the addition makes the design of the second floor incompatible with the existing design below. A condition is recommended to use more rectilinear shapes for the second floor façade and windows.

Recommendation / Draft Record of Decision

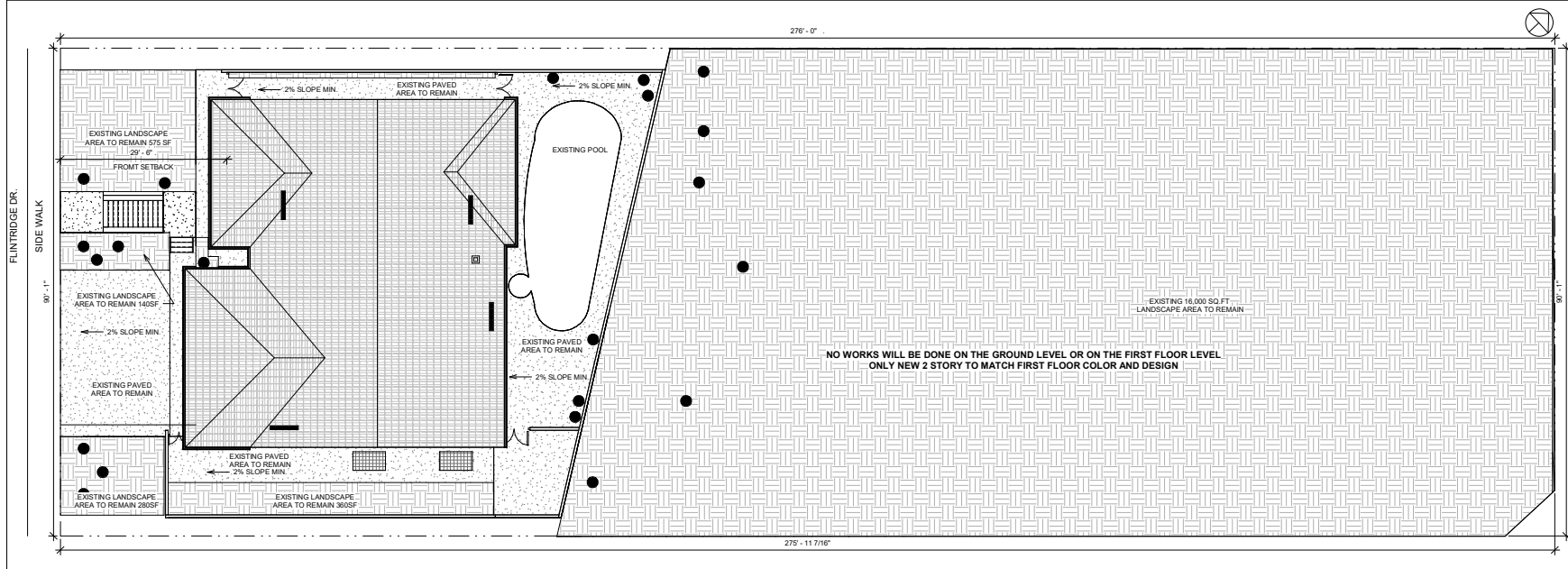
Based on the above analysis, staff recommends **Approval**. This determination is based on the plans that were submitted to staff on November 1, 2023 and implementation of the following recommended conditions:

Conditions

- Revise the design to eliminate the curved bay and balcony at the second floor. Redesign these areas to make them more consistent with the overall rectilinear quality of the existing house.
 - Revise the design of the second-floor windows and doors to have a flat head to make them compatible with the existing openings at the first floor.
 - Reduce second floor height to 9 feet (floor to ceiling height). Windows shall be adjusted accordingly.
 - New window edge details to match existing. Field-finished foam moldings are not allowed.
 - The proposed new free-standing walls shown on the plans need to comply with the Zoning Code requirements for location and height. If in compliance, the stucco color shall match the building color.
-

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey



NO WORKS WILL BE DONE ON THE GROUND LEVEL OR ON THE FIRST FLOOR LEVEL ONLY NEW 2 STORY TO MATCH FIRST FLOOR COLOR AND DESIGN



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2235 FLINTRIDGE DR GLENDALE, CA 91206

ZONING - RTR III OCCUPANCY GROUP - R - 3 CONSTRUCTION TYPE - TYPE V - B HIGH FIBER ZONE - NO FIRE SPRINKLER - NO STORES - 1 STORY

PROJECT SUMMARY LOT COVERAGE CALC LOT AREA = 29K EXISTING S.F. D = 2,363 SQ FT EXISTING 3 CAR GARAGE + 560 SQ FT EXISTING LANDSCAPE AREA TO REMAIN TOTAL = 2,913 / 25,000 = 12%

F.A.R. CALC EXISTING S.F. D = 2,363 NEW 2 STORY = 1,200 TOTAL = 3,563 / 25,000 = 14%

LANDSCAPE CALC. 17,355 / 25,000 = 70% PROJECT PROPOSED SUMMARY NEW 2 STORY = 1,200 COVERED BALCONY = 30

SCOPE OF WORK

- 2ND FLOOR ADDITION TO EXISTING ONE STORY HOUSE WITH A 3 CAR GARAGE, ADDING 2 ROOMS 2 BATHROOMS 2 CLOSETS 1 BALCONY AND 1 HVAC

