



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – MULTI FAMILY

July 11, 2024 <i>Decision Date</i>	1038 Irving Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5624-012-001 <i>APN</i>
PADR-003134-2024 <i>Case Number</i>	Harry Akopian <i>Applicant</i>
Shoghig Yepremian, Planner <i>Case Planner</i>	Artour Babayans <i>Owner</i>

Project Summary

To construct a detached, two-story, 1,120 square-foot residential dwelling unit (Unit A) and a detached, two-story, 1,358 square-foot residential dwelling unit (Unit B) at the rear of an 8,222 square-foot lot developed with a 1,036 square foot single family dwelling (constructed in 1925), located in the R2250 (Medium Density Residential) zone. The existing single-family dwelling will remain on the site without modifications or changes. However, the existing non-conforming 341 square-foot detached garage servicing the single-family residence will be demolished to accommodate the construction of two proposed detached dwelling units at the rear.

Environmental Review

The project is exempt from CEQA review as a Class 3 “New construction or conversion of small structures” exemption pursuant to Section 15303 (b) of the State CEQA Guidelines because the proposed construction of two new dwelling units will not result in an increase of more than six dwelling units.

Existing Property/Background

The project site is an 8,222 square-foot lot with frontage on Irving Avenue originally developed in 1925. The existing house is a 1,036 square-foot single-family residence with a detached 341 square foot non-conforming garage. The house sits on a flat pad and has two bedrooms and one bath. The existing house design resembles Tutor Revival style with pitched roof. The house was modified over the years through new window changes. The property is located in the west side of the City between Glenoaks Boulevard and San Fernando Road.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R2250 Medium Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

PAB2097-003242-2024 was approved on May 28, 2024.

Site Slope and Grading

Flat lot-less than 50% average current slope. No additional review is required.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

The proposed project is to construct two detached units at the rear of the property. The project does not propose any modifications to the single-family house located at the front of the property. The existing non-conforming garage is proposed to be demolished to allow sufficient space for the construction of the new units and vehicular access to the rear units. The subject site is surrounded by other single and multi-family developments.

Yards and Usable Open Space

yes **n/a** **no**

If "no" select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

The project provides a combined area of 400 square feet of common open space shared between Unit A and the existing single-family house. Unit B is provided with 211

square feet of common open space. The project also provides 40 square foot and 43 square foot balconies at the second level for Unit A and Unit B, respectively.

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

The proposed project provides five parking spaces within attached garages compatible with the surrounding buildings that are not visible from the street and subordinate the dwelling’s they serve as viewed from the street.

The plans show that the existing driveway will be maintained to access the parking spaces for the new units. However, the proposed driveway material shows as concrete. The Multi-Family Residential design guidelines suggest paving materials to include brick, stone, textured concrete, etc. A condition of approval is attached to recommend that the driveway paving material is consistent with the City’s Multi-Family Design Guidelines.

Landscape Design (Existing Landscaping at the front of the property will remain and new landscaping is proposed to be added)

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

A landscape and irrigation plan is provided by a licensed landscape architect. A total of 2,331 square foot permanent landscape open space will be provided for the project. All of the plants identified on the plan show as very low and low water usage plant materials consistent with the City’s water conservation ordinance.

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

The applicant is not proposing any new walls or fences. Any proposed new walls need to comply with the Zoning Code requirements for location and height.

Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

The new trash enclosure will be provided and have a 5’ wall surrounding it. Other new equipments will be located outside of the setback areas for both unit A and for unit B.

Lighting

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

Determination of Compatibility: Site Planning

The proposed addition of two units at the rear of the property is appropriate to the site and its surroundings. A condition of approval is attached to add decorative pavement material to the driveway to comply with the Multi-Family Design Guidelines.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

The proposed two new units are appropriately placed on the property and are compatible with the adjacent single and multi-family development.

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized

Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

Concept governs massing and height

The new units in the rear are compatible with the existing front house in design and architecture.

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

The addition of the two units is in scale and proportion to the existing front house and to the existing neighborhood development.

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Roof design is appropriate for the proposed project at 4:12 pitch slope with asphalt shingles.

Determination of Compatibility: Mass and Scale

The proposed massing and scale would be appropriate to the site and its surroundings.

- Overall, the mass, proportions, and architectural concept of the project are consistent with the existing residence located at the front of the house.
- The two new units feature a gable-roof design with a 4:12 pitch that is consistent with the roof form of the existing house.
- Massing of the two new, two-story units are reduced because they are sited 74 feet from the street and behind the existing unit.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

The proposed two new units are compatible with the existing 1925 tutor house design.

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Entryway to each new unit is designed to provide privacy for each dwelling unit.

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

The proposed windows are compatible with the proposed building design.

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

The project is designed in such a way to avoid windows not facing each other.

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy

- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

Both of the new units are located at the rear of the property and not in direct view from the street. The stucco finish for the new units will match the front house exterior color. Guidelines encourage a variety of materials in lieu of stucco alone. Staff recommends the application of sidings at the second level gables to provide a variety of materials.

Paving Materials

- yes** **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

The project is proposing concrete paving for the driveway and walkways. The Multi-Family Residential Design Guidelines recommend the use of decorative paving treatments such as brick, pavers, stamped concrete to enhance curb appeal from the street.

Lighting, Equipment, Trash, and Drainage

- yes** **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

- yes** **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing is appropriate to the site and its surroundings, as modified by any proposed condition, for the following reasons:

The Comprehensive Design Guidelines for Multi-Family Residential project recommends decorative paving materials such as block pavers, brick, stone, granite and concrete. Also, staff is recommending the application of sidings at the second level gables.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

- Include decorative paving materials for the driveway, walkways and common open space areas.
- Add siding at the second level gables to provide a variety of materials.
- The exterior stucco finish to have smooth finish throughout the units.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

2 UNITS - 2-STORY MULTI FAMILY RESIDENCE

1038 IRVING AVE

GLENDALE, CA 91201



ecumena
 3786 LA CRESCENTA AVE., SUITE 201
 GLENDALE, CA 91208
 TEL.: 818.507.6787

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NO.	ISSUED FOR:	DATE:
1	PLANNING SUBMITTAL	2/19/2024
2		
3		
4		
5		
6		
7		
8		

ABBREVIATIONS

& @ C Ø PL	And At Centerline Diameter Property Line	LAV LB LT LT WT	Lavatory Pound Light Light Weight
ABV AFF ALUM APPROX ARCH	Above Above Finish Floor Aluminum Approximate Architect/Architectural	M MAX MFR MIN MISC MTL MUL	Master (as in "M Bath") Maximum Manufacturer Minimum Miscellaneous Metal Mullion
BD BDRM BLDG BLK BLW BOT BTW	Board Bedroom Building Block / Blocking Below Bottom Between	N NEC NO NOM NTS NA NON-COMB	North Necessary Number Nominal Not to Scale Not Applicable Non-Combustible
CIP CLG CLR CMU COMP CONC COND CONST CONT CTR	Cast-in-Place Ceiling Clearance Concrete Masonry Unit Composition Concrete Condition Construction Continuous Center, Counter	OA OC OHG OPG OPP OVHD O/	Overall On Center Overhang Opening Opposite Overhead Over
DBL DEPT DIA DIM DN DS DTL DWG	Double Department Diameter Dimension Down Downspout Detail Drawing	PERP PLBG PLWD PNT PSF PSI	Perpendicular Plumbing Plywood Paint / Painted Pounds Per Square Foot Pounds Per Inch
E EA ELEC ELEV EQ ES EXIST EXT	East Each Electrical Elevation / Elevator Equal Each Side Existing Exterior	S SCHD SECT SF SG SGD SH SHTG SHT SIM SOF SPEC SQ SS STD STL STRUCT SYS	South Schedule Section Square Feet Safety Glass Sliding Door Single Hung Sheathing Sheet Similar Soffit Specification / Specifications Square Stainless Steel Standard Steel Structural System
FF FH FIN FIXT FLR FOB FM FOC FOF FOS FOW FP FT FTG FX	Finish Floor Fire Hydrant Finish Fixture Floor / Flooring Face of Beam From Face of Concrete Face of Finish Face of Stud Face of Window Fireplace / Fireproofing Foot / Feet Footing Fixed	TBR THK THSD THRU TOC TOP TOW TYP UNO	To Be Renovated Thickness Threshold Through Top of Curb Top of Pavement TOP of Wall Typical Unless Noted Otherwise
GA GALV GRND GWB GYP	Gauge Galvanized Ground Gypsum Wall Board Gypsum	VP VERT VNL VIF	Vapor Barrier Vertical Vinyl Verify in Field
HB HDR HOR HT HWT	Hose Bibb Header Horizontal Height Hot Water Tank	W W/ WD WM W.M W/O WP W.R WT	West With Wood Window Water Meter Without Waterproofing Water Resistant Weight
IN INFO INSUL INT	Inch Information Insulation / Insulate Interior		

SYMBOLS LEGEND

	GRID LINES
	DESIGNATION (DRAWING OR DETAIL)
	ELEVATION
	SECTION
	DETAIL CALLOUT
	ROOM IDENTIFICATION
	DOOR NUMBER / EXIST. DOOR DIM.
	WINDOW NUMBER / EXIST. WINDOW DIM.
	PLAN NOTES
	MATERIAL NOTES
	REVISION
	POINT, DATUM POINT, WORK POINT
	NORTH ARROW
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DUPLEX ELECTRICAL OUTLET
	GROUND FAULT CIRCUIT-INTERRUPTER
	TELEVISION OUTLET
	TELEPHONE OUTLET
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
	INCANDESCENT WALL MOUNTED LIGHT FIXTURE 66" A.F.F. (BY OWNER)
	JUNCTION BOX
	FAN EXHAUST
	WALL SWITCH @+48" A.F.F.
	DIMMER SWITCH @+48" A.F.F.

MATERIAL SYMBOLS & LINEWORK

	WOOD FRAMING		PROPERTY LINE
	WOOD BLOCKING		SETBACK LINE
	PLYWOOD		BREAK LINE
	WOOD, FINISH		DIMENSION LINE
	METAL LATH & PLASTER		BATT INSULATION
	CONCRETE		EXISTING WOOD STUD WALL
	CONCRETE		NEW 2x WOOD STUD WALL
	STEEL		EXISTING STRUCTURE TO BE DEMOLISHED
	LANDSCAPING		GRADE OR EARTH

SHEET INDEX

ARCHITECTURAL		
SHEET NO.	SHEET TITLE	DATE ISSUED
G001	COVER SHEET	04/30/24
A101	EXISTING SITE PLAN & EXISTING FLOOR PLAN	04/30/24
A105	PROPOSED 1ST FLOOR PLAN	04/30/24
A107	PROPOSED ROOF PLAN	04/30/24
A201	UNIT A - EXTERIOR ELEVATIONS, SECTIONS	04/30/24
A202	UNIT B - EXTERIOR ELEVATIONS, SECTIONS	04/30/24
A401	DOOR AND WINDOW SCHEDULES	04/30/24
A106	PROPOSED 2ND FLOOR PLAN	04/30/24
A301	BUILDING SECTIONS	04/30/24
A103	SITE PLAN	04/30/24
A104	AVERAGE SETBACK CALCULATIONS & GROSS AREA CALCULATIONS	04/30/24
L1	PLANTING PLAN	04/30/24
L2	IRRIGATION PLAN	04/30/24
L3	LANDSCAPE DETAILS	04/30/24

BUILDING STATISTICS

OCCUPANCY GROUP:	R-3/U
LOT SIZE:	50.00' x 164.45'
LOT AREA (S.F.):	8,222.5 (LA COUNTY ASSESSOR)
(E) FIRST FLOOR AREA (S.F.):	1,036 (LA COUNTY ASSESSOR)
(E) GARAGE AREA (S.F.):	341
(E) COVERED PORCH AREA (S.F.):	27
(N) UNIT A AREA (S.F.):	1120
(N) UNIT B AREA (S.F.):	1358
(N) GARAGE AREA UNIT A (S.F.):	434
(N) GARAGE AREA UNIT B (S.F.):	643
MAXIMUM F.A.R. (S.F.):	1 X 8,222.5 = 8222.5 (GMZC 30.11.050 K1)
TOTAL F.A.R. (S.F.):	1036 (E) + 1120 (A) + 1358 (B) + 434 (GARAGE A) + 643 (GARAGE B) = 4591
NUMBER OF STORIES:	2
BUILDING HEIGHT:	UNIT A = 24' - 3" UNIT B = 24' - 3"
MAX. LOT COVERAGE (S.F.):	.5 X 8222.25 = 4111.25
TOTAL LOT COVERAGE (S.F.):	1036 (EX. HOME) + 27 (EX. PORCH) + 963 (UNIT A) + 1306 (UNIT B) + 18 (AWNING) = 3360
MIN. LANDSCAPED AREA (S.F.):	.25 x 8222.25 = 2055
COMMON OPENS SPACE (S.F.):	400 (EX. HOME) + UNIT A) + 211 (UNIT B) = 611
PRIVATE OPEN SPACE (S.F.):	55 (EX. HOME) 40 (UNIT A) + 43 (UNIT B) = 138
TOTAL PERM. LANDSCAPED AREA (S.F.):	2331
TYPE OF CONSTRUCTION:	TYPE V-B
FIRE SPRINKLER:	(E) NO (N) YES
YEAR BUILT:	1925
HILLSIDE:	NO
HISTORIC:	NO
PARKING REQUIRED:	6 (3 UNITS, 2 BEDROOMS EA.)
PARKING PROVIDED:	5 (PER CAL AB-2097)

SCOPE OF WORK

- DEMOLITION**
- (E) NON-CONFORMING SINGLE STORY 341 SF GARAGE
- NEW**
- (N) 1120 SF 2 STORY UNIT A W/ 2 BEDROOMS AND 2 BATHS, 2 CAR GARAGE
 - (N) 1358 SF 2 STORY UNIT B W/ 2 BEDROOMS AND 2 BATHS, 3 CAR GARAGE

ZONING INFO

ZONE:	R2250
FRONT YARD SETBACK:	20' (23' AVG) FIRST FLOOR 23' (26' AVG) SECOND FLOOR
SIDE/REAR YARD SETBACK:	5' (8' AVG) FIRST FLOOR 8' (11' AVG) SECOND FLOOR
MAXIMUM PRIMARY STRUCTURE HEIGHT:	2 STORIES, 26' + 5' = 31' MAX

LEGAL DESCRIPTION

APN #:	5624-012-001
TRACT #:	4646
LOT:	60

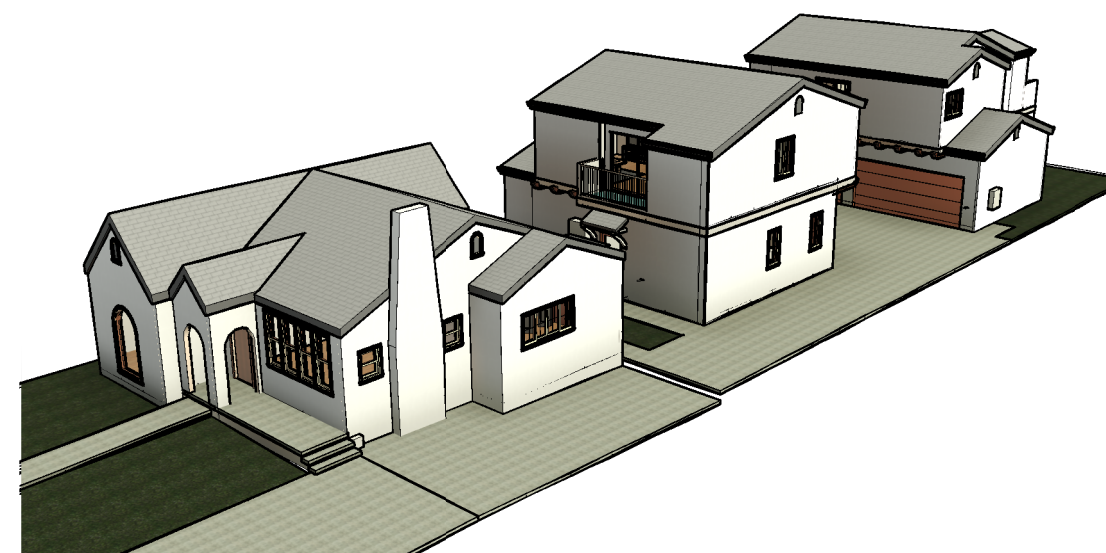
PROJECT TEAM

CLIENT	ARCHITECT
ARTOUR BABAYAN 1225 N. PACIFIC AVE. GLENDALE CA 91202 818.334.5471	HAROUT AKOPIAN ARCHITECT OF RECORD - C-37146 CONTACT ADDRESS 3786 LA CRESCENTA AVE., GLENDALE CA 91204 P: 818.507.6787
GENERAL CONTRACTOR	STRUCTURAL ENGINEER
TBD	ARMEN MARTIROSSYAN CONTACT ADDRESS 802 PORTOLA AVE. GLENDALE, CA 91206 P: 818.434.1708

