



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

March 26, 2024

Nareg Khodadadi
213 N. Orange Street, Unit E
Glendale, CA 91203

**RE: 2101 RIMCREST DRIVE
ADMINISTRATIVE DESIGN REVIEW CASE NO. PADR-002506-2023**

Dear Applicant:

The Director of Community Development will render a final decision on or after April 5, 2024, for the following project:

PROJECT DESCRIPTION: Façade remodel and architectural style change of an existing 6,268 square-foot, three-story single-family residence, originally built in 1986 with an existing attached three-car garage on a 42,689 square-foot lot, located in the R1R-II zone (Restricted Residential - Floor Area Ratio II). The project includes a new 433 square-foot balcony at the front and window and door replacements throughout the house.

For more information or to submit comments, please contact the case planner, Aileen Babakhani, at 818-937-8331 or ababakhani@glendaleca.gov.

Comments must be received prior to April 4, 2024, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed online within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206.

Sincerely,

Aileen Babakhani
Planner

A handwritten signature in black ink, appearing to read "Aileen", is written over a light blue circular stamp that contains the word "Planner".



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

April 5, 2024
Decision Date

2101 Rimcrest Drive
Address

Administrative Design Review (ADR)
Review Type

5648-032-011
APN

PADR-002506-2023
Case Number

Nareg Khodadadi
Applicant

Aileen Babakhani, Planner
Case Planner

Arman Sahakyan
Owner

Project Summary

Facade remodel and architectural style change of an existing 6,268 square-foot, three-story single-family residence, originally built in 1986 with an existing attached three-car garage on a 42,689 square-foot lot, located in the R1R-II zone (Restricted Residential - Floor Area Ratio II). The project includes a new 433 square-foot balcony at the front and window and door replacements throughout the house.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301(a) of the State CEQA Guidelines, because the proposed project only involves exterior alterations.

Existing Property/Background

The project site is a 42,689 square-foot hillside lot, which is irregular in shape and located on the east side of Rimcrest Drive. The lot was originally developed in 1986 with the existing 6,268 square-foot three-story house and an attached three-car garage. The proposed project is to remodel the facades of the house and add a new 433 square-foot balcony at the front, above the garage and replace windows and doors throughout the house.

There is no change to the existing driveway, footprint of the house, or landscaping.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	28,056 sq. ft.	7,600 sq. ft. – 95,060 sq. ft.	42,689 sq. ft.
Setback	17 feet	15 feet – 25 feet	25 feet (no change)
House size	5,705 sq. ft.	3,229 sq. ft. – 7,483 sq. ft.	6,268 sq. ft. (no change)
Floor Area Ratio	0.20	0.06 - 0.85	0.15 (no change)
Number of stories	2 to 3-stories	2 to 3 stories	three-story (no change)

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography
- ☐ Alteration of landform minimized

Yards and Usable Open Space

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space
- ☐ Use of retaining walls minimized
- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent with predominant pattern on street
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Complementary to building design and surrounding site
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located
- ☐ Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- There is no proposed change to the existing site planning since the project only involves the façade remodeling, a new balcony, and window and door change out.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☐ yes ☐ n/a ☒ no

If “no” select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☒ Entry and major features well located
- ☐ Avoids sense of monumentality

Overall, the proposed façade remodel, architectural style change, new balcony, and new doors and windows are consistent with the existing building’s scale and its surrounding context. A condition of approval is added to enlarge and adjust the size the new single balcony door to be proportioned in relation to the scale and size of other new doors and windows.

Roof Forms

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed façade remodel does not alter the mass and scale significantly since the project only involves an architectural style change from an 80's contemporary style to a Modern architectural style.
- The existing height will remain unchanged and the proposed balcony at the front façade (facing the street) does not increase the building's mass and scale, because it is designed within the existing footprint of the house. The proposed remodel creates balanced proportions and streamlined forms by using horizontal bands and grooves (lines) on the exterior walls, generous use of glass surfaces, boxed window/door trims, and raised roof parapets. These alterations are appropriate to the existing building, consistent with the architectural concept, and also fit into the surrounding context of various architectural styles. A condition of approval is added to enlarge and adjust the size the new single balcony door (front façade) to be proportioned in relation to the scale and size of other new doors and windows.
- The existing roof forms will not be changed; however, the façade remodel includes the proposed raised roof parapets along the four facades to conceal the existing pitched roofs. This helps the proposed design transition from the existing contemporary style to the proposed Modern style without altering the existing roofs.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☐ yes ☒ n/a ☐ no

If "no" select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point

- ☐ Doors appropriate to design

Windows

- ☐ **yes** ☐ **n/a** ☒ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☒ Recessed in wall, when appropriate

A condition of approval is added to provide a vertical window section drawing to show the placement of the new window frames within the exterior walls, appropriate to the overall design and remodel.

Privacy

- ☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

- ☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately
- ☐ Natural colors appropriate to hillside area

Paving Materials

- ☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

There is no proposed change to the existing concrete driveway.

Lighting, Equipment, Trash, and Drainage

- ☐ **yes** ☐ **n/a** ☒ **no**

If “no” select from below and explain:

- ☒ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☒ Light fixture design appropriate to project

- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

A condition of approval is added to update the proposed project's plans to show the design and location of any exterior light fixtures, appropriate to the design and remodel. The light fixture must avoid spillover and over-lit facades.

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed remodel includes:
 - Architectural style change from an 80's contemporary style to a Modern architectural style
 - Removal of existing stone veneer and horizontal siding and replace with new smooth stucco (white (snow) and grey (formal gray)).
 - Enlargement of windows and exterior doors on the front façade
 - Replacement of windows and doors on the side and rear façade
 - New stucco trims around the doors and windows on the front façade. The trims are 9 inches in width and one inch in depth.
 - New front entry and new garage door
 - Remolding of the side chimney cap
 - Removal of existing roof eaves and build new raised roof parapet
 - Removal of existing tile roofing material and replace with new metal roofing (charcoal grey)
 - Removal of the pitched roof above the attached garage and construct a new balcony (433 SF)
 - Replace all second and third floor metal railings with glass railings
- Overall, the proposed remodel utilizes the elements of the streamlined modern architectural style, which fits into the existing house and its surrounding context of various architectural styles.
- The new front entry door and garage door (aluminum tempered glass) are appropriate to the proposed design. The location of the doors will remain unchanged.
- The new windows will be aluminum clad (charcoal grey color) with an appropriate combination of fixed, casement, and horizontal sliding windows. All windows and door on the front façade will have exterior stucco trims. A condition of approval is added to provide a vertical window section drawing to show the placement of the window frame within the exterior walls, appropriate to the overall design and

remodel. For the Modern style buildings, flush and recessed windows, both are appropriate.

- The new balcony will not create privacy conflict with the adjacent neighbors because it does not directly face the adjacent windows of the adjacent neighboring properties and due the street's slope, the balcony will not overlook the front yard of the two-story home on the north since the subject property is sited at a lower elevation than the neighboring home. Furthermore, a planter box is designed at north side of the balcony to create view buffer.
- The location and design of any new light fixtures are not shown on the architectural plans. A condition of approval is added to update the proposed project's plans to show the design and location of any exterior light fixtures, appropriate to the proposed design and remodel. The light fixture must avoid spillover and over-lit facades.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following conditions:

Conditions

1. Enlarge and adjust the size the new single balcony door (front façade) to be proportioned in relation to the scale and size of other new doors and windows.
2. Update plans to show the design and location of any exterior light fixtures, appropriate to the design and remodel. The light fixture must avoid spillover and over-lit facades.
3. Provide a vertical window section drawing to show the placement of the window frame within the exterior walls, appropriate to the overall design and remodel.

Attachments

1. Project's Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

SAHAKYAN RESIDENCE

2101 RIMCREST DR., GLENDALE, CA 91207

SITE MAP



NOTES

- A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING :
1. RETAINING WALL OF BLOCK FENCE WALL
 2. GRADING WORK
 3. SWIMMING POOL
 4. A SEPARATE STRUCTURE
 5. SHORING
 6. DEMOLITION

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	42,689 SQ. FT.
EXT'G RESIDENCE (NO CHANGE)	6,268 SQ. FT.
EXT'G 2 CAR GARAGE (NO CHANGE)	650 SQ. FT.
ZONING	R1R III
APN	5648-032-011
TRACK	TR - 31888
OCCUPANCY	RESIDENCE - R3 GARGAE - U
CONSTRUCTION TYPE	V-B
YEAR BUILT	1986
FIRE SPRINKLERS	NO
NUMBER OF STORIES	3
FIRE ZONE	YES
CA CLIMATE ZONE	9

PROJECT SHALL COMPLY W/ THE 2016 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2017 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.
NO ROOF TOP EQUIPMENT ALLOWED

NOTES

APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN ONE (1) YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL.