LEGEND

- EXISTING LANDSCAPE EXISTING PAVING EXISTING BUILDING EXISTING AC-PPOOL EQUIPMENT PROPERTY LINE EXISTING TREE EXISTING EXTERIOR ENTRANCES

GLendale CITY FIRE DEPARTMENT NOTES:

- ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS CLEAR, LEGIBLE AND VISIBLE FROM THE STREET... 2. FIRE DEPARTMENT: PROVIDE A COMPLETE AUTOMATIC FIRE SUPPRESSION SYSTEM THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 10 AND THE REQUIREMENTS OF THE GLENDALE FIRE DEPARTMENT FIVE... 4. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM... 5. FIRE ALARMS: SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT... 6. FIRE SPRINKLER: FIRE SPRINKLER SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM...

NOTES:

- 1. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 1 YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE... 2. EVERY PART OF THE BUILDING SHALL BE CONSIDERED AS A COMPLETE UNIT... 3. FIRE SPRINKLER WATER TANKS SHALL HAVE AN AVERAGE WATER TEMPERATURE OF NOT MORE THAN 130 DEGREES FAHRENHEIT... 4. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM... 5. FIRE ALARMS: SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT... 6. FIRE SPRINKLER: FIRE SPRINKLER SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM...

NOTES:

- THERE ARE NO CALIF. BAY, MORE ESCAPE TREES ON THE LOT... REMAINING WALLS, CEILING, FLOOR, AND INTERIOR SURFACES SHALL BE EQUIPPED WITH FINISHES... NO NEW ROOFTOP EQUIPMENT IS ALLOWED IN THE ZONE... PAINT AND ROOF MATERIALS TO MATCH EXISTING COLOR.

APPLICABLE CODE:

- 2019 CALIFORNIA RESIDENTIAL CODE (CIRC) 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA ENERGY CODE (CEC) 2019 CALIFORNIA FIRE PREVENTION CODE (CFC) 2019 CALIFORNIA FIRE SAFETY CODE (CFC) 2019 CALIFORNIA FIRE PREVENTION CODE (CFC) 2019 CALIFORNIA FIRE SAFETY CODE (CFC)

GENERAL REQUIREMENTS

- A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR UNRESTRICTED ACCESS TO ANY UTILITY OR POWER DISTRIBUTION FACILITIES... B. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO THE SANITARY SYSTEM OR TO AN APPROVED SERVICE... C. DISPOSAL SYSTEM (SINK)... D. BATHS AND SHOWER LOUVERS SHALL HAVE ACCESS... E. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO THE SANITARY SYSTEM OR TO AN APPROVED SERVICE... F. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO THE SANITARY SYSTEM OR TO AN APPROVED SERVICE...

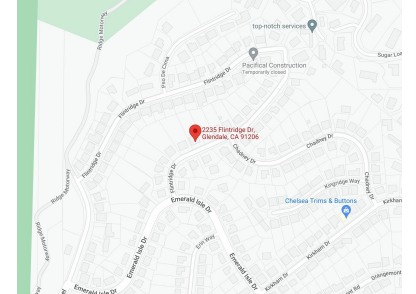
STRUCTURAL GENERAL NOTES

- SECURITY REQUIREMENTS 1. EXTERIOR DOORS: EXTERIOR DOORS... 2. WINDOW GLASS: WINDOW GLASS SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM... 3. WINDOW GLASS: WINDOW GLASS SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM... 4. WINDOW GLASS: WINDOW GLASS SHALL BE INSTALLED TO THE BUILDING ELECTRICAL SYSTEM...

DOOR AND WINDOW REQUIREMENTS

- 1.1. ALL WOOD DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF 1 3/4" ON TOP WITH PANELS NOT LESS THAN 3/4" THICK... 1.2. WOOD DOORS SHALL BE EQUIPPED WITH A HANDLE AND LOCKING MECHANISM... 1.3. ALUMINUM DOORS SHALL BE MINIMUM THICKNESS OF 1 1/2" AND BE EQUIPPED WITH A HANDLE AND LOCKING MECHANISM... 1.4. GLASSING IN EXTERIOR DOORS OR WITHIN OR ON EXTERIOR DOORS SHALL BE OF FULLY TEMPERED GLASS... 1.5. GLASSING IN EXTERIOR DOORS OR WITHIN OR ON EXTERIOR DOORS SHALL BE OF FULLY TEMPERED GLASS...