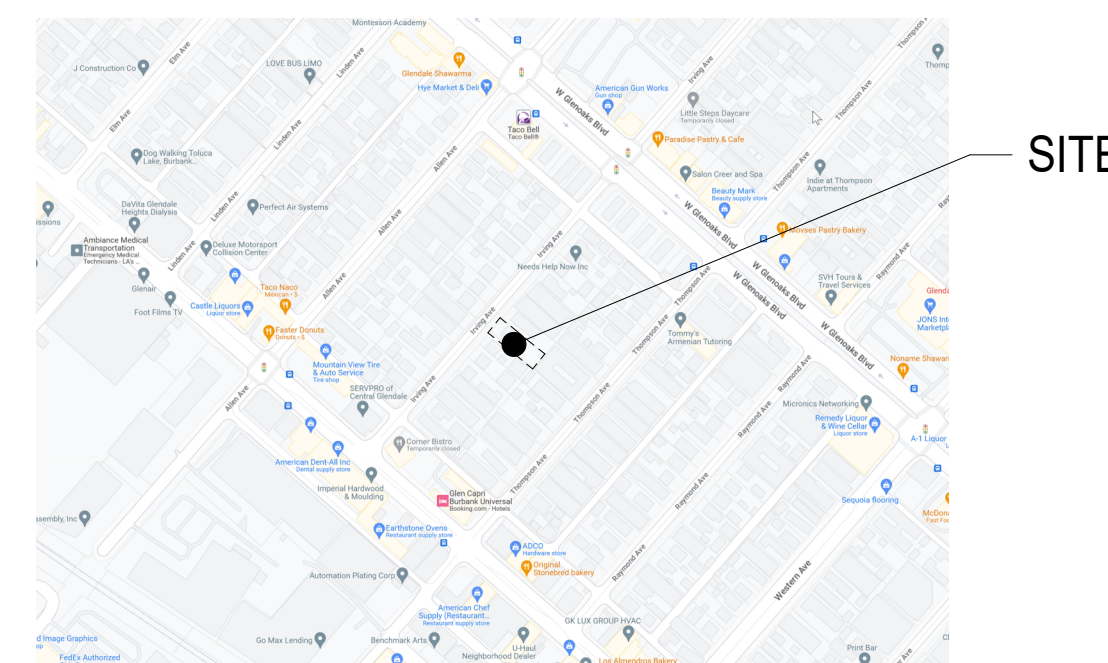
APPLICABLE CODES

- STATE/FEDERAL**
- 2022 CALIFORNIA BUILDING VOL. 1/2
 - 2022 CALIFORNIA RESIDENTIAL CODE
 - 2022 CALIFORNIA PLUMBING CODE
 - 2022 CALIFORNIA MECHANICAL CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
 - 2022 CALIFORNIA ENERGY CODE
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2022 CALIFORNIA FIRE CODE
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- LOCAL**
- 2023 GLENDALE BUILDING CODE,
 - 2023 GLENDALE ZONING CODE

1038 IRVING



VICINITY MAP



REV. NO.	REVISION	DATE

PROJECT TITLE:
1038 Irving Multi Family

JOB ADDRESS:
1038 Irving Ave,
Glendale, CA 91201

OWNER:
MR. ARTOUR BABAYANS

JOB NO.:	
DRAWN BY:	Author
CHECKED BY:	Designer
DATE:	6/17/2024 8:42:59 PM

SHEET DESCRIPTION:
COVER SHEET

SHEET NUMBER:

G001

SHEETS **OF**

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PRIOR TO THE PROJECT AT THE SITE BEFORE PROCEEDING

LEGAL DESCRIPTION:

LOT 60 OF TRACT NO. 4546, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 50 PAGE 73 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 5624-012-001

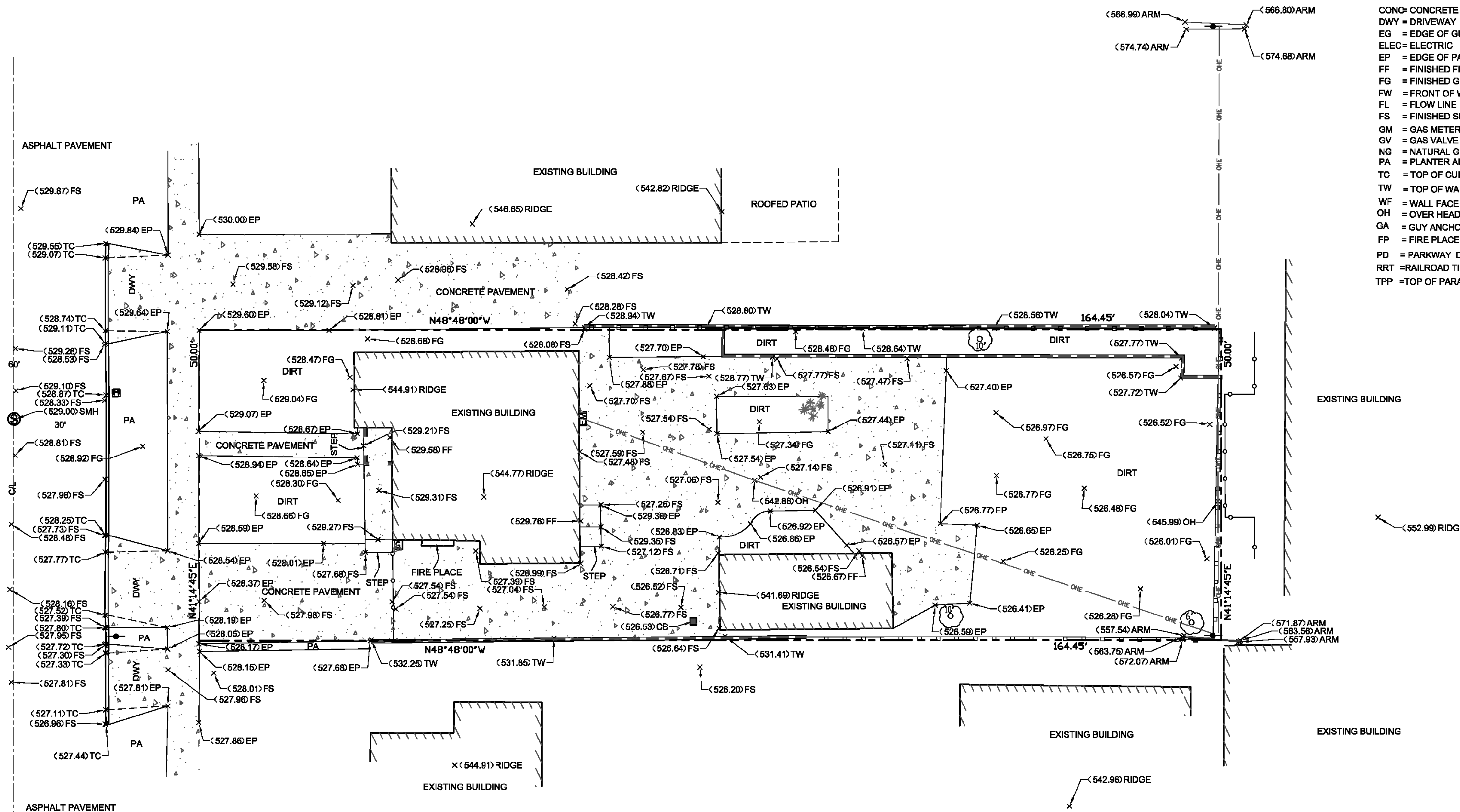
NOTES:

1. THE LEGAL DESCRIPTION, BOUNDARIES SHOWN HEREON ARE PER RECORD DATA.
 2. FOR PLOT THE EASEMENT IF ANY, OWNER NEED TO PROVIDE HYPER LINK OF PRELIMINARY TITLE REPORT.
- TOTAL PROPERTY AREA: 8224 SQ. FT.

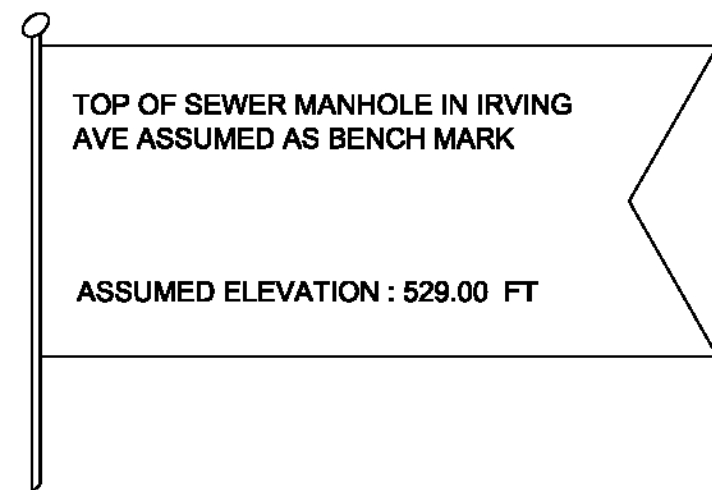
LEGEND

- AC = ASPHALT CONCRETE
 - BLDG = BUILDING
 - BW = BACK OF WALK
 - CB = CATCH BASIN
 - CL = CENTERLINE
 - CF = CURB FACE
 - CLF = CHAIN LINK FENCE
 - CONG = CONCRETE
 - DWY = DRIVEWAY
 - EG = EDGE OF GUTTER
 - ELEC = ELECTRIC
 - EP = EDGE OF PAVEMENT
 - FF = FINISHED FLOOR
 - FG = FINISHED GRADE
 - FW = FRONT OF WALK
 - FL = FLOW LINE
 - FS = FINISHED SURFACE
 - GM = GAS METER
 - GV = GAS VALVE
 - NG = NATURAL GROUND
 - PA = PLANTER AREA
 - TC = TOP OF CURB
 - TW = TOP OF WALL
 - WF = WALL FACE
 - OH = OVER HEAD WIRE
 - GA = GUY ANCHOR
 - FP = FIRE PLACE
 - PD = PARKWAY DRAIN
 - RRT = RAILROAD TIE
 - TPP = TOP OF PARAPET
- MULTI TRUNK
 - TREE SIZE IN INCHES
 - 22" OAK TREE SIZE IN INCHES
 - PALM TREE SIZE IN INCHES
 - SEWER MAINT HOLE
 - SIGN
 - ELECTRIC METER
 - CATCH BASIN
 - GAS VALVE
 - GUY WIRE
 - POWER POLE
 - WATER METER
 - GAS METER
 - SPOT ELEVATION
 - OVER HEAD WIRE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - PLASTIC FENCE
 - WROUGHT IRON FENCE
 - RETAINER STONE WALL
 - RETAINER CONCRETE BLOCK WALL
 - BOUNDARY LINE
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - BRICK PAVEMENT

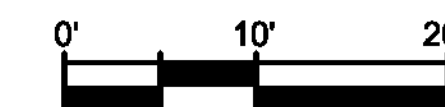
IRVING AVE



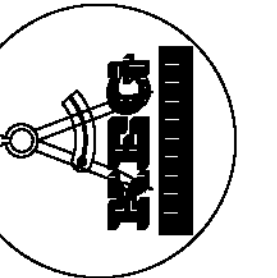
BENCHMARK



GRAPHIC SCALE



SCALE: 1" = 10'



KEG GROUP INC.
 (818)919-8133
 KAMYAR@KAMRANA.COM
 12838 KLING ST STUDIO CITY, CA 91604

PREPARED FOR
ARTOUR BABAYANS

TOPOGRAPHY SURVEY

1038 IRVING AVE, GLENDALE, CA 91201

DATE: 05/07/2023

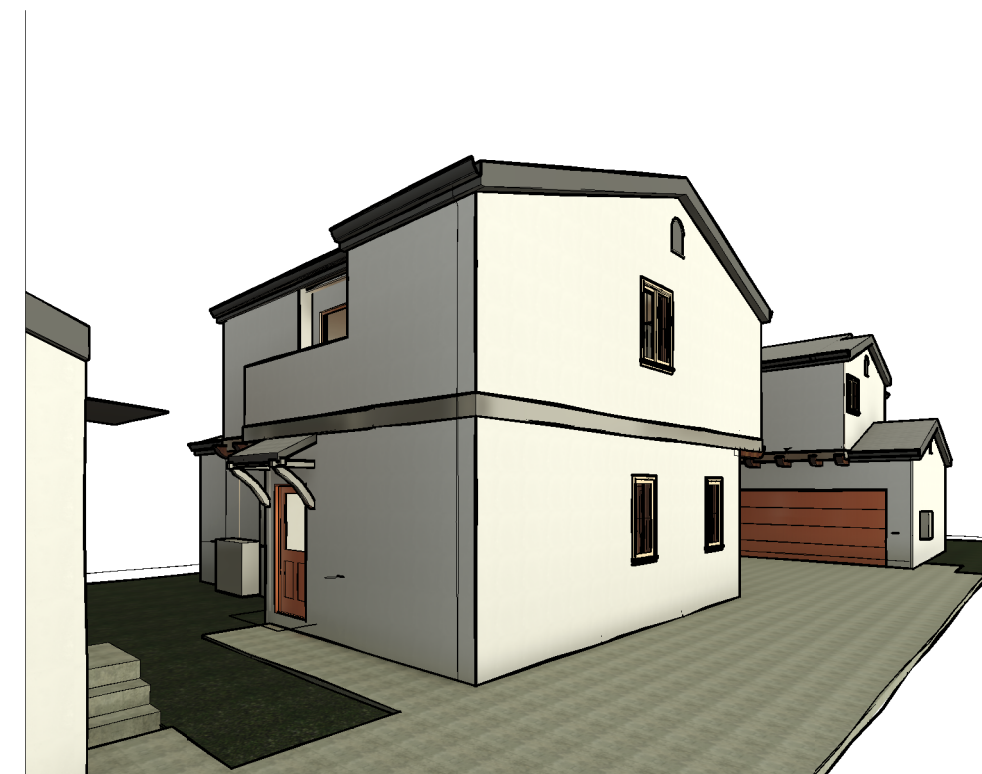
SCALE: 1" = 10'

SHEET NO.

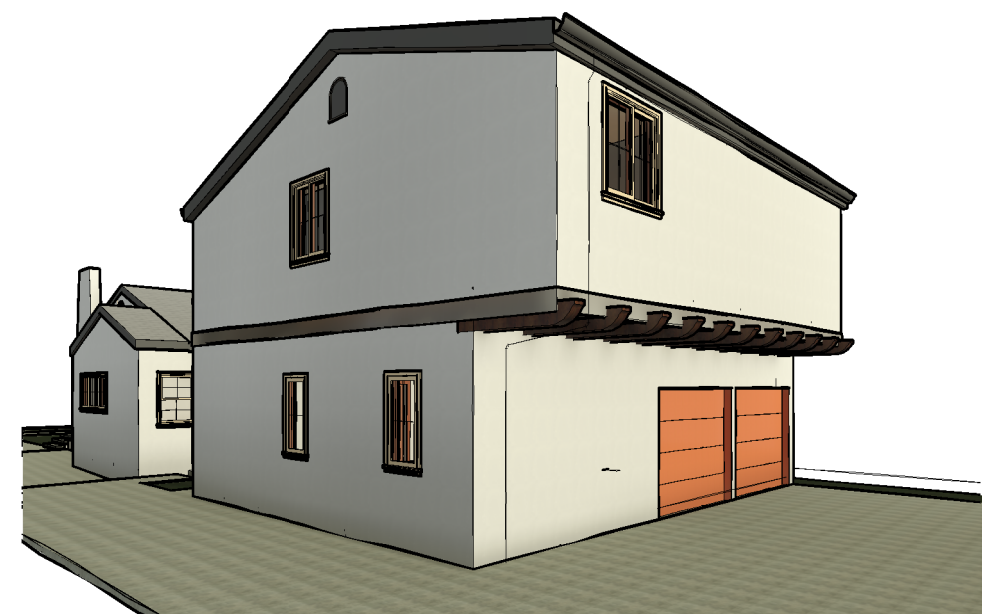
A102

SHEET 1 OF 1

PERSPECTIVES



2 UNIT A AND B, LOOKING EAST



3 UNIT A, LOOKING NORTH



4 UNIT B, LOOKING SOUTH

SITE PLAN LEGEND

- (N) = NEW CONSTRUCTION
- (E) = EXISTING STRUCTURE
- V.I.F. = VERIFY IN FIELD
- P.U.E. = PUBLIC UTILITY EASEMENT
- R.C.P. = REINFORCED CONCRETE PIPE
- = PROPERTY LINE
- = SETBACK LINE
- [Hatched Box] = NEW FIRST FLOOR AREA
- [Solid Box] = EXISTING FLOOR AREA
- [Hatched Box] = NEW SECOND FLOOR AREA
- [Dotted Box] = LANDSCAPE AREA
- [Hatched Box] = WINDOW
- [Hatched Box] = ADJACENT PROPERTIES
- [Circle with 'W'] = (E) WINDOW TAG WIDTH HEIGHT
- [Circle with 'D'] = (E) DOOR TAG WIDTH HEIGHT
- [Circle with 'W'] = WATER METER
- [Circle with 'E'] = ELECTRICAL METER
- [Circle with 'G'] = GAS METER

SITE PLAN NOTES

1. THERE ARE NO OAKS, BAY, OR SYCAMORE TREES (PROTECTED TREES) ON THE SITE OR WITHIN 20 FEET OF THE SITE.
2. NO ROOFTOP EQUIPMENT SHALL BE PERMITTED IN THE RO, R1R AND R1 ZONES
3. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE A SEPARATE PERMIT.
4. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH AND SHALL BE ILLUMINATED IN AN APPROVED MANNER IF NUMBERS ARE ON THE EXTERIOR. NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
5. SHALL PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.
6. NO ROOFTOP EQUIPMENT SHALL BE VISIBLE FROM THE STREET. ANY NEW ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW.
7. THERE SHALL BE NO EXTENSIVE GRADING (CUT&FILL) BEYOND TYPICAL FOOTING EXCAVATION.