SCOPE OF WORK

- FACADE REMODEL (REPLACE ENTIRE EXT'G SIDING WITH NEW SMOOTH STUCCO) AND
- NEW BALCONY (433 SQ. FT.) ABOVE EXT'G GARAGE AND
- REPLACE EXT'G CLASS 'A' SHINGLE ROOF WITH NEW CLASS 'A' METAL ROOF (2,793 SQ. FT.) AND
- ALL NEW WINDOWS, DOORS AND 2 NEW GARAGE DOORS

SHEET INDEX

ARCHITECTURAL SHEETS:

A0.1	COVER SHEET, SITE PLAN & ROOF PLAN
A0.2	SECURITY NOTES
A1.1	NEIGHBORHOOD SITE PLAN
A2.0	EXT'G FLOOR PLANS
A2.1	PROPOSED FLOOR PLANS / DOOR & WINDOW SCHEDULE
A3.1	EXT'G AND PROPOSED ELEVATIONS PROPOSED DETAIL
A3.2	PROPOSED ELEVATIONS & DETAIL
A3.3	PROPOSED ELEVATION

PROJECT INFORMATION

PROJECT LOCATION	OWNER
2101 RIMCREST DR., GLENDALE, CA 91207	SAHAKYAN FAMILY 2101 RIMCREST DR., GLENDALE, CA 91207
PROJECT DESIGNER	
DESIGNNRK 213 N. ORANGE ST. UNIT: E GLENDALE, CA 91203 OFFICE : 818.823.7286 FAX : 888.424.8125 E-MAIL : INFO@DESIGNNRK.COM	

FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
2. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS. APPROVED COMBINED SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE ACCEPTABLE.
3. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.
4. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. DETECTORS SHALL MEET U.L. 2034 AND /OR NFPA 720 STANDARDS. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

GENERAL NOTES

THE CONTRACTOR / OWNER BUILDER SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
IF ANY DISCREPANCIES HE/SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/ OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

SITE PLAN KEYED NOTES

1. EXT'G FLOOR WALL LINE
2. EXT'G BLOCK WALL
3. EXT'G CONCRETE DRIVEWAY TO REMAIN
4. EXT'G LAWN LANDSCAPING TO REMAIN
5. DIRECTION OF SHEET FLOW MIN 2%
6. EXT'G CHIMNEY TO REMAIN
7. PROPERTY LINE
8. EXT'G CLASS 'A' SHINGLE ROOF TO BE REPLACED WITH NEW CLASS 'A' METAL ROOF
9. NEW BALCONY LINE WITH GUARDRAIL - 42" MIN. HT.
10. EXT'G CONC. LANDING WITH STEPS
11. EXT'G GATE
12. EXT'G BALCONY LINE
13. EXT'G TRELIS
14. EXT'G POOL TO REMAIN
15. EXT'G CLASS 'A' ROOF TO BE DEMO
16. NEW STUCCO FACADE (SEE DETAIL ON A3.1)
17. EXT'G CONC. STEPS TO REMAIN
18. NEW PARAPET
19. EXT'G ELEC. PANEL TO REMAIN
20. EXT'G SIDEWALK
21. EXT'G APRON

- EXT'G FIRST FLOOR AREA
- EXT'G SECOND FLOOR AREA
- EXT'G 3-CAR GARAGE
- NEW BALCONY
- IMAGE VIEW

SITE PLAN & ROOF PLAN

SCALE : 1/8" = 1'-0"

REVISIONS:

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

COVER SHEET, SITE PLAN & ROOF PLAN

SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE: 01/2023
DRAWN BY: NRK
JOB NO. 18027

SHEET NO.

A0.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

NEIGHBORHOOD MAP

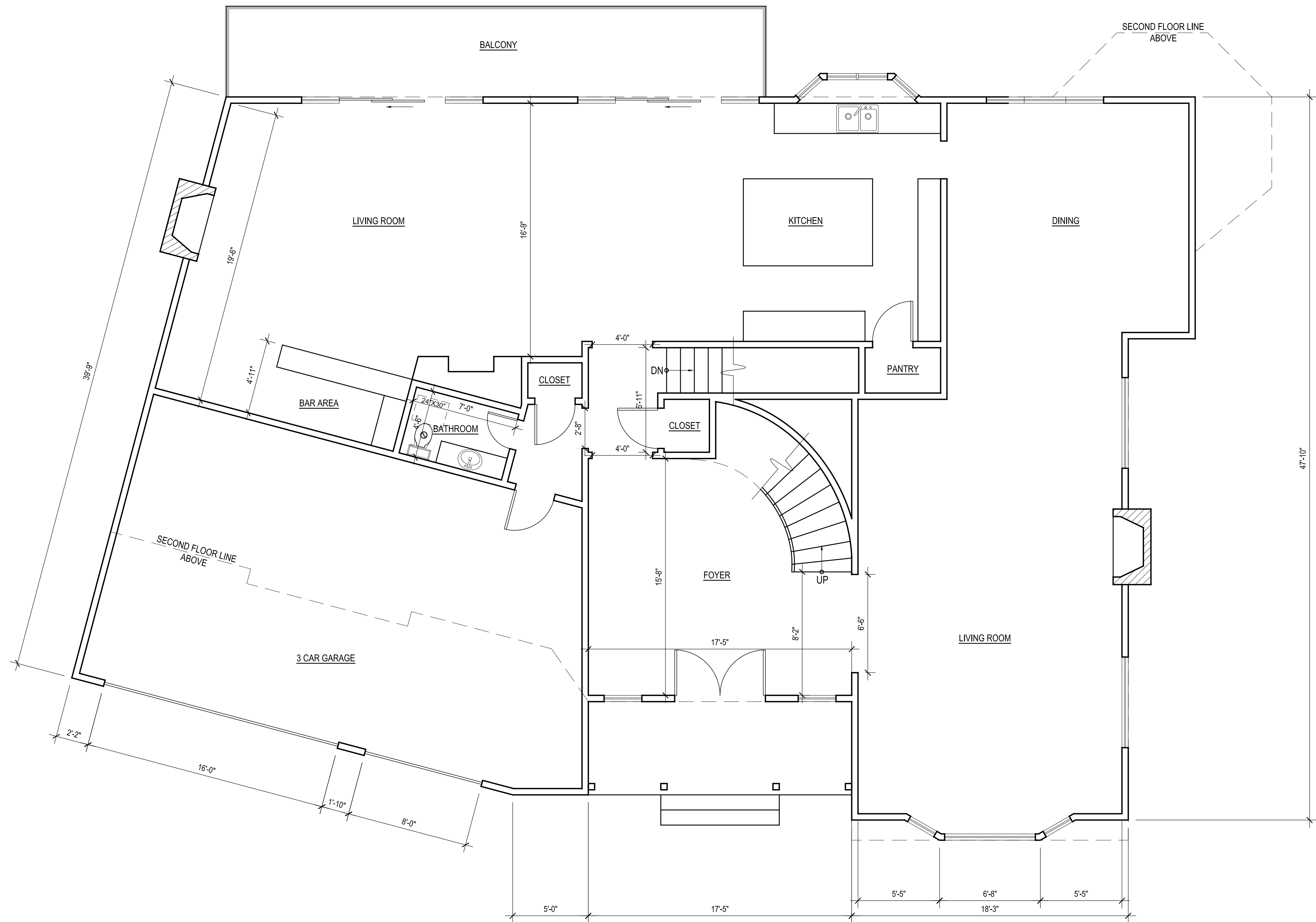
SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE:	01/2023
DRAWN BY:	NRK
JOB NO.	18027

SHEET NO.
A1.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN RESPECT TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITION OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EXT'G FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

EXT'G SECOND FLOOR PLAN

SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE: 01/2023
DRAWN BY: NRK
JOB NO. 18022

SHEET NO.

