



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

**March 4, 2023**

*Decision Date*

**1170 N Kenilworth Avenue**

*Address*

**Administrative Design Review (ADR)**

*Review Type*

**5634-025-202**

*APN*

**PADR-002378-2023**

*Case Number*

**Armen Hagobian**

*Applicant*

**Chloe Cuffel, Planner**

*Case Planner*

**Alek Kotolyan**

*Owner*

#### **Project Summary**

The applicant is proposing to demolish an existing 1,193 square foot, single-family house (built in 1925) and construct a new two-story, 5,634 square-foot, three-unit multi-family residential building with two, two-car attached garages on a 9,288 square-foot lot. The contemporary style triplex will include the following total floor area: Unit "A" 1,484 square-feet, Unit "B" 1,486 square-feet, and Unit "C" 1,464 square-feet, and each unit proposes and attached 400 square-foot garage. The site is located in the R-3050 (Moderate Density Residential) Zone.

#### **Environmental Review**

The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because the project is located in an urbanized area and involves a new multi-family residential structure with three units, where the maximum allowed under this exemption is six units.

#### **Existing Property/Background**

The 9,288 square-foot site is an irregularly shaped lot with 25 feet of frontage on Kenilworth Ave. The project site was originally developed in 1925 with a 1,193 square foot, single-family residence and a detached garage. The house was designed in the Minimal Traditional style with a steep roof-pitch and siding. The site topography consists of relatively flat terrain and is mostly rectangular, with a triangle-type frontage on Kenilworth Avenue, consistent with neighboring lots. The site is located in close proximity to Eleanor J Toll Middle School and Saint Peter Armenian Church, which also includes Taline Christian Preschool.

#### **Staff Recommendation**

Approve with Conditions

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**Last Date Reviewed / Decision**

First time submittal for final review.

**Zone: R-3050 (Moderate Density Residential) Zone**

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

None.

**Site Slope and Grading**

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

**Yards and Usable Open Space**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

**Garage Location and Driveway**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

**Landscape Design** (Existing Landscaping to Remain)

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

**Walls and Fences**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

No perimeter walls or outdoor space fences have been identified on the plans. A condition is included to show all fences, including material type, for Planning review and approval.

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new three-unit multi-family building will face North Kenilworth Avenue and will maintain the prevailing street front setback for the residential properties along this street consistent with the neighborhood.
- The three new 400 square feet attached garages will be accessed via a driveway access from on North Kenilworth. The garages are appropriately incorporated into the building’s overall design and will not be visible from the street.
- The trash bins are located towards the rear of the property behind screening that is integrated into the building and appropriate to the site.
- The project includes 600 square-feet of private open space at the rear of the property for residential use.
- The proposal exceeds the minimum required landscaping ratio and will maintain a front lawn similar to the neighboring properties.
- No perimeter walls or fences are called out on the plans; a condition has been included to show all fences, including material type for Planning review and approval.

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**Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Appropriate proportions and transitions
- Impact of larger building minimized

**Building Relates to Existing Topography**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

**Consistent Architectural Concept**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Concept governs massing and height

**Scale and Proportion**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

**Roof Forms**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Roof reinforces design concept
- Configuration appropriate to context

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:



- Overall, the mass, height, proportions, and architectural concept of the project are consistent with and appropriate to the existing neighborhood.
- The site is located in a multi-family zone and is surrounded by mostly two- and three-story multi-family buildings to the north and west. Directly east and across the street to the west side of Kenilworth, there are existing one- and two-story single-family homes. The mass and scale of the proposed building are appropriate to the surrounding development pattern.
- The proposal is contemporary in style and the second story is appropriately setback to break up the building's massing.
- The massing is broken up by recessed building forms, breaks in roof and walls, fenestration and cladding material. Applying these features appropriately avoids long, blank horizontal facades as it creates an interesting design element and minimizes a boxy outline.
- The applicant's use of combined materials (stucco and siding) and different colors help to reinforce the reading of different volumes, and articulates the building.

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## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

### Entryway

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

### Windows

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

The applicant has selected vinyl block frame windows, which are appropriate to the style of the building. However, several of the proposed windows are sliders and will be

visible from the street. To better enhance the design of the building, a condition is included to replace the slider windows with casement, hung, or fixed.

### **Privacy**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

### **Finish Materials and Color**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

### **Paving Materials**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

The driveway material is not identified on the plans. A condition is included to call out the proposed decorative driveway material on the site plan.

### **Lighting, Equipment, Trash, and Drainage**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Location of lighting fixtures and downspouts not properly identified on the plans. A condition is included to show the location of all proposed site lighting and light fixtures on the building limited to the main entry and patio doors, and a condition is included to show downspouts on the building, finished to match the adjacent wall color. This information is to be submitted for staff review and approval prior to plan check submittal

### **Ancillary Structures**

**yes**    **n/a**    **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

### **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design, detailing and architectural concept of the building is consistent with the Contemporary design, appropriate to the site and the neighborhood.
- The project materials include a metal roof, La Habra stucco and Hardie siding. The balconies will use metal railings. The proposed variety of finishes for the building help reinforce the overall contemporary building design.
- Location of lighting fixtures and downspouts not properly identified on the plans. . A condition is included to show the location of all proposed site lighting and light fixtures on the building limited to the main entry and patio doors, and a condition is included to show downspouts on the building, finished to match the adjacent wall color. This information is to be submitted for staff review and approval prior to plan check submittal.
- The applicant has selected vinyl block frame windows, which are appropriate to the style of the building. However, several of the proposed windows are sliders and will be visible from the street. A condition has been included to revise the sliders to an option more appropriate, such as casement, hung, or fixed.
- The driveway material is not identified on the plans. A condition is included to call out the proposed decorative driveway material on the site plan.
- The balconies are appropriately setback from front and interior lot lines and do not pose privacy concerns to neighboring properties. The balconies facing north, neighboring a single-family residence, were thoughtfully designed with driveway separation to mitigate potential privacy concerns.

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### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

#### **Conditions**

1. Replace the sliding windows with casement, hung or fixed type window and show this information on the window schedule and elevation drawings.
2. Revise drawings to show decorative driveway material and include this information on the site plan.
3. Show the location of all proposed site lighting and light fixtures on the building limited to the main entry and patio doors.
4. Show downspouts on the building, finished to match the adjacent wall color.

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### **Attachments**

1. Reduced Plans

2. Location Map
3. Photo Survey



# KOTOLYAN UNITS

## OWNER

ALEK KOTOLYAN  
6130 COLDWATER CANYON AVE. UNIT 313  
VALLEY GLEN, CA 91606  
TEL: (818) 987-5857

## PROJECT ADDRESS:

1170 N KENILWORTH AVE  
GLENDALE, CA 91202

## LEGAL DESCRIPTION:

APN NO: 5634-025-202

## PROJECT DATA:

PROJECT DESCRIPTION: NEW 3-UNIT APARTMENT

ZONE: R3050  
LOT SHAPE: IRREGULAR  
LOT AREA: 9,288 SQ.FT. (PER ASSESSOR MAP)  
TYPE OF CONSTRUCTION :  
OCCUPANCY: R-3/U  
(E) SFD. SQ. FT: 1,193 SQ.FT. (PER ASSESSOR MAP)

## UNIT AREAS:

### UNIT A

1ST FLOOR: 696 SQ.FT  
2ND FLOOR: 788 SQ.FT  
TOTAL: 1,484 SQ.FT

ATTACHED GARAGE: 400 SQ.FT.

### UNIT B

1ST FLOOR: 640 SQ.FT  
2ND FLOOR: 846 SQ.FT  
TOTAL: 1,486 SQ.FT

ATTACHED GARAGE: 400 SQ.FT

### UNIT C

1ST FLOOR: 639 SQ.FT  
2ND FLOOR: 846 SQ.FT  
TOTAL: 1,464 SQ.FT

ATTACHED GARAGE: 400 SQ.FT

## F.A.R.:

FLOOR AREA RATIO ALLOWED: 65% OF LOT AREA = 6,037.2 SQ.FT.  
FLOOR AREA RATIO PROVIDED: 60.8%

1484 SQ.FT+1486 SQ.FT + 1464 SQ.FT+ 1200 SQ.FT = 5,634 SQ.FT.  
(5,652 SQ.FT / 9,288 SQ.FT) x 100 = 60.65%

## LOT COVERAGE:

ALLOWED: MAX. 50% OF LOT AREA=4,644 SQ.FT.