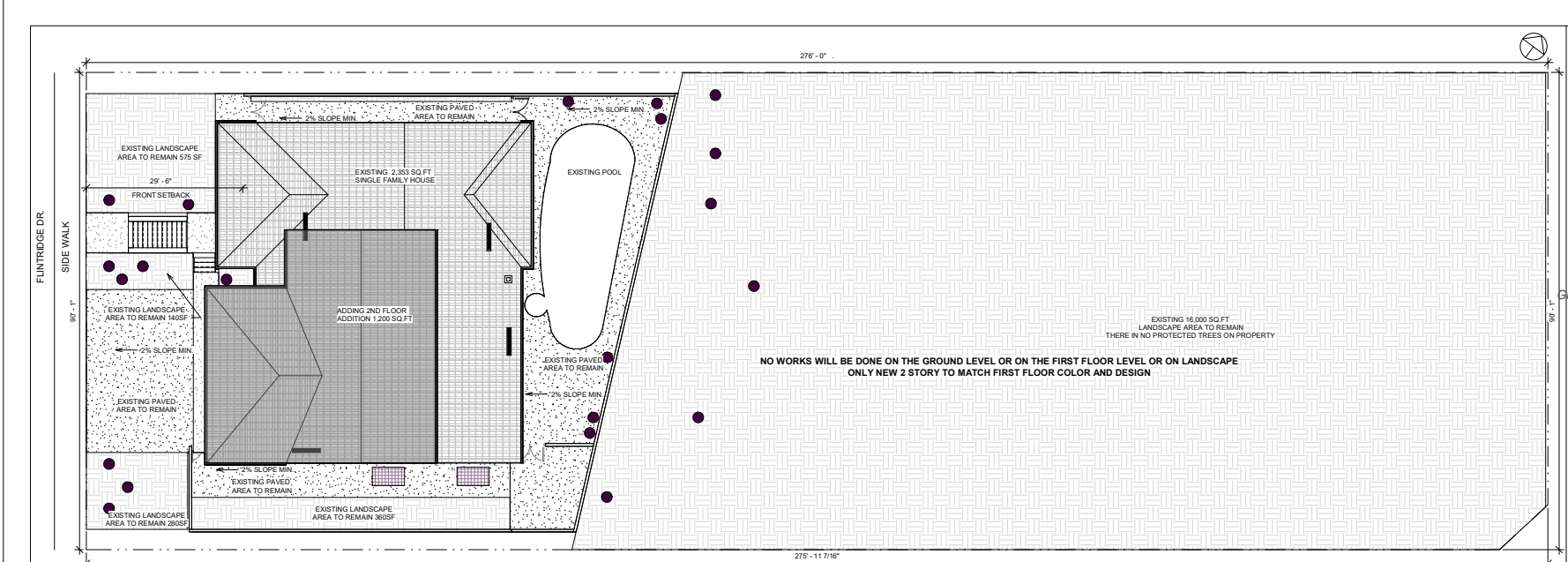
VICINITY MAP



2235 FLINTRIDGE DR GLENDALE, CA 91206 Site Plan Existing

Project information table with fields for Project number, Project Number, Date, Issue Date, Drawn by, Author, Checked by, Checker, Scale, and 1" = 10'-0"

SITE PLAN



100 N. Brand Blvd Suite 212
Glendale, CA 91203
Office: 818.476.0078
Cell: 310.920.9944

GrigorianArchitects@gmail.com
m

NO WORKS WILL BE DONE ON THE GROUND LEVEL OR ON THE FIRST FLOOR LEVEL OR ON LANDSCAPE ONLY NEW 2 STORY TO MATCH FIRST FLOOR COLOR AND DESIGN

EXISTING 16,000 SQ.FT. LANDSCAPE AREA TO REMAIN
THERE IS NO PROTECTED TREES ON PROPERTY

1 SITE PLAN
1" = 10'-0"

GLENDALE CITY FIRE DEPARTMENT NOTES:

- 1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, INCLUDING APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROADS, ALLEYS, AND VEHICLES GAINING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND ADDRESS NUMBERS SHALL BE IN AN ARABIC NUMERAL FONT. ALPHABET LETTERS: NUMBERS SHALL BE A MINIMUM OF SIX (6) INCHES (150 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/32 (2.4) INCHES (61 MM). UNLESS OTHERWISE SPECIFIED, ALL LETTERS SHALL BE 3/16 (48) INCHES (12 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/32 (2.4) INCHES (61 MM). UNLESS OTHERWISE SPECIFIED, ALL LETTERS SHALL BE 3/16 (48) INCHES (12 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/32 (2.4) INCHES (61 MM).
- 2. FIRE SPRINKLER: PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF MFC 91A AND THE REQUIREMENTS OF THE GLendale FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.
- 3. ADDITIONAL NOTES: CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GLENDALE'S FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.
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NOTES:

- 1. APPROVAL FOR WHICH NO PERMIT IS ISSUED WITHIN 1 YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE.
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APPLICABLE CODE:

- 2019 CALIFORNIA RESIDENTIAL CODE (CIRC), 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA FIRE CODE (FC), 2019 CALIFORNIA LAND DEVELOPMENT CODE (LDC), 2019 CALIFORNIA PAVING CODE (CPC), 2019 CALIFORNIA SIGN CODE (CSC), 2019 CALIFORNIA WATER SUPPLY CODE (CWC), 2019 CALIFORNIA WASTE WATER TREATMENT AND REUSE CODE (CWWTR), 2019 CALIFORNIA AIR QUALITY CONTROL CODE (CAQCC), 2019 CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA GAS CODE (CGC), 2019 CALIFORNIA HAZARDOUS WASTE CODE (CHWC), 2019 CALIFORNIA INDUSTRIAL GASES CODE (CIGC), 2019 CALIFORNIA SOLID WASTE MANAGEMENT CODE (CSWMC), 2019 CALIFORNIA WATER POLLUTION CONTROL CODE (CWPCC), 2019 CALIFORNIA WASTE MANAGEMENT CODE (CWMC), 2019 CALIFORNIA WASTE WATER TREATMENT AND REUSE CODE (CWWTR), 2019 CALIFORNIA AIR QUALITY CONTROL CODE (CAQCC), 2019 CALIFORNIA ENERGY CODE (CEC), 2019 CALIFORNIA GAS CODE (CGC), 2019 CALIFORNIA HAZARDOUS WASTE CODE (CHWC), 2019 CALIFORNIA INDUSTRIAL GASES CODE (CIGC), 2019 CALIFORNIA SOLID WASTE MANAGEMENT CODE (CSWMC), 2019 CALIFORNIA WATER POLLUTION CONTROL CODE (CWPCC), 2019 CALIFORNIA WASTE MANAGEMENT CODE (CWMC).

2325 FLINTRIDGE DR GLENDALE, CA 91206

ZONING - R1R11
OCCUPANCY GROUP - R, 3
CONSTRUCTION TYPE - TYPE V - B
STORIES - 1 STORY
HIGH FIBER ZONE - NO
FIRE SPRINKLER - NO

LOT COVERAGE CALC.
EXISTING S.F.D. = 2,353 SQ.FT.
EXISTING 3 CAR GARAGE = 560 SQ.FT.
EXISTING LANDSCAPE TO REMAIN 17,355
TOTAL = 2,913 / 25,000 = 12%

F.A.R. CALC.
EXISTING S.F.D. = 2,353
NEW 2 STORY = 1,200
TOTAL = 3,553 / 25,000 = 14%

LANDSCAPE CALC.
17,355 / 25,000 = 70%
NEW 2 STORY = 1,200
COVERED BALCONY = 30

SCOPE OF WORK

2ND FLOOR ADDITION TO EXISTING ONE STORY HOUSE WITH 3 CAR GARAGE, ADDING 2 ROOMS 2 BATHROOMS 2 CLOSETS 1 BALCONY AND 1 HVAC.

LEGEND

- EXISTING LANDSCAPE
- EXISTING PAVING
- EXISTING BUILDING 1FLOOR ONLY
- NEW BUILDING 2 FLOOR ONLY
- PROPERTY LINE
- EXISTING ACPOLE EQUIPMENT
- EXISTING TREE
- EXISTING EXTERIOR ENTRANCES

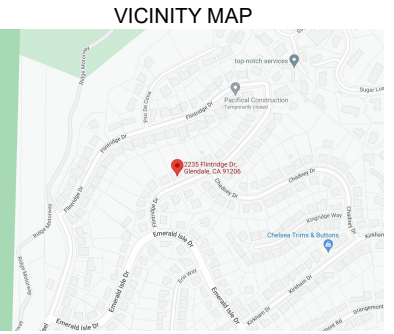
GENERAL REQUIREMENTS

- A. THE CONSTRUCTION SHALL NOT RESTRICT A FEET FOOT CLEAR AND UNRESTRICTED ACCESS TO LAWN WATERWAYS AND OTHER OPEN SPACES TO THE PUBLIC.
- B. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED ALTERNATIVE SANITATION SYSTEM.
- C. EXISTING AND NEW LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE (CEC).
- D. BATHING AND SHOWER FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE (CPC).
- E. PROVIDE ULTRA LOW FLOW WATER TOILETS FOR ALL NEW CONSTRUCTION.
- F. PROVIDE 1/2" HIGH NON-SLIP MATS ADJACENT TO SHOWER AND APPROVED WATER RESISTANT MATERIALS FOR SHOWER ENCLOSURE DOORS.

RESIDENTIAL GENERAL NOTES

- 1. EXTERIOR DOORS: COORDINATE BETWEEN HOUSE AND GARAGE.
- 2. EXTERIOR DOORS: COORDINATE BETWEEN HOUSE AND GARAGE.
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- 10. EXTERIOR DOORS: COORDINATE BETWEEN HOUSE AND GARAGE.
- 11. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 12. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 13. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 14. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 15. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 16. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 17. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 18. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 19. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.
- 20. GARAGE DOOR TYPE: ROLLING OVERHEAD DOOR.

- 1. ADDRESS AND IDENTIFYING DATA, ADDRESS NUMBERS AND OTHER IDENTIFYING DATA SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROADS, ALLEYS, AND VEHICLES GAINING ACCESS TO AND WITHIN THE PROPERTY.
- 2. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 3. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 4. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 5. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 6. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 7. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 8. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 9. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- 10. EXISTING CONDITIONS: EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED.