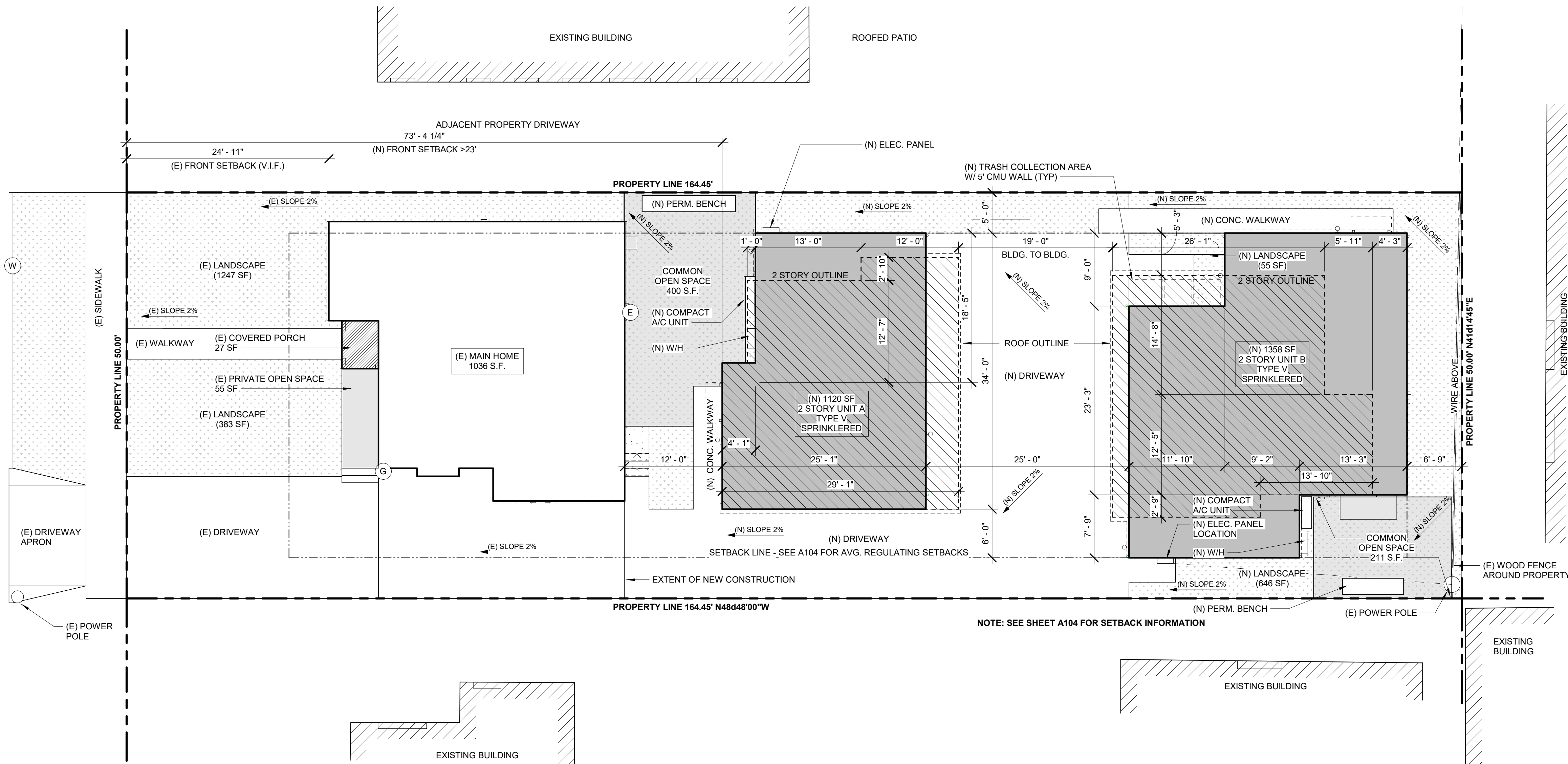
ecumena

3786 LA CRESCENTA AVE., SUITE 201
GLENDALE, CA 91208
TEL.: 818.507.6787

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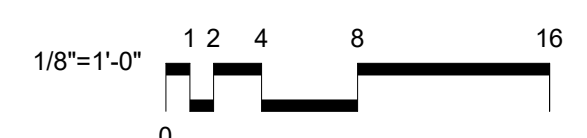
NO.	ISSUED FOR:	DATE:
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IRVING AVE



NOTE: SEE SHEET A104 FOR SETBACK INFORMATION

1 Site Plan
1/8" = 1'-0"



REV. NO.	REVISION	DATE

PROJECT TITLE:
1038 Irving Multi Family

JOB ADDRESS:
1038 Irving Ave,
Glendale, CA 91201

OWNER:
MR. ARTOUR BABAYANS

JOB NO.:	
DRAWN BY:	C.ANDRAS
CHECKED BY:	H.AKOPIAN
DATE:	5/1/2024 10:55:28 AM

SHEET DESCRIPTION:

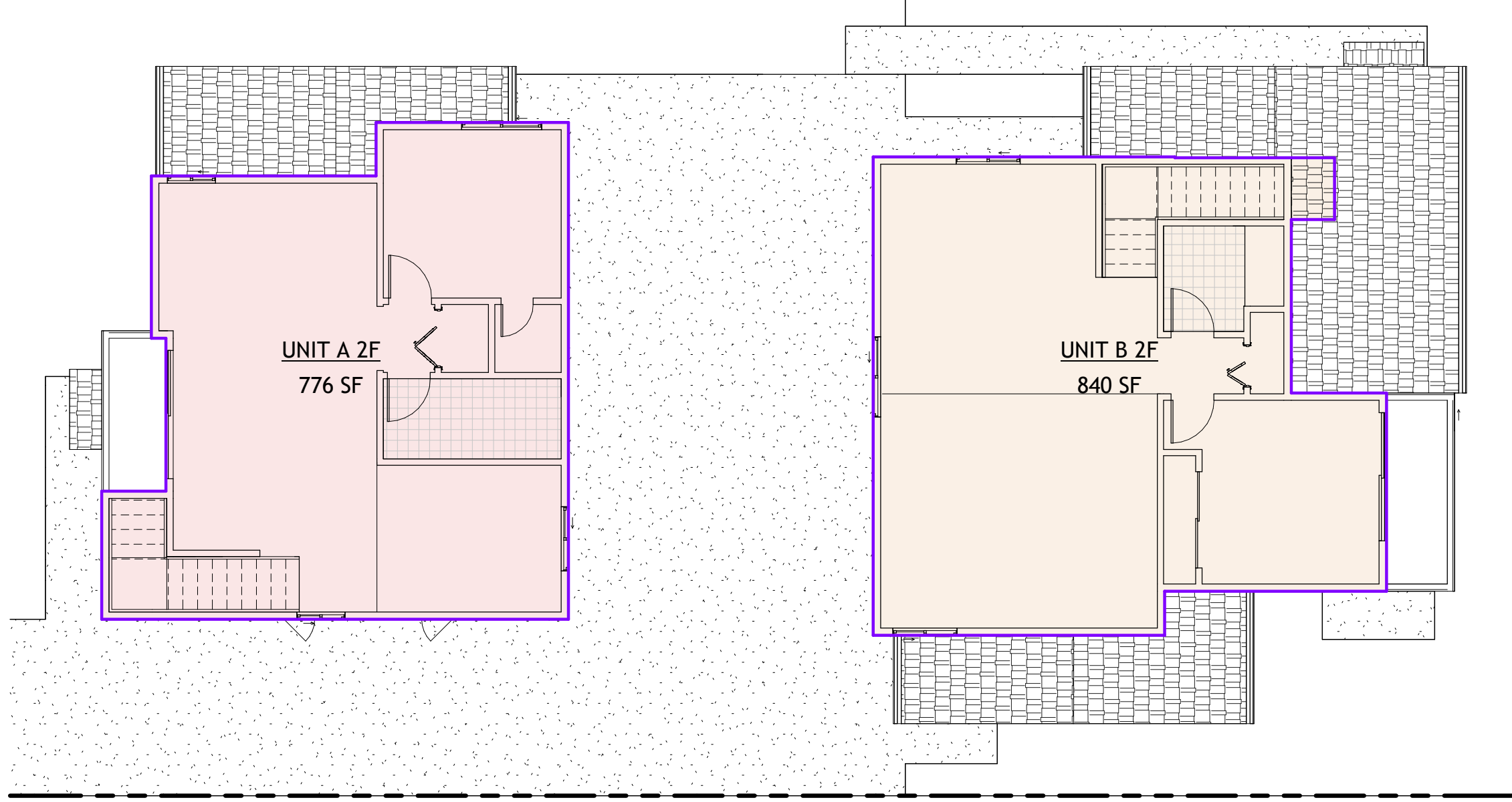
SITE PLAN

SHEET NUMBER:

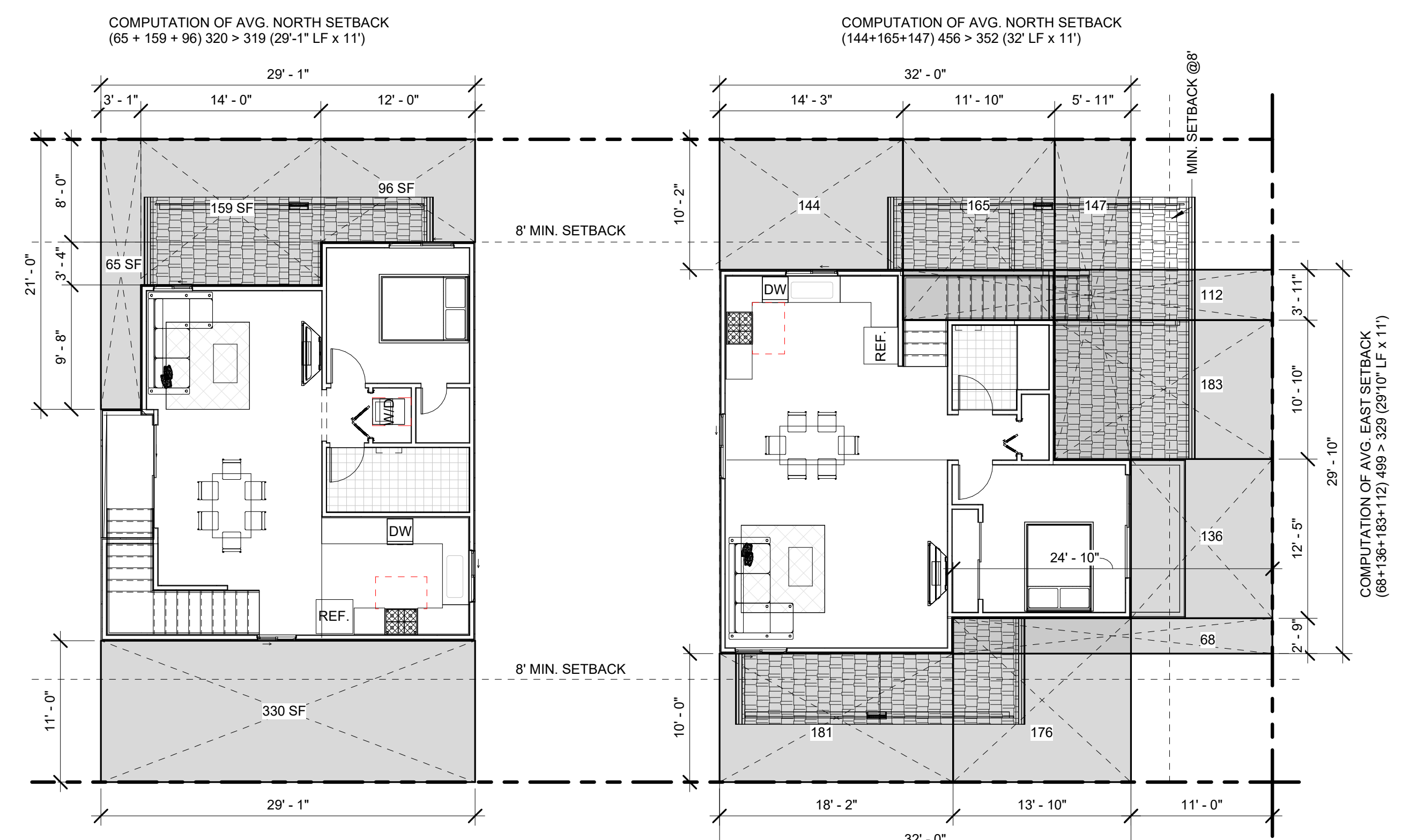
A103

SHEETS OF

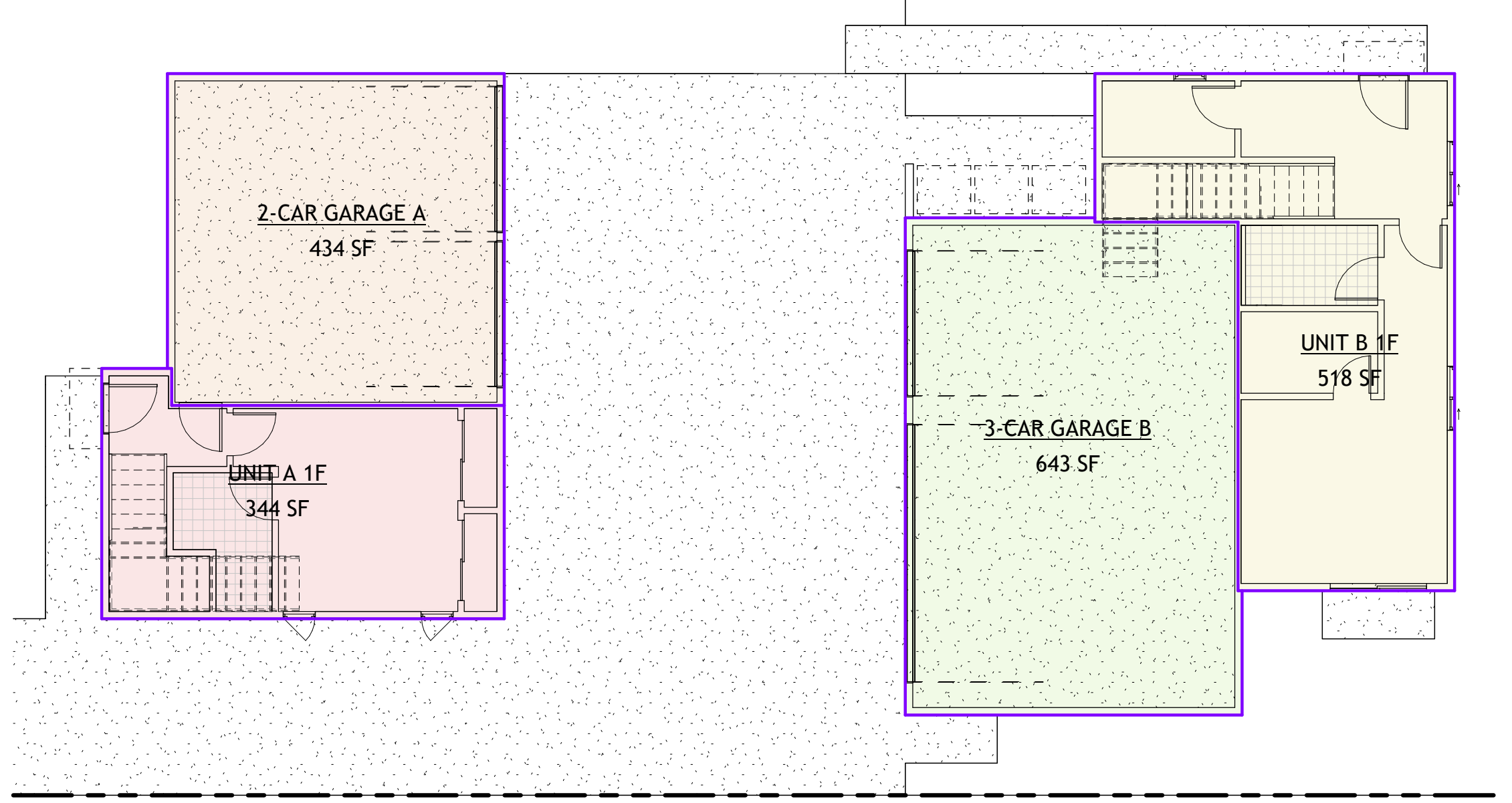
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE PROJECT AT THE SITE BEFORE PROCEEDING



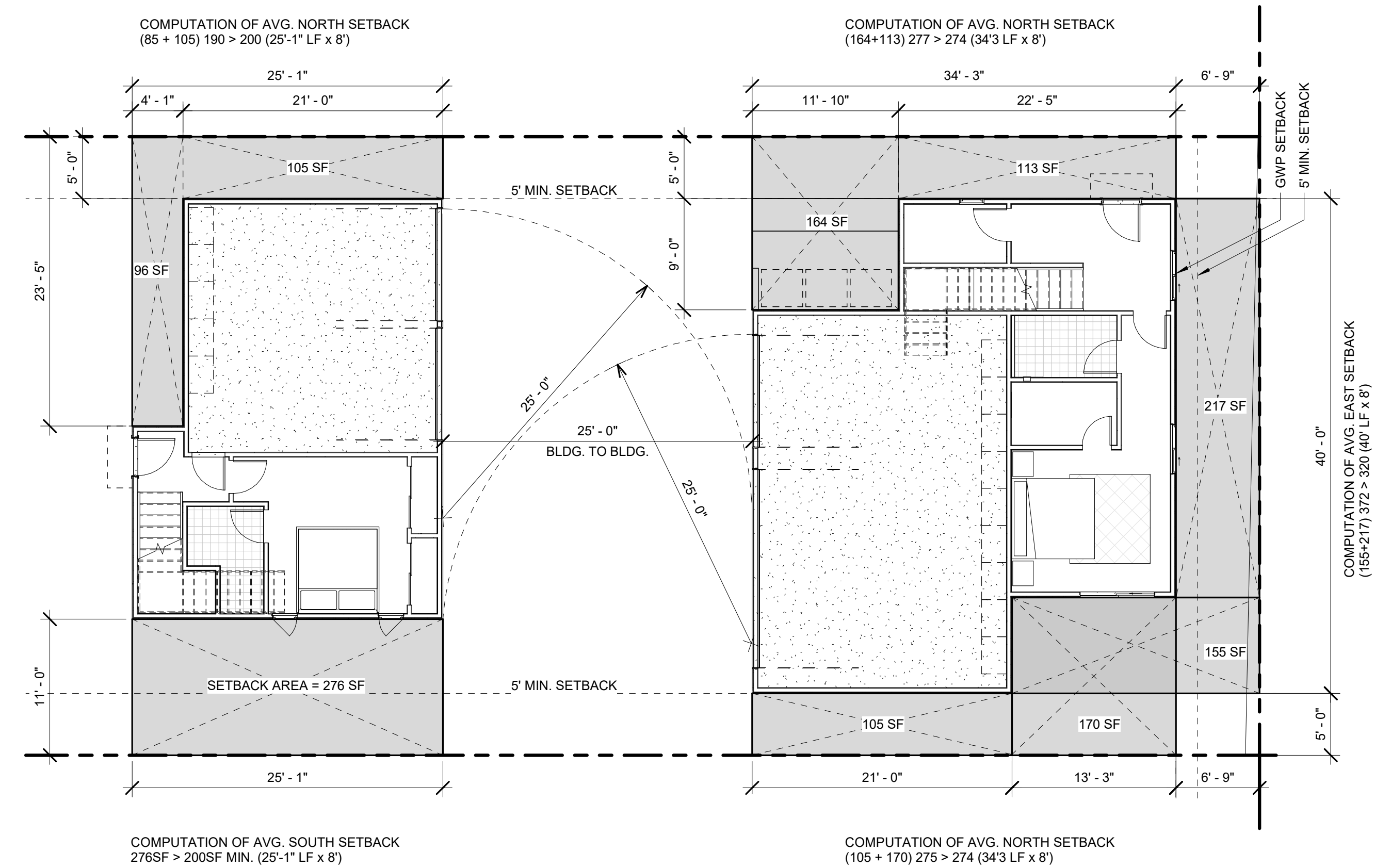
4 SECOND FLOOR GROSS FLOOR AREA
1/8" = 1'-0"