A2.0

designNRK
residential +
commercial
design

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

REVISIONS:

Δ
—
—

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITION OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EXT'G SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED FIRST FLOOR PLAN

SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE:	01/2023
DRAWN BY:	NRK
JOB NO.	18022

SHEET NO.
A2.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

WINDOW SCHEDULE - FIRST FLOOR																									
MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SD) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW W/IN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	4	1'-9"	4'-0"	2'-6"	4'-0"	FIBERGLASS	ALUM. CLAD	FIXED	CASEMENT	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	YES	0.32	0.25	
(B)	1	6'-0"	4'-0"	4'-6"	4'-0"	FIBERGLASS	ALUM. CLAD	SLIDER	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	2'-6" CASEMENT ON EACH SIDE OF 3'-0" FIXED
(C)	3	2'-6"	6'-4"	2'-6"	9'-9"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(D)	2	2'-0"	3'-0"	2'-0"	3'-0"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(E)	1	4'-0"	3'-0"	4'-0"	3'-0"	FIBERGLASS	ALUM. CLAD	SLIDER	SLIDER	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(F)	1	2'-6"	4'-0"	2'-6"	4'-0"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(G)	1	8'-0"	4'-0"	8'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	SLIDER	SLIDER	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	SLIDER - FIXED - SLIDER
(H)	1	2'-9"	3'-9"	2'-9"	3'-9"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(I)	2	6'-0"	4'-0"	6'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	FIXED	SLIDER	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	

DOOR SCHEDULE - FIRST FLOOR										
MARK	NO. OF UNIT	DOOR						NOTES		
		SIZE			GLAZE		FINISH			
		WD	HGT	THK	DUAL	TEMP				
(1)	1	6'-0"	10'-0"	1 3/4"	●	●	BRONZE	ENTRY DOOR (IRON OR WOOD W/ GLASS INSERT)		
(2)	2	7'-0"	6'-8"	1 3/4"	●	●	ALUM.	EXTERIOR SLIDING DR. WITH 2'-6" SIDE LITES ON EACH SIDE		
(3)	1	16'-0"	7'-0"	1 3/4"	●	●	ALUM.	GARAGE DOOR - ALUMINUM W/ TEMPERED GLASS		
(4)	1	8'-0"	7'-0"	1 3/4"	●	●	ALUM.	GARAGE DOOR - ALUMINUM W/ TEMPERED GLASS		

WINDOW NOTE:

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES.
PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

NO GRIDS ON WINDOWS

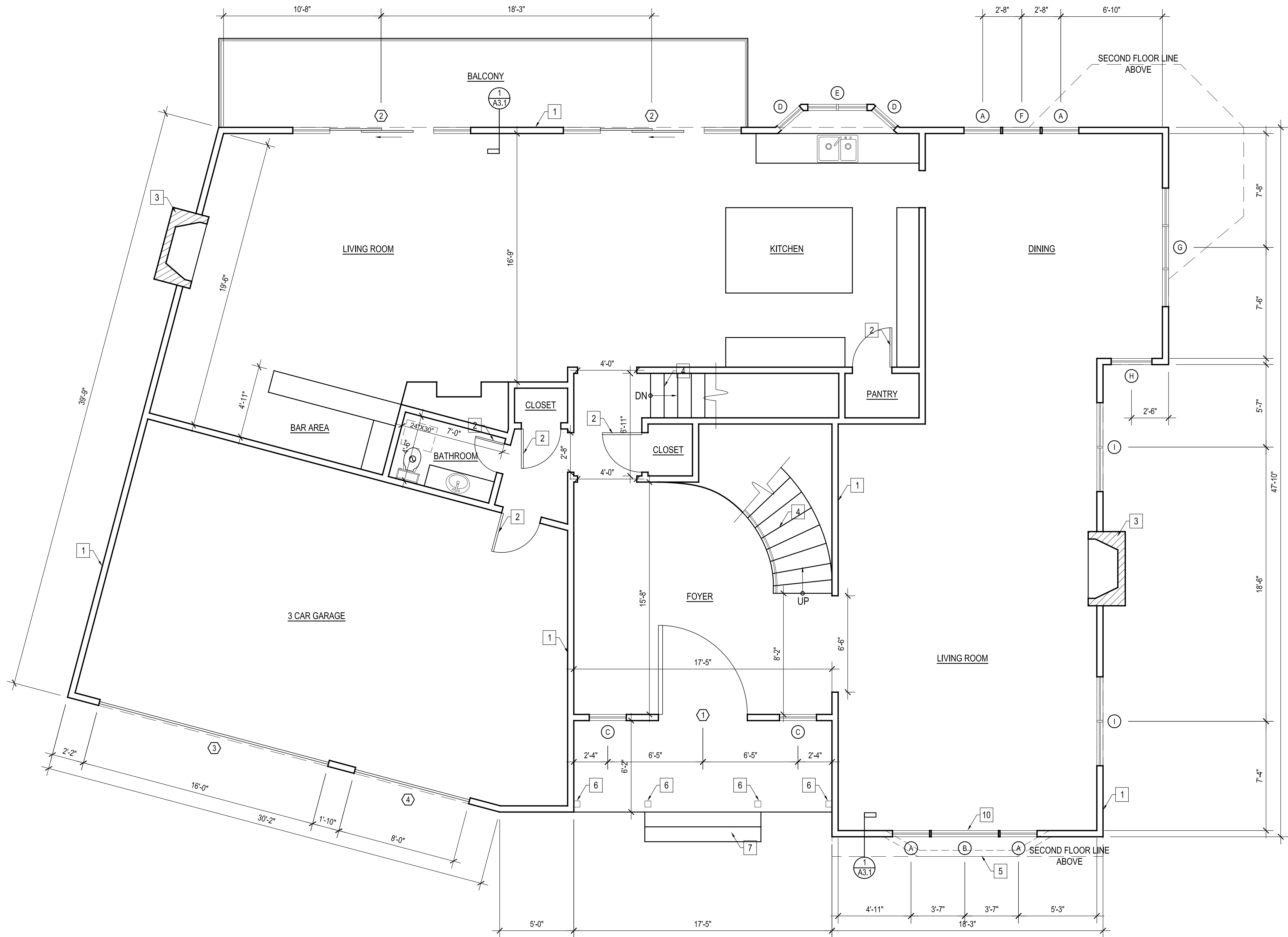
FLOOR PLAN KEYED NOTES :

(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- EXT'G WALLS TO REMAIN
- EXT'G DOOR TO REMAIN
- EXT'G FIREPLACE TO REMAIN
- EXT'G STAIRS TO REMAIN
- EXT'G WALL TO BE REMOVED
- EXT'G POSTS TO BE REMOVED
- EXT'G CONC. STEPS TO REMAIN

WALL / SYMBOL LEGEND

- NEW WALLS
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR 50 CFM TO OUTSIDE
 - ENERGY STAR COMPLIANT
 - DUCTED TO THE OUTSIDE
 - HUMIDISTAT CONTROLLED
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE



PROPOSED FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED FIRST FLOOR PLAN / DOOR & WINDOW SCHEDULE

SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE:	01/2023
DRAWN BY:	NRK
JOB NO.	18022

SHEET NO.

A2.2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITION OF BUILDING BEFORE ANY CONSTRUCTION WORK.

WINDOW SCHEDULE - SECOND FLOOR																									
MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SDU) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	8'-0"	4'-0"	8'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	SLIDER (XOX)	CASEMENT(XOX)	NAIL-ON	●	●	YES/NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	2'-6" CASEMENT ON EACH SIDE OF 3'-0" FIXED
(B)	1	6'-0"	4'-0"	6'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(C)	3	2'-0"	3'-0"	2'-0"	3'-0"	FIBERGLASS	ALUM. CLAD	SINGLE HUNG	SINGLE HUNG	NAIL-ON	●	●	NO	BLACK	NO	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(D)	5	5'-0"	3'-9"	5'-0"	3'-9"	FIBERGLASS	ALUM. CLAD	SLIDER	SLIDER	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(E)	4	2'-9"	3'-9"	2'-9"	3'-9"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(F)	1	4'-0"	4'-0"	4'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	FIXED	FIXED	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	
(G)	1	8'-0"	4'-0"	8'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	SLIDER (XOX)	CASEMENT(XOX)	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	LOCATED ON BOTTOM LEVEL
(H)	1	6'-0"	4'-0"	6'-0"	4'-0"	FIBERGLASS	ALUM. CLAD	SLIDER	SLIDER	NAIL-ON	●	●	NO	BLACK	YES	NO	—	NO	—	4" X 1" STUCCO TRIM	YES	NO	0.32	0.25	LOCATED ON BOTTOM LEVEL

DOOR SCHEDULE - SECOND FLOOR												
MARK	NO. OF UNIT	DOOR						NOTES				
		SIZE			GLAZE							
		WD	HGT	THK	DUAL	TEMP	FINISH					
(1)	6	7'-0"	6'-8"	1 3/4"	•	•	BRONZE	EXTERIOR SLIDING DR. WITH 2'-6" SIDE LITES ON EACH SIDE				
(2)	2	3'-0"	6'-8"	1 3/4"	•	•	ALUM.	EXTERIOR DOORS				
(3)	1	2'-8"	6'-8"	1 3/4"	•	•	WOOD	INTERIOR CLOSET DOOR				

WINDOW NOTE:

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES.
PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