PROPOSED LOT COVERAGE: 35.87%  
3,332 SQ.FT. (FOOTPRINT OF FIRST FLOOR+GARAGE.)  
3,332 SQ.FT. / 9,288 SQ.FT.x100= 35.8%

## LANDSCAPE:

REQUIRED: 25%  
9,288 SQ.FT x 0.25 = 2,322 SQ.FT  
PROVIDED: 32.78%  
(3,044.7 SQ.FT/9,288 SQ.FT) x 100 = 32.78

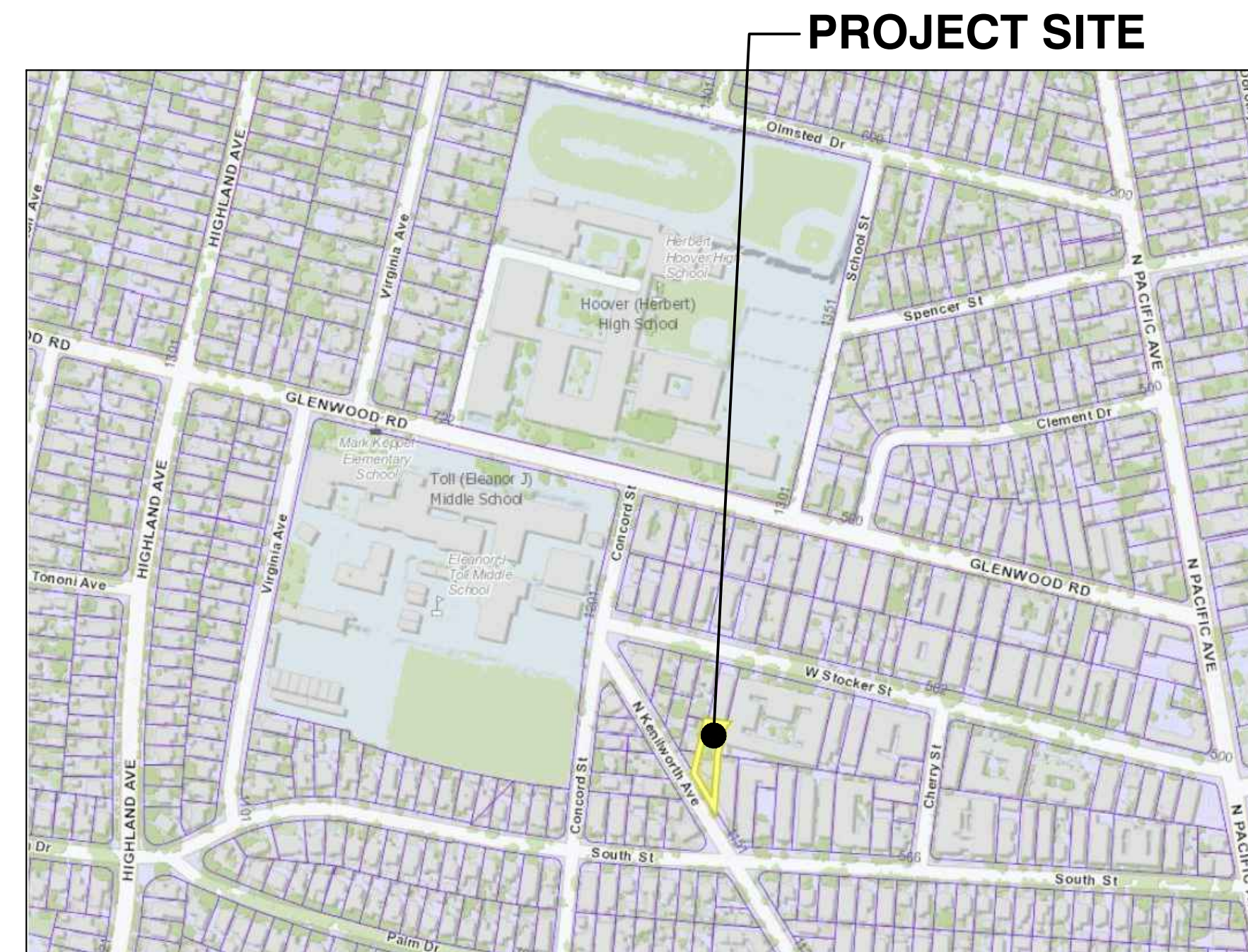
## DESIGN TEAM:

### ARCHITECT:

EDWARD HAGOBIAN & ASSOC. INC.  
220 S. KENWOOD ST. STE. #210  
GLENDALE, CA. 91205  
TEL: (818) 502-0590  
armen@hagobianarchitects.net

### SURVEYOR:

FERRER & ASSOCIATES  
LAND SURVEYING AND ENGINEERING  
16388 COLIMA RD. #206 UNIT L  
HACIENDA HEIGHTS, CA 91745  
TEL: (626) 437-0038



## VICINITY MAP:

## NOTES:

- ALL INFORMATION REGARDING THE EXISTING CONDITIONS OF THE LOT, INCLUDING SLOPES, CONTOURS, PROPERTY LINES AND SIZES, TREES, SIDEWALK/STREET, LOCATION OF POWER POLES AND ITS RESTRICTED SPACES, EASEMENTS, DEDICATIONS AND OTHER INFORMATION ARE PREPARED BY THE SURVEYOR. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ACCURACY.
- NO OAK, CALIFORNIA BAY, SYCAMRE TREES WERE FOUND ON THE SITE, NOR 20' BEYOND THE PROPERTY LINE.

## SHEET INDEX:

### ARCHITECTURAL:

- A-00 COVER SHEET PROJECT INFO & DATA
- A-1 SITE/SURVEY & PROPOSED SITE PLAN
- A-1.1 SETBACK CALCULATIONS
- A-2 FIRST & SECOND FLOOR PLAN
- A-3 ROOF PLAN
- A-4 ELEVATIONS
- A-4.1 COLORED ELEVATIONS
- A-5 SECTIONS
- A-6 PERSPECTIVE

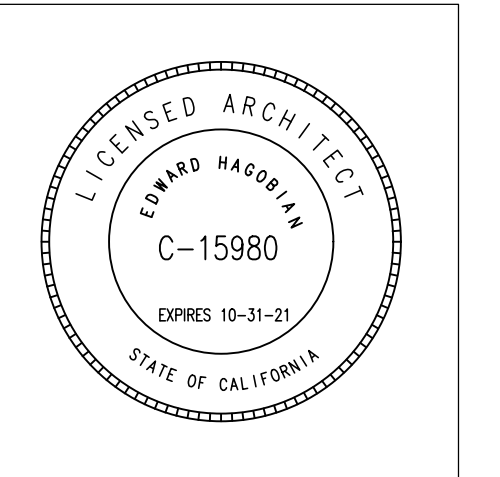
## ABBREVIATIONS:

W/	WITH	GA.	GAGE, GAUGE	RAD.	RADIUS
WO/	WITHOUT	GALV.	GALVANIZE(D)	REF.	REFER(ENCE)
#	NUMBER	GL.	GLASS, GLAZING	REQ.	REQUIRE(D)
&	AND	G.B.	GRADE BEAM	REV.	REVISE(ION)
APPROX.	APPROXIMATE(LY)	GLB.	GLUED LAMINATED BEAM	RFG.	ROOFING
ARCH.	ARCHITECT(URAL)	GYP.	GYP SUM	RM.	ROOM
BRG.	BEARING	GYPBD	GYPBOARD	SCHED.	SCHEDULE
BM.	BEAM	HDR.	HEADER	SEC.	SECTION
BLK.	BLOCK	H.V.A.C.	HEATING/VENTILATION	SIM.	SIMILAR
BLKG.	BLOCKING		AIR CONDITIONING	SPC.	SPACE(R)(D)(ING)
B.O.	BOTTOM OF	HT.	HEIGHT	SPEC.	SPECIFICATION
B.O.F.	BOTTOM OF FOOTING	INCL.	INCLUDE(D)(ING)	SQ.	SQUARE
BLDG.	BUILDING	I.D.	INSIDE DIAMETER	STAG.	STAGGER(ED)
CNTR.	CENTER(ED)	IN.	INCHES	STL.	STEEL
CLR.	CLEAR(ANCE)	INS.	INSULATE(D)(ING)	STD.	STANDARD
COL.	COLUMN(S)	INSP.	INSPECT(ING)(ION)	STRL.	STRUCTURAL
CONC.	CONCRETE	INT.	INTERIOR	SYM.	SYMMETRICAL
CONT.	CONTINUE(OUS)	L.	LENGTH	T.O.	TOP OF
CONTR.	CONTRACT(OR)	LAM.	LAMINATE(D)	T.O.CH.	TOP OF CHIMNEY
C.F.	CUBIC FOOT	LDGR.	LEDGER	TOC.	TOP OF CONCRETE
C.Y.	CUBIC YARD	LH.	LEFT HAND	TOCB.	TOP OF CURB
DBL.	DOUBLE	N.	NORTH	TOF.	TOP OF FOOTING
DTL.	DETAIL(S)	(N)	NEW	TOG.	TOP OF GRADE
DIAG.	DIAGONAL	N.I.C.	NOT IN CONTRACT	TOM.	TOP OF MASONRY
DIA.	DIAMETER	N.T.S.	NOT TO SCALE	TOP.	TOP OF PAVING
DIM.	DIMENSION(S)	O.C.	ON CENTER	TOPL.	TOP OF PLATE
DN.	DOWN	OPNG.	OPENING	TOS.	TOP OF SLAB
EA.	EACH	O.D.	OUTSIDE DIAMETER	TOSHTG.	TOP OF SHEATHING
(E)	EXISTING	PNL.	PANEL	TOW.	TOP OF WALL
ELEV.	ELEVATION	PAR.	PARALLEL	TYP.	TYPICAL
EQ.	EQUAL	PARTN.	PARTITION	U.N.O.	UNLESS NOTED OTHERWISE
EXP.	EXPOSE(D)	PVMT.	PAVEMENT	V.B.	VAPOR BARRIER
EXT.	EXTERIOR	PERF.	PERFORATE	VNR.	VENEER
FOS.	FACE OF STUD	PLY.	PLYWOOD	WP.	WATERPROOFING
FIN.	FINISH	PT.	POINT	W.	WIDTH OR WIDE
FFE.	FINISH FLOOR ELEVATION	PREFAB.	PREFABRICATE(D)	WD.	WOOD
FLR.	FLOOR	PREFIN.	PREFINISH(ED)	W.I.	WROUGHT IRON
FT.	FOOT, FEET	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR	WM.	WIRE MESH
FTG.	FOOTING				
FDN.	FOUNDATION				