2325 FLINTRIDGE DR GLENDALE, CA 91206
Site Plan Proposed

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A101

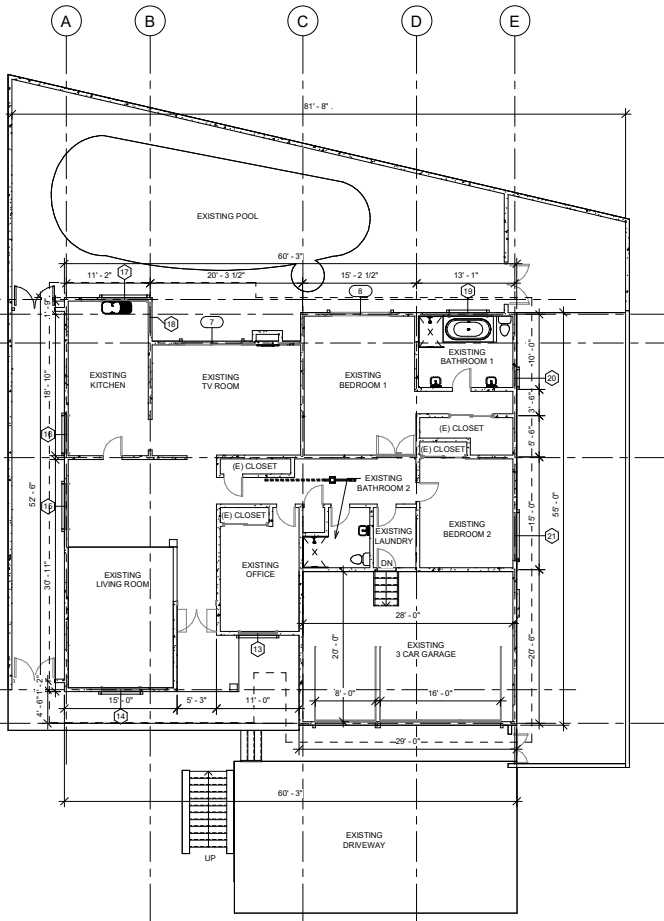
SITE PLAN

1" = 10'-0"



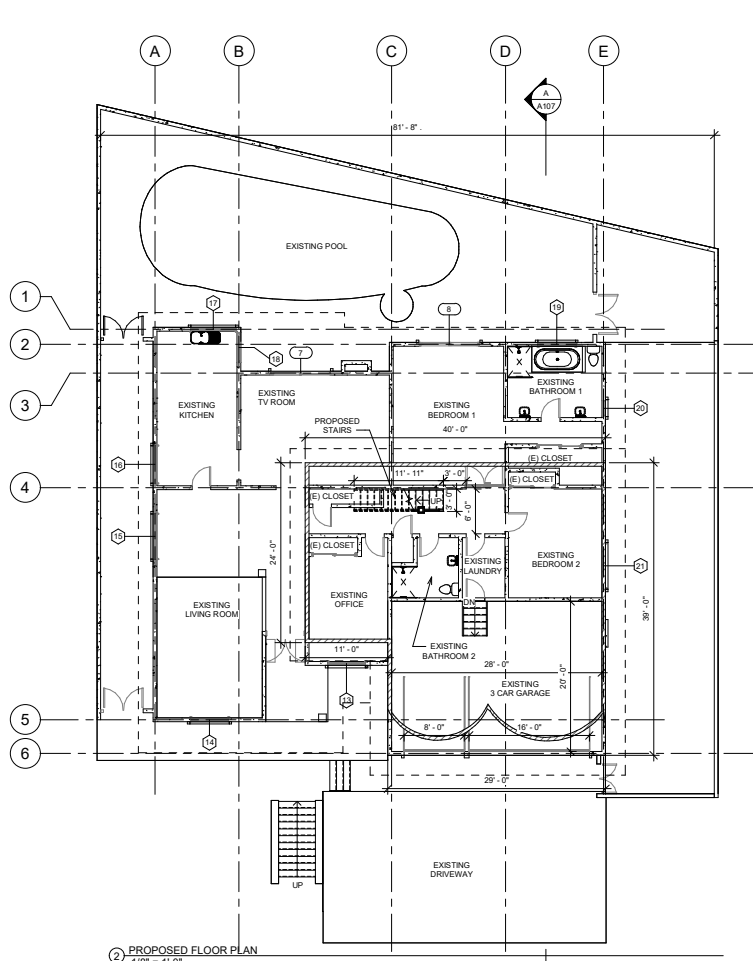
100 N. Brand Blvd Suit 212
Glendale, CA 91203
Office: 818.476.0078
Cell: 310.920.9944