NO GRIDS ON WINDOWS

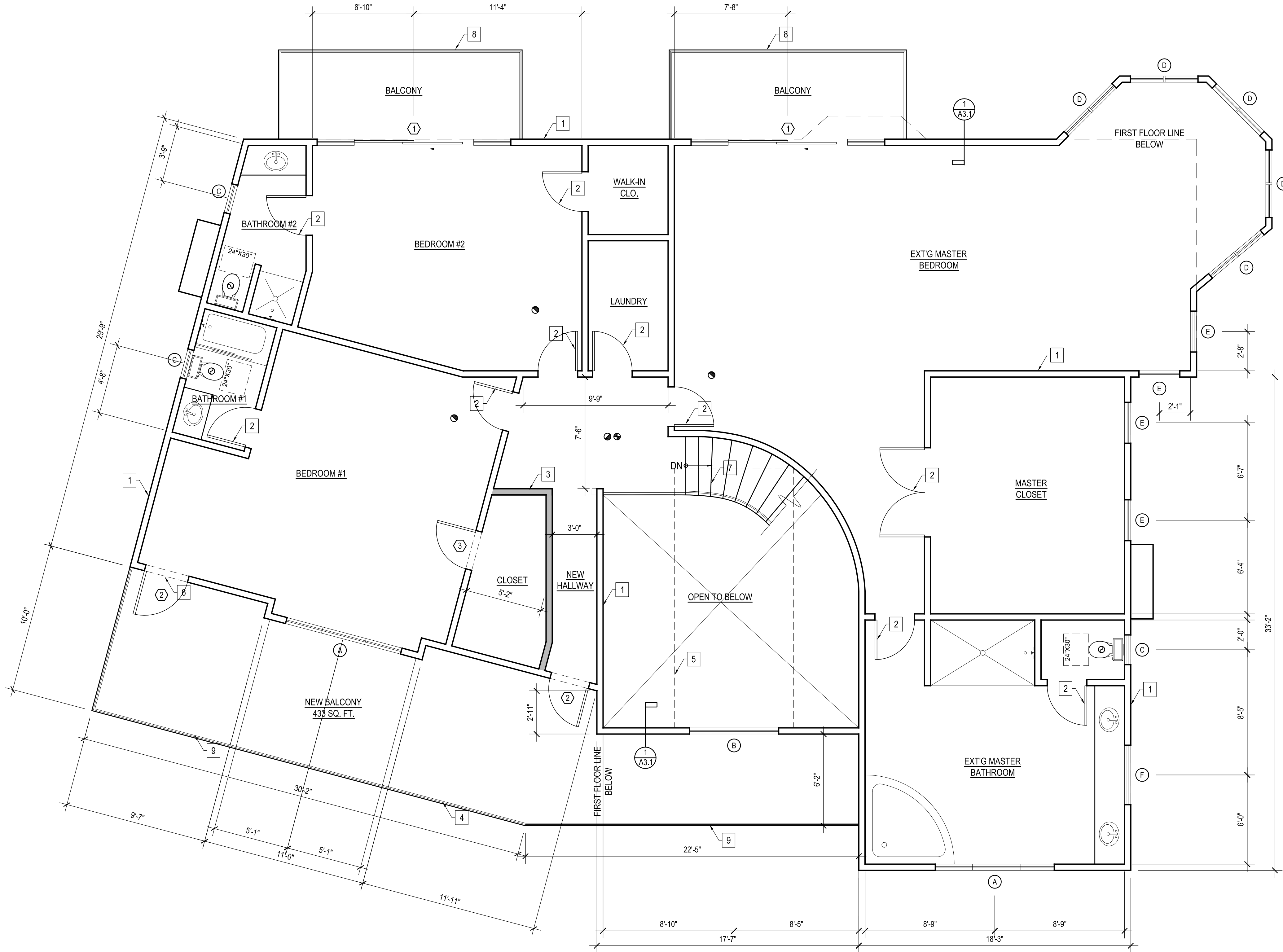
FLOOR PLAN KEYED NOTES :

(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- EXT'G WALLS TO REMAIN
- EXT'G DOOR TO REMAIN
- NEW STUD WALL
- NEW BALCONY
- CEILING LINE
- EXT'G WALL TO BE REMOVED
- EXT'G STAIRS TO REMAIN
- EXT'G BALCONY TO REMAIN
- NEW GUARD RAIL - 42" MIN. HT.

WALL / SYMBOL LEGEND

- NEW WALLS
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR 50 CFM TO OUTSIDE
 - 1) ENERGY STAR COMPLIANT
 - 2) DUCTED TO THE OUTSIDE
 - 3) HUMIDISTAT CONTROLLED
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE



PROPOSED SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"

REVISIONS:

1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED SECOND FLOOR PLAN / DOOR & WINDOW SCHEDULE

SAHAKYAN RESIDENCE

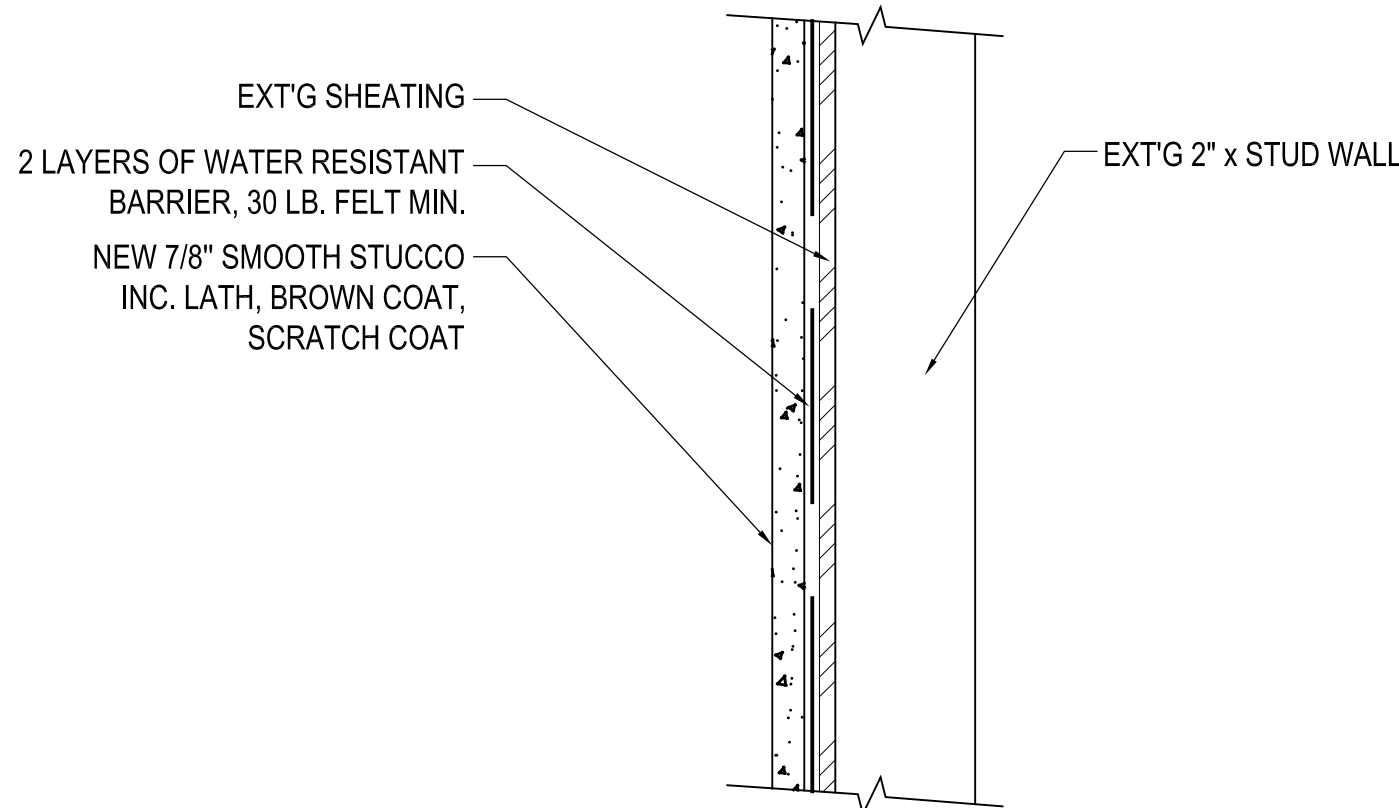
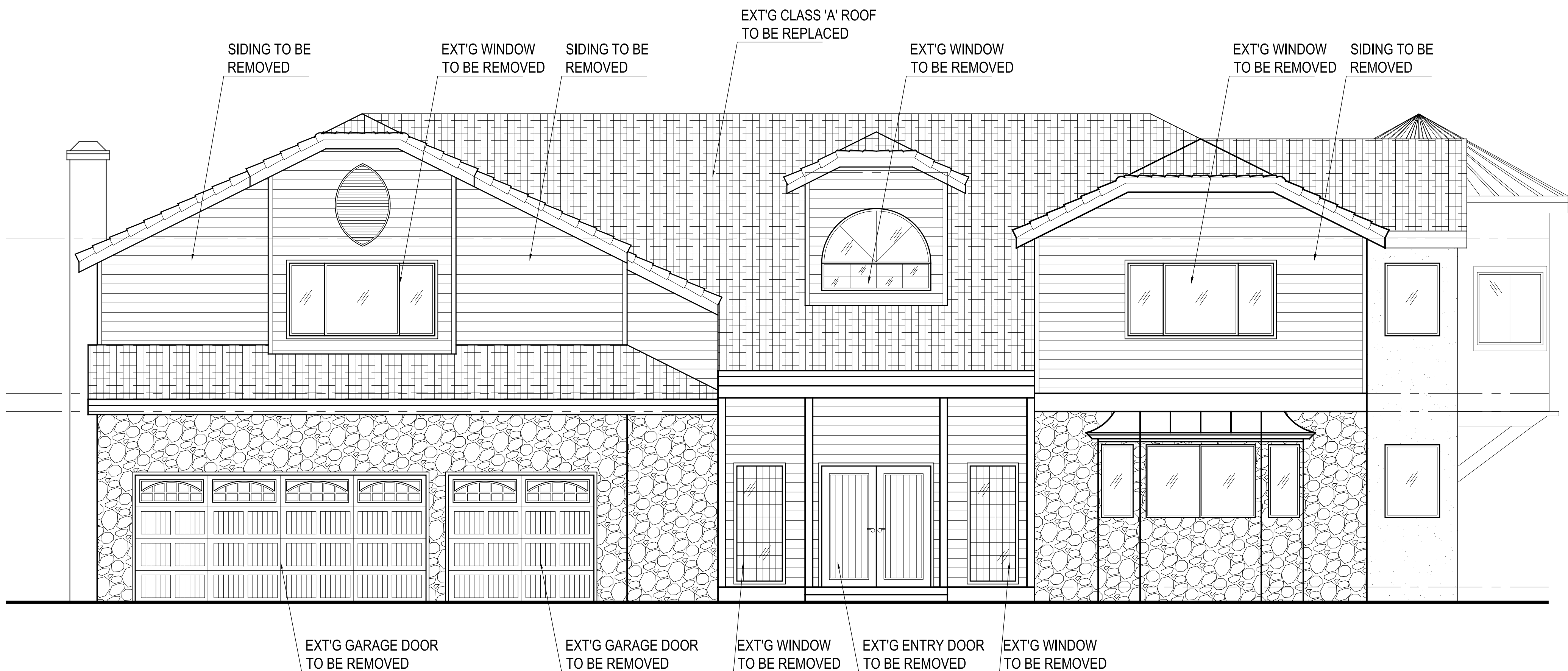
2101 RIMCREST DR. GLENDALE, CA 91207