2 SECOND FLOOR AVERAGE SETBACK
1/8" = 1'-0"



3 FIRST FLOOR GROSS FLOOR AREA
1/8" = 1'-0"



1 FIRST FLOOR AVERAGE SETBACK
1/8" = 1'-0"



ecumena
3786 LA CRESCENTA AVE., SUITE 201
GLENDALE, CA 91208
TEL.: 818.507.6787

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NO.	ISSUED FOR:	DATE:
1	PLANNING SUBMITTAL	2/19/2024
2		
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REV. NO.	REVISION	DATE

PROJECT TITLE :
1038 Irving Multi Family

JOB ADDRESS :
1038 Irving Ave,
Glendale, CA 91201

OWNER :
MR. ARTOUR BABAYANS

JOB NO. :
DRAWN BY : C.ANDRAS
CHECKED BY : H.AKOPIAN
DATE : 5/1/2024 10:55:29 AM

SHEET DESCRIPTION :
AVERAGE SETBACK
CALCULATIONS & GROSS AREA
CALCULATIONS

SHEET NUMBER :

A104

SHEETS OF

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PREPARING TO THE PROJECT AT THE SITE BEFORE PROCEEDING

SYMBOLS LEGEND

- (E) EXISTING CONSTRUCTION
- (N) NEW CONSTRUCTION
- V.I.F. VERIFY IN FIELD
- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO REMOVE
- ▬ NEW 2x AT 16" o.c. WOOD STUD WALL, U.N.O.
- Ⓜ WINDOW TAG & WINDOW TYPE MARK #
- Ⓛ DOOR TAG & DOOR TYPE MARK #
- Ⓦ WALL SWITCH AT 48" A.F.F.
- Ⓦ DIMMER WALL SWITCH AT 48" A.F.F.
- Ⓦ DUPLEX ELECTRICAL OUTLET
- Ⓦ GROUND FAULT CIRCUIT-INTERRUPTER
- Ⓦ CEILING MOUNTED INCANDESCENT LTG FIXTURE
- Ⓦ RECESSED CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- Ⓦ WALL MOUNTED OUTDOOR LIGHT FIXTURE
- S.D. SMOKE DETECTOR SEE NOTE #6
- C.O. CARBON MONOXIDE DETECTOR SEE NOTE #7
- Ⓦ FAN EXHAUST MINIMUM 50 CFM EXHAUSTING (100CFM IN KITCHEN), "ENERGY STAR" COMPLIANT, CONTROLLED BY HUMIDISTAT
- Ⓦ JUNCTION BOX
- Ⓦ INVERTER FOR FUTURE SOLAR PANEL AT ROOF LEVEL
- Ⓦ MAIN ELECTRIC SERVICE PANEL
- Ⓦ KEYNOTE
- Ⓦ LOCK

PLAN KEYNOTES LEGEND

- ① W.C. MINIMUM CLEAR SPACE PER CPC 407.6
- ② DRYER VENT SIZE:
 4" DIA. W/(2) 90 DEGREE BENDS: 14'-0" MAX.
 5" DIA. W/(2) 90 DEGREE BENDS: 19'-0" MAX.
 6" DIA. W/(2) 90 DEGREE BENDS: 23'-0" MAX.
 NOTE: 100 SQ. INCHES OF MAKE-UP AIR REQUIRED AT LAUNDRY ROOM.

FLOOR PLAN NOTES

1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
2. MINIMUM 72" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS PER TTL-24 ENERGY COMPLIANCE CALC'S.
5. INSTALL GFCI OUTLETS IN NEW BATHROOMS, KITCHEN.
6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY.
 b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS
8. WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE, IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
10. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
11. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 4.303.2
13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
14. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE. (L.A.M.C. 57.20.25)
15. PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. (SHOW THESE DIMENSIONS ON A FOUNDATION DETAIL DRAWING) (SECTION 2512.1.2)
16. DIMENSIONS INDICATED ARE TO CENTER OF STUD UNLESS OTHERWISE NOTED. DIMENSIONS TO PENETRATION ARE TO CENTER OF ROUGH OPENING UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TYPICALLY TO FACE OF WALL.

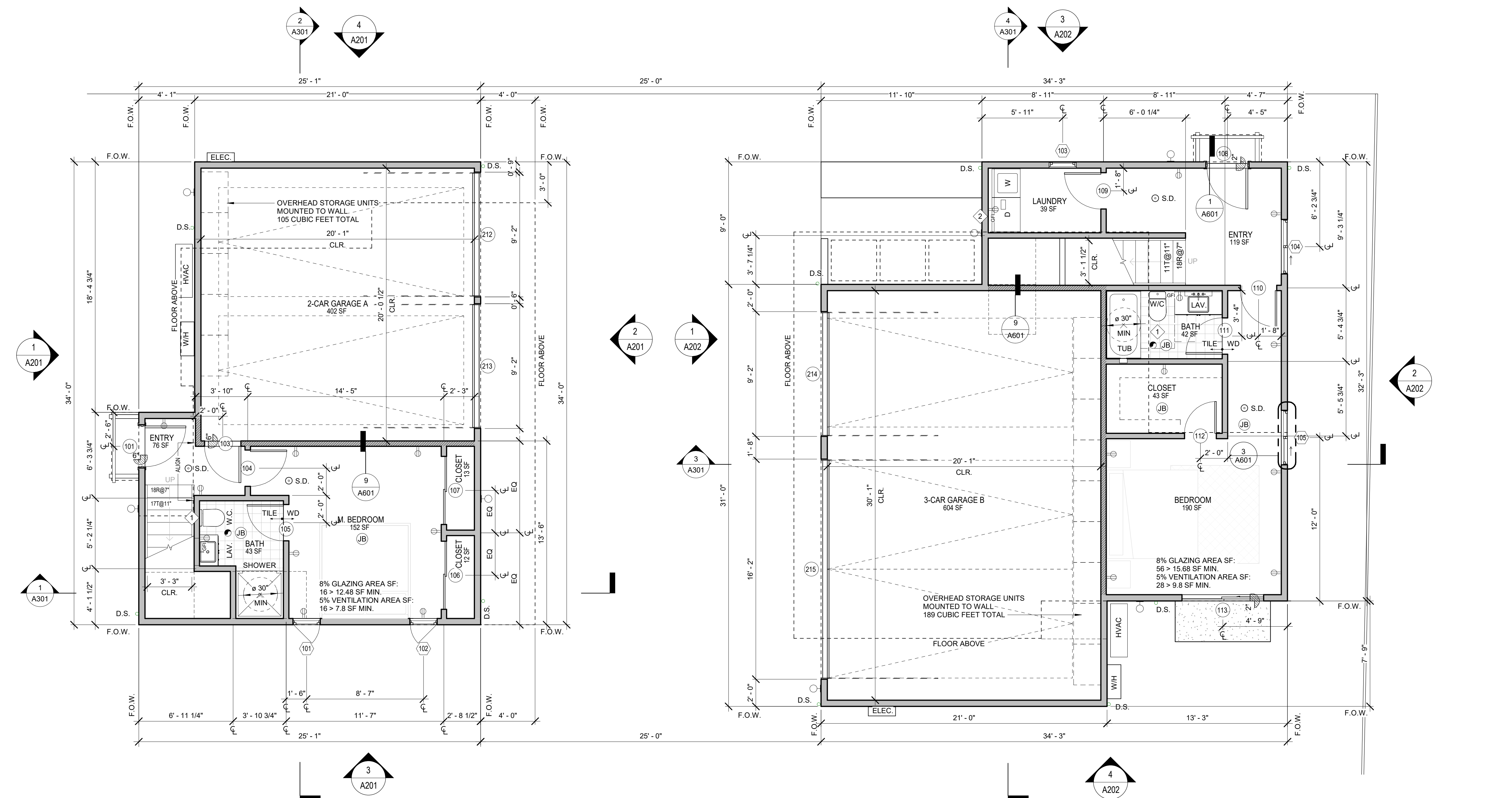
design studio

ecumena

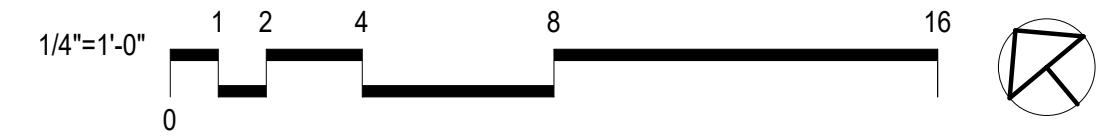
3786 LA CRESCENTA AVE., SUITE 201
 GLENDALE, CA 91208
 TEL.: 818.507.6787

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NO.	ISSUED FOR:	DATE:
1	PLANNING SUBMITTAL	2/19/2024
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1 1ST FLOOR UNITS
 1/4" = 1'-0"



CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PREPARING TO THE PROJECT AT THE SITE BEFORE PROCEEDING

REV. NO.	REVISION	DATE

PROJECT TITLE:
 1038 Irving Multi Family

JOB ADDRESS:
 1038 Irving Ave,
 Glendale, CA 91201

OWNER:
 MR. ARTOUR BABAYANS

JOB NO.:	
DRAWN BY:	C.ANDRAS
CHECKED BY:	H.AKOPIAN
DATE:	5/1/2024 10:55:31 AM

SHEET DESCRIPTION:
 PROPOSED 1ST FLOOR PLAN

SHEET NUMBER:
A105

SHEETS **OF**

SYMBOLS LEGEND

- (E) EXISTING CONSTRUCTION
- (N) NEW CONSTRUCTION
- V.I.F. VERIFY IN FIELD
- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO REMOVE
- ▬ NEW 2x AT 16" o.c. WOOD STUD WALL, U.N.O.
- Ⓜ WINDOW TAG & WINDOW TYPE MARK #
- Ⓝ DOOR TAG & DOOR TYPE MARK #
- Ⓦ WALL SWITCH AT 48" A.F.F.
- Ⓦ DIMMER WALL SWITCH AT 48" A.F.F.
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- Ⓦ GROUND FAULT CIRCUIT-INTERRUPTER
- Ⓦ CEILING MOUNTED INCANDESCENT LTG FIXTURE
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- S.D. SMOKE DETECTOR SEE NOTE #6
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- Ⓦ INVERTER FOR FUTURE SOLAR PANEL AT ROOF LEVEL
- Ⓦ MAIN ELECTRICAL SERVICE PANEL
- Ⓦ KEYNOTE
- Ⓦ LOCK

PLAN KEYNOTES LEGEND

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- ② DRYER VENT SIZE:
4" DIA. W/(2) 90 DEGREE BENDS: 14'-0" MAX.
5" DIA. W/(2) 90 DEGREE BENDS: 19'-0" MAX.
6" DIA. W/(2) 90 DEGREE BENDS: 23'-0" MAX.
NOTE: 100 SQ. INCHES OF MAKE-UP AIR REQUIRED AT LAUNDRY ROOM.

FLOOR PLAN NOTES

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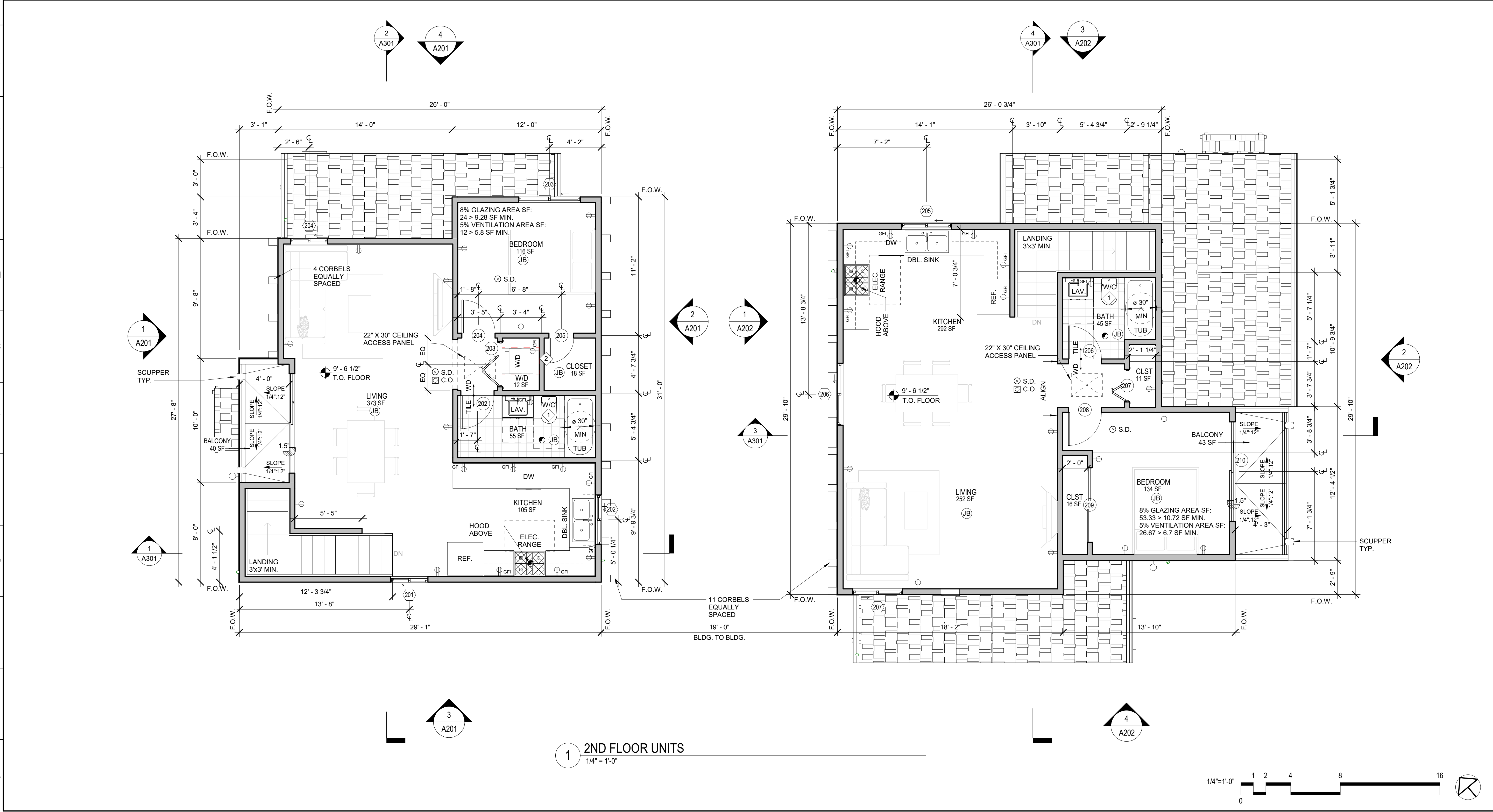
design studio

ecumena

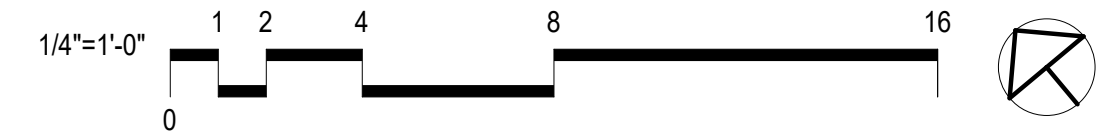
3786 LA CRESCENTA AVE., SUITE 201
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1 2ND FLOOR UNITS
1/4" = 1'-0"



CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE PROJECT AT THE SITE BEFORE PROCEEDING

REV. NO.	REVISION	DATE

PROJECT TITLE:
1038 Irving Multi Family

JOB ADDRESS:
1038 Irving Ave,
Glendale, CA 91201

OWNER:
MR. ARTOUR BABAYANS

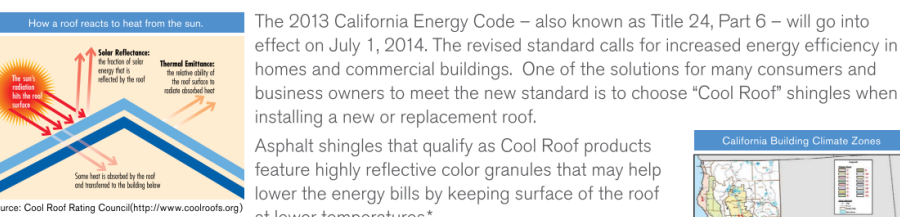
JOB NO.:	
DRAWN BY:	C.ANDRAS
CHECKED BY:	H.AKOPIAN
DATE:	5/23/2024 7:20:37 PM

SHEET DESCRIPTION:
PROPOSED 2ND FLOOR PLAN

SHEET NUMBER:
A106

SHEETS **OF**

Your Cool Roof Solution
Owens Corning® Shingles That Meet Title 24 Requirements



The 2013 California Energy Code – also known as Title 24, Part 6 – will go into effect on July 1, 2014. The revised standard calls for increased energy efficiency in homes and commercial buildings. One of the solutions for many consumers and business owners to meet the new standard is to choose "Cool Roof" shingles when installing a new or replacement roof.

Asphalt shingles that qualify as Cool Roof products feature highly reflective color granules that may help lower the energy bills by keeping surface of the roof at lower temperatures.