EDWARD  
HAGOBIAN  
&  
ASSOC.  
INCORPORATED  
ARCHITECTS

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PROJECT:  
KOTOLYAN UNITS

## ADDRESS:

1170 N KENILWORTH AVE  
GLENDALE, CA 91202

## SHEET TITLE:

PROJECT INFO & DATA

## Revisions:

1 -

JOB NO.: 23-778

SCALE AS SHOWN

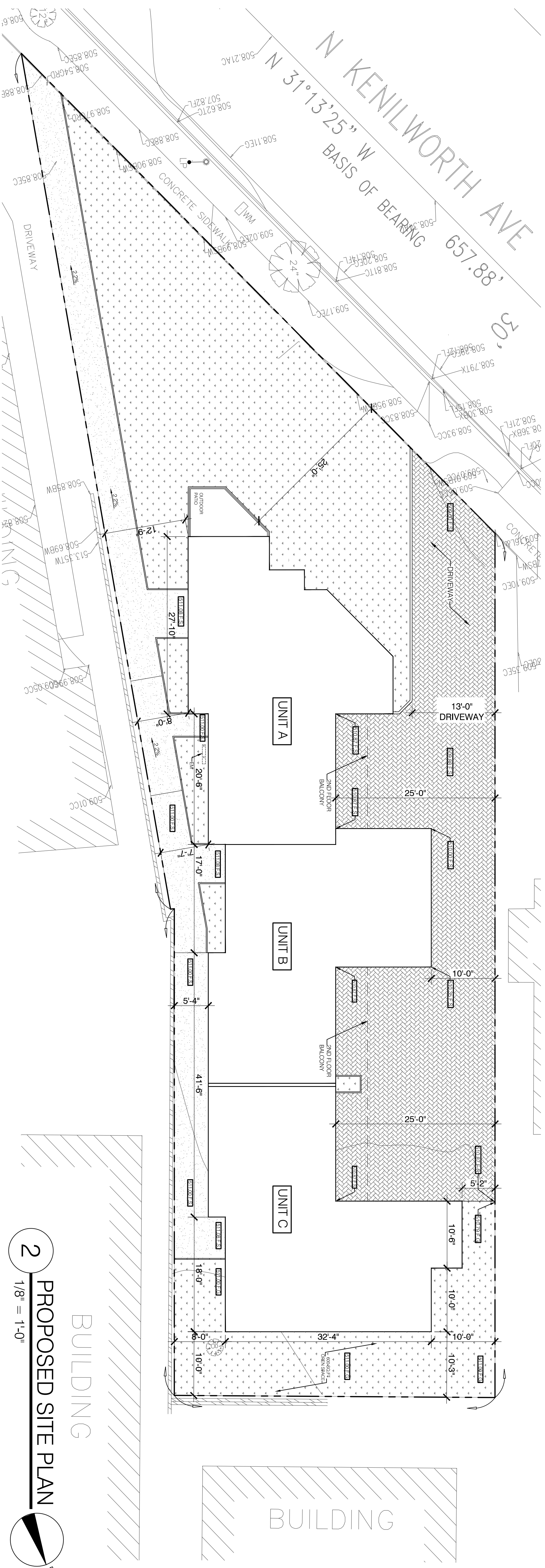
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DATE: OCTOBER, 2023

SHEET NO: **A-00**

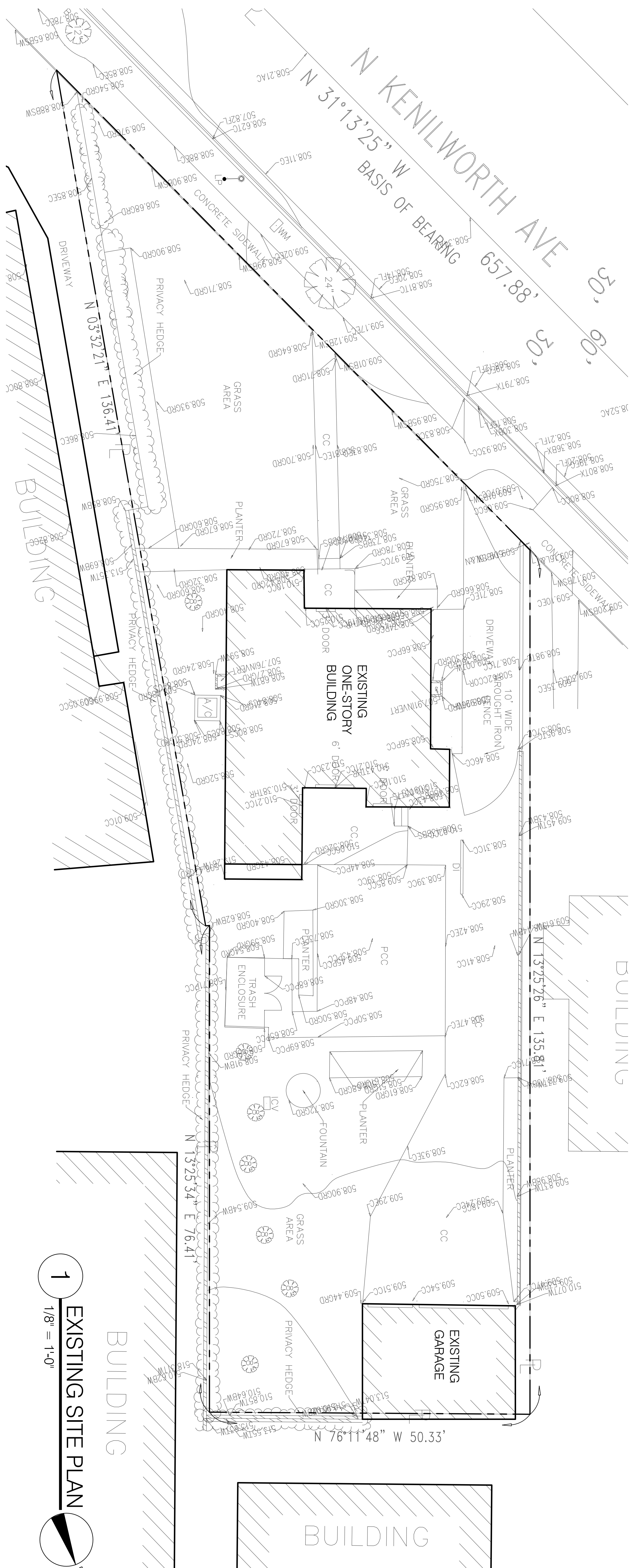
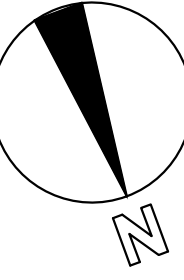
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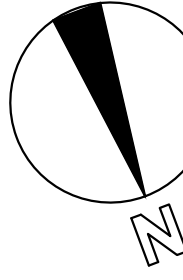
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1/8" = 1'-0"

PROPOSED SITE PLAN



1  
1/8" = 1'-0"

EXISTING SITE PLAN



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DATE:	OCTOBER, 2023
SHEET NO.:	A-1

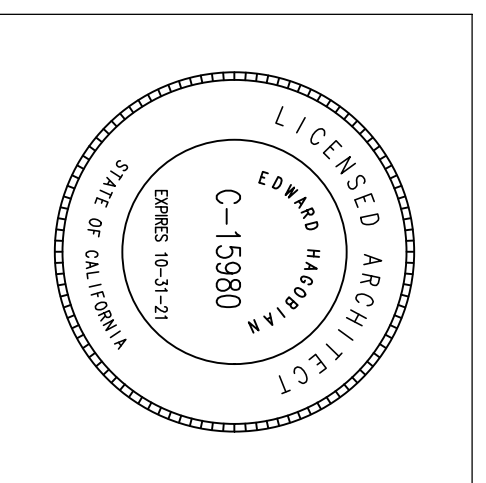
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Revisions:

**PROJECT:**  
KOTOLYAN UNITS

**ADDRESS:**  
1170 N KENILWORTH AVE  
GLENDALE, CA 91202

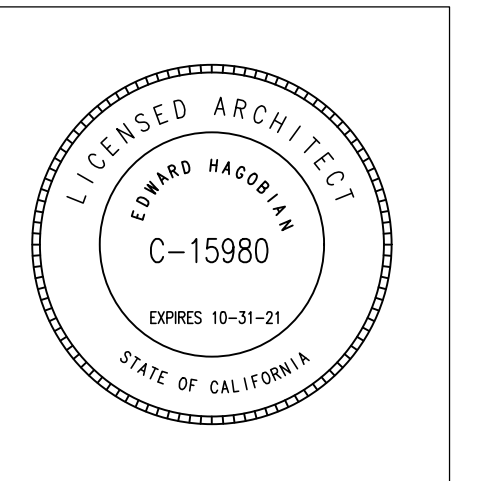
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EXISTING & PROPOSED SITE PLAN