GrigorianArchitects@gmail.com
www.grigorianarchitects.com



1 EXISTING FLOOR PLAN
1/8" = 1'-0"

- LEGEND
- 1 STORY ROOF OUTLINE
 - PROPOSED SECOND STORY WALLS
 - EXISTING WALLS
 - NEW WALLS
 - DEMO. WALLS



2 PROPOSED FLOOR PLAN
1/8" = 1'-0"

NOTE

NO WORKS WILL BE DONE ON THE GROUND LEVEL
OR ON THE FIRST FLOOR LEVEL ONLY NEW 2 STORY
TO MATCH FIRST FLOOR COLORS AND DESIGN

- LEGEND
- 2 STORY ROOF OUTLINE
 - PROPOSED SECOND STORY WALLS
 - EXISTING WALLS
 - NEW WALLS
 - DEMO. WALLS

No.	Description	Date

2235 FLINTRIDGE DR GLENDALE, CA 91206

1 Level Existing Floor Plan

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A102

Scale 1/8" = 1'-0"



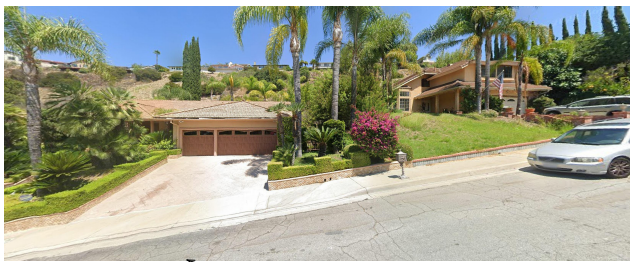
1

EXISTING HOUSE



2

EXISTING HOUSE ON THE FEFT

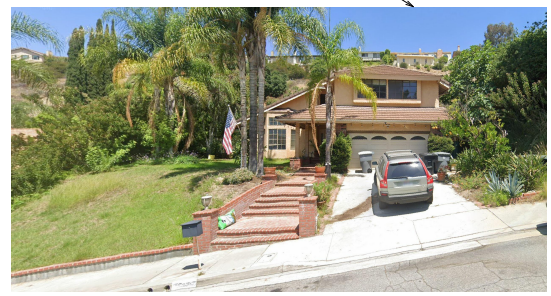


3

EXISTING HOUSE ON THE RIGHT



4



5



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No.	Description	Date



6

FEFT SIDE OF THE HOUSE



7



8

BACK SIDE OF THE HOUSE



9



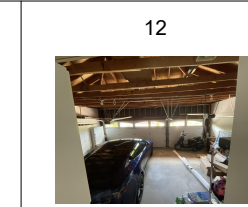
10

RIGHT SIDE OF THE HOUSE



11

HALLWAY



12

GARAGE

2235 FLINTRIDGE DR GLENDALE, CA 91206

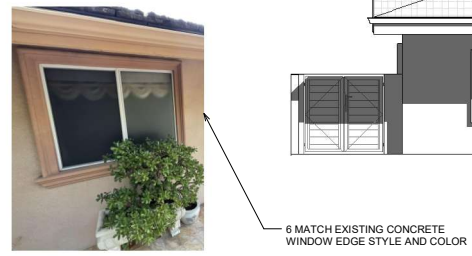
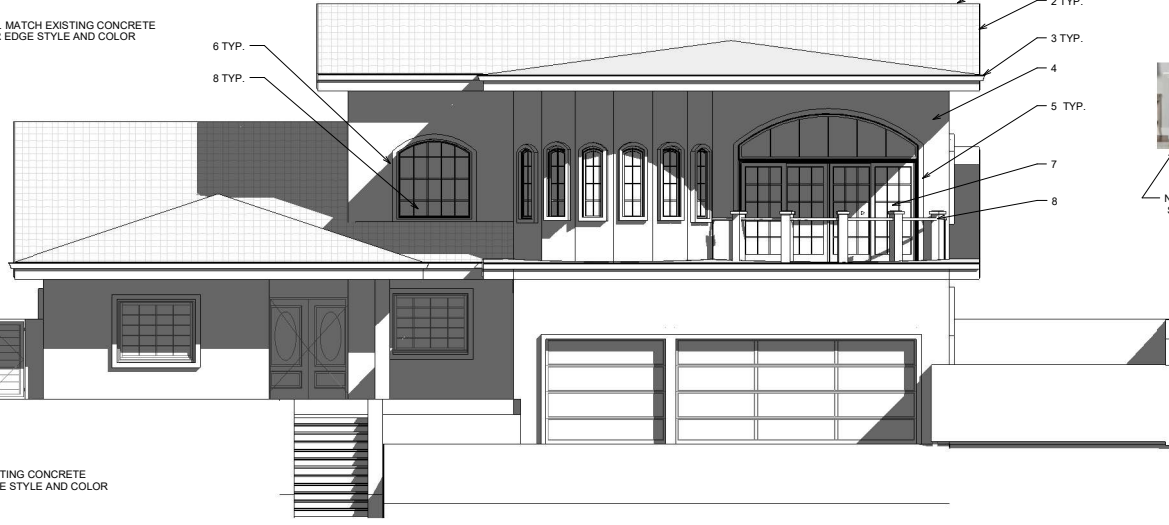
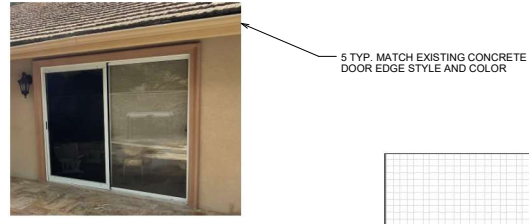
Photographs