DATE: 01/2023
DRAWN BY: NRK
JOB NO. 18022

SHEET NO.

A2.3

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

EXT'G AND PROPOSED ELEVATIONS / DETAIL

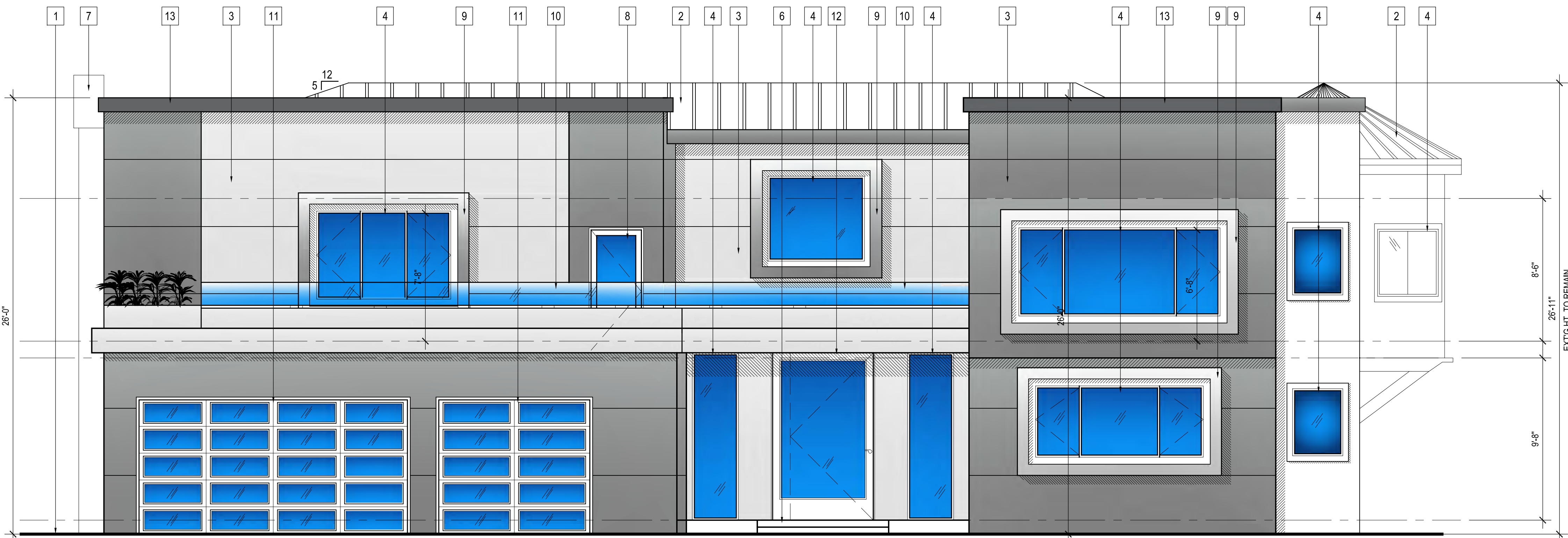
SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE:	01/2023
DRAWN BY:	NRK
JOB NO.	18027

SHEET NO.

A3.1



ELEVATION KEYED NOTES

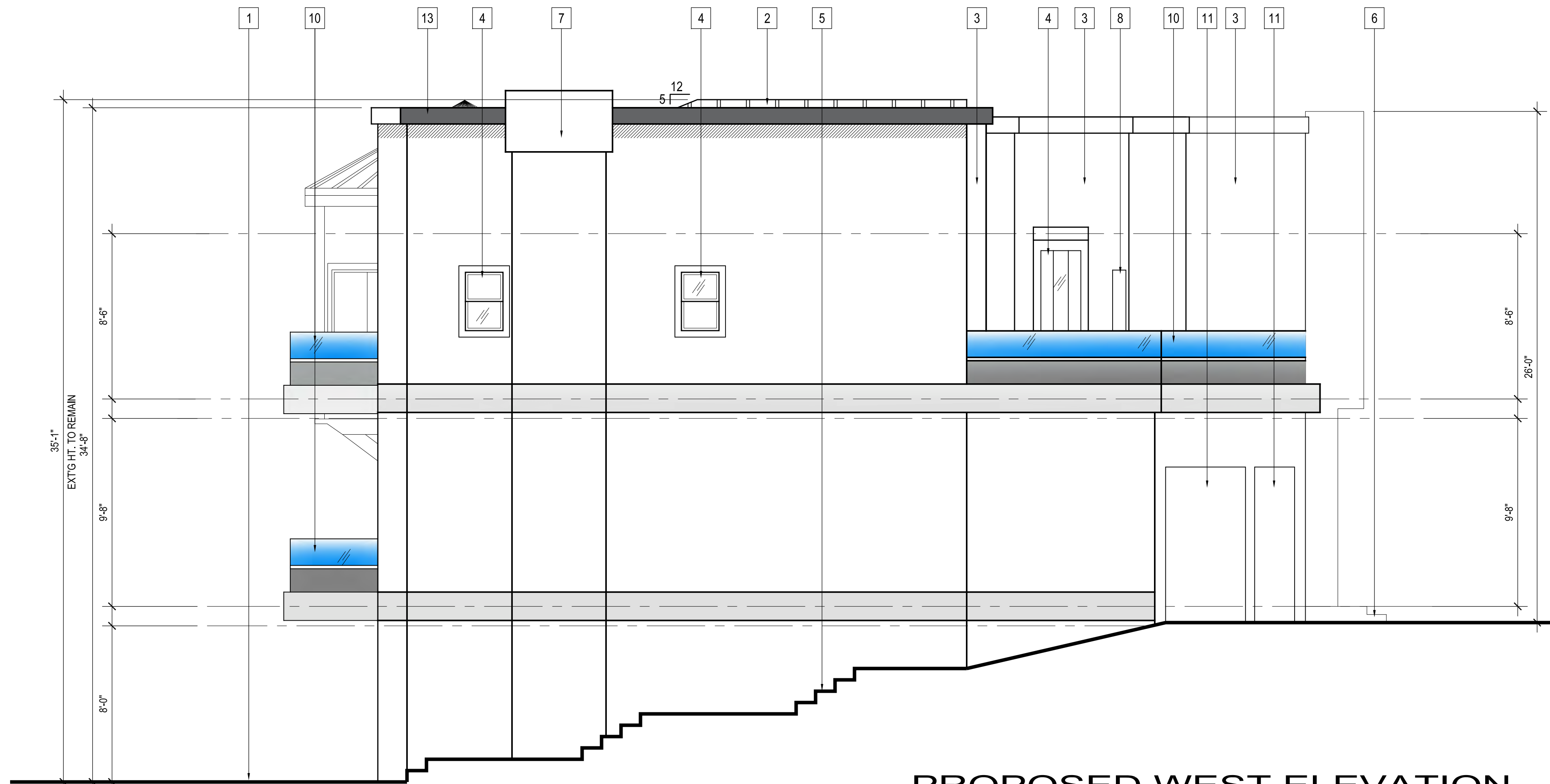
- EXT'G GRADE
- NEW CLASS 'A' METAL ROOF
- NEW 7/8" SMOOTH STUCCO
LIGHT GRAY COLOR (SEE
NEW STUCCO DETAIL-A3.1)
- NEW WINDOW (SEE SCHEDULE)
ALUMINUM CLAD BLACK COLOR
- EXT'G CONC. STEPS TO REMAIN
- EXT'G CONC. LANDING & STEPS
- EXT'G CHIMNEY TO REMAIN
- NEW DOOR (SEE SCHEDULE)
- NEW 9" x 1" TRIM AROUND WINDOWS
SMOOTH STUCCO FINISH - DARK BRONZE COLOR
- NEW GLASS DECK RAILING
42" MIN. HT.
- NEW GARAGE DOORS - ALUMINUM W/ TEMPERED GLASS
- NEW ENTRY DOOR
- NEW PARAPET (SEE DETAIL 2 ON A3.2)