**EDWARD  
MAGOBRIAN**  
&  
ASSOCIATES  
ARCHITECTS

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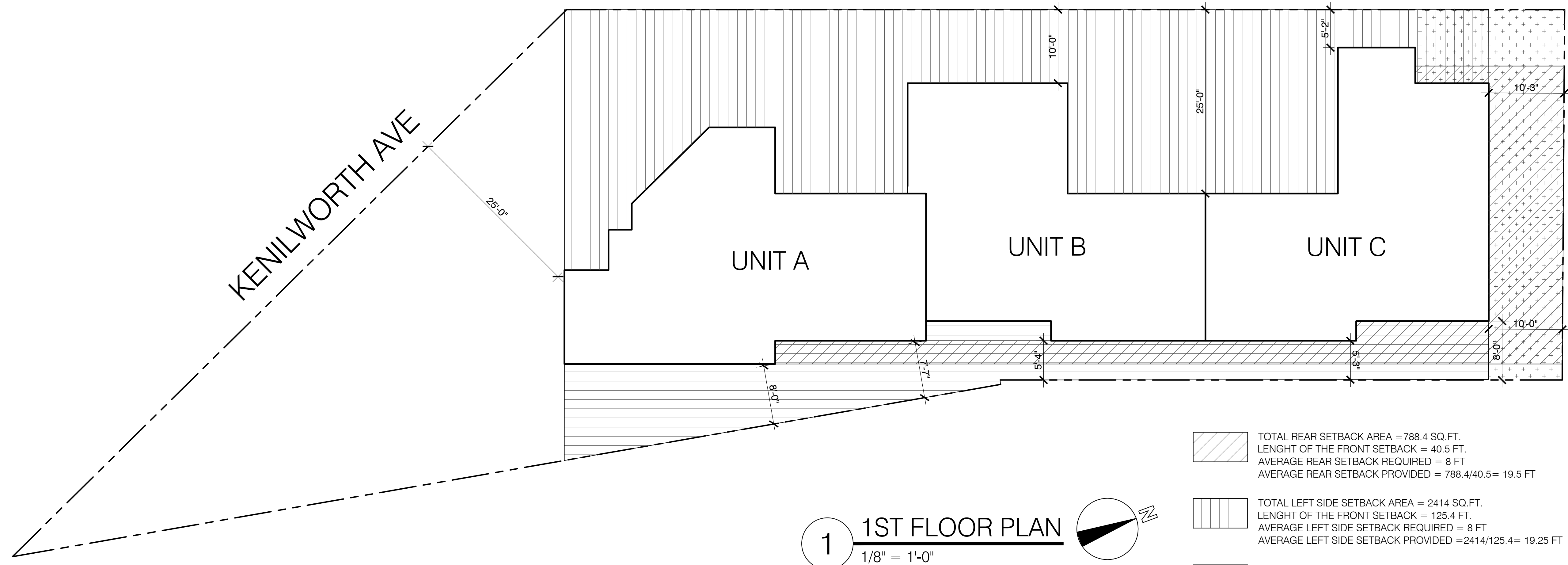
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SETBACK CALCULATIONS



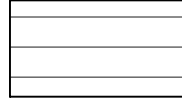
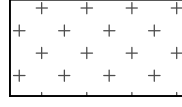
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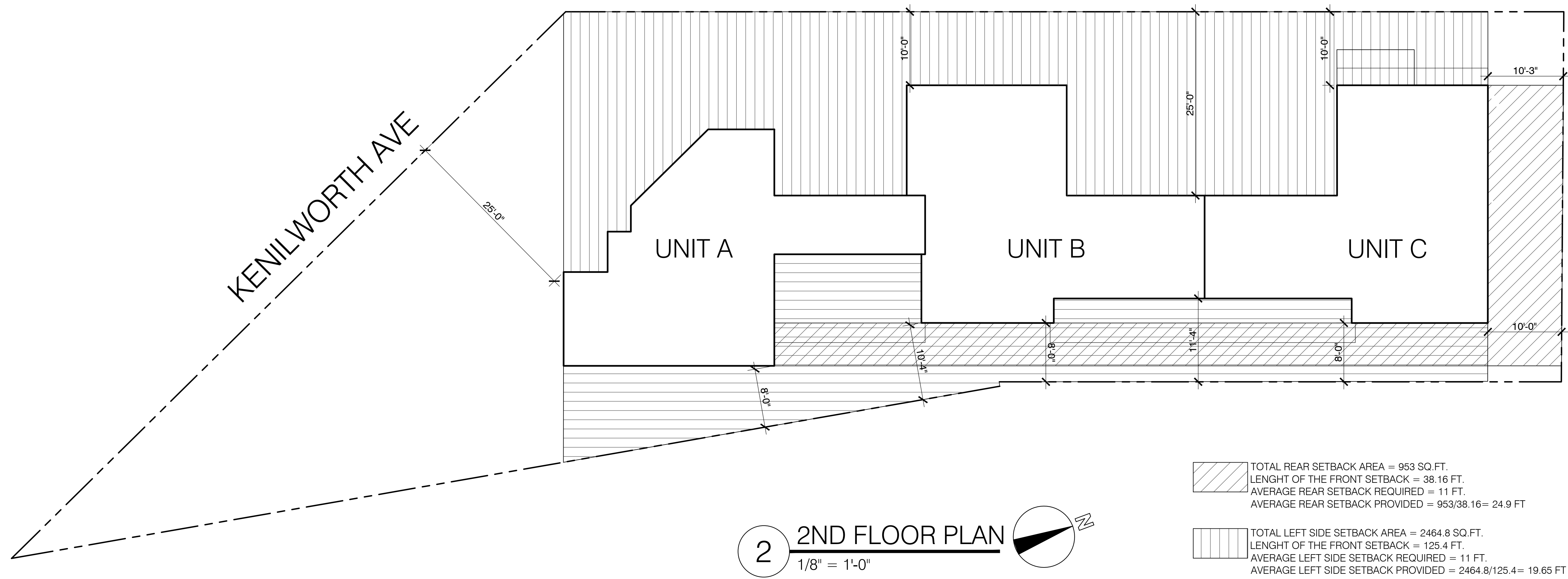
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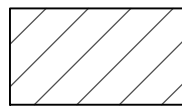
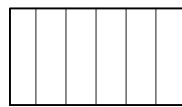
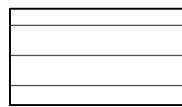
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DATE:	OCTOBER, 2023
SHEET NO.:	<b>A-1.1</b>

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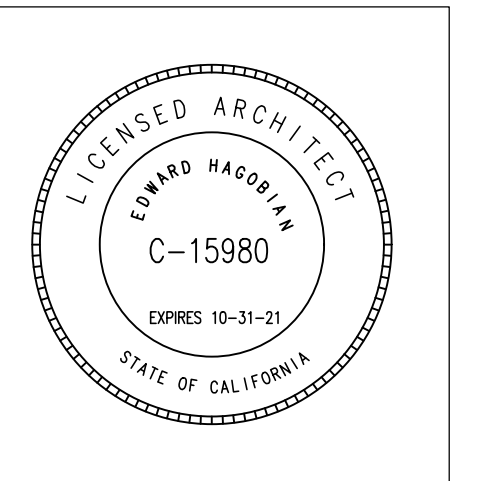


-  TOTAL REAR SETBACK AREA = 788.4 SQ.FT.  
LENGTH OF THE FRONT SETBACK = 40.5 FT.  
AVERAGE REAR SETBACK REQUIRED = 8 FT  
AVERAGE REAR SETBACK PROVIDED = 788.4/40.5 = 19.5 FT
-  TOTAL LEFT SIDE SETBACK AREA = 2414 SQ.FT.  
LENGTH OF THE FRONT SETBACK = 125.4 FT.  
AVERAGE LEFT SIDE SETBACK REQUIRED = 8 FT  
AVERAGE LEFT SIDE SETBACK PROVIDED = 2414/125.4 = 19.25 FT
-  TOTAL RIGHT SIDE SETBACK AREA = 1013.3 SQ.FT.  
LENGTH OF THE FRONT SETBACK = 126.66 FT.  
AVERAGE RIGHT SIDE SETBACK REQUIRED = 8 FT  
AVERAGE RIGHT SIDE SETBACK PROVIDED = 1013.3/126.66 = 8 FT
-  600 SQ.FT. OPEN SPACE



-  TOTAL REAR SETBACK AREA = 953 SQ.FT.  
LENGTH OF THE FRONT SETBACK = 38.16 FT.  
AVERAGE REAR SETBACK REQUIRED = 11 FT.  
AVERAGE REAR SETBACK PROVIDED = 953/38.16 = 24.9 FT
-  TOTAL LEFT SIDE SETBACK AREA = 2464.8 SQ.FT.  
LENGTH OF THE FRONT SETBACK = 125.4 FT.  
AVERAGE LEFT SIDE SETBACK REQUIRED = 11 FT.  
AVERAGE LEFT SIDE SETBACK PROVIDED = 2464.8/125.4 = 19.65 FT
-  TOTAL RIGHT SIDE SETBACK AREA = 1500 SQ.FT.  
LENGTH OF THE FRONT SETBACK = 126.66 FT.  
AVERAGE RIGHT SIDE SETBACK REQUIRED = 11 FT  
AVERAGE RIGHT SIDE SETBACK PROVIDED = 1500/126.66 = 11.84 FT