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A113	
Scale	



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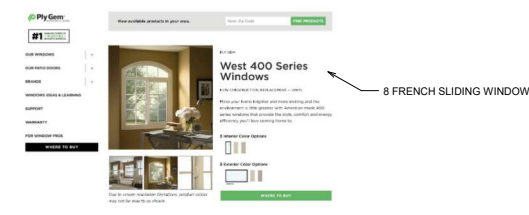


No.	Description	Date

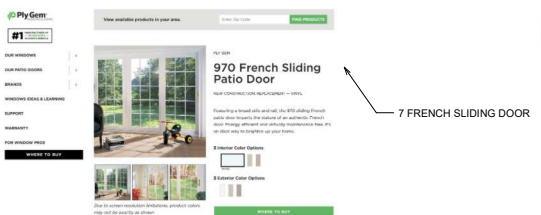
2235 FLINTRIDGE DR GLENDALE, CA 91206

Materials

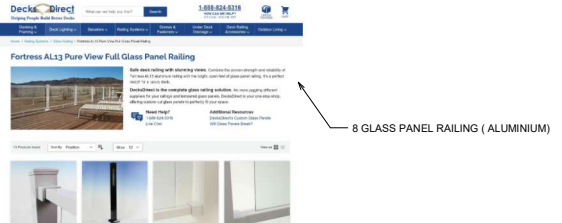
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A114	
Scale	1/4" = 1'-0"