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREON WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



PROPOSED NORTH ELEVATION

SCALE : 1/4" = 1'-0"

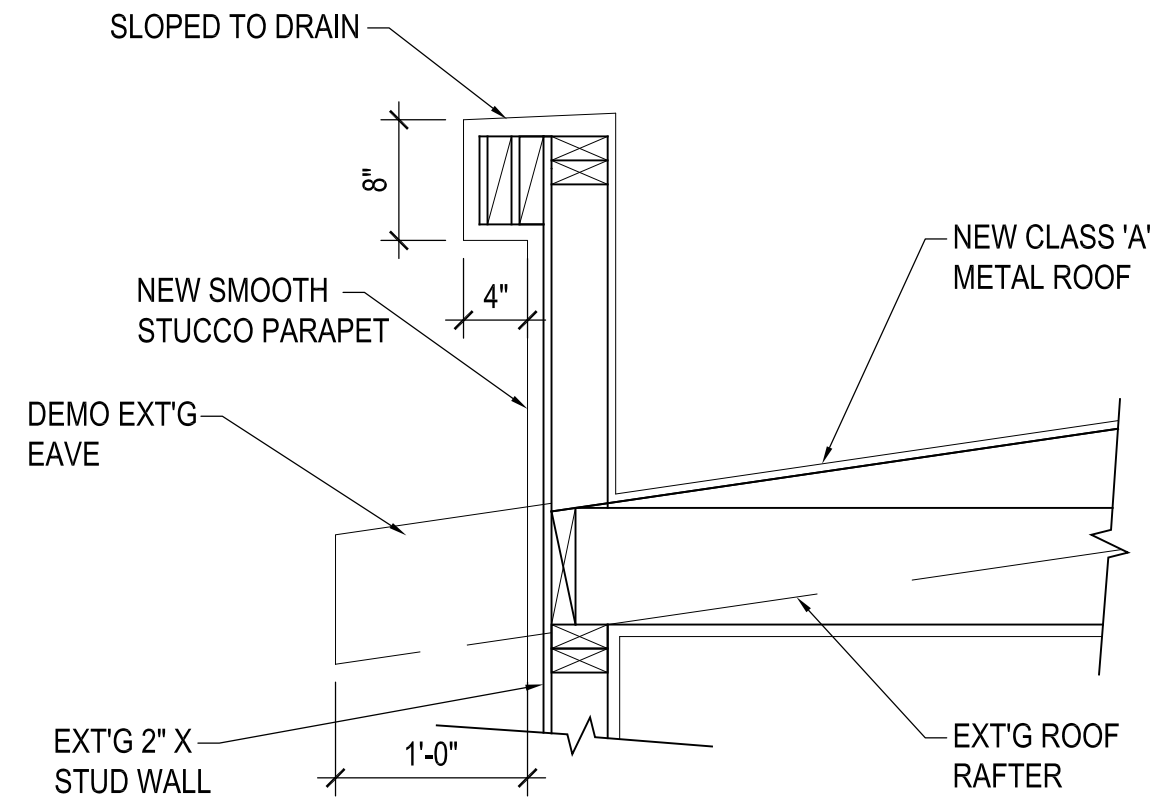


PROPOSED WEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

- EXT'G GRADE
- NEW CLASS 'A' METAL ROOF
- NEW 7/8" SMOOTH STUCCO
LIGHT GRAY COLOR (SEE
NEW STUCCO DETAIL-A3.1)
- NEW WINDOW (SEE SCHEDULE)
ALUMINUM CLAD BLACK COLOR
- EXT'G CONC. STEPS TO REMAIN
- EXT'G CONC. LANDING & STEPS
- EXT'G CHIMNEY TO REMAIN
- NEW DOOR (SEE SCHEDULE)
- NEW 9" x 1" TRIM AROUND WINDOWS
SMOOTH STUCCO FINISH - DARK BRONZE COLOR
- NEW GLASS DECK RAILING
42" MIN. HT.
- NEW GARAGE DOORS - ALUMINUM W/ TEMPERED GLASS
- NEW ENTRY DOOR
- NEW PARAPET (SEE DETAIL 2 ON A3.2)



NEW PARAPET DETAIL - 2

SCALE : 1" = 1'-0"