**PROJECT:**  
KOTOLYAN UNITS

**ADDRESS:**  
1170 N KENILWORTH AVE  
GLENDALE, CA 91202

**SHEET TITLE:**  
FLOOR PLANS

**Revisions:**

NO.	DESCRIPTION
1	

JOB NO.: 23-778

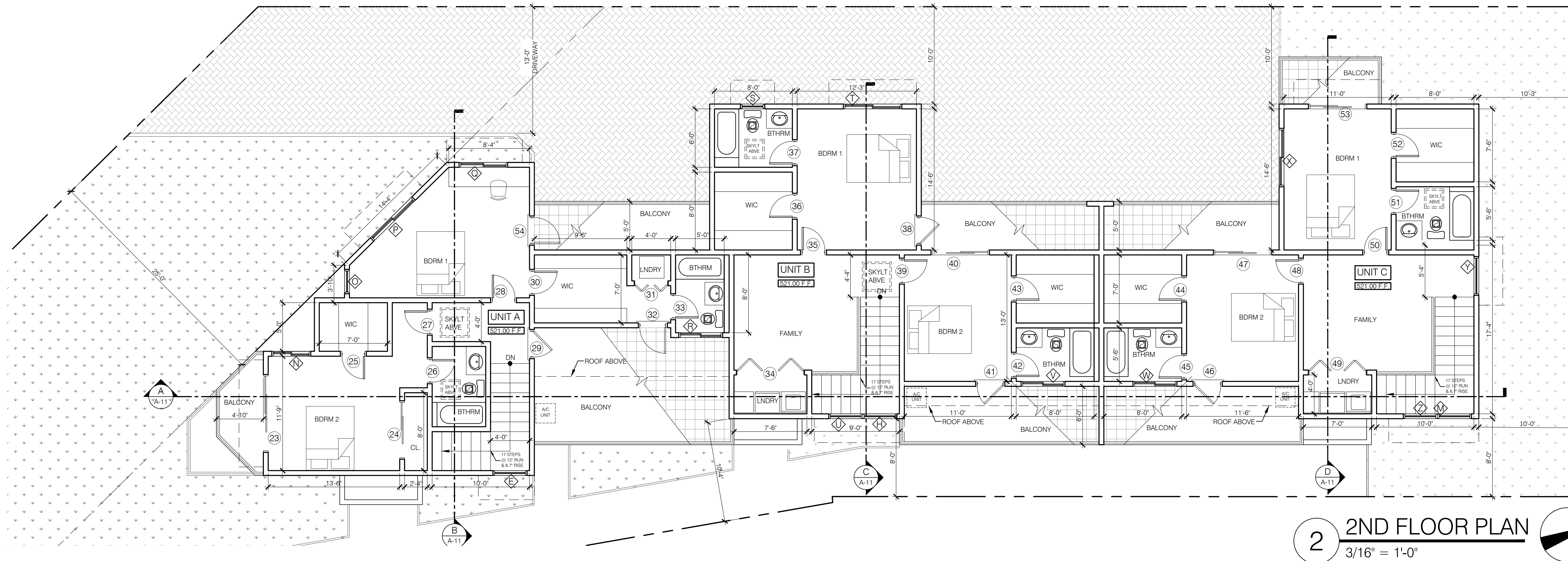
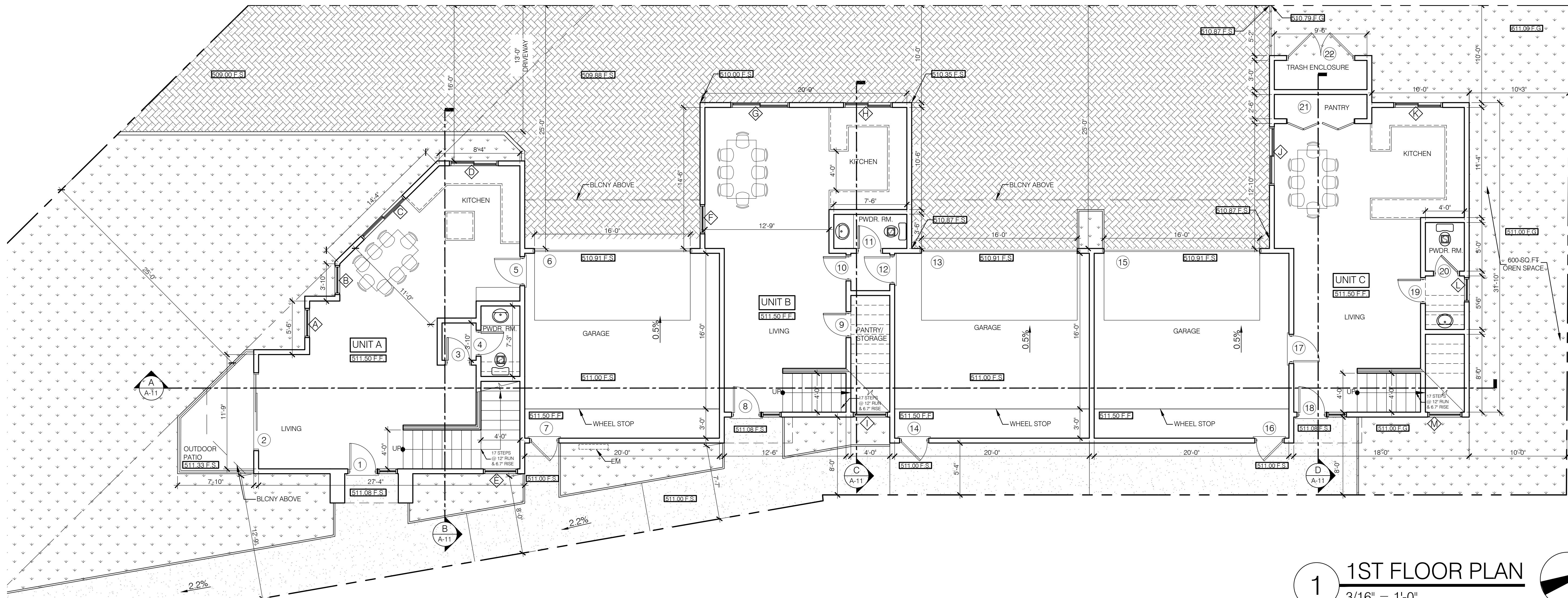
SCALE AS SHOWN

DRAWN BY: CS

DATE: OCTOBER, 2023

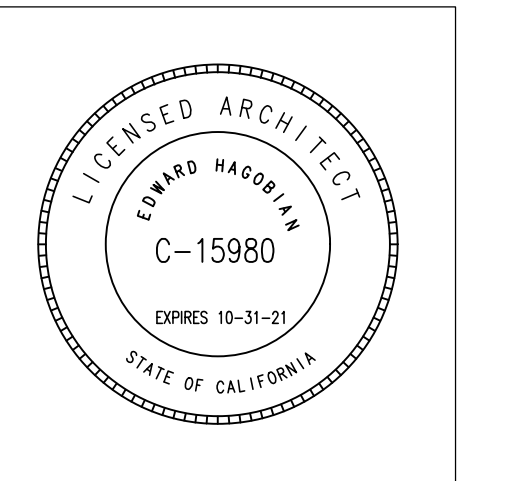
SHEET NO: **A-2**

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**PROJECT:**  
KOTOLYAN UNITS