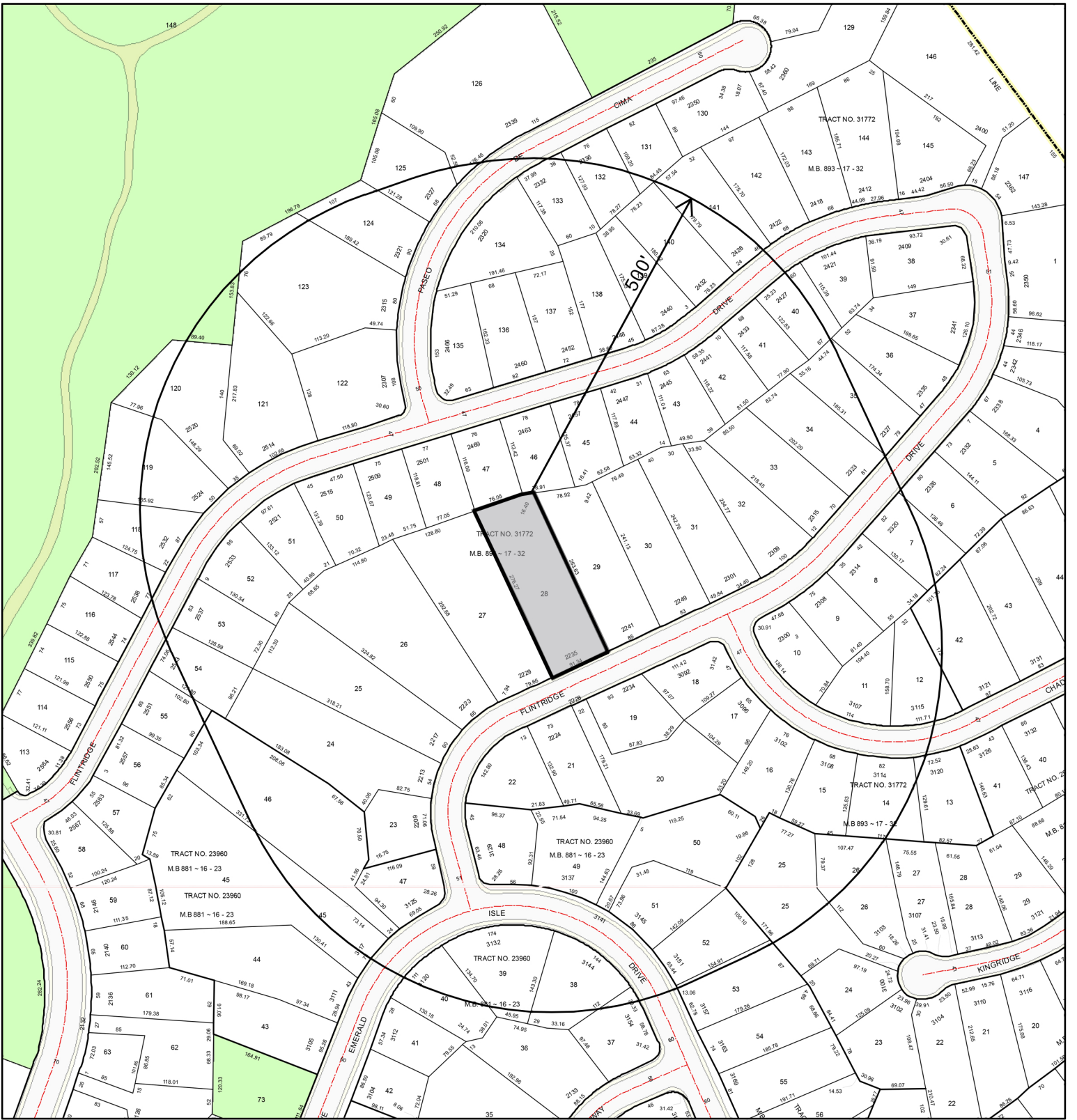
8 FRENCH SLIDING WINDOW



7 FRENCH SLIDING DOOR




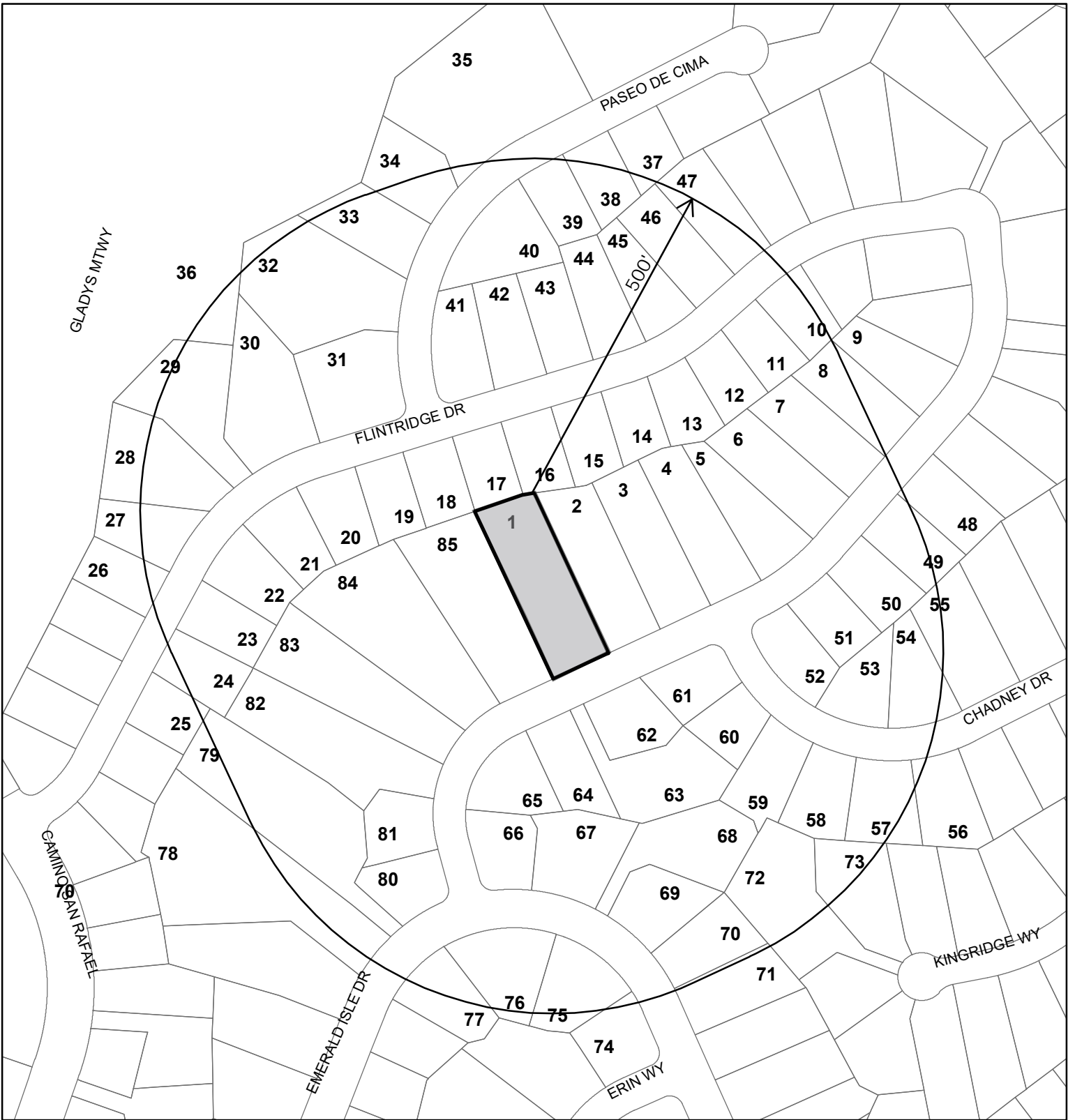
8 GLASS PANEL RAILING (ALUMINIUM)



SCALE: 1" = 200'

LOCATION MAP
2235 FLINTRIDGE DR
GLENDALE, CA 91206
APN: 5658-036-005
500' RADIUS
DATE: 04-15-2023



1" = 200'

RD M
 2235 RD DR
 D 91206
 5658 036 005
 500 RD
 D 04 15 2023