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED ELEVATIONS

SAHAKYAN RESIDENCE

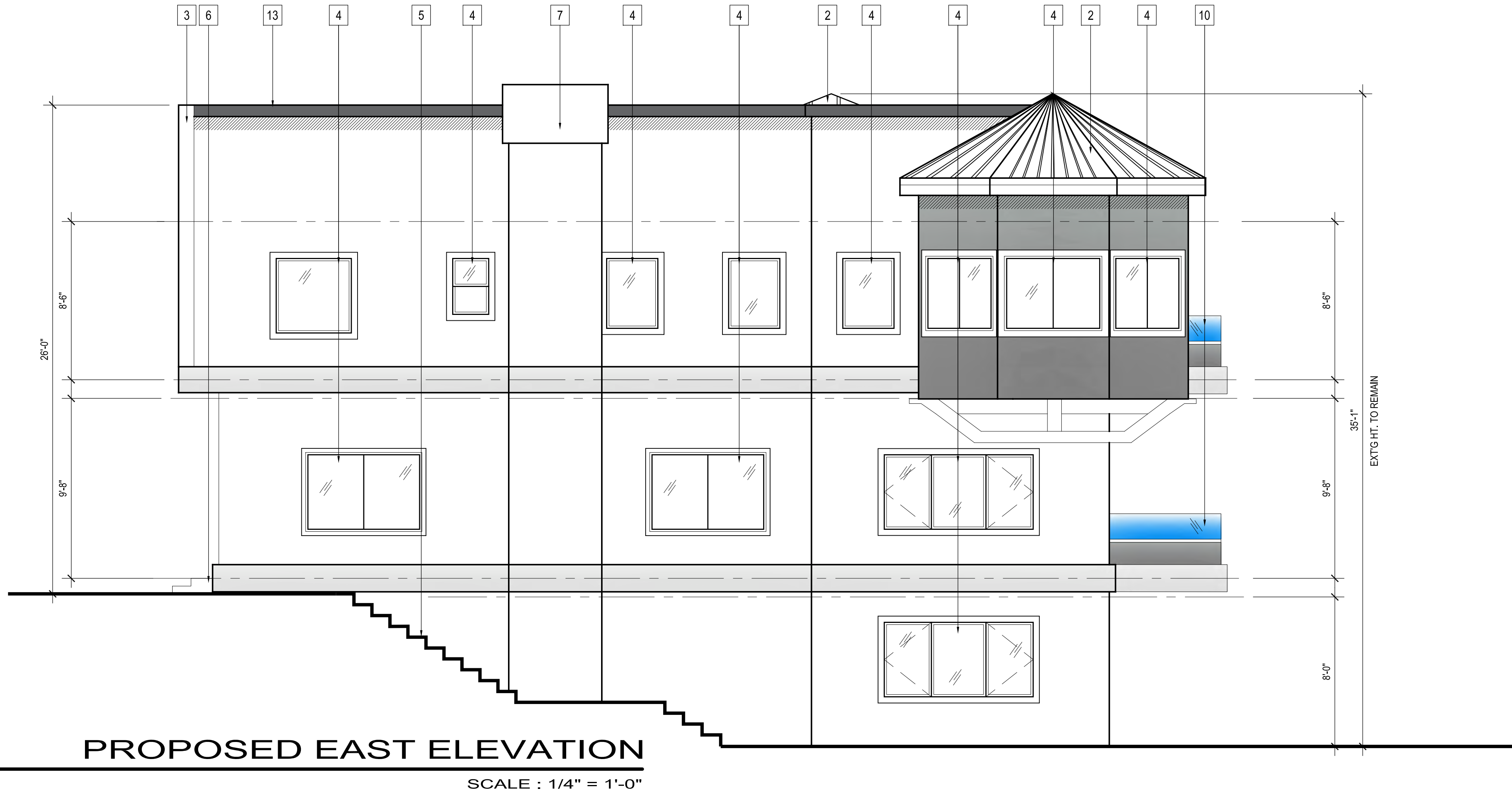
2101 RIMCREST DR. GLENDALE, CA 91207

DATE:	01/2023
DRAWN BY:	NRK
JOB NO.	18027

SHEET NO.

A3.2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



ELEVATION KEYED NOTES

- EXT'G GRADE
- NEW CLASS 'A' METAL ROOF
- NEW 7/8" SMOOTH STUCCO
LIGHT GRAY COLOR (SEE
NEW STUCCO DETAIL-A3.1)
- NEW WINDOW (SEE SCHEDULE)
ALUMINUM CLAD BLACK COLOR
- EXT'G CONC. STEPS TO REMAIN
- EXT'G CONC. LANDING & STEPS
- EXT'G CHIMNEY TO REMAIN
- NEW DOOR (SEE SCHEDULE)
- NEW 9" x 1" TRIM AROUND WINDOWS
SMOOTH STUCCO FINISH - DARK BRONZE COLOR
- NEW GLASS DECK RAILING
42" MIN. HT.
- NEW GARAGE DOORS - ALUMINUM W/ TEMPERED GLASS
- NEW ENTRY DOOR
- NEW PARAPET (SEE DETAIL 2 ON A3.2)

REVISIONS:	
Δ	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED ELEVATION

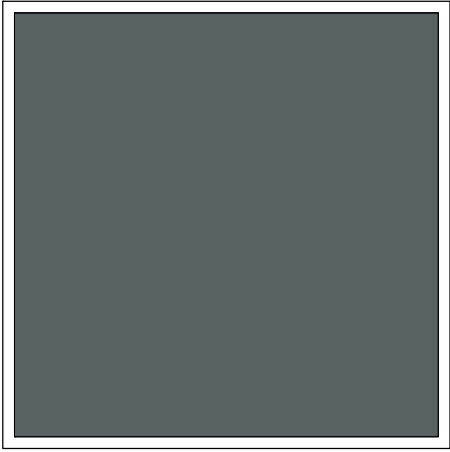
SAHAKYAN RESIDENCE

2101 RIMCREST DR. GLENDALE, CA 91207

DATE:	01/2023
DRAWN BY:	NRK
JOB NO.	18027

SHEET NO.

A3.3



ROOF:

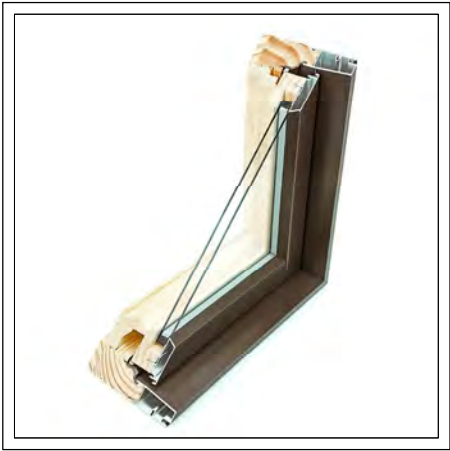
NAME: ATAS INTERNATIONAL, INC.
MATERIAL: METAL -
THE COLONIAL SEAM
COLOR: CHARCOAL GREY



STUCCO

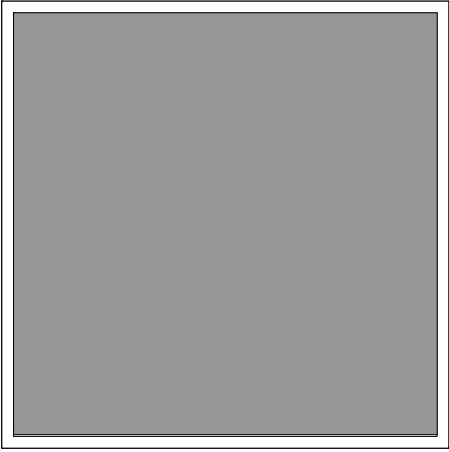
COLOR:

COLOR: OMEGA SMOOTH STUCCO
SNOW



WINDOWS:

WINDSOR
ALUMINUM CLAD W/ WOOD INSIDE
COLOR: CHARCOAL GREY



STUCCO

COLOR:

COLOR: OMEGA SMOOTH STUCCO
FORMAL GRAY



IMAGE 1

IMAGEE 2



IMAGE 3



IMAGE 4





IMAGE 5

IMAGE 6



IMAGE 7

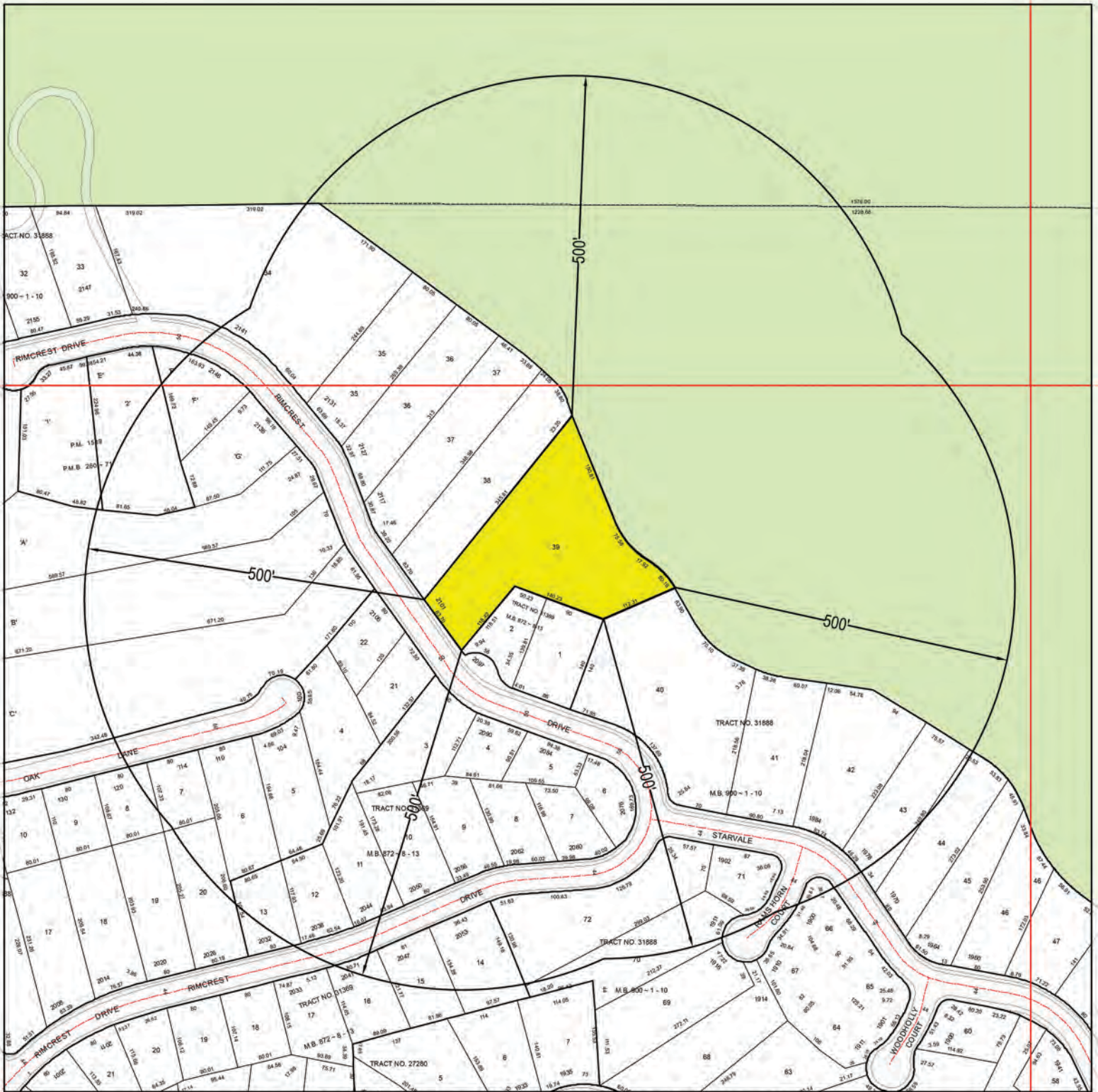


IMAGE 8



IMAGE 9





500' LOCATION MAP

LEGEND

SUBJECT PROPERTY (IES)