**ADDRESS:**  
1170 N KENILWORTH AVE  
GLENDALE, CA 91202

**SHEET TITLE:**  
ELEVATIONS

**Revisions:**

△	-

JOB NO.: 23-778

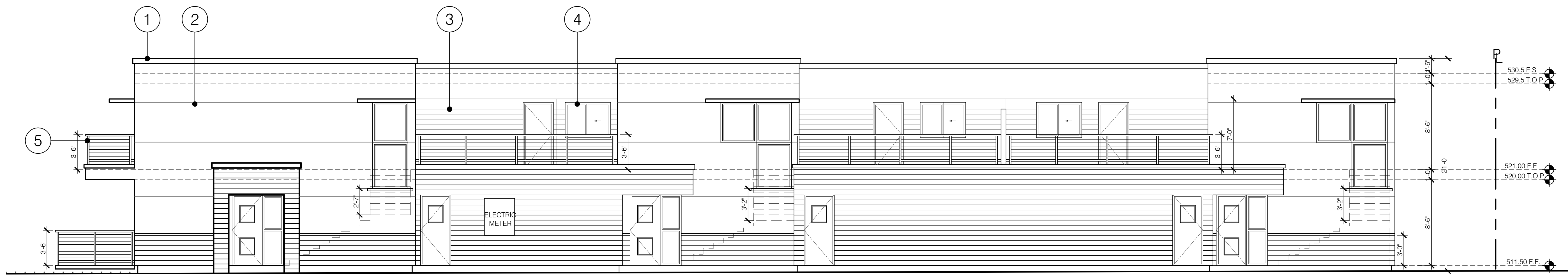
SCALE AS SHOWN

DRAWN BY: CS

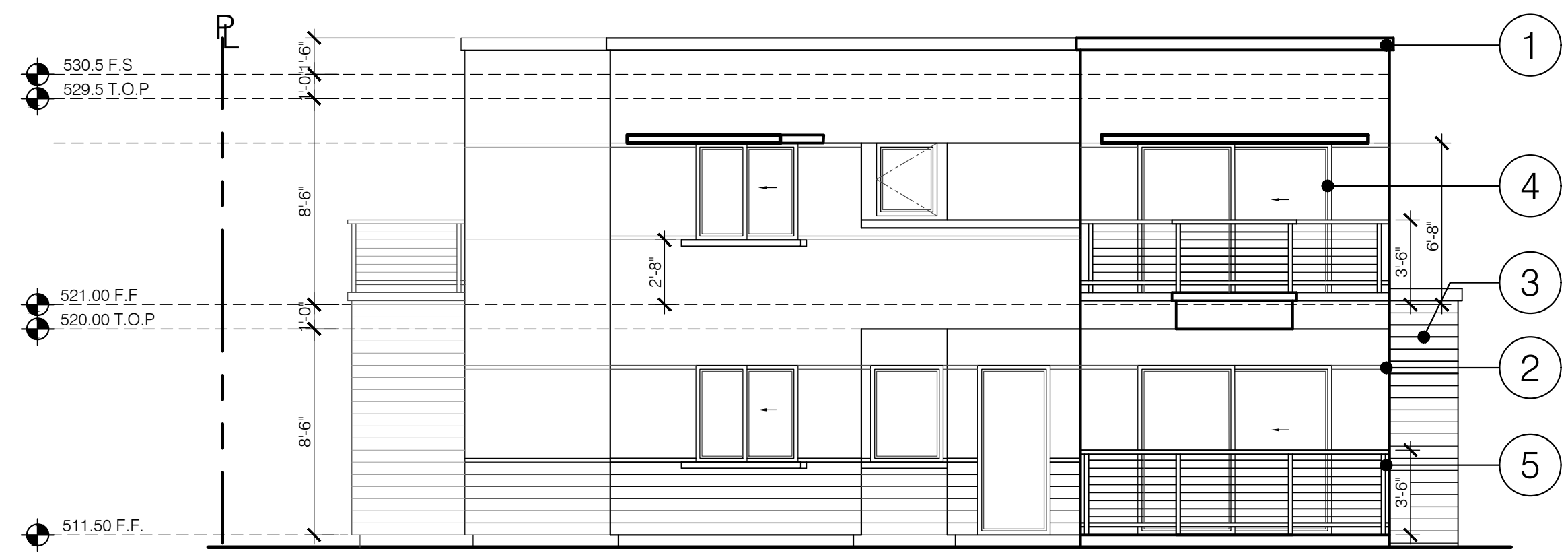
DATE: OCTOBER, 2023

SHEET NO: **A-4**

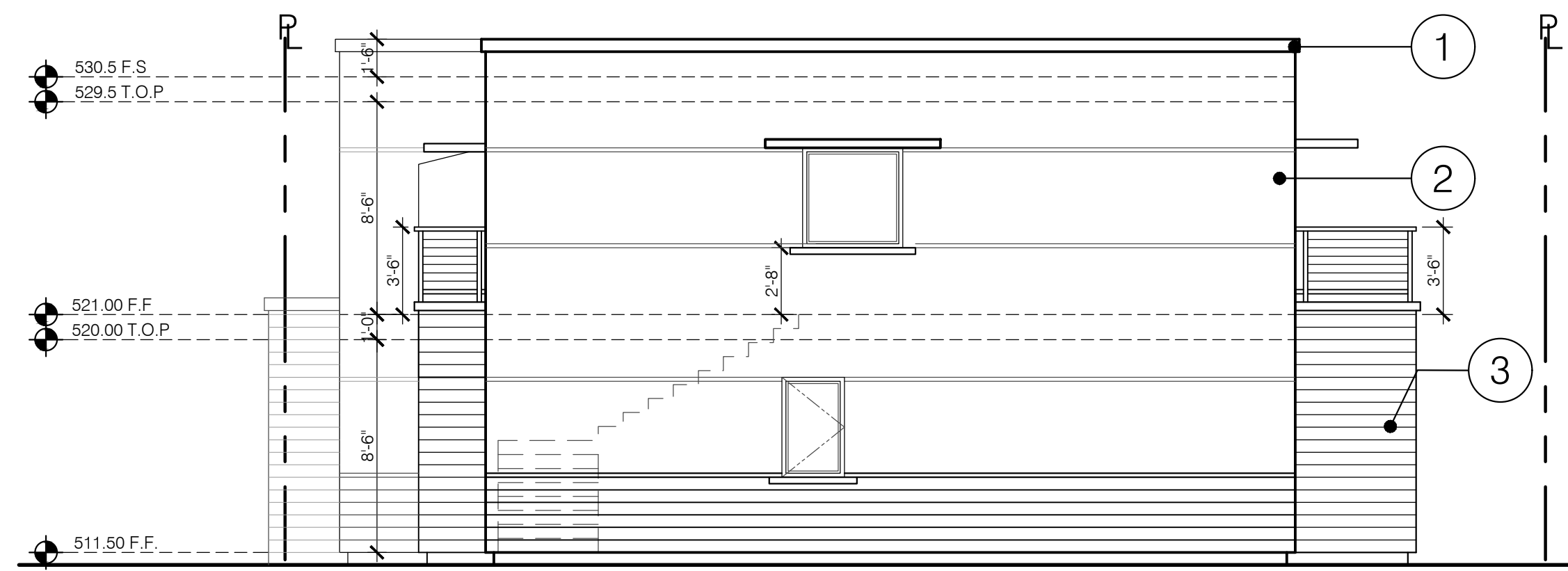
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**1 EAST ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"



**3 NORTH ELEVATION**  
3/16" = 1'-0"

ARCHITECTURAL FINISHES	
1 ROOF:	FLAT ROOF OFF WHITE COLOR WITH METAL FASCIA ANODIZED
2 STUCCO:	LA-HABRA, FINE FINISH W/ 1/2" REVEAL.
3 SIDING:	"JAMES HARDIE" SIDING
4 DOORS & WINDOWS:	DARK BRONZE
5 RAILING:	METAL



**4 WEST ELEVATION**  
3/16" = 1'-0"





**1 EAST ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"



**3 NORTH ELEVATION**  
3/16" = 1'-0"

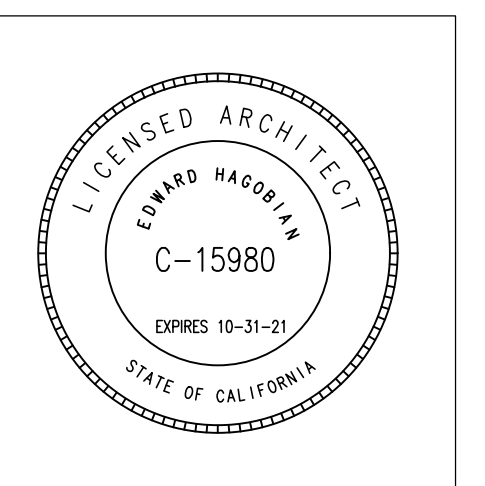


**4 WEST ELEVATION**  
3/16" = 1'-0"

**EDWARD  
HAGOBIAN  
&  
ASSOC.  
INCORPORATED  
ARCHITECTS**

ARCHITECTURE / SPACE PLANNING / INTERIORS

220 S. KENWOOD ST.  
STE. 210 GLENDALE  
CA. 91205  
TEL: (818) 502-0590  
FAX: (818) 502-0853



**PROJECT:**  
KOTOLYAN UNITS

**ADDRESS:**  
1170 N KENILWORTH AVE  
GLENDALE, CA 91202

**SHEET TITLE:**  
COLORED ELEVATIONS

**Revisions:**

△	-

JOB NO.:	23-778
SCALE	AS SHOWN
DRAWN BY:	CS
DATE:	OCTOBER, 2023
SHEET NO.:	<b>A-4.1</b>

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**PROJECT:  
KOTOLYAN UNITS**

**ADDRESS:  
1170 N KENILWORTH AVE  
GLENDALE, CA 91202**

**SHEET TITLE:  
SECTIONS**

**Revisions:**

△	-

JOB NO.: 23-778

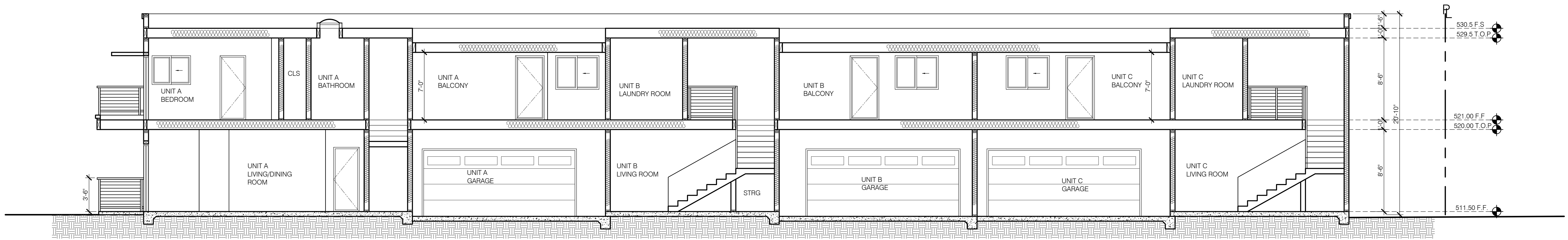
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DRAWN BY: CS