Owens Corning Roofing asphalt shingles listed in the Table below meet the prescriptive requirements in the 2013 California Energy Code for steep-slope roofs (slope > 2:12) on residential and nonresidential buildings. A minimum 3-year aged solar reflectance of 0.20, a minimum thermal emittance of 0.75, or a minimum solar reflectance index (SRI) of 16 is required for:

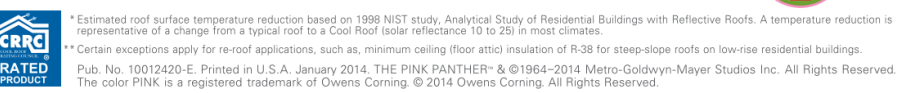
- Low-rise residential buildings in climate zones 10 through 15
- High-rise residential buildings in climate zones 2 through 15
- Nonresidential buildings in climate zones 1 through 15

Owens Corning® Roofing offers many high-performance shingles that meet Title 24, Part 6, requirements:



Owens Corning® Shingle	CRRI Product ID	Warranty	Stone Backsheet	Thermal Emittance	Solar Reflectance	SRI
DuraLife Premium Cool Harbor Fog	0890-0004	Lifetime	0.27	0.80	0.89	28
DuraLife Premium Cool Frost Oak	0890-0005	Lifetime	0.28	0.80	0.89	29
DuraLife Premium Cool Sage	0890-0003	Lifetime	0.28	0.80	0.88	29
DuraLife Premium Cool Summit	0890-0006	Lifetime	0.28	0.80	0.89	28
TuSafinator® DuraLife Shasta White	0890-0008	Lifetime	0.28	0.80	0.91	27
DuraLife Shasta White	0890-0002	Lifetime	0.28	0.80	0.91	27
Summit® Shasta White	0890-0001	25-year	0.27	0.80	0.92	28

Contact your Owens Corning® Roofing Area Sales Manager to find out more about why Owens Corning® shingles are your solution to meeting Cool Roof requirements in California's Title 24.



1 SEARCH RESULTS

Selected filters

Keywords: GAF/ICGAS

Please note that the CRRI does not set a minimum definition for "cool", the CRRI simply lists the measured relative property values on our Directory. A product's placement on the Directory does not mean that the product is "cool" as defined by any particular code body or program.

*CRRI Rapid Ratings: These are interim laboratory aged values that simulate weathered values. These values will be replaced with the measured three year aged values upon completion of the weathering process. SRI values calculated using Rapid Ratings may change once the aged rating replaces the interim rating.

CRRI PROD. ID	MANUFACTURER BRAND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE	THERMAL EMITTANCE	SRI	WARRANTY	WARRANTY
0126-0010	GAF GAF/ICGAS EnergyCap™ Mineral Surfaced Cap Sheet	Membrane Built-Up and Modified Bitumen Sheet Roofing	Off-White	0.21	0.82	0.91	30	30

COOL ROOF RATING COUNCIL		3299 1st Ave. #103	TEL: (860) 469-5313	EMAIL: info@coolroofs.org
		Portland, OR 97203		

ROOF PLAN NOTES:

ROOF SLOPE

- ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWINGS.
- IN THE ABSENCE OF SLOPES SHOWN ON STRUCTURAL DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN.
- NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS.
- CRICKETS MUST MAINTAIN POSITIVE SLOPE TO DRAIN AND TIE INTO DRAINAGE SYSTEM.
- CONTRACTOR TO VERIFY ALL ROOF DRAIN SLOPES AND ROOF DRAIN ELEVATIONS.

ROOFING MATERIAL

- PITCHED ROOF TO BE SHINGLE ROOF. TIMBERLINE COOL SERIES BY GAF - CLASS "A" ROOFING
- ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY.

GUTTERS AND ROOF DRAINS

- GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD RAIN WATER LEADERS.
- DRAINS SHALL BE SIZED TO ACCOMMODATE 3" PER HOUR OF RAINFALL.
- UNLESS SPECIFIED OTHERWISE, RAIN WATER LEADERS ARE EXPOSED AND LOCATION IS SHOWN ON ROOF PLAN.
- DOWNSPOUTS AT FLAT ROOFS SHALL BE A MINIMUM OF 4" DIAMETER WITH OVERFLOW DRAINS.
- PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN.
- CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS (WHERE APPLICABLE) FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDINGS AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE.
- ROOF DRAINAGE TO BE CONNECTED TO EXISTING COUNTY APPROVED DRAINAGE DEVICE. ALL RAIN WATER TO BE DIRECTED TO STREET OR APPROVED OUTLET.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO ENSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS, STOR AND BUILDING SANITARY ARE COMPLETED.

ROOF PENETRATION

- VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
- CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS SHALL BE PROVIDED WITH WR GRADE 4000 BITUMENE WRAPPING AND PRE-FINISHED METAL FLASHING AND COUNTERFLASHING. ALL JOINTS AT SHEET METAL SHALL BE CAULKED.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE DIFFERENT TRADES FOR INSTALLATION OF ROOF PENETRATIONS PRIOR TO INSTALLATION OF THE ROOFING MEMBRANE.
- COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.
- ADD SELF-ADHERING MODIFIED BITUMEN EXTENDING 24" EACH SIDE AT ALL VALLEYS, RADIUS WALLS, CRICKETS, TOPS OF WALLS, AND TRANSITIONAL AREAS.

ROOF (ATTIC) VENTILATION

- TOTAL ATTIC VENTILATION SHALL BE A MAXIMUM OF 1/150 OF THE AREA TO BE VENTED.
- ATTIC DRAFT STOPS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL VENT OPENINGS SHALL BE COVERED WITH A CORROSION RESISTANT METAL MESH WITH OPENINGS NO LARGER THAN 1/4" IN ANY DIRECTION.
- ATTIC VENTILATION OPENINGS IN VERTICAL WALLS AND ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQUARE INCHES PER OPENING AND SHALL BE COVERED WITH METAL LOUVERS AND 1/4" (6.25MM) MESH CORROSION-RESISTANT METAL SCREEN.

ROOF VENTILATION CALCULATION:

REQUIRED AREA OF VENTILATION INTAKE SHALL BE A MAXIMUM OF 1/150 OF THE ROOF AREA TO BE VENTED.
DORMER VENTS AT 2.6 S.F. OPENING EACH

UNIT A

HIGH ROOF: 775 SF / 150 = 5.1 SF REQ'D
2 x 2.6 SF EA = 5.2 SF (5.2 > 5.1)
LOW ROOF: 106 SF / 150 = .7 SF REQ'D
2.6 SF > .7 SF

UNIT B

HIGH ROOF: 1100 SF / 150 = 7.3 SF REQ'D
3 x 2.6 SF EA = 7.8 SF (7.8 SF > 7.3 SF)
LOW ROOF: 118 SF / 150 = .7 SF REQ'D
2.6 SF > .7 SF

NOTE:

A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT

ROOF PLAN LEGEND

- BUILDING WALLS SHOWN BELOW
- 4" DOWNSPOUT
- 4" METAL GUTTER
- 4:12 (N) SLOPE DIRECTION OF SLOPE/GRADIENT

ROOF PLAN NOTES

- PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMP. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC."
- ALL DOWN SPOUTS DRAIN TO RAIN GARDEN, SEE 1/A101.

ROOF MATERIAL SCHEDULE

NO.	NOTE TEXT
1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 SLOPE BY "GAF", ICC-ESR 1475. CRRC PRODUCT ID 0676-0043a TIMBERLINE COOL SERIES IN ANTIQUE SLATE AND "TIGERPAW" UNDERLAYMENT ICC-ESR 2808 OR APPROVED EQUAL TO MATCH EXISTING HOUSE.
4	4" GUTTER W/ 24GA. G.I. DOWNSPOUT



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8		

REV. NO.	REVISION	DATE

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE PROJECT AT THE SITE BEFORE PROCEEDING.

PROJECT TITLE:
1038 Irving Multi Family

JOB ADDRESS:
1038 Irving Ave,
Glendale, CA 91201

OWNER:
MR. ARTOUR BABAYANS

JOB NO.:

DRAWN BY: C.ANDRAS

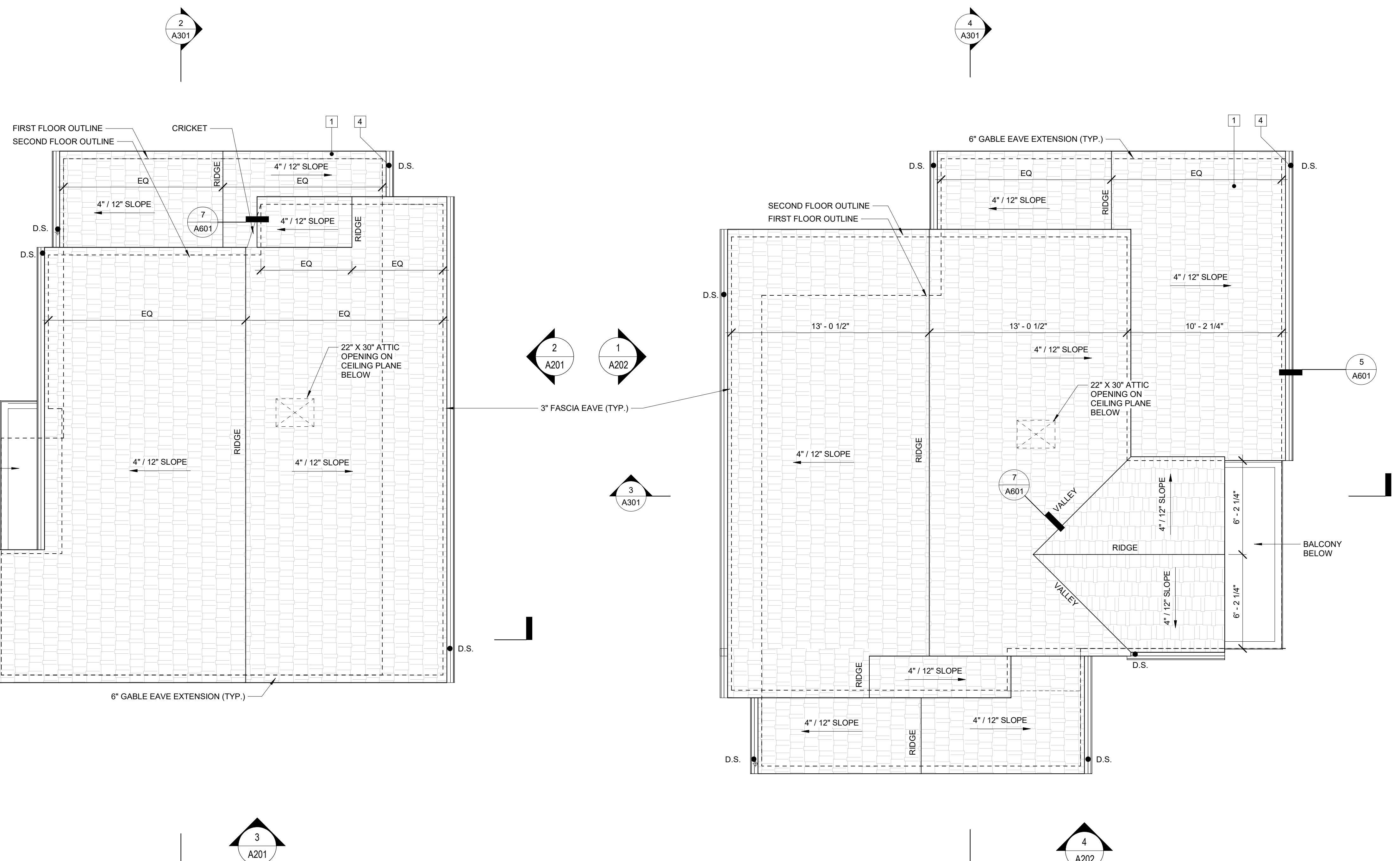
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DATE: 5/1/2024 10:55:34 AM

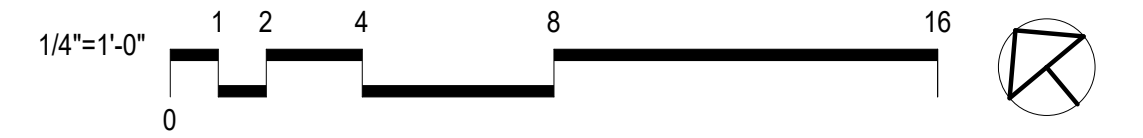
SHEET DESCRIPTION:
PROPOSED ROOF PLAN

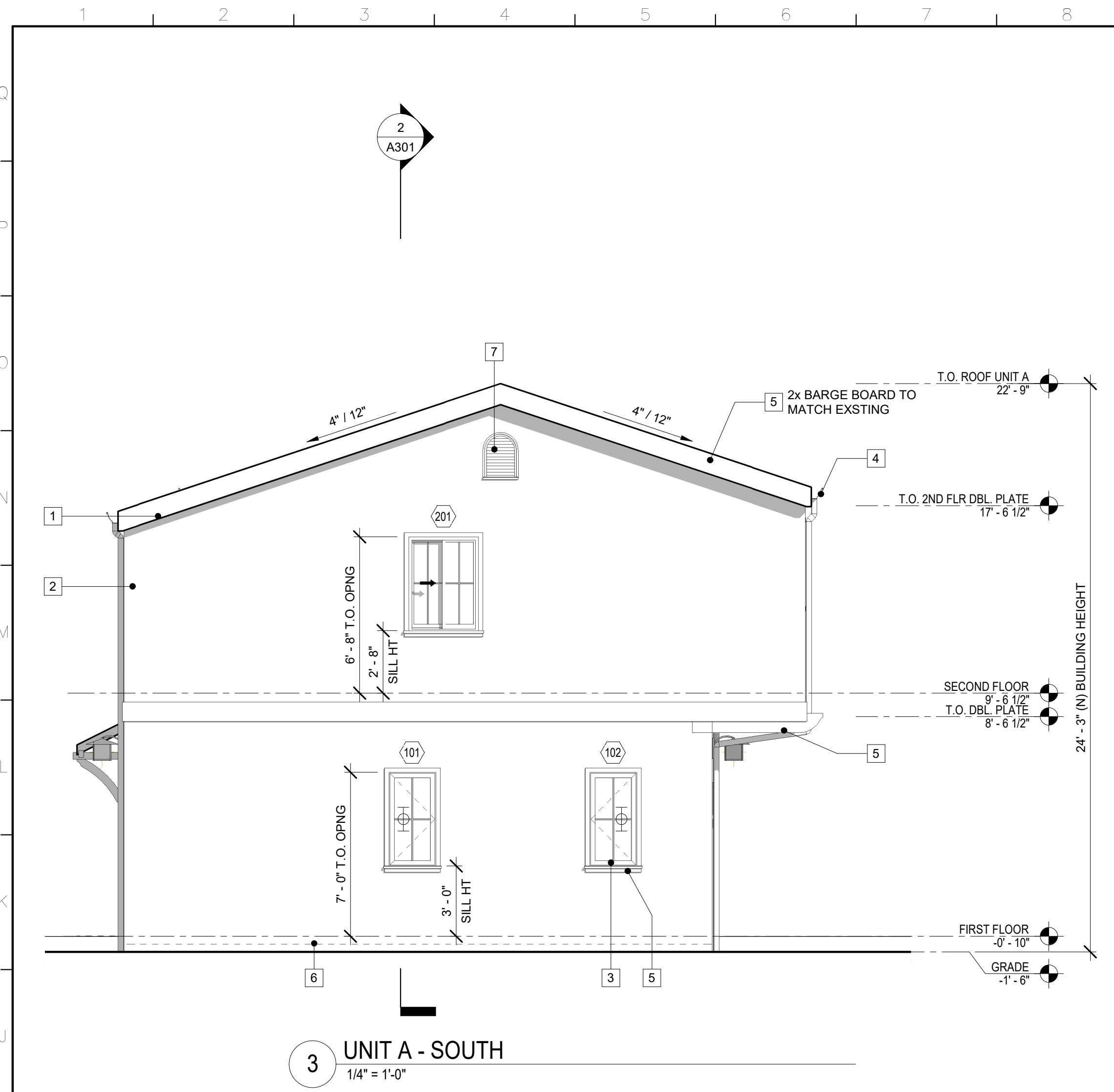
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A107