SITE LOCATION: 2101 RIMCREST DR
GLENDALE, CA 91207

APN:

5648-032-011

DATE: Nov 08, 2023

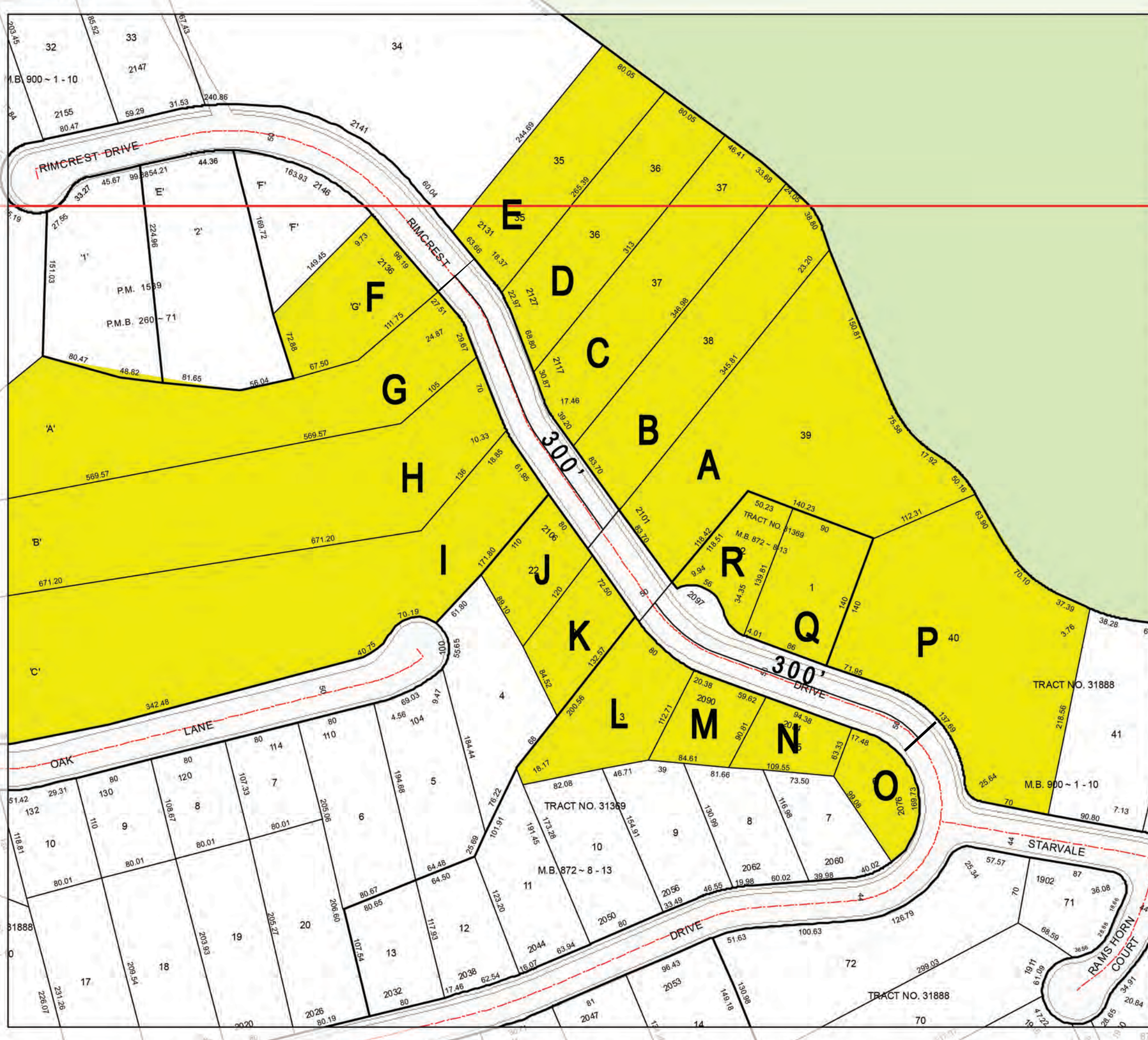


SCALE: 1"=200'

PREPARED BY:

artTECH
DESIGN

412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921



VICINITY & PHOTOGRAPHIC SURVEY MAP

- A. 2101 Rimcrest Dr. (PROJECT SITE)
- B. 2111 Rimcrest Dr
- C. 2117 Rimcrest Dr
- D. 2127 Rimcrest Dr
- E. 2131 Rimcrest Dr
- F. 2136 Rimcrest Dr
- G. 2126 Rimcrest Dr
- H. 2120 Rimcrest Dr
- I. 2116 Rimcrest Dr
- J. 2106 Rimcrest Dr
- K. 2100 Rimcrest Dr
- L. 2096 Rimcrest Dr
- M. 2090 Rimcrest Dr
- N. 2084 Rimcrest Dr
- O. 2076 Rimcrest Dr
- P. 2000 Starvale Rd
- Q. 2093 Rimcrest Dr
- R. 2097 Rimcrest Dr

LEGEND

- PHOTO & SURVEY LABEL A-R
- SUBJECT PROPERTY(IES) "A"
- 2+STORY

SITE LOCATION:
1990 STARVALE RD
GLENDALE, CA 91207

5648-032-013

DATE: Nov 07, 2023

PREPARED BY:



412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921



NEIGHBORHOOD SURVEY FOR: 2101 RIMCREST DR

KEY	ADDRESS	PARCEL NUMBER	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF
A(SITE)	2101 RIMCREST DR	5648-032-011	42,689	6,268	15%	2	25	SHINGLE
B	2111 RIMCREST DR	5648-032-010	29,064	5,999	21%	2	15	METAL
C	2117 RIMCREST DR	5648-032-009	26,950	6,975	26%	2	15	SPANISH TILE
D	2127 RIMCREST DR	5648-032-008	23,120	5,488	24%	2	20	SPANISH TILE
E	2131 RIMCREST DR	5648-032-007	20,390	5,522	27%	2	20	TILE
F	2136 RIMCREST DR	5632-025-054	15,900	3,855	24%	2	15	FLAT
G	2126 RIMCREST DR	5632-025-048	54,000	5,696	11%	2	20	TILE
H	2120 RIMCREST DR	5632-025-049	72,618	7,483	10%	2	15	SPANISH TILE
I	2116 RIMCREST DR	5632-025-050	95,060	5,893	6%	2	15	SPANISH TILE
J	2106 RIMCREST DR	5632-025-038	9,350	6,070	65%	2	15	TILE
K	2100 RIMCREST DR	5632-025-037	9,576	6,151	64%	2	15	SHINGLE
L	2096 RIMCREST DR	5632-025-003	15,444	5,427	35%	2	20	FLAT
M	2090 RIMCREST DR	5632-025-004	8,051	5,830	72%	2	15	SPANISH TILE
N	2084 RIMCREST DR	5632-025-005	7,600	5,913	78%	2	15	SPANISH TILE
O	2076 RIMCREST DR	5632-025-006	7,744	4,141	53%	2	15	TILE
P	2000 STARVALE RD	5648-032-012	46,750	5,804	12%	2	15	TILE
Q	2093 RIMCREST DR	5648-032-001	12,556	3,229	26%	2	15	SPANISH TILE
R	2097 RIMCREST DR	5648-032-002	8,140	6,949	85%	2	20	SPANISH TILE
AVERAGE			28,056	5,705	20%	2	17	



A. 2101 Rimcrest Dr. (PROJECT SITE)



B. 2111 Rimcrest Dr



C. 2117 Rimcrest Dr



D. 2127 Rimcrest Dr



E. 2131 Rimcrest Dr



F. 2136 Rimcrest Dr



G. 2126 Rimcrest Dr



H. 2120 Rimcrest Dr



I. 2116 Rimcrest Dr



J. 2106 Rimcrest Dr



K. 2100 Rimcrest Dr



L. 2096 Rimcrest Dr



M. 2090 Rimcrest Dr



2084 Rimcrest Dr



O. 2076 Rimcrest Dr



P. 2000 Starvale Rd



Q. 2093 Rimcrest Dr



R. 2097 Rimcrest Dr