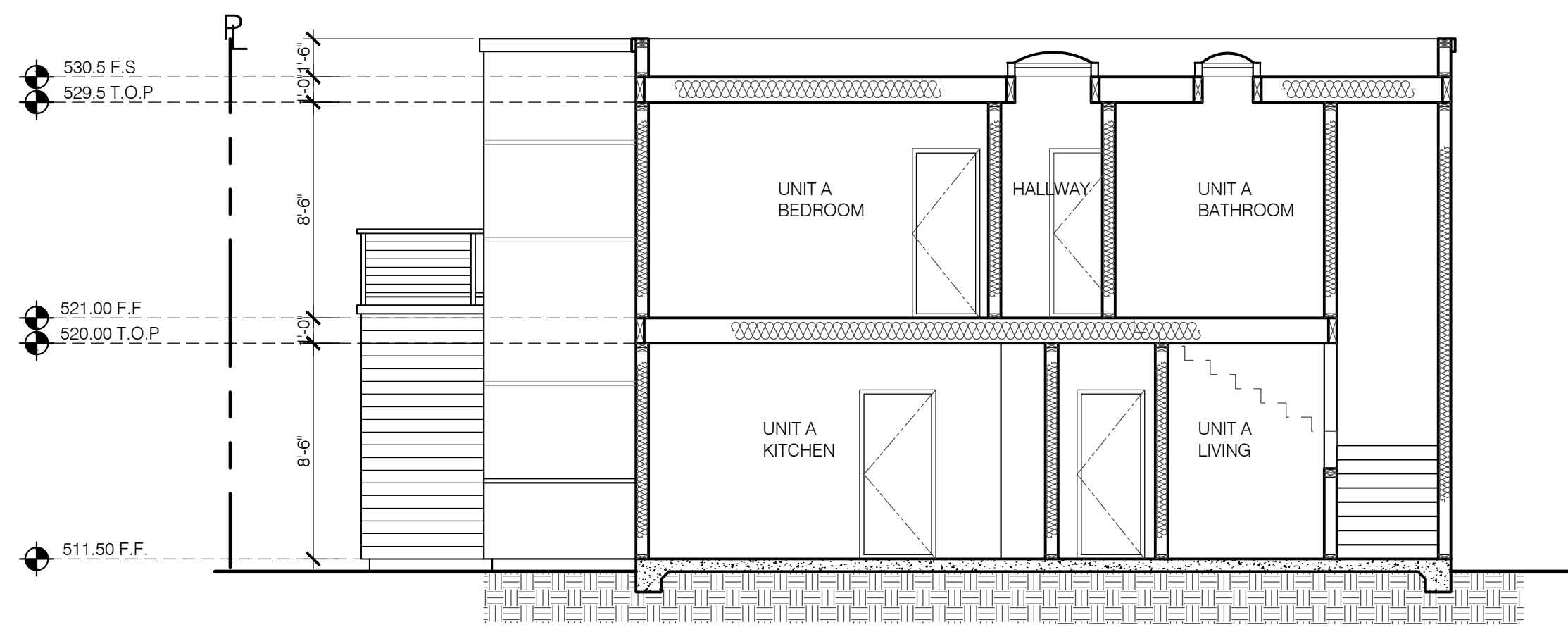
DATE: OCTOBER, 2023

SHEET NO: **A-5**

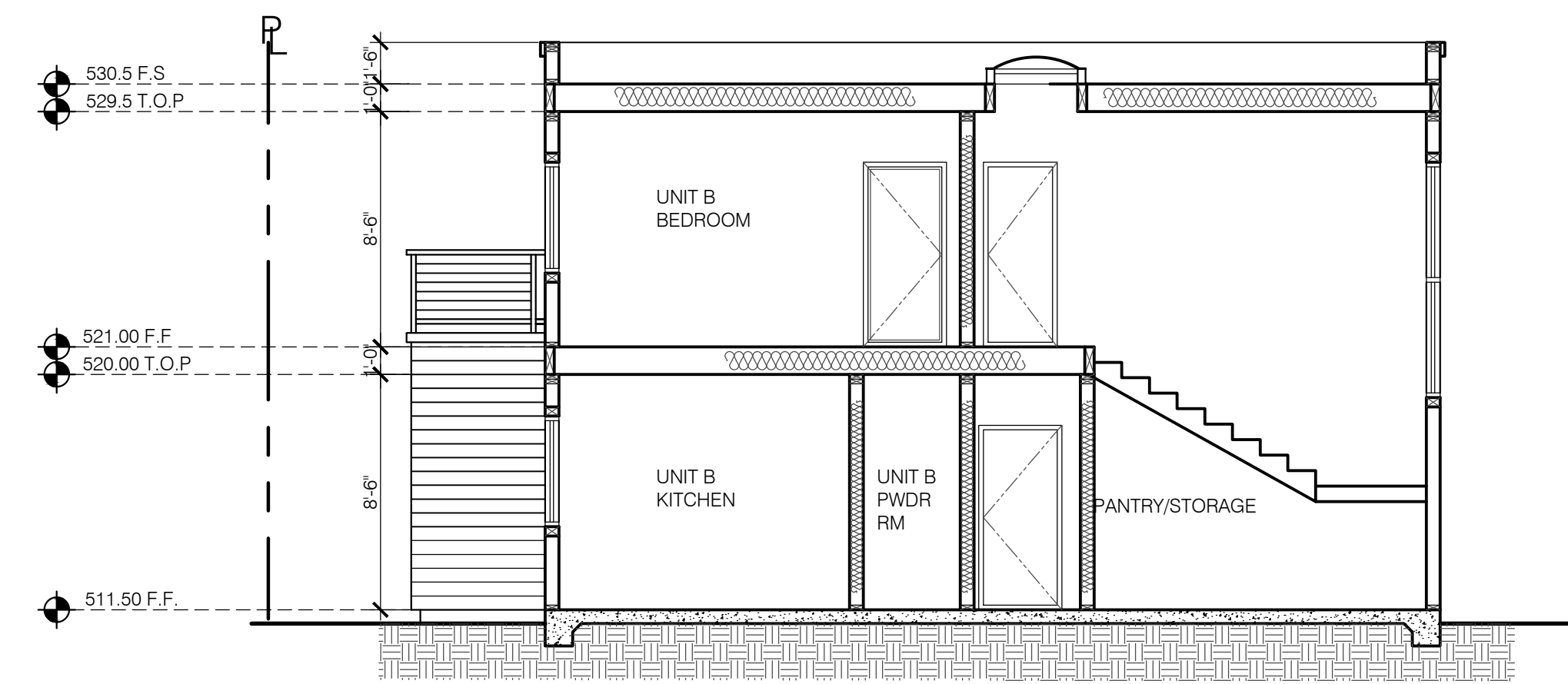
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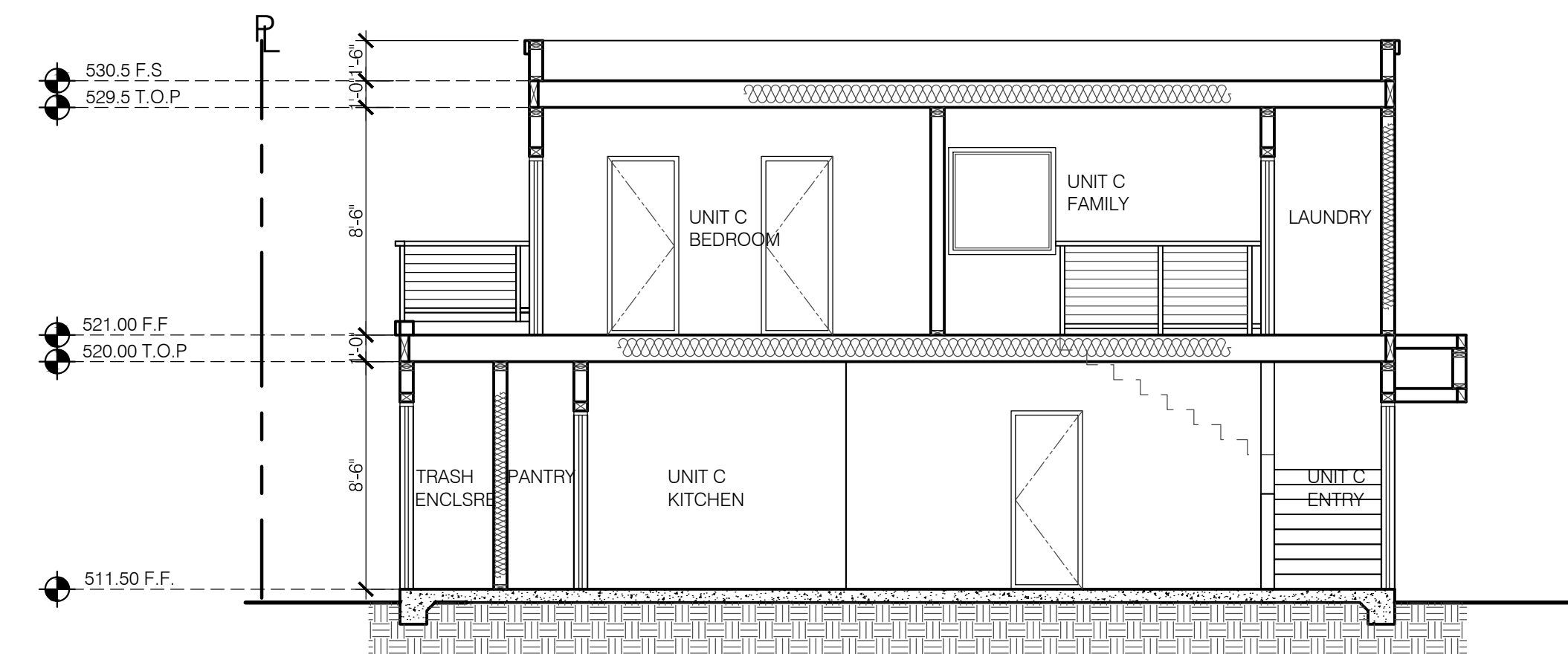
**1 SECTION A**  
3/16" = 1'-0"