SHEETS OF

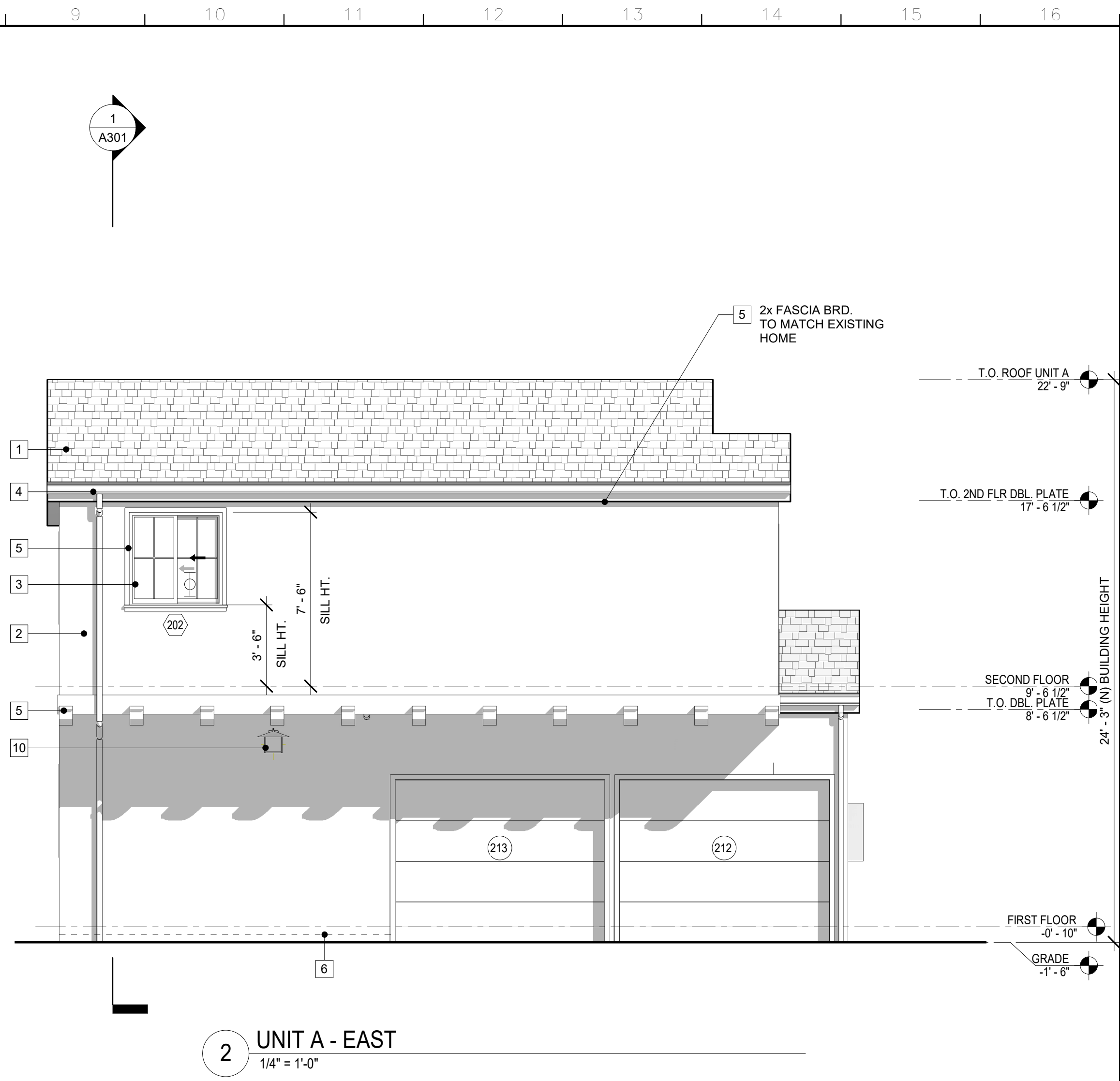


1 ROOF PLAN
1/4" = 1'-0"





3 UNIT A - SOUTH
1/4" = 1'-0"



2 UNIT A - EAST
1/4" = 1'-0"

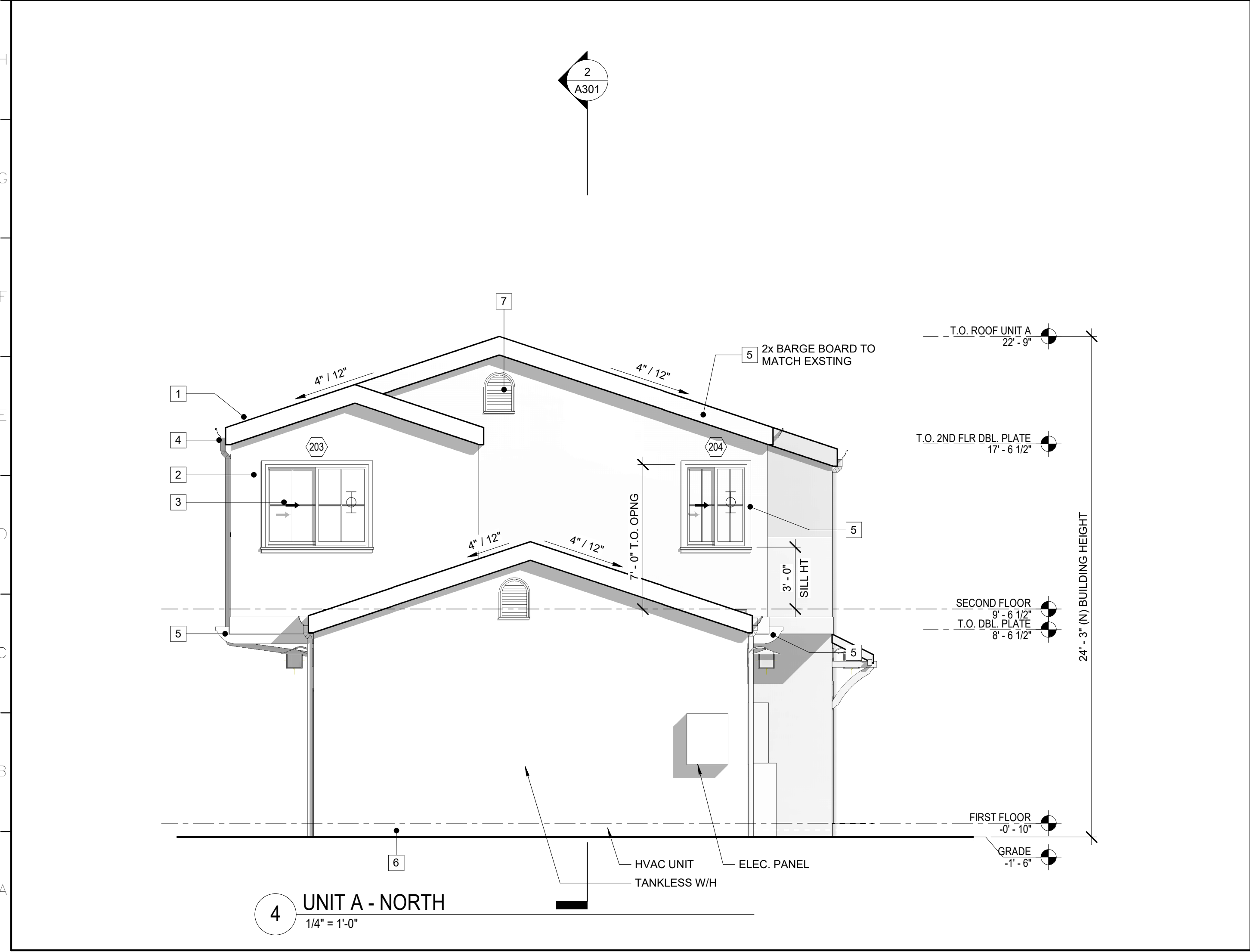
ELEVATION NOTES

- EXTERIOR COLORS AND MATERIALS OF THE PROPOSED UNITS INCLUDING WALLS, ROOFS, AND WINDOWS MUST MATCH THE EXISTING STRUCTURES.
- 0.0 ELEVATION EQUALS MINIMUM 6 INCHES ABOVE LOWEST POINT AT SLOPED SURROUNDING GRADE.
- CONTRACTOR SHALL INSTALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

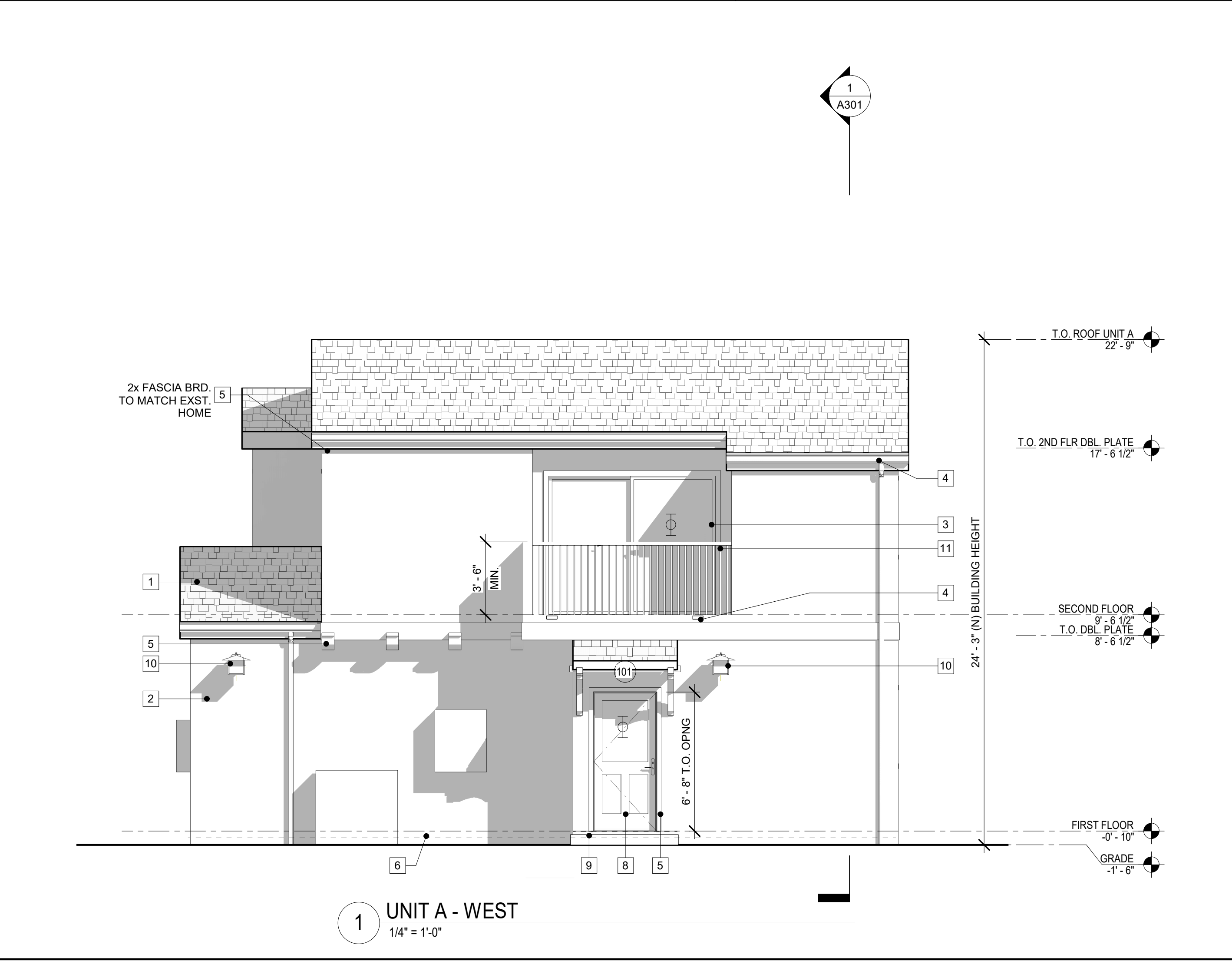
EXTERIOR FINISH SCHEDULE

NOTE NUMBER	NOTE TEXT
1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 SLOPE BY "GAF" ICC-ESR 1475, CRRC PRODUCT ID 0676-0043a TIMBERLINE COOL SERIES IN "GOLDEN HARVEST" AND "TIGERPAW" UNDERLAYMENT ICC-ESR 2808 OR APPROVED EQUAL TO MATCH EXISTING HOUSE.
2	7/8" THK. MATCHING APPLIED EXTERIOR STUCCO BY "LA HABRA" SPRAY TEXTURED FINISH, TO MATCH EXISTING HOUSE.
3	WHITE COLOR VINYL CLAD DOORS & WINDOWS BY "MILGARD" "V250 STYLE LINE" SERIES OR APPROVED EQ. SEE DOOR & WINDOW SCHED. FOR INFO. STYLE TO MATCH MAIN HOME.
4	4" GUTTER W/ 24GA. G.I. DOWNSPOUT
5	ORNAMENTAL WOODEN MOLDINGS, CORBELS, TRIMS, ETC...SIZE, COLOR, TYPE TO MATCH EXISTING BUILDING
6	CORROSION RESISTANT WEEP SCREED W/ MIN 3.5" FLANGE UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. CRC R703.7.2.1
7	24GA. ATTIC LOUVER VENT 16" x 24" (MIN. 2.6 SF PER ATTIC CALCULATION) TRIM TO MATCH WINDOWS
8	ENTRY DOOR-STAINED, W/LEAD GLAZING. SEE DOOR SCHEDULE
9	CONCRETE LANDING AND CONCRETE STEPS ON-GRADE
10	HAMPTON BAY DECORATIVE WALL FIXTURE 6.5"W x 14.5"H. MODEL NUMBER G14796-BK IN OIL RUBBED BRONZE FINISH.
11	VERTICAL WROUGHT IRON GUARDRAIL PAINTED BLACK

1/4" = 1'-0"



4 UNIT A - NORTH
1/4" = 1'-0"



1 UNIT A - WEST
1/4" = 1'-0"

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REV. NO.	REVISION	DATE

PROJECT TITLE:
1038 Irving Multi Family

JOB ADDRESS:
1038 Irving Ave,
Glendale, CA 91201

OWNER:
MR. ARTOUR BABAYANS

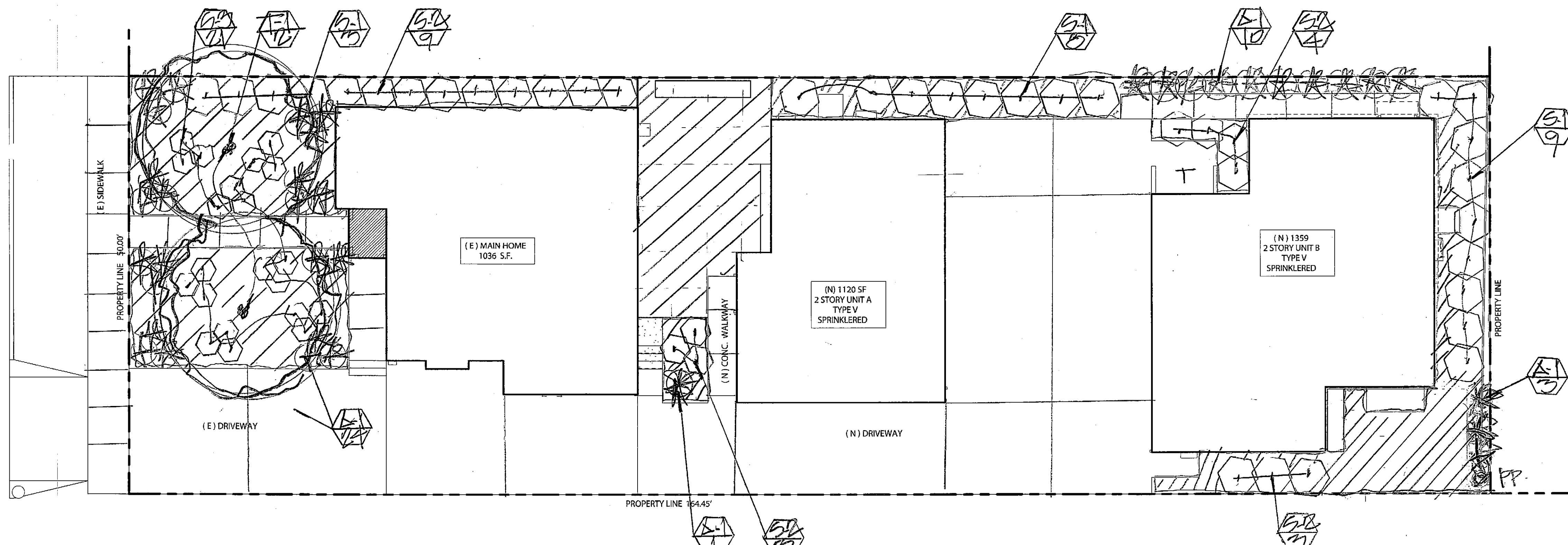
JOB NO.:	
DRAWN BY:	C.ANDRAS
CHECKED BY:	H.KOPIAN
DATE:	5/23/2024 7:19:28 PM

SHEET DESCRIPTION:
UNIT A - EXTERIOR ELEVATIONS,
SECTIONS

SHEET NUMBER:
A201

SHEETS OF

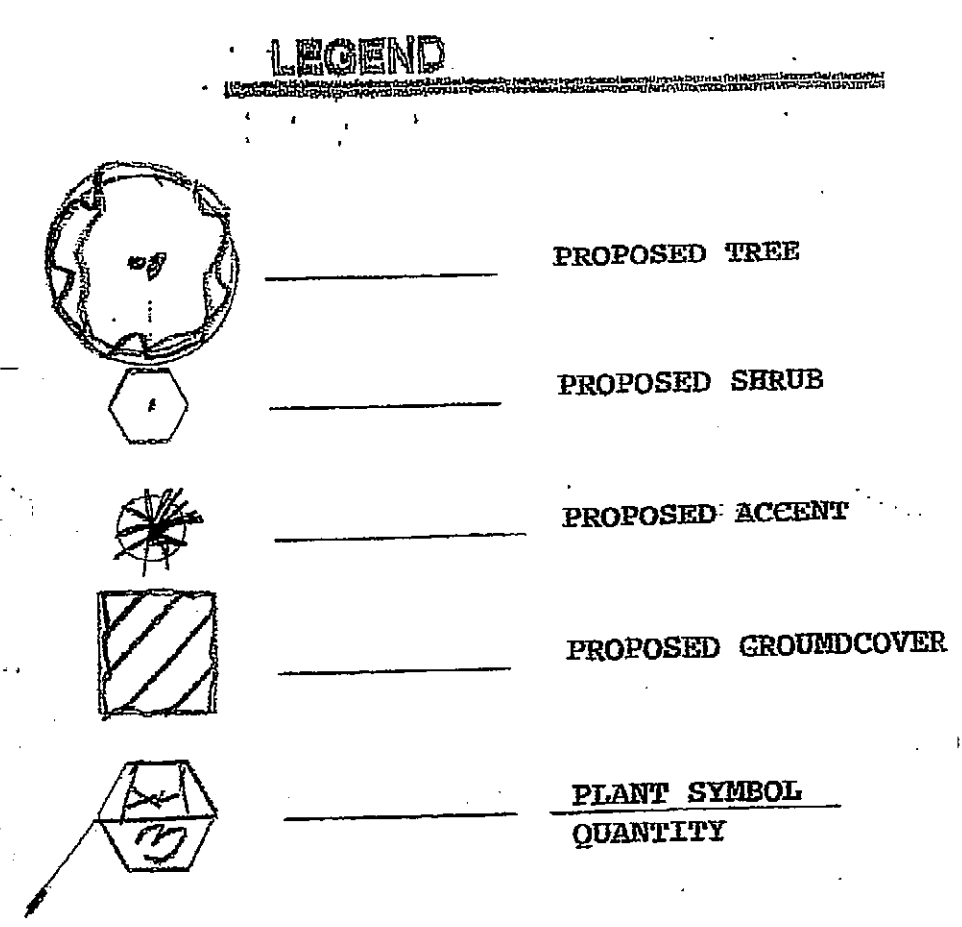
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WATER USAGE (WUCOLS) PLANT LIST

WUCOLS	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LW	T-1	OLEA EUROPA 'SWAN HILL'	FRUITLESS OLIVE	12" x 12"	2	-
LW	S-1	DOVONIA VISCOSA	HORSESHOE BUSH	5 GAL	120	5' O.C.
LW	S-2	ALYCAON HUBERTII	BLUE HIBISCUS	5 GAL	19	4' O.C.
LW	S-3	CISTUS X 'PURPUREUS'	ORCHID ROCKROSE	5 GAL	21	3' O.C.
LW	A-1	DIETES BICOLOR	FORETHIGHT LILY	5 GAL	35	RANDOM
LW	GROUND COVER = SENECIO 'SERPENS'		BLUE SENECIO	FLATS	AS NEEDED	12" O.C.

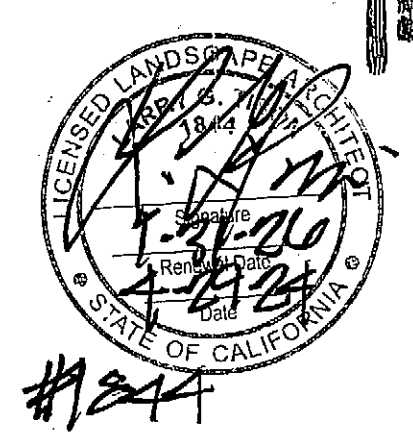
LW = LOW WATER USAGE/P.F. = 3
 LANDSCAPE AREA = 2,331-SQ. FT.



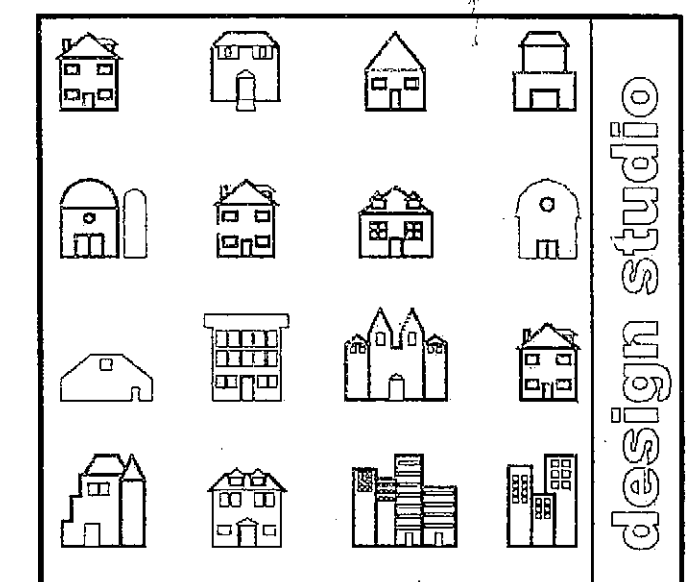
A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 5" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

PLANTING PLAN

MELLO COMPLIANCE
 I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, AS, LA
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169



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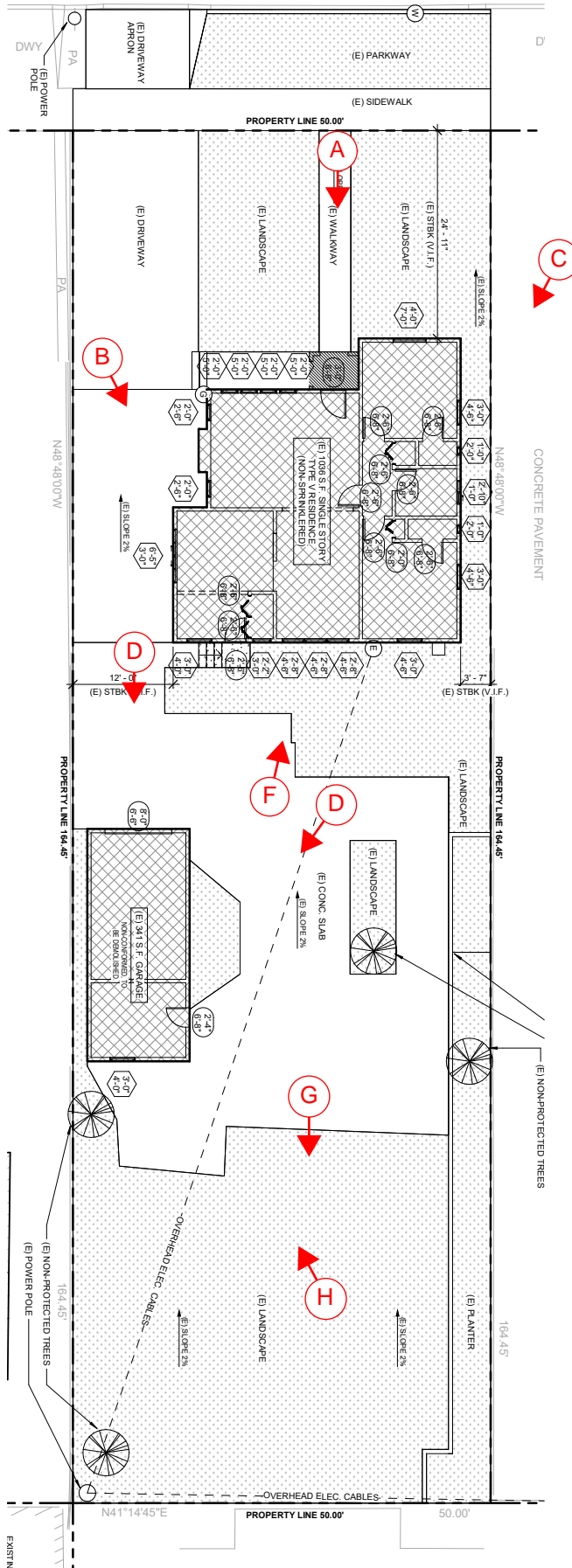
REV. NO.	REVISION	DATE
1	ISSUE FOR PERMITS	2/19/24

PROJECT TITLE:
1038 Irving Multi Family

JOB ADDRESS:
 1038 Irving Ave,
 Glendale, CA 91201

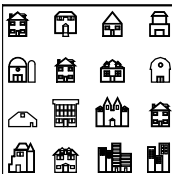
OWNER:
 MR. ARTOUR BABAYANS

JOB NO.: -
 DRAWN BY: LOT
 CHECKED BY: SL
 DATE: 4-19-24
 SHEET DESCRIPTION:



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 TEL. 818.507-6787

JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	NEW CONSTRUCTION 2 UNIT MULTI-FAMILY
SHEET TITLE:	EXISTING PROPERTY PHOTO SURVEY - LEGEND
SCALE:	N/A

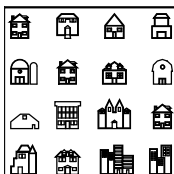


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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	NEW CONSTRUCTION 2 UNIT MULTI-FAMILY
SHEET TITLE:	EXISTING PROPERTY PHOTO SURVEY - PHOTOS
SCALE:	N/A

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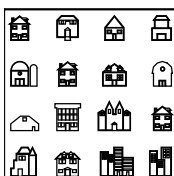


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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	NEW CONSTRUCTION 2 UNIT MULTI-FAMILY
SHEET TITLE:	EXISTING PROPERTY PHOTO - PHOTOS
SCALE:	N/A

3



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GLENDALE CA 91206
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JOB ADDRESS:

1038 IRVING AVE. GLENDALE CA 91201

PROJECT TITLE:

NEW CONSTRUCTION 2 UNIT MULTI-FAMILY

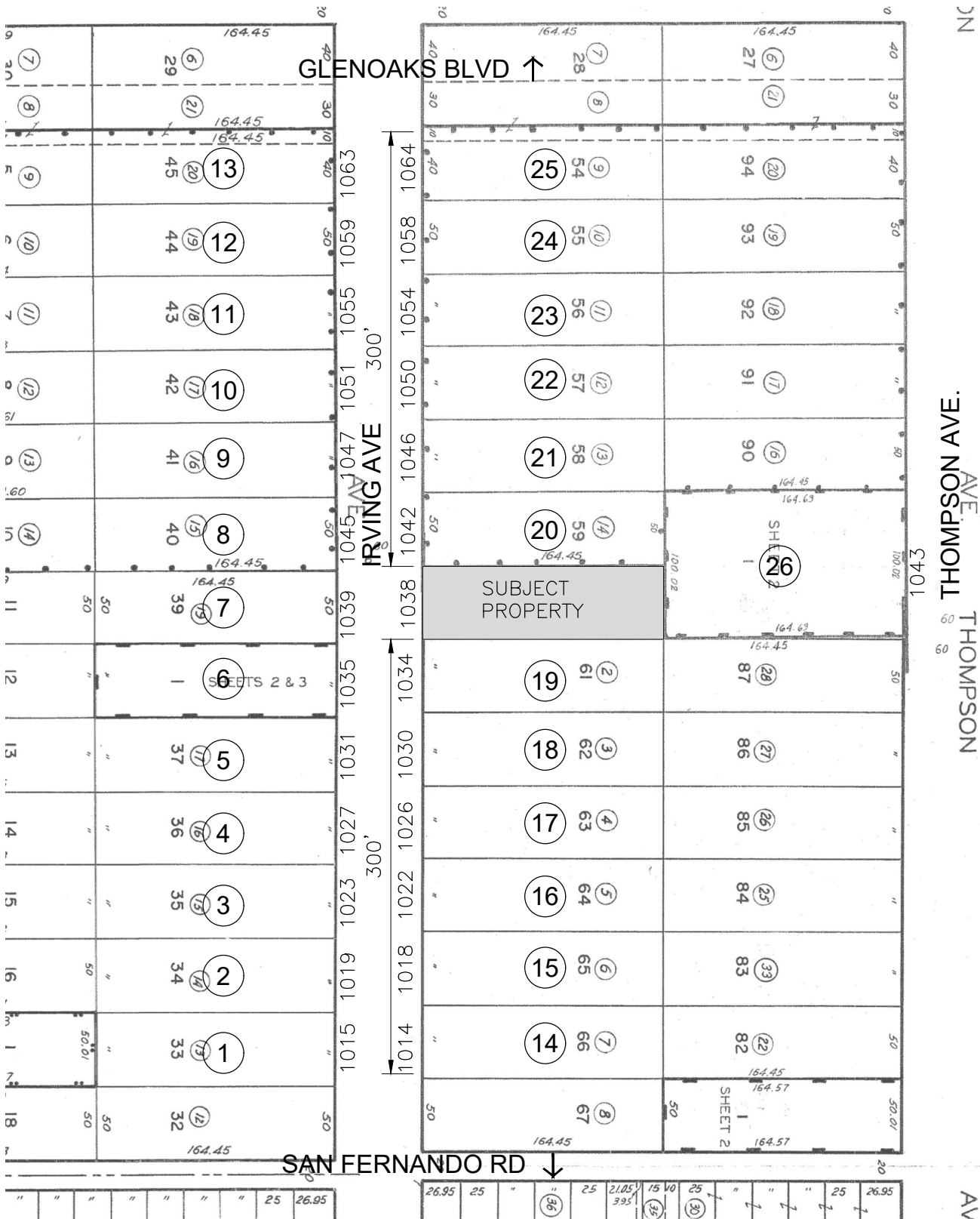
SHEET TITLE:

EXISTING PROPERTY PHOTO SURVEY - PHOTOS

SCALE:

N/A

4



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CA 91208, tel. 818.507-6787

JOB ADDRESS:	1038 IRVING ST. GLENDALE CA 91201
SHEET TITLE:	VICINITY & PHOTOGRAPHIC SURVEY MAP
SCALE:	1"=100'

1

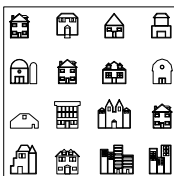
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1 - 1015 IRVING AVE.



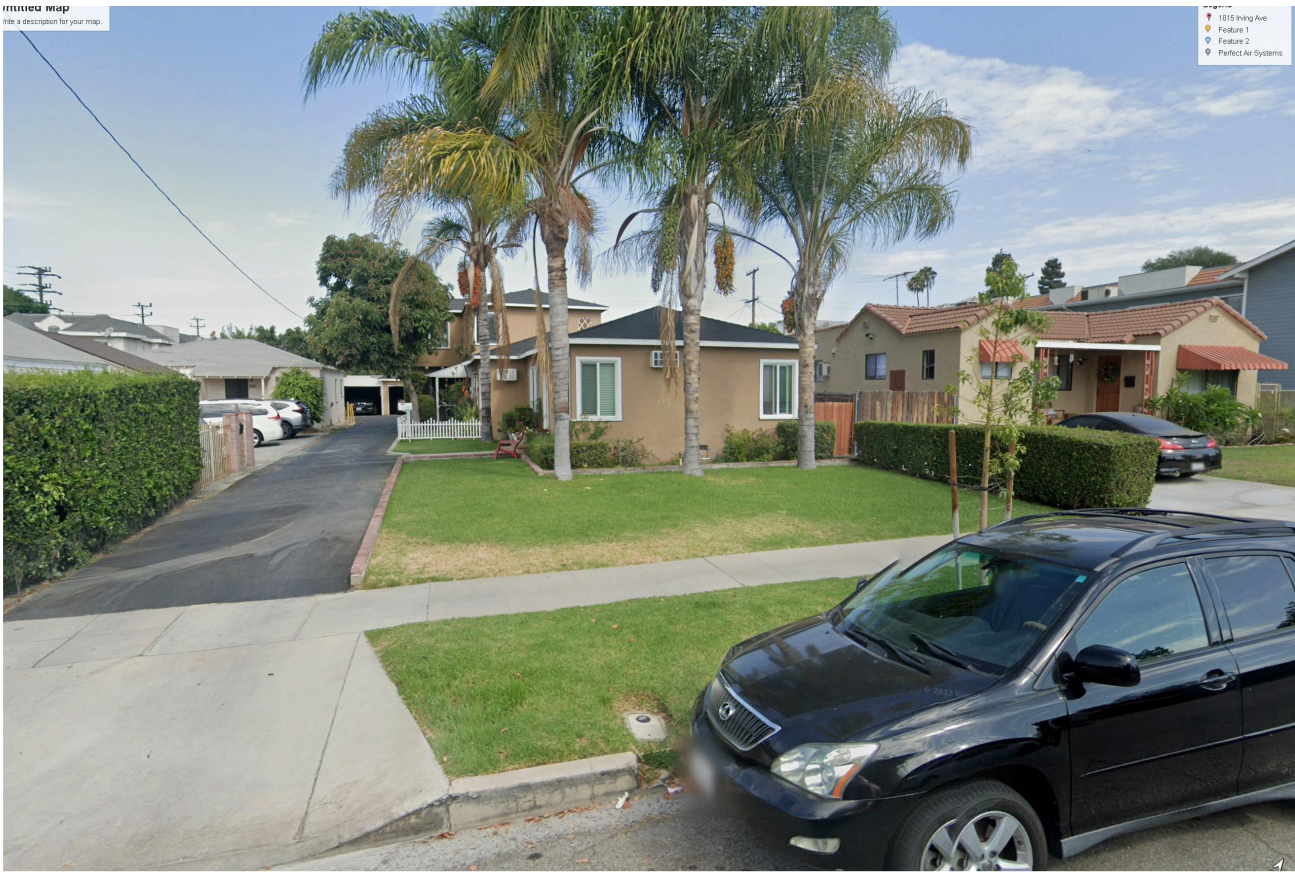
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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A


1



3 - 1023 IRVING AVE.



4 - 1027 IRVING AVE.

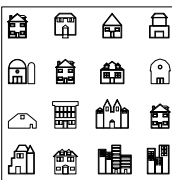
 <p>ecumena design studio 3786 LA CRESCENTA AVE., #201 GLENDALE CA 91208 TEL. 818.507-6787</p>	JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201	2
	PROJECT TITLE:	2 UNIT MULTIFAMILY	
	SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY	
	SCALE:	N/A	



5 - 1031 IRVING AVE.



6 - 1035 IRVING AVE.



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PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A

3



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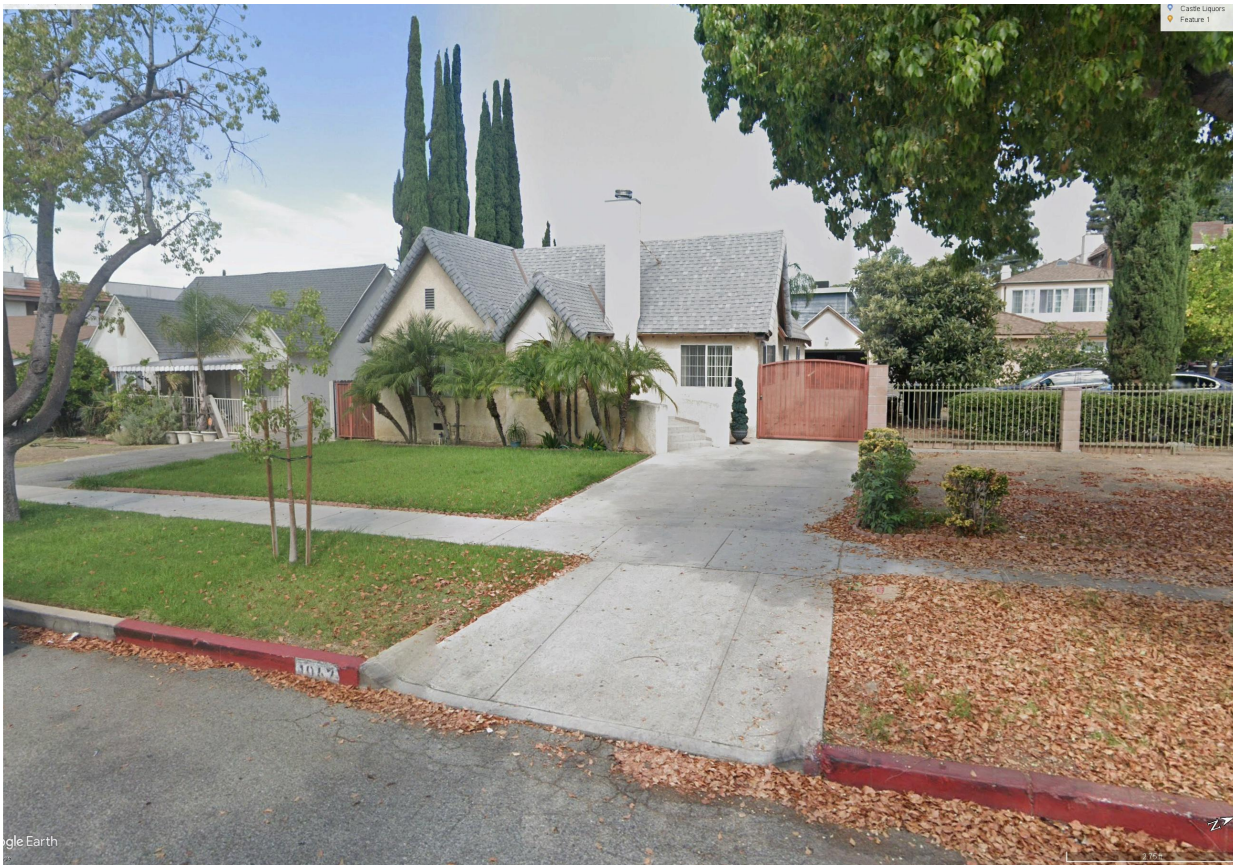