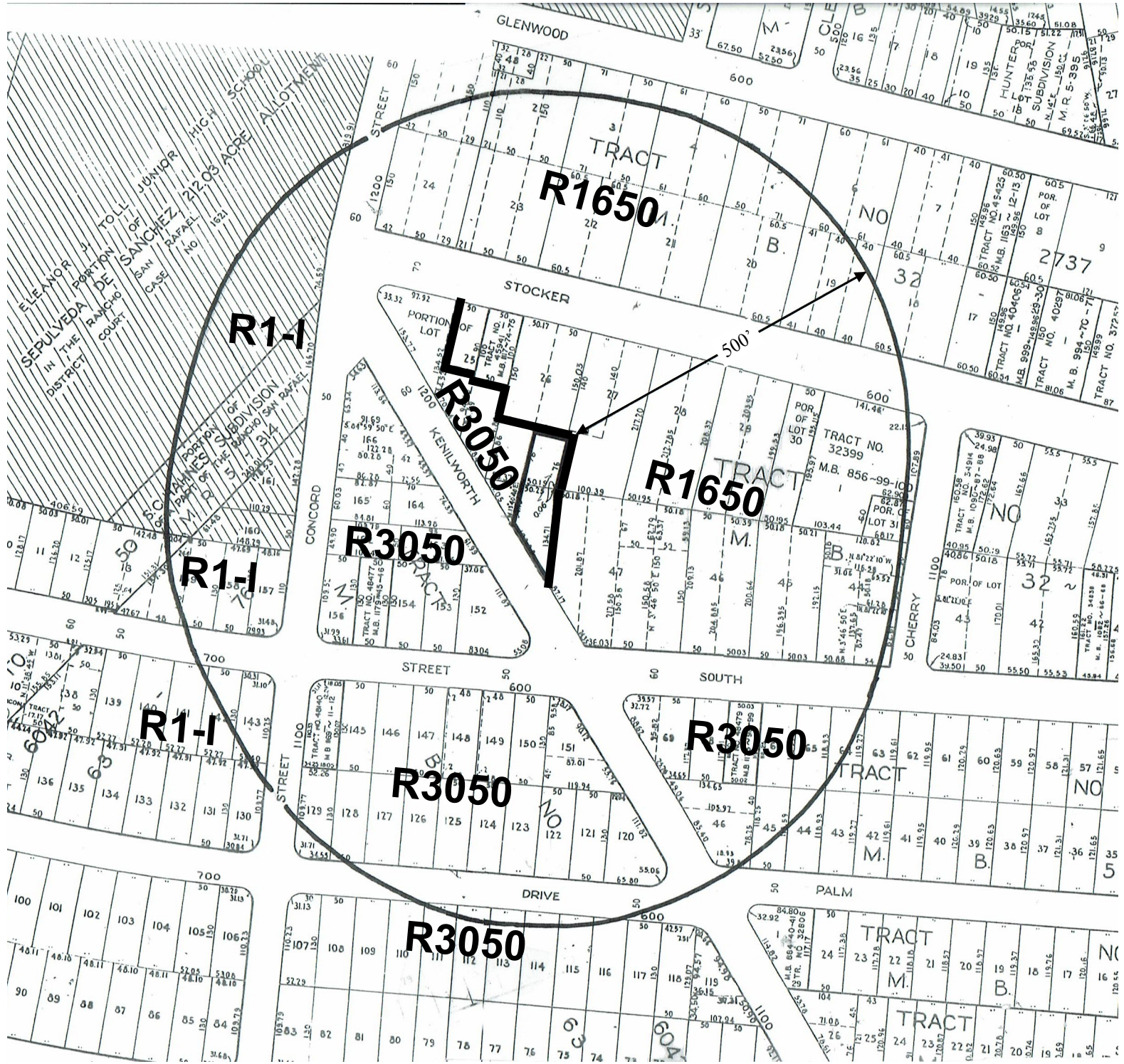
**2 SECTION B**  
3/16" = 1'-0"



**3 SECTION C**  
3/16" = 1'-0"



**4 SECTION D**  
3/16" = 1'-0"



# LOCATION / ZONING

1170 Kenilworth Ave.  
 Glendale, CA 91202  
 APN: 5634-025-202

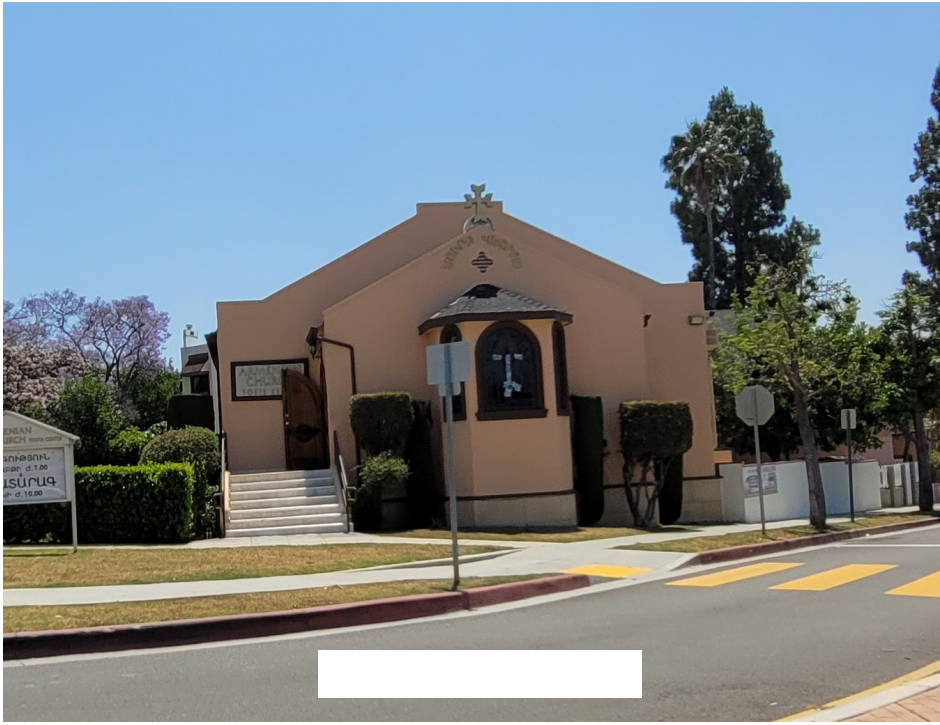
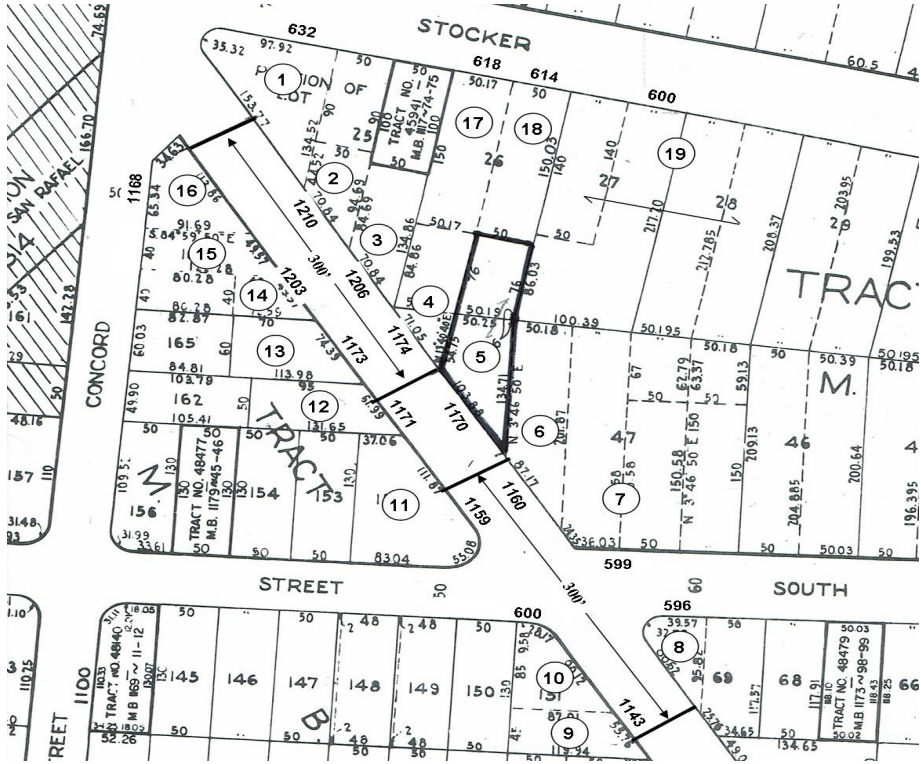
500' Radius



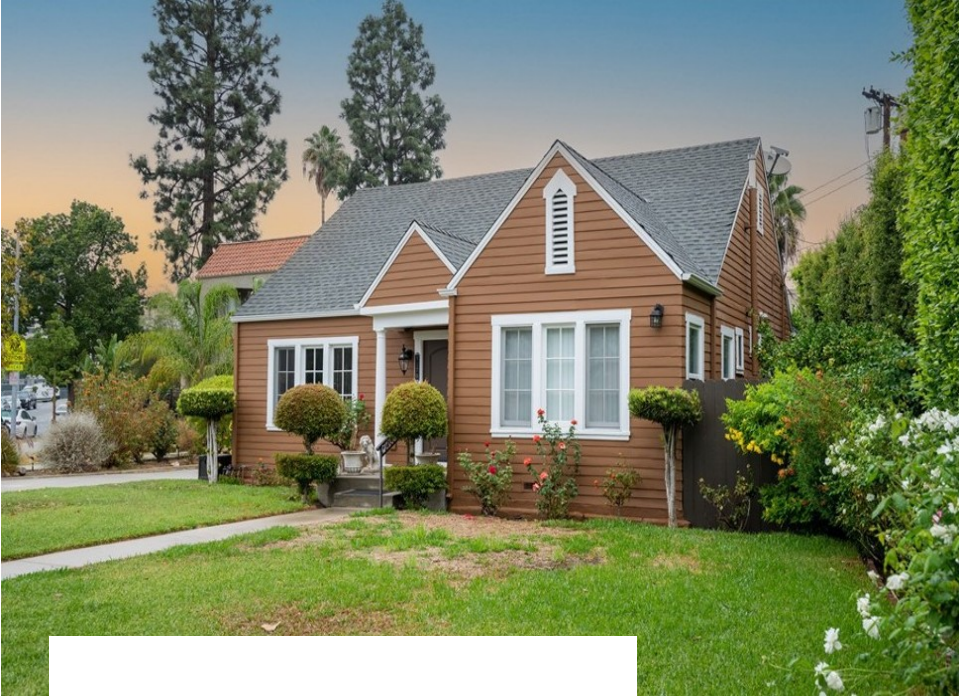
Property Owner: A. KOTOLYAN  
 Prepared by Williams Land Use Services 818-542-4109

1"=200'











1170 KENILWORTH DRB PHOTOS



9. 1143 KENILWORTH



11. 1159 KENILWORTH





[Redacted]



13. 1173 KENILWORTH



[Redacted]



[Redacted]









SUBJECT PROPERTY FRONTAGE







REAR OF HOUSE,  
BACKYARD

REAR OF BACK YARD