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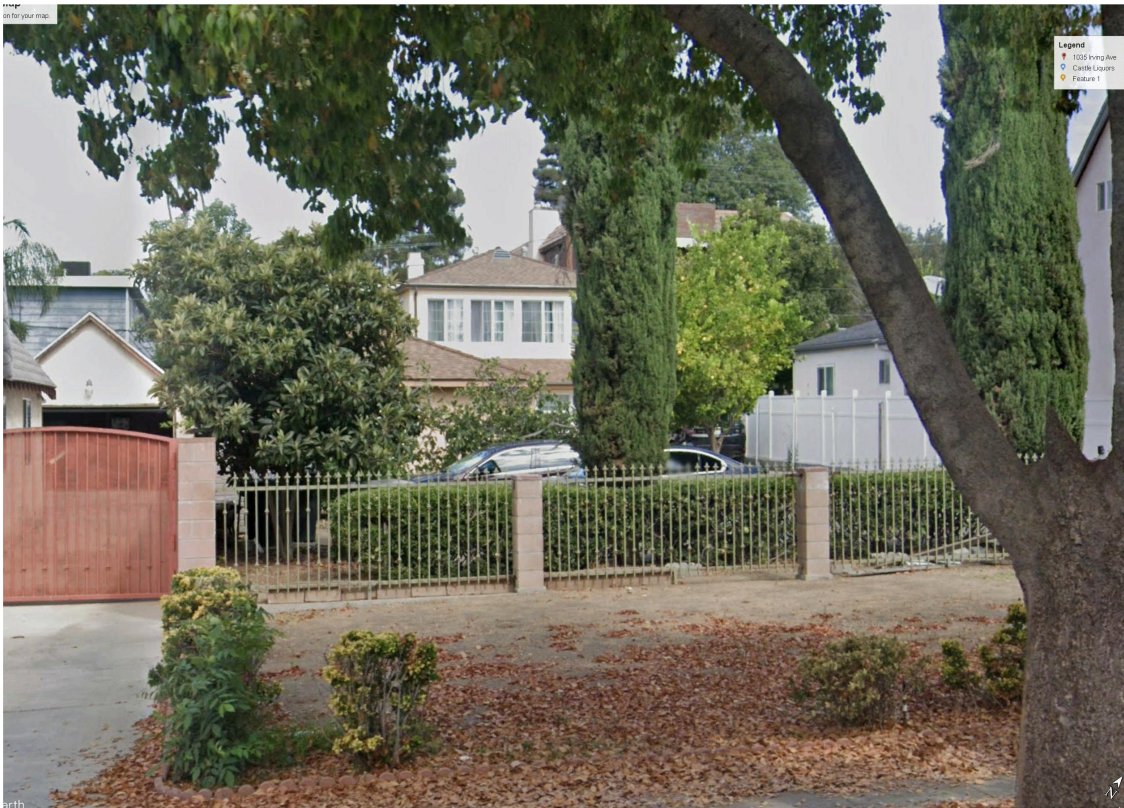


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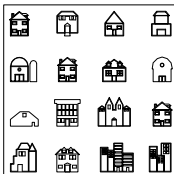
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SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A



9 - 1047 IRVING AVE.



10 - 1051 IRVING AVE.



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PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A

5



11 - 1055 IRVING AVE.



12 - 1059 IRVING AVE.

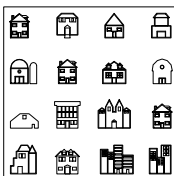
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		PROJECT TITLE:	2 UNIT MULTIFAMILY	
		SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY	
		SCALE:	N/A	



13 - 1063 IRVING AVE.



14 - 1014 IRVING AVE.



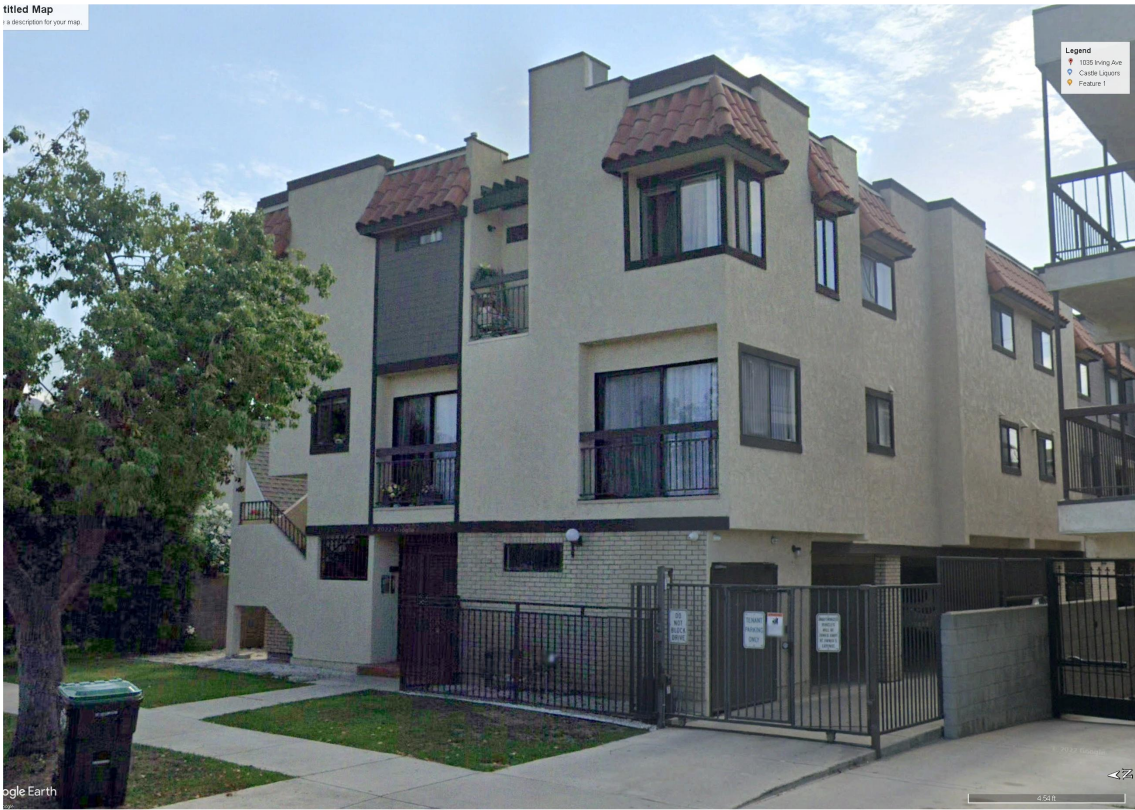
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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A

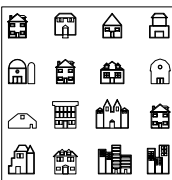
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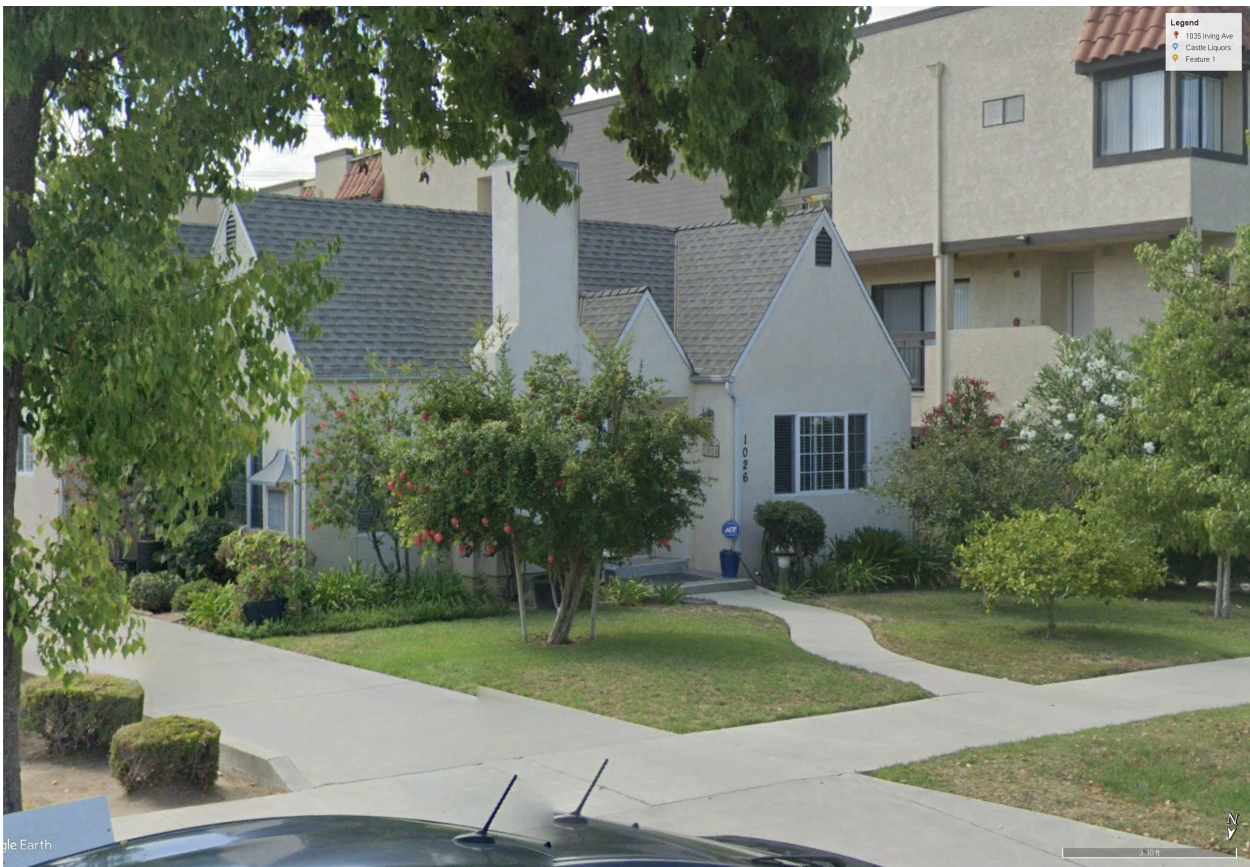
16 - 1022 IRVING AVE.



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TEL. 818.507-6787

JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A

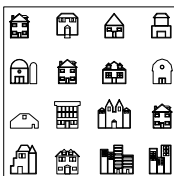
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17 - 1026 IRVING AVE.



18 - 1030 IRVING AVE.



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3786 LA CRESCENTA AVE., #201
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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A

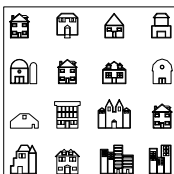
9



19 - 1034 IRVING AVE.



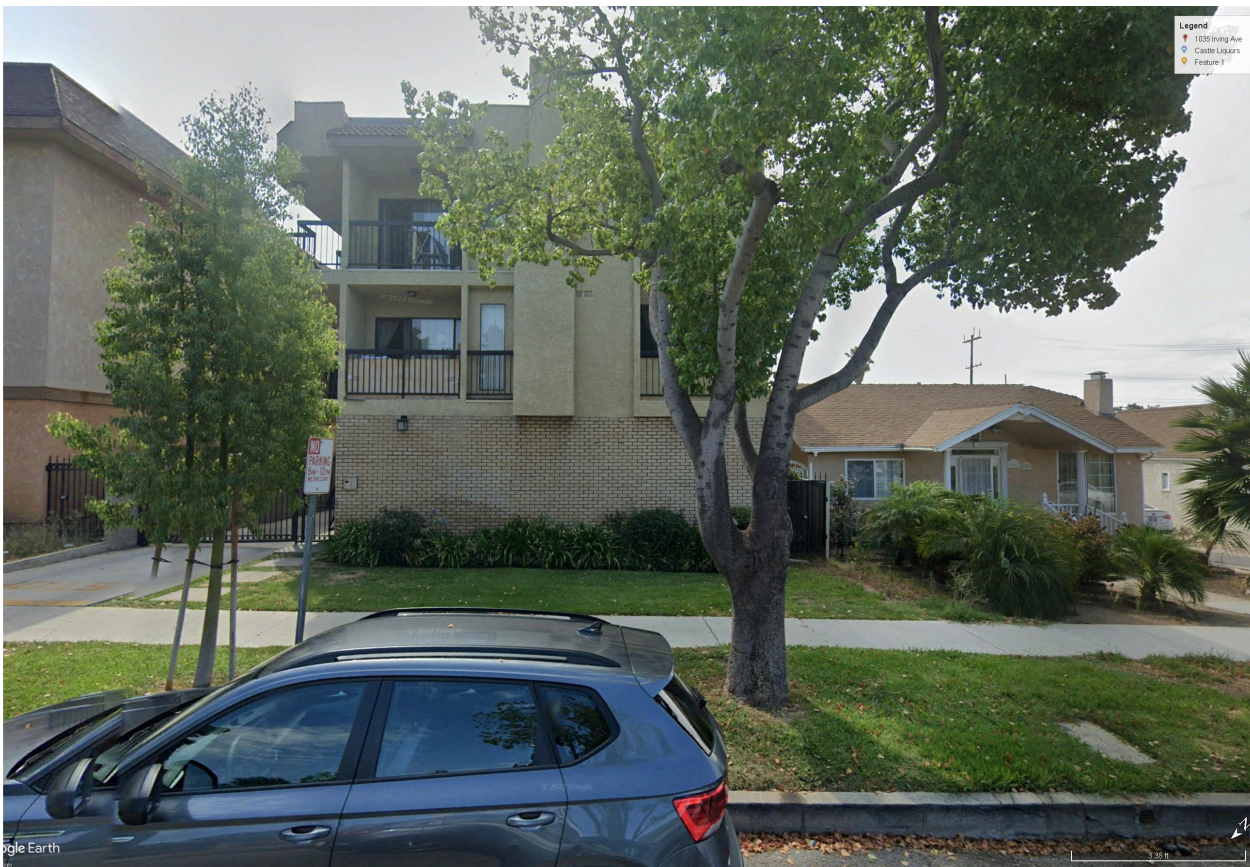
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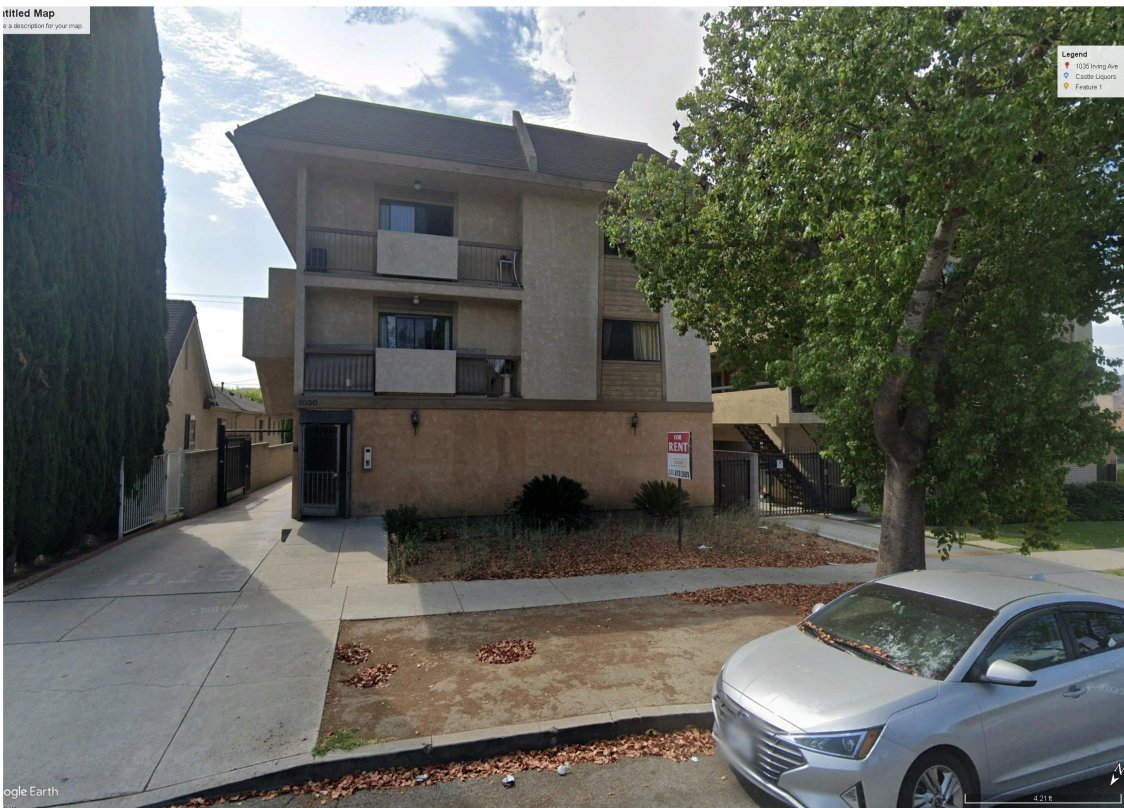
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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A

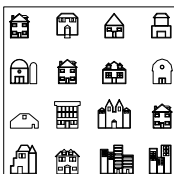
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21 - 1046 IRVING AVE.



22 - 1050 IRVING AVE.



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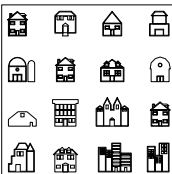
JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A



23 - 1054 IRVING AVE.



24 - 1058 IRVING AVE.



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PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A



25 - 1064 IRVING AVE.



26 - 1043 THOMPSON AVE.

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JOB ADDRESS:	1038 IRVING AVE. GLENDALE CA 91201
PROJECT TITLE:	2 UNIT MULTIFAMILY
SHEET TITLE:	NEIGHBORHOOD PHOTO SURVEY
SCALE:	N/A